

BOARD OF ZONING APPEALS DIVISION II

October 8, 2024

Case Number: 2024-DV2-016 (Amended)
Property Address: 921 East 24th Street (approximate address)
Location: Center Township, Council District #8
Petitioner: Angela Davis, by Sharmin Frye
Current Zoning: D-8
Request: Variance of Development Standards of the Consolidated Zoning and Subdivision Ordinance to provide for the construction of a single-family dwelling with a 14-foot rear yard setback (15-foot rear year setback required).
Current Land Use: Vacant
Staff Recommendations: Staff recommends approval of this petition
Staff Reviewer: Noah Stern, Senior Planner

PETITION HISTORY

ADDENDUM FOR SEPTEMBER 10, 2024 BZA DIVISION II HEARING

- This petition was continued to the July 9, 2024 BZA Division II hearing and then to the August 13, 2024 hearing to allow for additional review.
- The petition was continued to the September 10, 2024 BZA Division II hearing to amend the proposed site plan and elevations.
- The petition was continued to the October 8, 2024 BZA Division II hearing due to deficient mailed notice.

STAFF RECOMMENDATION

- Staff recommends approval of this petition

PETITION OVERVIEW

- This petition would provide for the construction of a single-family dwelling with a 14-foot rear yard setback (15-foot rear year setback required).
- The proposed elevations and site plan were revised to remove the front-loaded garage and adjust the location of the house on the property, as well as alter the designs of the facades per Staff's requests.

- The subject property is zoned D-8, contains a lot width of approximately 40 feet, and a lot area of approximately 2480 feet. The square footage of the lot is deficient from the typical standard of 2500 square feet for the Detached House – Compact Lot residential building type outlined in table 742.103.03 of the Consolidated Zoning and Subdivision Ordinance. Staff finds this to represent a degree of practical difficulty for meeting development standards such as setbacks. Additionally, given that the proposal would meet all other development standards requirements, Staff does not find this proposal to be overdevelopment of the site. Therefore, finds the variance request for a 1-foot reduction from the rear yard setback standard of 15 feet to be reasonable and is unopposed to the petition.

GENERAL INFORMATION

Existing Zoning	D-8	
Existing Land Use	Vacant	
Comprehensive Plan	Traditional Neighborhood	
Surrounding Context	Zoning	Surrounding Context
North:	D-8	North: Vacant
South:	D-8	South: Vacant
East:	D-8	East: Single-family residential
West:	I-2	West: Vacant
Thoroughfare Plan		
East 24 th Street	Local Street	48 feet of right-of-way existing and 48 feet proposed
Context Area	Compact	
Floodway / Floodway Fringe	No	
Overlay	No	
Wellfield Protection Area	No	
Site Plan	3/29/24	
Site Plan (Amended)	9/5/24	
Elevations	3/29/24	
Elevations (Amended)	9/5/24	
Landscape Plan	N/A	
Findings of Fact	3/29/24	
Findings of Fact (Amended)	8/27/24	

COMPREHENSIVE PLAN ANALYSIS

Comprehensive Plan

- Marion County Land Use Plan Pattern Book

- Infill Housing Guidelines
- Indy Moves

Pattern Book / Land Use Plan

- The Marion County Land Use Plan pattern Book recommends the Traditional Neighborhood living typology for this site.

Red Line / Blue Line / Purple Line TOD Strategic Plan

- Not Applicable to the Site.

Neighborhood / Area Specific Plan

- Not Applicable to the Site.

Infill Housing Guidelines

- With regards to building spacing, the Infill Housing Guidelines document recommends:
 - Reinforce spacing on the block
 - Leave room for maintenance

Indy Moves

(Thoroughfare Plan, Pedestrian Plan, Bicycle Master Plan, Greenways Master Plan)

- The subject site is located approximately 250 feet from the Monon Trail and under ¼ mile from the 22nd Street cycle track

ZONING HISTORY

ZONING HISTORY – SITE

2021ZON031, Rezoning of 0.22 acre from the I-2 district to the D-8 district, **approved**.

ZONING HISTORY – VICINITY

2023ZON015; 2444 Winthrop Avenue (north of site), Rezoning of 1.35 acres from the I-2 district to the D-8 district, **approved**.

2023DV3038; 2434 Winthrop Avenue (north of site), Variance of Development Standards of the Consolidated Zoning and Subdivision Ordinance to provide for the construction of a townhome community development with six-foot rear yard setbacks and a livability space ratio of 0.21 (15-foot rear yard setback, livability space ratio of 0.66 required), **approved**.

2021CZN/CVR808; 2352 Winthrop Avenue (south of site), Rezoning of 0.09 acre from the I-2 district to the D-8 district and Variance of use of the Consolidated Zoning and Subdivision Ordinance to provide for a secondary-dwelling unit, **approved**.

2020ZON048; 1123 E 25th Street (north of site), Rezoning of 1.435 acres from the I-4 district to the D-8 district, **approved**.

2018ZON002; 2401 Winthrop Avenue (north of site), Rezoning of 2.04 acres from the I-4 district to the D-8 classification, **approved**.

2000UV1008; 2401 Winthrop Avenue (north of site), MULTI-FAMILY DWELLINGS, CLUBHOUSE, PLAYGROUND IN I-4-U, **approved**.

EXHIBITS





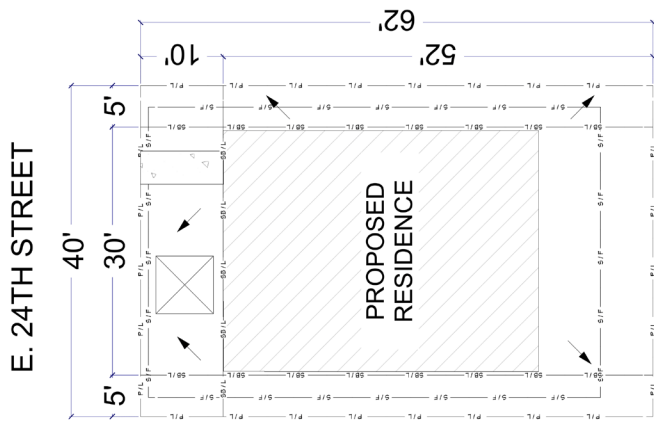
24TH STREET
 921 E 24TH ST.
 INDIANAPOLIS, IN 46205



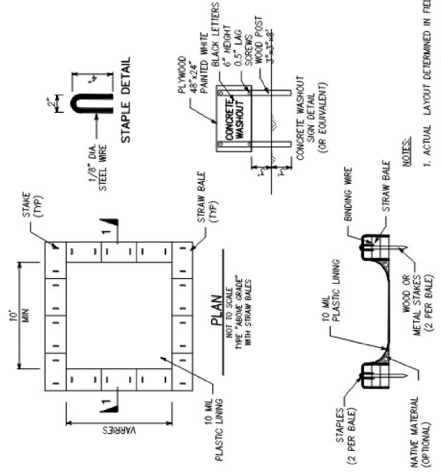
PROJECT NUMBER:
24030
 OWNER:
KD
 DRAWN BY:
CODY CORBIN, AIBD
 SCALE:
AS SHOWN

SITE PLAN
C1

DRAWING DATE:
8/28/2024



CONCRETE WASTE MANAGEMENT
 CASSIA DETAIL WM-B



1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

SITE PLAN LEGEND

- P/L — PROPERTY LINE
- ▲ — STORM WATER FLOW DIRECTION
- 9'F — SILT FENCE PERIMETER
- 8'F — SET BACK LINE
- ▨ — NEW WORK (PROPOSED)
- ▣ — CONCRETE WASHOUT LOCATION (SEE DETAIL)



24TH STREET

921 E 24TH ST.
INDIANAPOLIS, IN 46205



PROJECT NUMBER:
24030
OWNER:
KD
DRAWN BY:
CODY CORBIN, AIBD
SCALE:
AS SHOWN
FLOOR PLANS

A3

DRAWING DATE:
8/21/2024

FLOOR PLAN NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

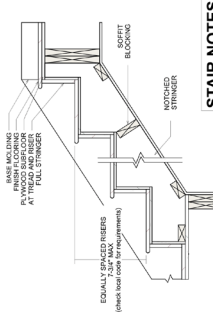
DOOR & WINDOW NOTES:
1. BERKMAN WINDOWS SHALL FINISHER MUST BE WITHIN 1/4" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQ. FEET WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" - HRC R310.1-R310.1.4
2. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS SHALL BE 32" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN.
3. EXTERIOR EXIT DOORS SHALL BE 32" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN.
4. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS SHALL BE 32" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN.
5. ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
6. WINDOWS TO BE PELLA OR EQ. REFER TO SCHEDULE FOR SIZING & HEADERS.

SCHEDULES

NUMBER	CITY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	HEADER	THICKNESS	FIN
001	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
002	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
003	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
004	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
005	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
006	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
007	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
008	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
009	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
010	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
011	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
012	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
013	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
014	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
015	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
016	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
017	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
018	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
019	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN
020	2X6	EXTERIOR SIDING	6"	8'-0"	2X6 EXTERIOR SIDING	2X6	5/8"	AS SHOWN

WALL TYPE LEGEND

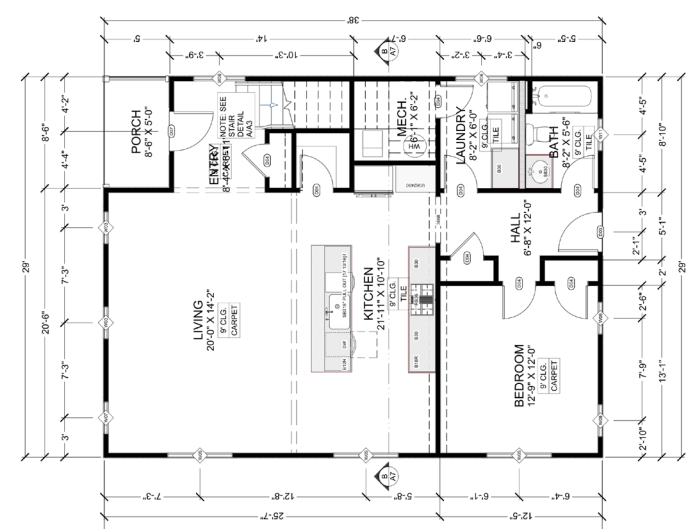
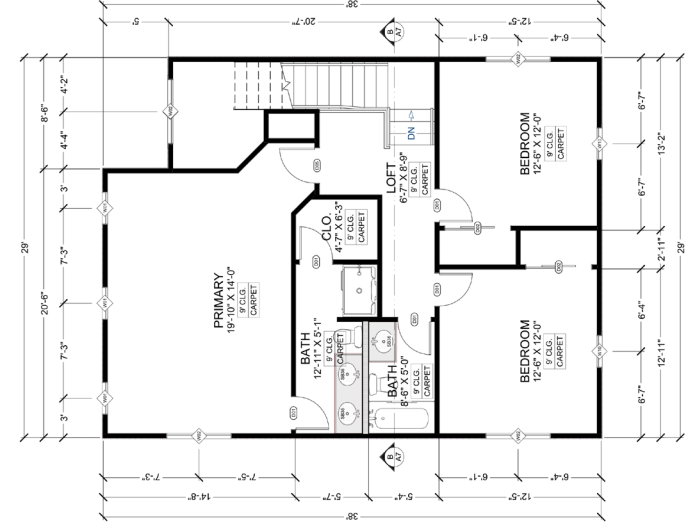
- 2X4 EXTERIOR SIDING WALL
- 2X6 WALL, STUDS @ 16" O.C., 1/2" GWB, EA. SIDE
- 2X4 WALL, STUDS @ 16" O.C., 1/2" GWB, EA. SIDE


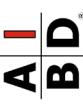
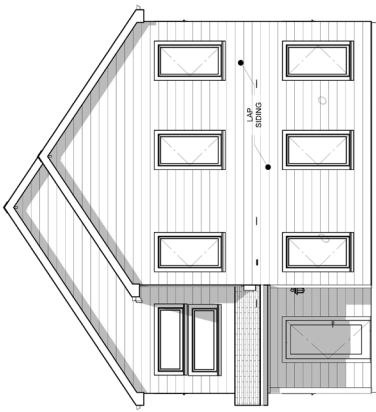
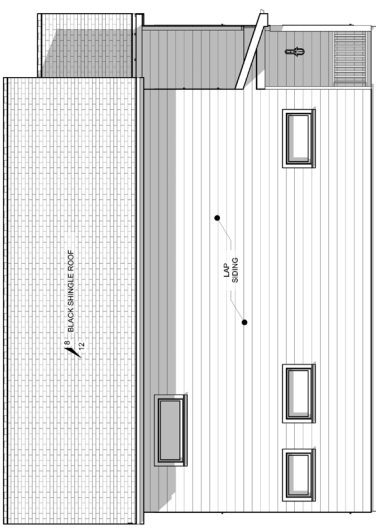

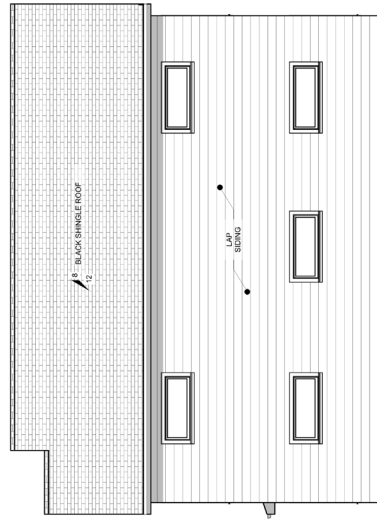


A STAIR DETAIL

SCALE: NTS

STAIR NOTES:
1. SEE DETAIL A43.
2. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCRUSH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
3. CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
4. STAIRWAYS SHALL HAVE MIN. 6" OF HEADROOM AT THE NOSE OF THE STAIR.
5. STAIRWAYS SHALL HAVE MIN. 6" OF HEADROOM AT THE NOSE OF THE STAIR.
6. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE FINISHED FLOOR SURFACE.
7. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE FINISHED FLOOR SURFACE.
8. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE FINISHED FLOOR SURFACE.
9. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE FINISHED FLOOR SURFACE.
10. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE FINISHED FLOOR SURFACE.
11. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.



 <p>DRAFTING & DESIGN SOLUTIONS <small>10000 N. Meridian Road, Suite 100, Indianapolis, IN 46220 Phone: 317.241.1234 Fax: 317.241.1235 Website: www.draftinganddesignsolutions.com</small></p>	<p>24TH STREET 921 E 24TH ST. INDIANAPOLIS, IN 46205</p>	 <p>AIBD AMERICAN INSTITUTE of BUILDING DESIGN</p>	<p>PROJECT NUMBER: 24030</p>	<p>OWNER: KD</p>	<p>DRAWN BY: CODY CORBIN, AIBD</p>	<p>SCALE: AS SHOWN</p>	<p>EXTERIOR ELEVATIONS</p>	<p>A4</p>
 <p>1 FRONT ELEVATION SCALE: 1/4"=1'</p>	 <p>2 RIGHT ELEVATION SCALE: 1/4"=1'</p>	 <p>3 REAR ELEVATION SCALE: 1/4"=1'</p> <p>HIGHEST RIDGE: 28'8" TOP OF PLATE: 18'1" TOP OF SUBFLOOR - 2ND FLOOR: 10'1" TOP OF SUBFLOOR - FOUNDATION: 0'</p>	 <p>4 LEFT ELEVATION SCALE: 1/4"=1'</p>					

DRAWING DATE:
8/21/2024



