

HARVEST VALLEY COURT P.U.D.
FINAL PLAT AMENDMENT
43 NORTH 300 EAST
CITY COUNCIL MEETING
MARCH 20, 2025

Summary: Cory Waddoups of Unreasonable Capital Hyrum is seeking City Council approval for the amendment of a final plat for a Planned Unit Development for a 55+ senior community.

ZONING: R-2 Residential (P.U.D.)

UTILITIES:

Power:	Developer to provide
Culinary:	Developer to provide
Sewer:	Developer to provide
Irrigation:	Developer to provide

Notes:

The developer in coordination with the City is seeking to amend the plat to adjust the east boundary of the plat to reflect the accepted city right of way. The significant changes to this include shifting away from the east boundary to meet the 10-foot setback.

- The applicant has prepared an exhibit showing the changes to lot lines to provide more open area.
- Lot lines and building envelopes for Lots 24-28 have been adjusted to make the lines and building areas consistent with each other.
- The property boundaries for Lots 23 and 24 have been adjusted to exclude the sidewalk along 260 East.
- Lot lines have been reduced to the building envelope to put more land in open area.
- A new landscape exhibit has been provided

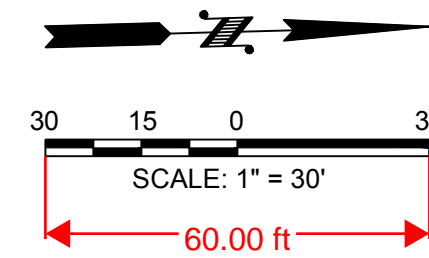
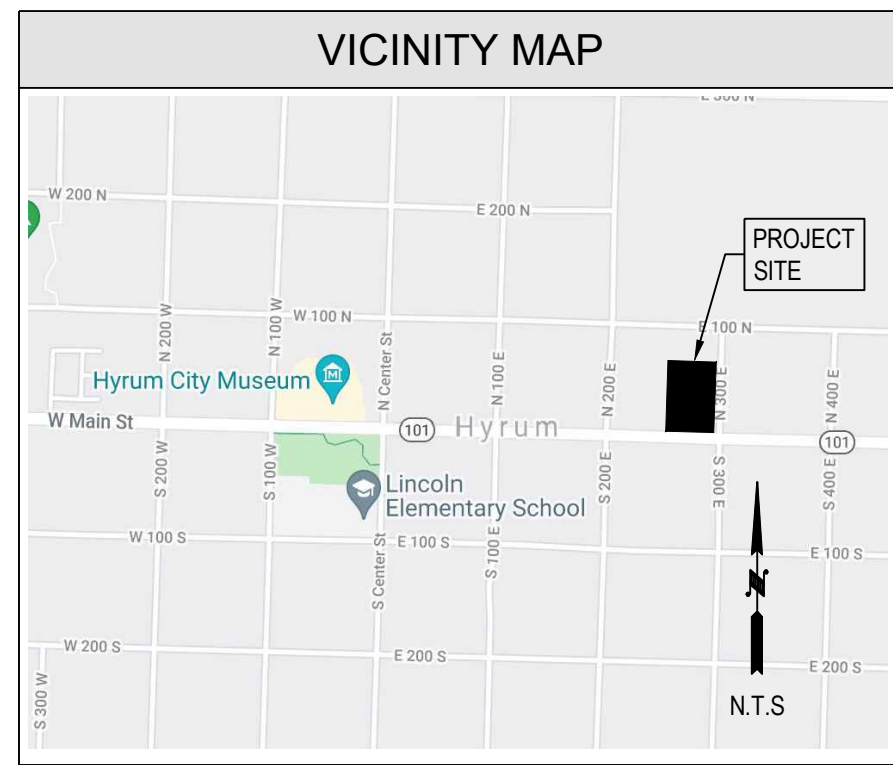
Electrical component delays are estimated to be 2.5 years. If this development needs any upgrades to the existing services, coordination with the Hyrum City Power Department should be started immediately.

Harvest Valley Court

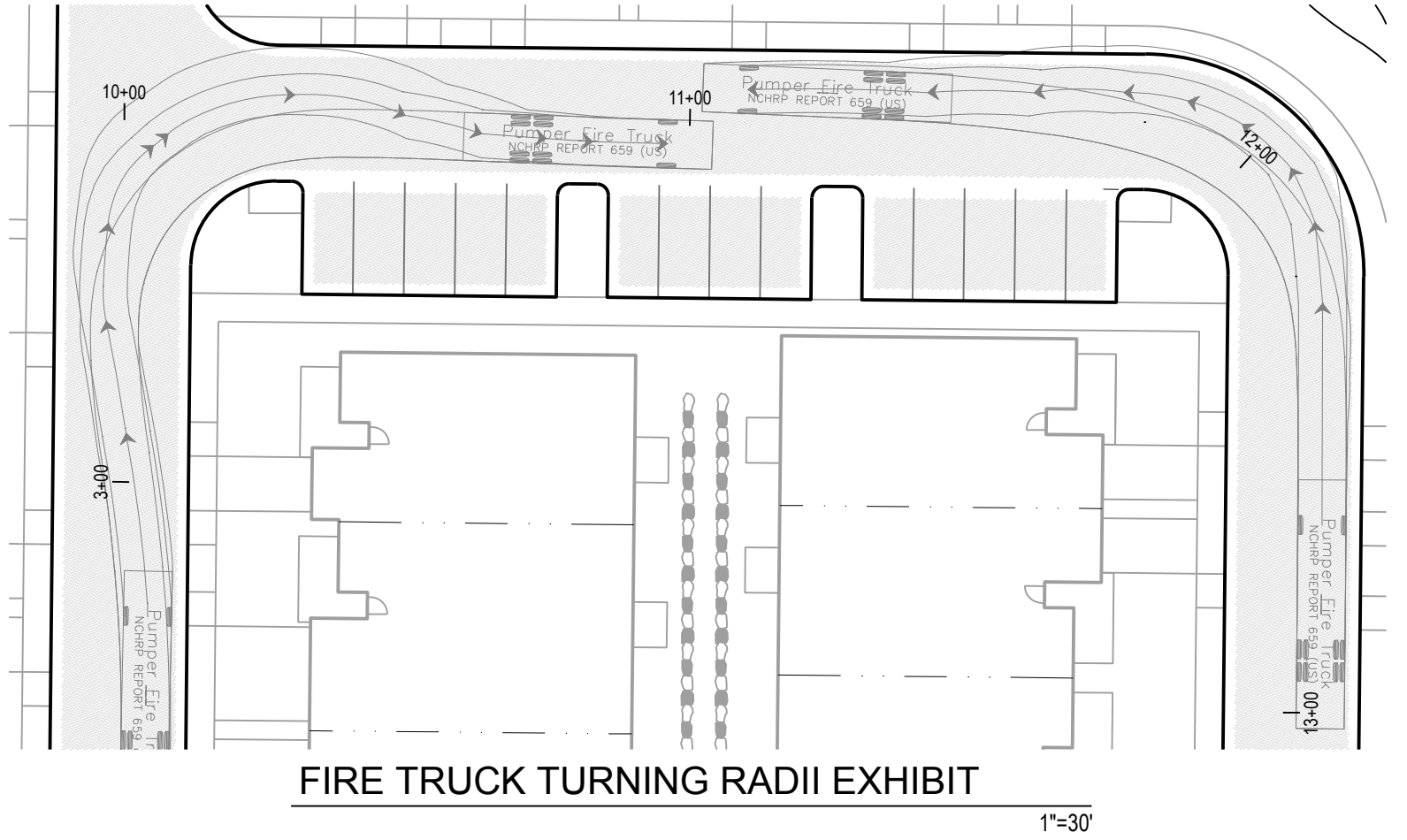
Planned Unit Development - Permit Set

Parcel #01-009-0001

**CALCULATION METHOD 3
(PROPOSED FIXES)**



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY. CONTRACTOR AND DEVELOPER ARE TO FAMILIARIZE THEMSELVES WITH THE STANDARDS.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTORS RISK AND EXPENSE IF ERRORS OCCUR.
 - CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC AND PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
 - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
 - CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
 - CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTORS EXPENSE.
 - DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
 - DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCE AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
 - THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTIONAL CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABATEMENT, COMPACTION, ETC. THIS MAY BE COORDINATED WITH HYRUM WATER DEPARTMENT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WATER, WASTE SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
 - ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THAT AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
 - THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC TO CONSTRUCT VERTICAL AND HORIZONTAL BENDS IN PIPE AS NEEDED TO MEET THE REQUIRED GRADES, ALIGNMENTS AND COVER REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING. NOTICE MUST BE GIVEN TO CITY 48 HOURS PRIOR TO INSPECTION.
 - ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
 - ONE MYLAR AND ONE PAPER SET OF AS-BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS. A DIGITAL COPY OF THE DRAWINGS WILL ALSO BE REQUIRED FOR GIS LINEWORK. AS BUILT PLANS WILL BE REQUIRED TO BE SUBMITTED TO THE CITY BEFORE WARRANTY BONDS SHALL BE RELEASED.



OPEN SPACE STATEMENT

HOA (HOME OWNERS ASSOCIATION) SHALL RETAIN AND MAINTAIN THE FOLLOWING:

- ALL ROADWAY, CURBING, SIDEWALK AND LANDSCAPING WITHIN THE PROPERTY BOUNDARY
- YARD LAMPPOSTS
- SEWER SERVICE LATERALS
- WATER SERVICE LINES
- ALL STORM DRAINAGE PIPING, STRUCTURES AND FACILITIES
- OPEN SPACE FACILITIES, FURNITURE AND STRUCTURES
- PARK STRIP AND LANDSCAPING ALONG PUBLIC ROADS.

DEVELOPER SHALL BEAR THE BURDEN OF INSTALLATION OF ALL UTILITIES AND THE CITY OF HYRUM WILL MAINTAIN THE FOLLOWING UTILITIES FOLLOWING ACCEPTANCE OF CONSTRUCTION:

- ALL ROADWAY, CURBING, SIDEWALK, CITY OPERATED POWER AND STREET LIGHTS WITHIN THE PUBLIC RIGHT-OF-WAY
- SEWER MANHOLES AND MAIN PIPING
- WATER MAIN AND FIRE HYDRANTS

LEGEND

---	EX PROPERTY BOUNDARY
- - - -	EX RIGHT-OF-WAY
- - - - -	EX CENTERLINE
XXXXXX	EX ASPHALT
-----	EX CONCRETE
-----	EX DITCH
X X X X X	EX WIRE FENCE
-----	ASPHALT PAVEMENT
-----	GRAVEL
-----	BUILDING SETBACK
-----	CURB AND GUTTER
-----	WOOD FENCE
-----	CHAIN LINK FENCE
-----	ROCKERY

SITE DATA

PARCEL NUMBER:	01-009-0001
SITE ADDRESS:	43 N 300 E HYRUM CITY, UT 84319
SITE AREA:	162,198 SF (3.72 AC)
OPEN SPACE:	75,051 SF (1.72 AC)(46%)
ZONING:	R-2, RESIDENTIAL, MULTI-FAMILY

PROJECT INFO

APPLICANT/CLIENT/OWNER: IRVA DEVELOPMENT 411 WEST 7200 SOUTH, SUITE 200 MIDVALE, UT 84047 TEL: 801-231-8277	ENGINEER: BEYLER CONSULTING 5920 100TH ST SW, STE 25 LAKEWOOD, WA 98499 CONTACT: LANDON BEYLER, P.E. TEL: 253-984-2900
SURVEYOR: GARDNER ENGINEERING 5150 SOUTH 375 EAST OGDEN UT CONTACT: KLINT H. WHITNEY P.L.S. TEL: 801-476-0202	

UTILITIES

WATER:	HYRUM CITY CULINARY WATER AUTHORITY
SEWER:	GRAVITY HYRUM CITY SEWER AUTHORITY
POWER:	HYRUM CITY POWER
GAS:	DOMINION ENERGY

LEGAL DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN

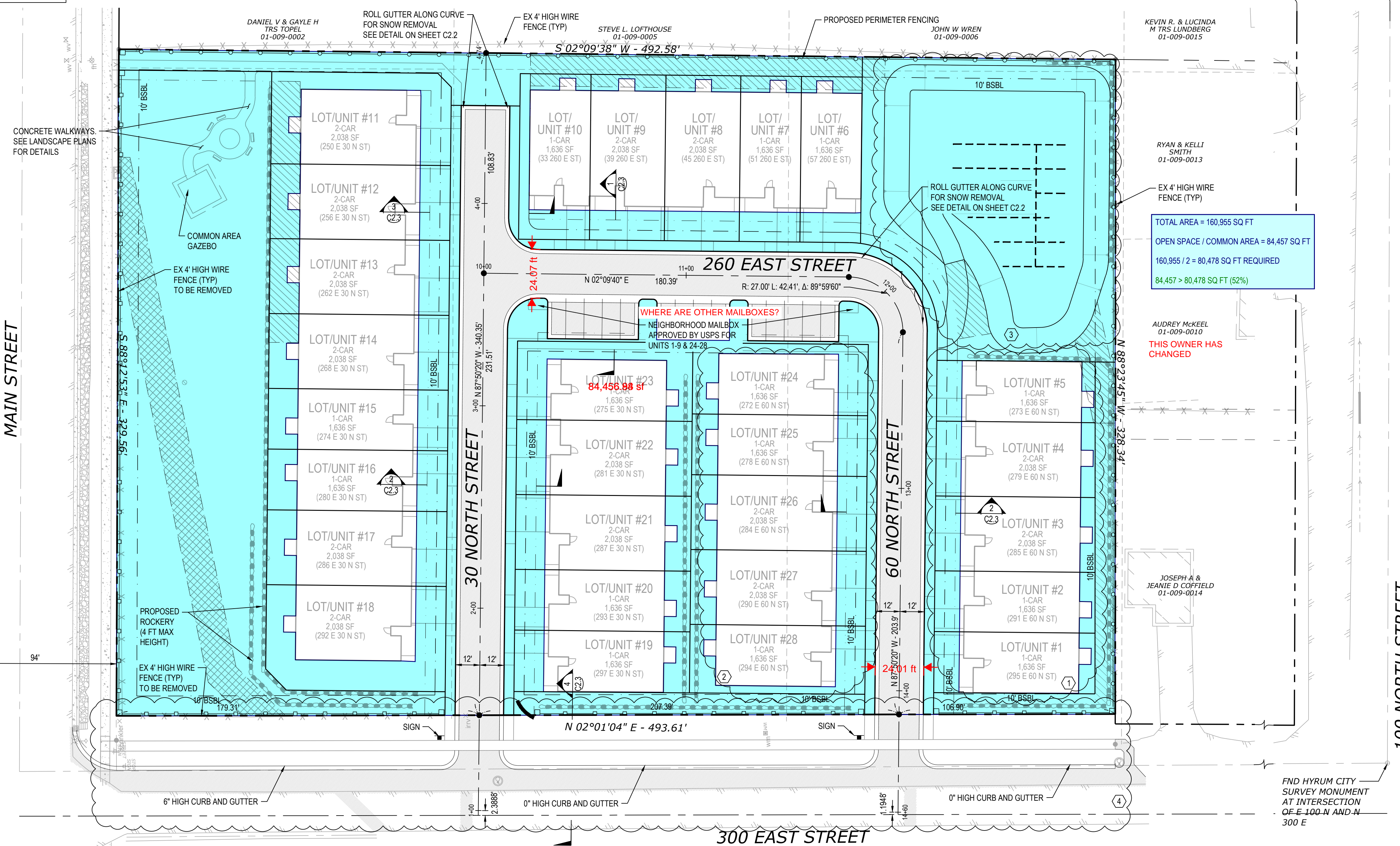
SHEET INDEX

C1.0	COVER SHEET / SITE PLAN
C1.1	LOT, TRACT AND EASEMENT PLAN
C1.2	SWPPP / T.E.S.C. PLAN
C1.3	T.E.S.C. DETAILS AND NOTES
C2.0	GRADING AND STORM DRAINAGE PLAN
C2.1	STORMWATER MANAGEMENT DETAILS
C2.2	SITE DETAILS
C2.3	ROADWAY PROFILES AND SECTIONS
C3.0	UTILITY PLAN
C3.1	SEWER DETAILS
C3.2	WATER DETAILS

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAN AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER _____ DATE _____



TOTAL AREA = 160,955 SQ FT
OPEN SPACE / COMMON AREA = 84,457 SQ FT
160,955 / 2 = 80,478 SQ FT REQUIRED
84,457 > 80,478 SQ FT (52%)

THIS OWNER HAS CHANGED

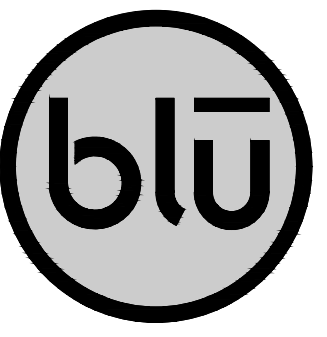
BEYLER CONSULTING
Plan. Design. Manage
CIVIL & STRUCTURAL ENGINEERING | LAND SURVEYING
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT
5920 100th St SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

UTAH
Professional Engineer
Landon C. Beyler
No. 459075
STATE OF UTAH

COVER SHEET / SITE PLAN
Harvest Valley Court
Planned Unit Development - Permit Set

DATE: 1/8/2025
SCALE: HORIZ: 1" = 30' VERT: 1" = 10'
CHECKED: LCB
DRAWN: LPL, EJM, LCB
DESIGNED: LPL

JOB NUMBER
22.00188
SHEET
C1.0



blu line designs
planning | landscape architecture | design

8719 S. Sandy Parkway
Sandy, UT 84070
p 801.679.3157

CLIENT
Affinity Construction

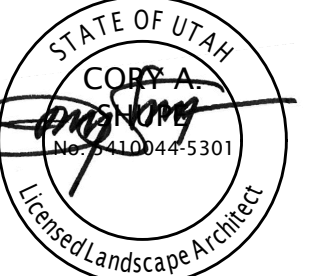
CONTACT:
Corbin England
p 801.684.1087

HARVEST VALLEY COURT
A SENIOR LIVING COMMUNITY
HYRUM, UT

REVISIONS

NO.	DATE	DESCRIPTION
1		INITIAL BASED PLANTER BOXES TO ACCURATE PLANT CHANGES

Stamp



10/27/2023

Designed By: CS
Drawn By: TJ
Date: 10/27/2023
Checked By: CS
Project No: 23-162

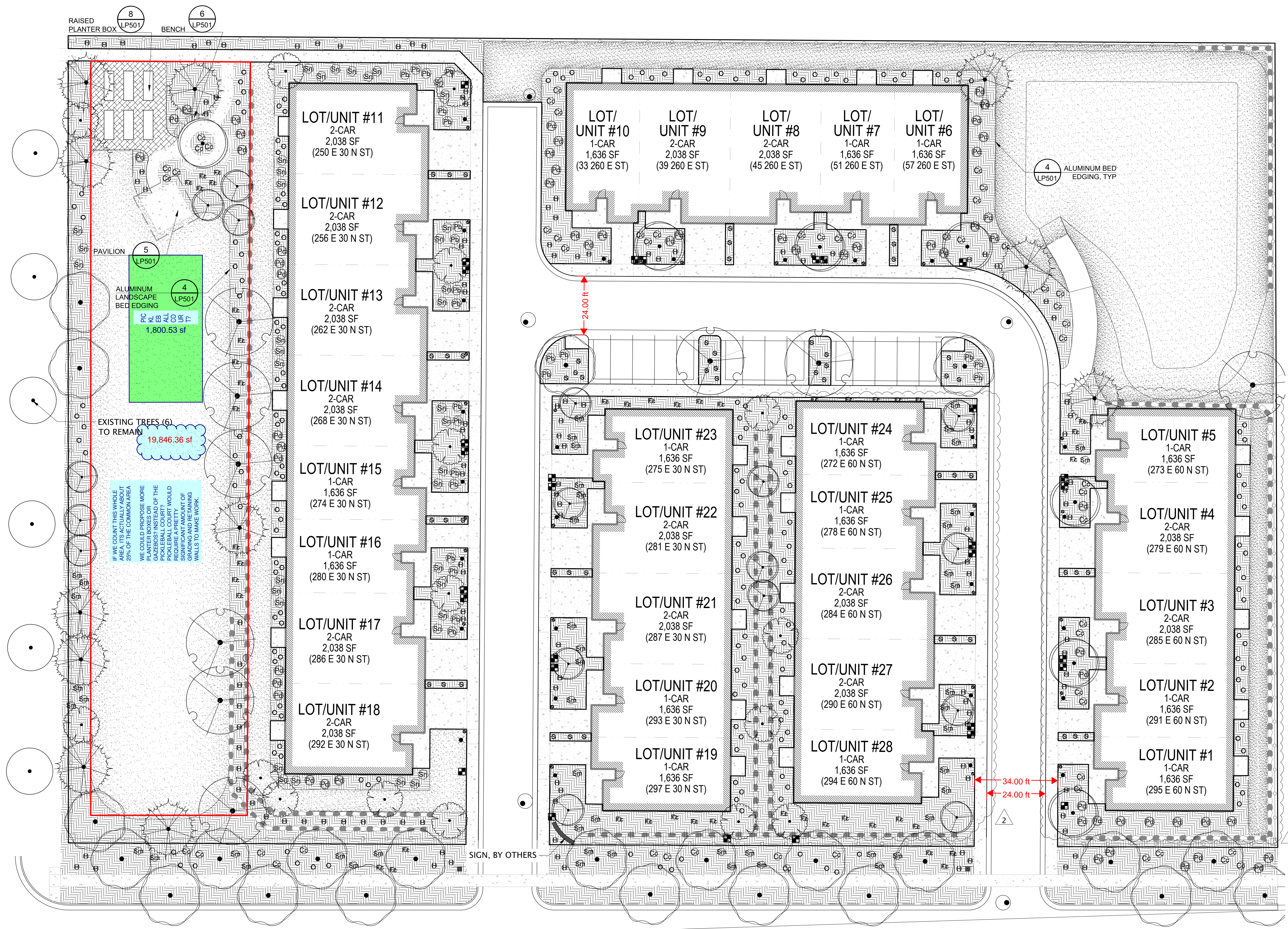
Drawing Title

LANDSCAPE PLAN

Drawing number

LP100

PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
TREES	
	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE
	ACER TRUNCATUM X PLATANOIDES 'JFS-KW202' / CRIMSON SUNSET*
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BR
	CRATAEGUS X MORDENENSIS 'TOBA' / TOBA HAWTHORN
	PINUS NIGRA / AUSTRIAN PINE
	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE JAPANESE ZELKOVA
SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
	CARYOPTERIS X CLANDONENSIS / BLUEBEARD
	FORSYTHIA X 'COURTASOL' / GOLD TIDE* FORSYTHIA
	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' / LITTLE DEVIL™ DWARF N
	PRUNUS BESSEYI / SAND CHERRY
	SALVIA YANGII / RUSSIAN SAGE
	SPIRAEA X BUMALDA 'GOLDMOUND' / GOLD MOUND SPIREA
ORNAMENTAL GRASSES	
	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' / AVALANCHE FEATH
	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / SAPPHIRE BLUE OAT G
	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVA
GROUND COVERS	
	TURF SOD BIOBLUE / BIOGRASS
GROUND SURFACE	
	DECOMPOSED GRANITE - GRAY / CONTRACTOR PROVIDE SAMPLES FC
	LANDSCAPE BARK MULCH / INSTALL OVER DEWITT PRO'S WEED BARR
ALUMINUM LANDSCAPE BED EDGER SHALL BE USED BETWEEN BED EDGES AND TURF SEE LP501 FOR PLANTING AND STAKING DETAILS	



WE CAN'T STRESS ENOUGH HOW IMPORTANT IT IS TO ACTUALLY VISIT THE AREA. WE WOULD PROPOSE MORE PLANTER BOXES OR GAZEBOS? INSTEAD OF THE PICKLEBALL COURT, WHICH WOULD REQUIRE A PRETTY SIGNIFICANT AMOUNT OF GRADING AND RETAINING WALLS TO MAKE WORK.

EXISTING TREES (6) TO REMAIN
19,846.36 sf

ALUMINUM LANDSCAPE BED EDGING LP501
1,800.53 sf

8 LP501
6 LP501

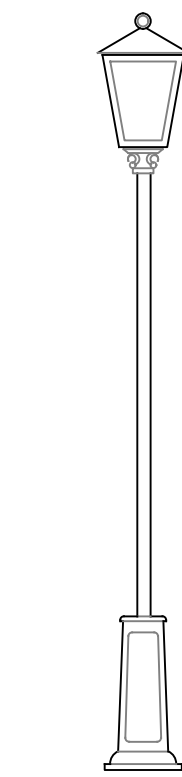
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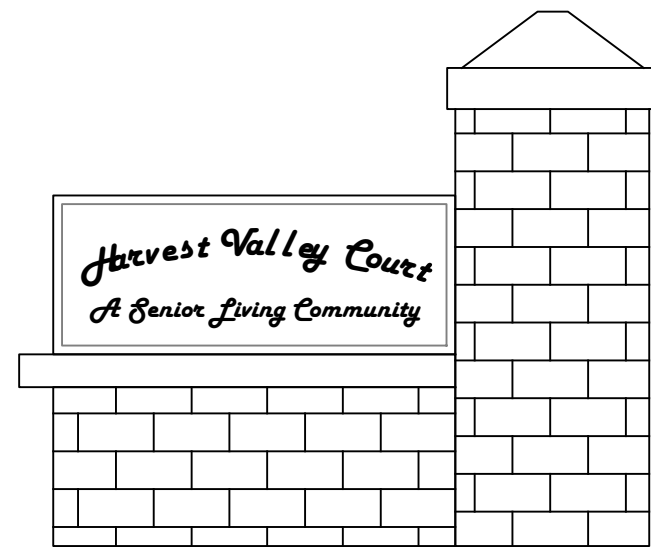
CONSTRUCTION DOCUMENTS

GENERAL LANDSCAPE NOTES

- DO NOT DIG BEFORE LOCATION EXISTING UTILITIES.
- SUBGRADES, INCLUDING BERMS, TO WITHIN 0.1 FT. PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- FOR ALL NEWLY LANDSCAPED AREAS, INCLUDING SINGLE FAMILY RESIDENCES, ORGANIC MATTER SHALL BE INCORPORATED TO A DEPTH OF AT LEAST 4" AROUND EACH REPLACEMENT TREE.
- APPLY 6" DEPTH (TYP) 3-WAY MIX TOPSOIL AROUND EACH REPLACEMENT TREE.
- APPLY 2" DEPTH MEDIUM/COARSE GRADE BARK MULCH IN A 36" DIAMETER RING AROUND EACH REPLACEMENT TREE. MULCH TO BE FREE OF WEED SEED, SAWDUST, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT MAY ADJUST PLANT QUANTITIES OR VARIETIES BASED ON AVAILABILITY OR ADVERSE FIELD CONDITIONS.
- ALL PLANT MATERIAL SHALL BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- ALL TREE MATERIAL AT TIME OF PLANTING SHALL BE OF A SUFFICIENT SIZE TO MEET THE MINIMUM HEIGHT AND CALIPER REQUIREMENTS FOR REPLACEMENT TREES.
- ALL TREE PITS SHALL BE INSPECTED TO INSURE PROPER DRAINAGE. PLANTING IN HEAVY SOILS REQUIRES ADDITIONAL DRAINAGE PROVISION. SEE TREE PLANTING DETAIL.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING REPLACEMENT TREES.
- ALL PLANT MATERIALS SELECTED ARE DROUGHT TOLERANT, THEREFORE, IRRIGATION SHALL BE REQUIRED ONLY UNTIL THE PLANTS ARE FULLY ESTABLISHED BY METHOD OF HAND WATERING.
- CONTRACTOR AGREES TO WARRANTY AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON PAST INSTALLATION AND SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD WITH NO OBLIGATION TO THE OWNER.
- ALL TREES SHALL BE DOUBLE STAKED AS SHOWN ON THE DETAILS. STAKES TO BE REMOVED AFTER ONE FULL GROWING SEASON. TREES THAT HAVE DIED WITHIN THE ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-STAKED PER THE DETAIL. AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.



LAMP POST
NTS



MONUMENT SIGN
NTS

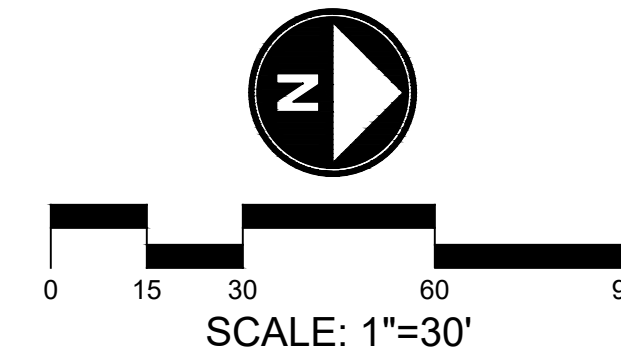


4' TALL 3 SLAT FARM STYLE FENCE
EXAMPLE

ORIGINAL PROPOSED LANDSCAPING PLAN

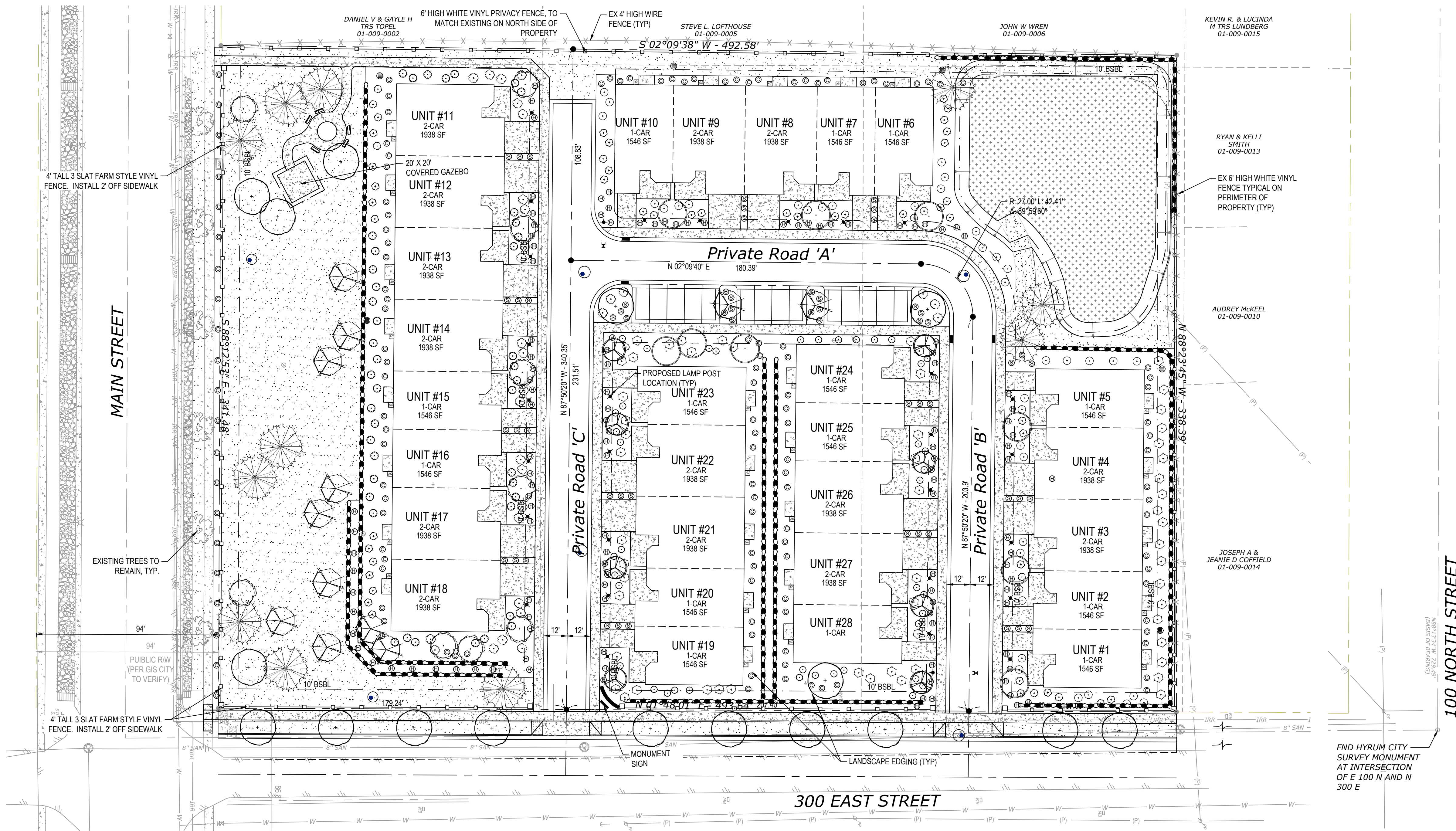


Know what's below.
Call before you dig.
1-800-424-5555



200 EAST STREET

FND HYRUM CITY
SURVEY MONUMENT
AT INTERSECTION
OF E 100 N AND N
200 E



THE DESIGNER:
B. WOLTHUIS

**Harvest Valley Court
A Senior Living Community**
HYRUM, UTAH

- REVISIONS:
- △ _____
 - △ _____
 - △ _____
 - △ _____
 - △ _____

STAMP
**NOT FOR
CONSTRUCTION**

SHEET TITLE:
**Overall
Preliminary
Landscape Plan**

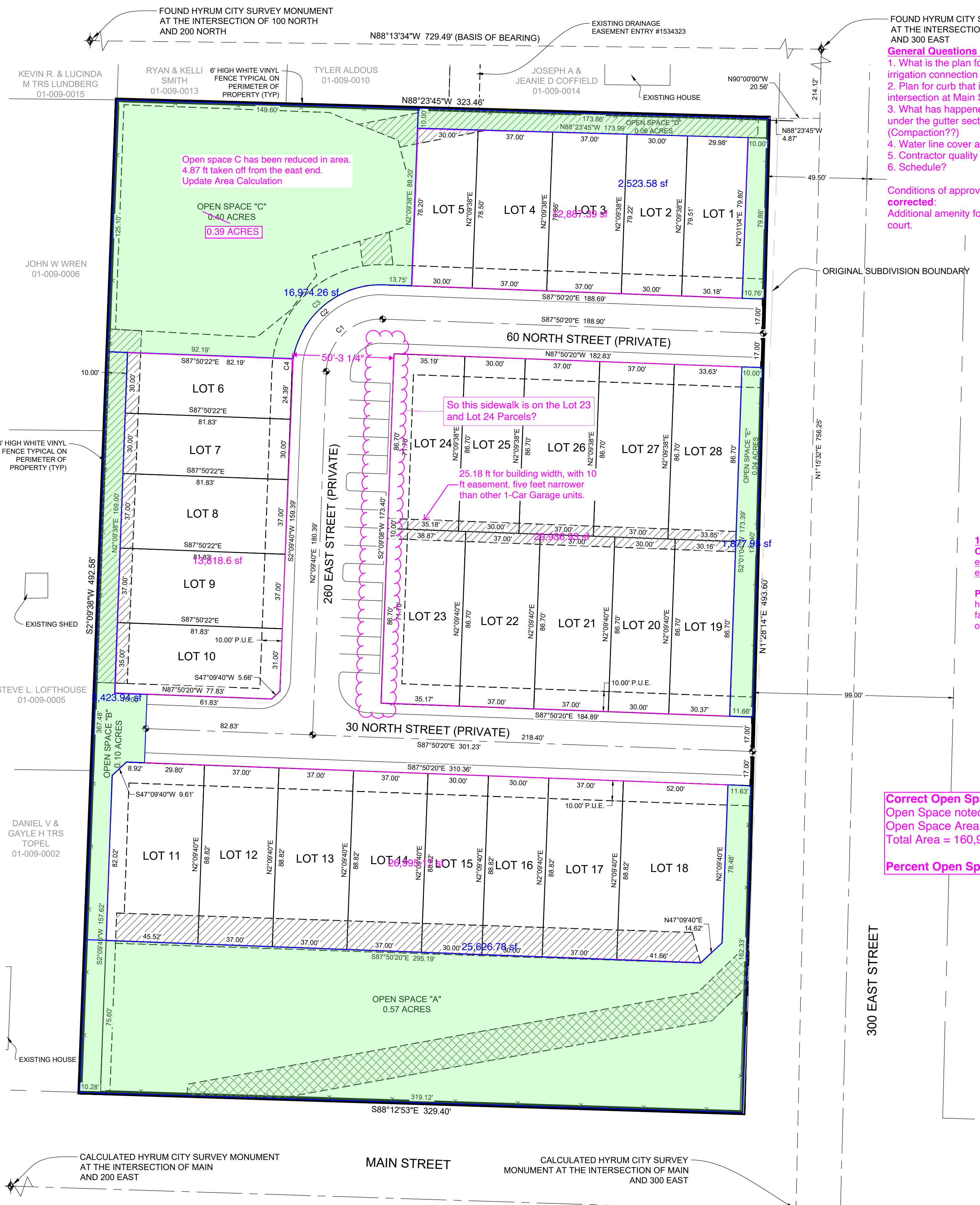
DATE: JULY 29, 2022
DRAWN BY: BW
CHECKED BY: BW
JOB NO.:

SHEET NO.:
L1.0

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

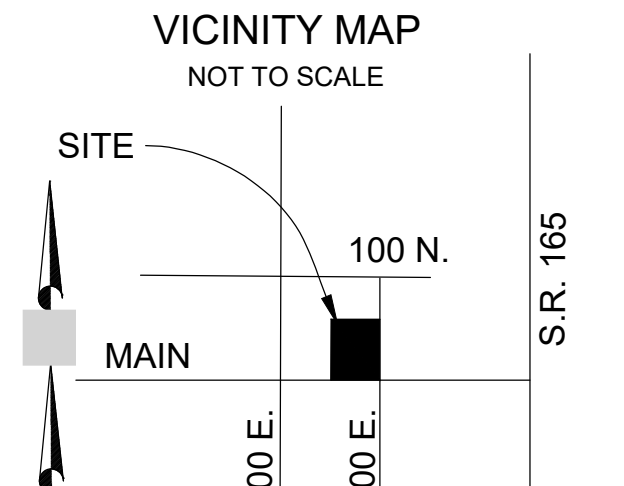
NOTES FROM PREVIOUS COUNCIL REVIEW

A SENIOR LIVING COMMUNITY
LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
SHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH



- General Questions About Development Practice**
1. What is the plan for the manhole extending into the air at the irrigation connection by Main Street?
 2. Plan for curb that is mis-aligned on 300 East and the curb intersection at Main Street?
 3. What has happened with the utility installations - large gaps under the gutter sections, and undermined parallel to gutter. (Compaction??)
 4. Water line cover along west property line?
 5. Contractor quality of work?
 6. Schedule?

Conditions of approval for amended plat after items are corrected:
Additional amenity for reduction in open space. Pickleball court.



Where is the approved Landscape Plan? It is not included with the approved Construction Documents for the project.

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	42.41	27.00	90.00	N47° 09' 40"E	38.18
C2	69.12	44.00	90.00	S47° 09' 40"W	62.23
C3	63.49	44.00	82.67	N50° 49' 26"E	58.12
C4	5.63	44.00	7.33	N5° 49' 26"E	5.62

By Definition of Open Space, Paved Streets are NOT part of open space, unless it can be shown that the street is devoted to recreation. Such as a parking lot for a park.

17.04.070 Definitions
Open Space - "Open Space" means any area of land or water that (1) is not a part of a residential lot, (2) is devoted to environmental preservation, agricultural production, or outdoor recreation and (3) generally lacks buildings or other structures except for structures that are subordinate to and customarily incidental to the use of the open space.

Planned Unit Development (PUD) - "Planned Unit Development" means a development, which permits the clustering of housing units and other creative site development. The council may waive the setback, and individual lot size requirement in favor of "common" open spaces which are part of the development. While more flexible in many respects, PUD's rely strongly on design to convince City officials of their merit.

Scale in Feet
1" = 30'

LEGEND

- HYRUM CITY SURVEY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- STREET CENTERLINE MONUMENTS
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- STREET CENTERLINE
- SURVEY TIE LINE
- PUBLIC UTILITY EASEMENT
- PROPOSED FENCE LINE
- PRIVATE STORM DRAIN EASEMENT
- IRRIGATION EASEMENT
- PUBLIC RIGHT OF WAY

Private Lots are NOT Common Open Space.

Correct Open Space Calculation
Open Space noted as screened area on plat.
Open Space Area = 50,427 Square Feet
Total Area = 160,955
Percent Open Space = 31.3%

NOTE:
EASEMENTS AND DEDICATIONS HAVE NOT CHANGED. USE THE ORIGINAL PLAT OF HARVEST VALLEY COURT P.U.D. FOR ADDITIONAL EASEMENT AND DEDICATION INFORMATION.

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AMEND A PLANNED UNIT DEVELOPMENT SUBDIVISION WITH 28 LOTS/UNITS FOR SENIOR LIVING. THE SURVEY WAS ORDERED BY DAVID MADSEN. THE AMENDMENT IS INTENDED TO CLARIFY DISCREPANCIES OF RIGHT-OF-WAY ALONG 300 EAST AND HONOR THE RIGHT-OF-WAY AS DETERMINED BY FORESIGHT LAND SURVEYING. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING HYRUM CITY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE LINE BETWEEN THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 200 NORTH AND THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 300 EAST WHICH BEARS NORTH 88°13'34" WEST CACHE COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

NOTES

1. ZONING FOR THIS LOT AND SURROUNDING AREA IS R-2
2. THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUND, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK
3. SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 49005C0.90C WITH AN EFFECTIVE DATE OF 5/24/2011.
4. DEVELOPER WILL PLANT TREES PER LANDSCAPE PLAN AND ACCORDING TO HYRUM CITY STANDARDS FOR PLANNED UNIT DEVELOPMENTS.
5. THE PURPOSE OF THIS SUBDIVISION AMENDMENT IS TO ADJUST THE SUBDIVISION BOUNDARY TO FIT THE WEST RIGHT-OF-WAY LINE OF 300 EAST STREET AS DETERMINED BY FORESIGHT LAND SURVEYING.

SITE DATA

1. TOTAL AREA 160,955 SQ. FT. OR 3.695 ACRES.
2. OPEN SPACE / COMMON AREA (INCLUDING PRIVATE STREETS): 77,116 SQ. FT. OR 1.77 ACRES
3. 28 LOTS FOR A TOTAL OF 83,872 SQ. FT. OR 1.925 ACRES
4. PRIVATE STREETS: 19,441 SQ. FT. 0.45 ACRES
5. PARKING: ON STREET PARKING 14 STALLS
GARAGE PARKING 42 STALLS
DRIVEWAY PARKING 42 STALLS
TOTAL PARKING 98 STALLS

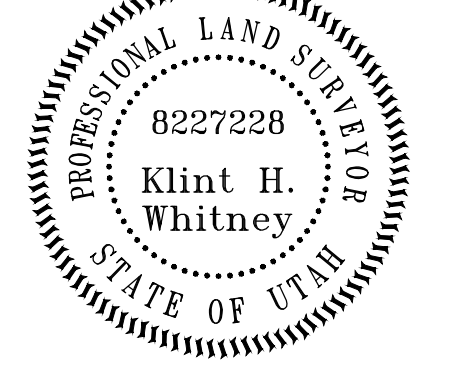
Private Lots and Streets are not included in Open Space. By Definition. See corrected Open Space Calculation.

BOUNDARY DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, CONTAINING 3.72 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.



SIGNED THIS _____ DAY OF _____, 2024.

KLINT H. WHITNEY, PLS NO. 8227228

OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY

I HEREBY STATE THAT I AM THE MANAGER OF UNREASONABLE CAPITAL HYRUM LLC, AND THAT I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT I CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE. WE HEREBY DEDICATE THE REAL PROPERTY DESCRIBED BELOW IN DEDICATION AS EASEMENTS FOR FOLLOWING PURPOSES:

ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC UTILITY EASEMENT IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC UTILITY PURPOSES.
ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC RIGHT OF WAY IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC RIGHT OF WAY AND PUBLIC UTILITY PURPOSES.
THE REAL PROPERTY DESCRIBED HEREON IS DEDICATED AS AN EASEMENT FOR STORMDRAIN AND IRRIGATION PURPOSES IS HEREBY DEDICATED TO HYRUM IRRIGATION COMPANY FOR SAID CONVEYANCE PURPOSES.
ALL LAND SHOWN HEREON AS PRIVATE STREETS AS WELL AS OPEN SPACE B TO ALSO BE DEDICATED TO HYRUM CITY AS PUBLIC UTILITY AND DRAINAGE PURPOSES FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE PURPOSES AS SEEN FIT BY HYRUM CITY;
WE HEREBY DEDICATE THE LAND DESIGNATED AS IRRIGATION EASEMENT TO HYRUM IRRIGATION COMPANY FOR THE INSTALLATION AND MAINTENANCE OF IRRIGATION FACILITIES AND DRAINAGE.

WE HEREBY RETAIN THE PORTIONS NOT LOCATED WITHIN A NUMBERED LOT FOR THE HOMEOWNERS' ASSOCIATION AS COMMON SPACE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT, TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH UNIT OWNER AND TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.

WE HEREBY RETAIN THE PORTION OF LAND DESIGNATED AS PRIVATE STORM DRAIN EASEMENT AND DETENTION POND EASEMENT TO BE USED BY THE HOMEOWNERS' ASSOCIATION FOR THE INSTALLATION AND MAINTENANCE OF STORM DRAIN FACILITIES, DRAINAGE AND THE MAINTENANCE AND REPAIRS FOR WALLS, DITCHES OR BERMS USED FOR GRADING AND DRAINING PURPOSES.

SIGNED THIS _____ DAY OF _____, 2024.

UNREASONABLE CAPITAL HYRUM, LLC

BY: CORY WADDOUPS, MANAGER

ACKNOWLEDGEMENT

STATE OF UTAH)
)
COUNTY OF WEBER)

On this _____ day of _____, 2024, personally appeared before me CORY WADDOUPS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGER of UNREASONABLE CAPITAL HYRUM, LLC, and that said document was signed by him/her in behalf of said corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said CORY WADDOUPS acknowledged to me that said corporation executed the same.

SIGNATURE _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

COMMISSION NUMBER - EXPIRES _____

(SEAL)

HYRUM CITY ENGINEER
I HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.
SIGNED THIS _____ DAY OF _____, 2024.
CITY ENGINEER _____

HYRUM CITY COUNCIL ACCEPTANCE
THIS PLAT WAS RECOMMENDED FOR APPROVAL BY THE HYRUM CITY COUNCIL ON THE _____ DAY OF _____, 2024 DATED THIS _____ DAY OF _____, 2024.
MAYOR, HYRUM CITY _____
ATTEST: _____
CITY RECORDER _____

HYRUM CITY PLANNING COMMISSION
THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE HYRUM CITY PLANNING COMMISSION.
SIGNED THIS _____ DAY OF _____, 2024.
CHAIRMAN, HYRUM CITY PLANNING COMMISSION _____

HYRUM CITY UTILITY APPROVAL
SANITARY SEWER _____ DATE _____
CULINARY WATER _____ DATE _____
HYRUM CITY POWER _____ DATE _____
UTILITY COMPANY APPROVALS
DOMINION ENERGY _____ DATE _____

DEVELOPER: CORY WADDOUPS 411 WEST 7200 SOUTH STE 201 MIDVALE UTAH, 84047	S1 2	COUNTY RECORDER
		ENTRY NO. _____ FEE PAID _____ FILED FOR AND RECORDED _____ AT _____ IN BOOK _____ OF OFFICIAL _____ RECORDS, PAGE _____ RECORDED _____ FOR _____ COUNTY RECORDER _____ BY: _____
CIVIL - LAND PLANNING MUNICIPAL - LAND SURVEYING 5150 SOUTH 375 EAST OGDEN, UT OFFICE: 801.476.0202 FAX: 801.476.0066		

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

A SENIOR LIVING COMMUNITY
LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH

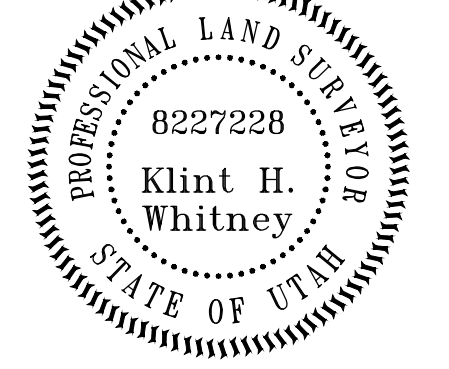
86087-5,823=80264 sf
161565/2=80782.5
80264k<80782k reduces the development
below the minimum 50 percent landscaped

BOUNDARY DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, CONTAINING 3.72 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREINAFTER TO BE KNOWN AS HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY IN ACCORDANCE WITH SECTION 17-25-17 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.



SIGNED THIS _____ DAY OF _____, 2024.

OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY

I HEREBY STATE THAT I AM THE MANAGER OF UNREASONABLE CAPITAL HYRUM LLC, AND THAT I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT I CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE. WE HEREBY DEDICATE THE REAL PROPERTY DESCRIBED BELOW IN DEDICATED AS EASEMENTS FOR FOLLOWING PURPOSES:
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WE HEREBY DEDICATE THE LAND DESIGNATED AS IRRIGATION EASEMENT TO HYRUM IRRIGATION COMPANY FOR THE INSTALLATION AND MAINTENANCE OF IRRIGATION FACILITIES AND DRAINAGE.
WE HEREBY RETAIN THE PORTIONS INDICATED AS "PRIVATE STREETS," AS SHOWN HEREON FOR PRIVATE USE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT.
WE HEREBY RETAIN THE PORTIONS NOT LOCATED WITHIN A NUMBERED LOT FOR THE HOMEOWNERS' ASSOCIATION AS COMMON SPACE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT, TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH UNIT OWNER AND TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
WE HEREBY RETAIN THE PORTION OF LAND DESIGNATED AS PRIVATE STORM DRAIN EASEMENT AND DETENTION POND EASEMENT TO BE USED BY THE HOMEOWNERS' ASSOCIATION FOR THE INSTALLATION AND MAINTENANCE OF STORM DRAIN FACILITIES, DRAINAGE AND THE MAINTENANCE AND REPAIRS FOR WALLS, DITCHES OR BERMS USED FOR GRADING AND DRAINING PURPOSES.

SIGNED THIS _____ DAY OF _____, 2024.

UNREASONABLE CAPITAL HYRUM, LLC

BY: CORY WADDOUPS, MANAGER

ACKNOWLEDGEMENT

STATE OF UTAH)
) S
COUNTY OF WEBER)
On this _____ day of _____, 2024, personally appeared before me CORY WADDOUPS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGER OF UNREASONABLE CAPITAL HYRUM, LLC, and that said document was signed by him/her in behalf of said corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said CORY WADDOUPS acknowledged to me that said corporation executed the same.

SIGNATURE _____
A NOTARY PUBLIC COMMISSIONED IN UTAH _____
COMMISSION NUMBER - EXPIRES _____ (SEAL)

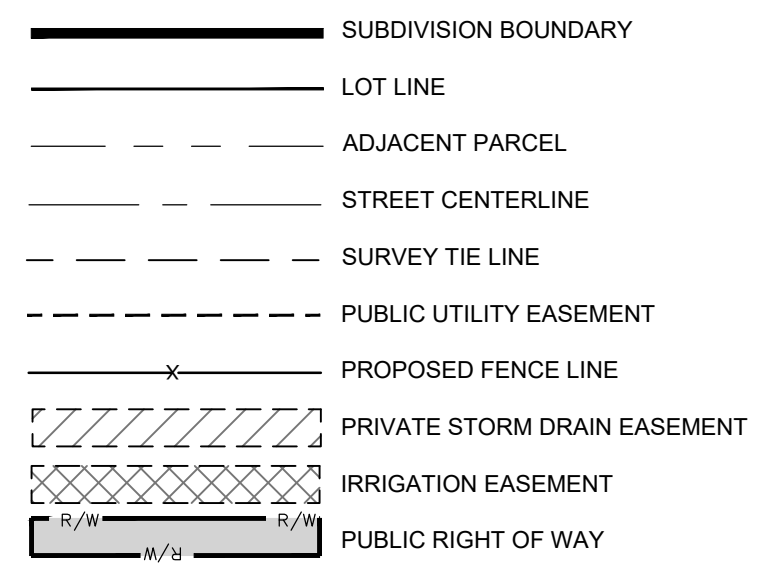
CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	42.41	27.00	90.00	N47° 09' 40"E	38.18
C2	69.12	44.00	90.00	S47° 09' 40"W	62.23
C3	63.49	44.00	82.67	N50° 49' 26"E	58.12
C4	5.63	44.00	7.33	N5° 49' 26"E	5.62

- 17.60 Planned Unit Development
 - 17.60.070 Commission Requirements and Recommendations
 - K. PUD's with multi-family units to follow Multi-family Housing Design Standards requirements of HCC 17.30.070, (Ord. 13-02; Ord. 13-04)
 - 17.30.070 Duplexes, Triplexes, Fourplexes/All Multi-Family Housing
 - E. 3. Landscaping
- 17.60 Landscaping
- a. A landscape plan is required to be approved with the project site plan.
 - b. A minimum of 50% of the lot must be open and landscaped.
 - c. A minimum of 10% of the lot shall be provided as a children's playground, such as a sandbox, open grass area, etc.
 - d. All areas in the front, side, and rear yards that are not developed shall be landscaped, unless a unique natural vegetation or wetlands area is included, subject to approval.
 - e. A minimum landscaped street buffer area shall be provided at a width of 30 feet.
 - f. Landscaping shall be planted per 1,000 sq. ft. of required landscaped area. At least 30% shall be evergreens.
 - g. A minimum of 1 tree shall be planted per 1,000 sq. ft. of required landscaped area. At least 30% shall be evergreens.
 - h. Landscaping shall include a mix of deciduous and evergreen trees, ground cover, and shrubs.
 - i. Minimum plant sizes shall be as follows:
 - (1) Deciduous trees, 2 inch caliper
 - (2) Evergreen trees, 7 feet in height
 - (3) Shrubs, 5 gallon container
 - (4) Grass or ground cover, 100 foot square area
 - (5) Existing trees, native vegetation and rare plants shall be retained wherever possible.
 - j. Maximum height of berms, fences, signs or ground cover within a clear vision sight triangle is 3 feet.
 - k. Maintenance and replacement of required landscaping and screening shall be the responsibility of the property owner.

- 17. Zoning
- 17.04.030 Scope
- A. This title applies within the corporate boundaries of the City as they presently exist or as they may be amended by the City Council.
- B. This title shall be regarded as the minimum requirements for the purpose herein stated and shall not nullify the more restrictive provisions of covenants, conditions, agreements, or other ordinances or laws.
- C. Any use or occupation of land previously approved as of the effective date of the ordinance codified in this title shall be permitted to continue as a lawful use or exception. However, any proposed changes to a previously approved site plan, use or occupation of land shall be done in compliance with the conditions and requirements of this title.
- D. No building, structure or land may hereafter be used or occupied, and no building or structure or part thereof may hereafter be erected, constructed, moved or altered except in conformity with all the regulations applicable to the zone in which it is located.
- E. No part or lot area, open space, off-street parking area or yard required in connection with any building for the purpose of complying with this title may be included as part of a lot area, open space, open space, off-street parking area or yard primarily required for any other building or use.
- F. Property owned by the state or the United States shall not be subject to the regulations of this title.

This is NOT contradictory with f. above. In the 3. Landscaping f. the statement is saying that an area cannot be counted twice. If it is required on a Lot for one building, it cannot be counted as lot area, open space, off-street parking area or yard for another building or use. Therefore, if the area is included in a Lot for one building, it cannot be counted as open space for the overall development. I do not see a contradiction, or discrepancy in the Ordinance.



NOTE:

EASEMENTS AND DEDICATIONS HAVE NOT CHANGED. USE THE ORIGINAL PLAT OF HARVEST VALLEY COURT P.U.D. FOR ADDITIONAL EASEMENT AND DEDICATION INFORMATION.

NARRATIVE

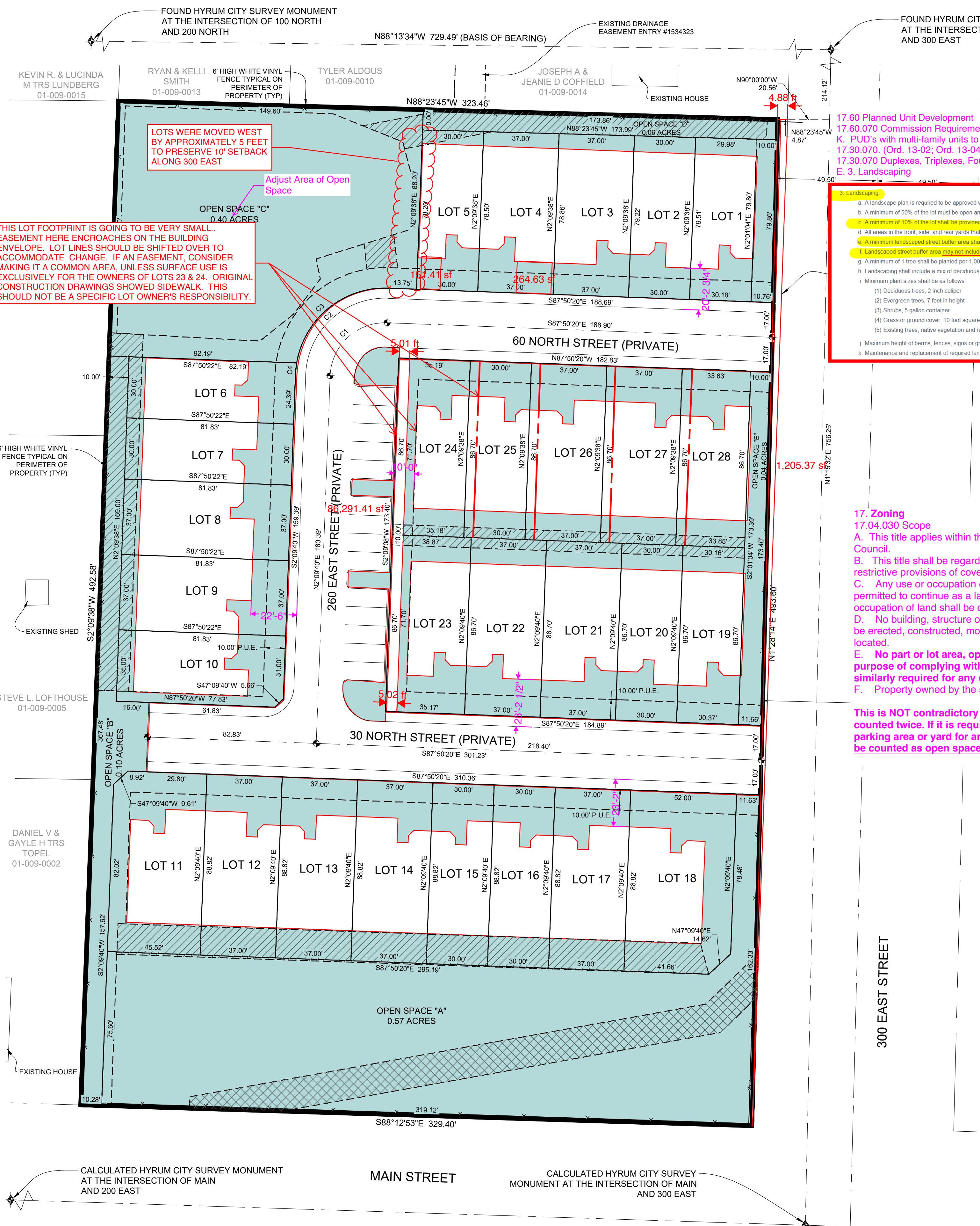
THE PURPOSE OF THIS SURVEY WAS TO AMEND A PLANNED UNIT DEVELOPMENT SUBDIVISION WITH 28 LOTS/UNITS FOR SENIOR LIVING. THE SURVEY WAS ORDERED BY DAVID MADSEN. THE AMENDMENT IS INTENDED TO CLARIFY DISCREPANCIES OF RIGHT-OF-WAY ALONG 300 EAST AND HONOR THE RIGHT-OF-WAY AS DETERMINED BY FORESIGHT LAND SURVEYING. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING HYRUM CITY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE LINE BETWEEN THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 200 NORTH AND THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 300 EAST WHICH BEARS NORTH 88°13'34" WEST CACHE COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

NOTES

- ZONING FOR THIS LOT AND SURROUNDING AREA IS R-2
- THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUND, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 49005C0.90C WITH AN EFFECTIVE DATE OF 5/24/2011.
- DEVELOPER WILL PLANT TREES PER LANDSCAPE PLAN AND ACCORDING TO HYRUM CITY STANDARDS FOR PLANNED UNIT DEVELOPMENTS.
- THE PURPOSE OF THIS SUBDIVISION AMENDMENT IS TO ADJUST THE SUBDIVISION BOUNDARY TO FIT THE WEST RIGHT-OF-WAY LINE OF 300 EAST STREET AS DETERMINED BY FORESIGHT LAND SURVEYING.

SITE DATA

- 1. TOTAL AREA 160,955 SQ. FT. OR 3.695 ACRES.
- 2. OPEN SPACE / COMMON AREA (INCLUDING PRIVATE STREETS): 77,116 SQ. FT. OR 1.77 ACRES
- 3. 28 LOTS FOR A TOTAL OF 83,872 SQ. FT. OR 1.925 ACRES
- 4. PRIVATE STREETS: 19,441 SQ. FT. 0.45 ACRES
- 5. PARKING: ON STREET PARKING 14 STALLS
GARAGE PARKING 42 STALLS
DRIVEWAY PARKING 42 STALLS
TOTAL PARKING 98 STALLS



HYRUM CITY ENGINEER
I HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.
SIGNED THIS _____ DAY OF _____, 2024.
CITY ENGINEER _____

HYRUM CITY COUNCIL ACCEPTANCE
THIS PLAT IS RECOMMENDED FOR APPROVAL BY THE HYRUM CITY COUNCIL ON THE _____ DAY OF _____, 2024 DATED THIS _____ DAY OF _____, 2024.
MAYOR, HYRUM CITY _____
ATTEST: _____
CITY RECORDER _____

HYRUM CITY PLANNING COMMISSION
THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE HYRUM CITY PLANNING COMMISSION.
SIGNED THIS _____ DAY OF _____, 2024.
CHAIRMAN, HYRUM CITY PLANNING COMMISSION _____

HYRUM CITY UTILITY APPROVAL
SANITARY SEWER _____ DATE _____
CULINARY WATER _____ DATE _____
HYRUM CITY POWER _____ DATE _____
UTILITY COMPANY APPROVALS _____
DOMINION ENERGY _____ DATE _____

DEVELOPER: CORY WADDOUPS
411 WEST 7200 SOUTH STE 201
MIDVALE UTAH, 84047

S1
2

COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL _____
RECORDS, PAGE _____ RECORDED _____
FOR _____
COUNTY RECORDER _____
BY: _____

GARDNER ENGINEERING
CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066