

**NIELSON SUBDIVISION
PRELIMINARY PLAT
~705 W 1100 SOUTH
CITY COUNCIL MEETING
MARCH 7, 2024**

Summary: Matt Nielson is seeking approval of a preliminary plat for a 17 lot subdivision on approximately 7.85 acres.

ZONING: R-2 Residential (Lot size and frontage by Annexation Agreement)

UTILITIES:

Power:	To be constructed by developer
Culinary:	To be constructed by developer
Sewer:	To be constructed by developer
Irrigation:	Not shown on plans.

PARKING & ROADS:

NOTES:

Ground water investigation has shown that the original plan to provide a deep gravel pocket in the swale will not provide the necessary storage. The preliminary plat revision shows an extended pocket under the sidewalk. Discussions with the developer and their engineer have led to a redesign to provide ponds instead of storage under the sidewalk due to concerns of frost heave.

Culinary and Irrigation mains are to be located in a manner consistent with the existing facilities.

Electrical component delays for equipment not already ordered are estimated to be 2.5 years.

DECLARATION

OF

COVENANTS, CONDITIONS AND

RESTRICTIONS

FOR THE

NIELSEN SUBDIVISION

(a Utah Residential Community)

November 2023

DECLARATION
OF
COVENANTS, CONDITIONS AND RESTRICTIONS
FOR THE
NIELSEN SUBDIVISION

This Declaration of Covenants, Conditions and Restrictions for the Nielsen Subdivision (“Declaration”) is made and executed by Canson, LLC, a Utah limited liability company (“Declarant”), the Owner of the property described in the attached Exhibit “A.”

RECITALS:

A. **Name of Project and Description of Land.** The subdivision that is the subject of this Declaration shall be known as the Nielsen Subdivision (“Project”), and is situated in and upon that certain real property (“Subject Land”) located in Cache County, State of Utah, as specifically described in Exhibit “A” attached hereto and incorporated herein by this reference. Declarant either has or will record in the office of the County Recorder for Cache County, State of Utah, a plat map for Nielsen Subdivision (“Plat”). There will be seventeen (17) Lots in the Project.

B. **Intent and Purpose.** Declarant, by recording this Declaration, does so for the purpose of: (1) creating a development for the use and enjoyment of the Owners of the Lots; and (2) to impose upon the Subject Land mutually beneficial restrictions under a general plan of improvement for the benefit of all Lots within the Project and the Owners thereof.

DEFINITIONS

- 1.1 **Defined Terms.** Unless the context clearly indicates otherwise, certain terms as used in this Declaration shall have the meanings set forth in this Article I.
- 1.2 **Declarant** shall mean Canson, LLC, a Utah limited liability company, its assigns or its successor in interest that purchases substantially all the Lots from Canson, LLC.
- 1.3 **Dwelling** shall mean and refer to each physically constructed residential dwelling or building containing a single family residence located as an improvement on a Lot.
- 1.4 **Lot** shall mean each individual parcel of real property shown on the Plat as a Lot, together with all improvements located thereon and all appurtenances thereunto appertaining.
- 1.5 **Owner** shall mean any person or entity or combination thereof, including the Declarant, owning fee title to a Lot within the Project as shown on the records of Cache County, State of Utah.

- 1.6 **Period of Administrative Control** shall end seven (7) years from the date of recordation of this Declaration or the date on which Declarant no longer holds fee title to any Lot within the Project, whichever is sooner.
- 1.7 **Plat or Map** shall mean the Plat or Plats for Nielsen Subdivision, as recorded in the office of the County Recorder for Cache County, State of Utah.
- 1.8 **Project** shall mean all Lots collectively within Nielsen Subdivision.
- 1.9 **Subject Land** shall mean the land upon which the Project is situated, as more particularly described in Exhibit "A" attached.

ARTICLE II PROJECT AND IMPROVEMENTS

- 2.1 **Submission to Declaration.** All of the Subject Land is part of the Nielsen Subdivision, and shall be subject to the covenants, conditions, restrictions, easements, uses, limitations, and obligations set forth herein. Further, each and all of the provisions hereof shall be deemed to run with the land and shall be a burden and a benefit to the Lot Owners.
- 2.2 **Description of Improvements.** The Project shall consist of one phase and contain seventeen (17) Lots, as shown on the Plat.

ARTICLE III NATURE AND INCIDENTS OF OWNERSHIP

- 3.1 **Ownership and Maintenance of Lots.** The Lot Owners shall each repair and maintain all portions of their Lot and Dwelling.
- 3.2 **Landscape Installation.** The landscaping located on a Lot must be installed and completed within one year from the date a certificate of occupancy is obtained. Xeriscaping is encouraged.
- 3.3 **Prohibition Against Subdivision of Lot.** No Owner, by deed, plat or otherwise, shall subdivide or in any manner cause his Lot to be subdivided, partitioned or separated into physical tracts or parcels smaller than the whole Lot as shown on the Plat.
- 3.4 **Exclusive Use of Lot.** All Lots and all improvements on a Lot are reserved for the exclusive use of the Owner of that Lot, and such Owner's invitees and guests and such areas shall be maintained and repaired at the expense of the Lot Owner.
- 3.5 **Fences and Walls.** Any fences constructed within the Project shall be six feet (6') tall and shall be composed of white vinyl.

**ARTICLE IV
ARCHITECTURAL RESTRICTIONS**

- 4.1 **Single Family Residence.** All Lots in said Project shall be known and described as residential lots.
- 4.2 **Setback Requirements.** All set back lines, side yards, and back yards shall be in accordance with applicable city ordinances.
- 4.3 **Building Size and Construction.** All Dwellings on the Property shall have a minimum habitable ground floor space of at least 900 hundred (900) square feet on the ground story level, exclusive of porches, decks and garages, if any.
- 4.4 **Exterior Surfaces.** All exterior surfaces of a Dwelling or outbuilding shall be covered with brick, rock, stone, stucco, Hardiboard, or a combination of such materials. During the Period of Administrative Control, Declarant shall have the right to approve other exterior surfaces.

**ARTICLE V
RESTRICTIONS ON USE**

- 5.1 **No Noxious or Offensive Activity.** No noxious or offensive trade or activity and no nuisance shall be carried on upon any Lot nor shall anything be done which may be or may become an annoyance in the neighborhood. No activities shall be conducted, nor improvements constructed, in or upon any part of the Project which are or may become unsafe or hazardous to any person or property.
- 5.2 **Front Yard.** No structure shall be built or constructed in the front yard of any Lot. Furthermore, nothing shall be stored or kept in the front yard of any Lot.
- 5.3 **Construction Period Exemption.** During the course of actual construction of any structures or improvements which are permitted to be located on the Project, the provisions, covenants, conditions, and restrictions contained in this Declaration shall be deemed waived to the extent necessary or convenient to permit such construction; provided, however, that during the course of such construction, nothing shall be done which would result in a violation of any of said provisions, covenants, conditions, or restrictions following completion of such construction.
- 5.4 **Pets.** No pets shall be kept on any lot in violation of any applicable city ordinance.

**ARTICLE VI
COMPLIANCE WITH DECLARATION**

- 6.1 **Compliance.** Each Owner shall comply with the provisions of this Declaration. Failure to comply with any of the same shall be grounds for an action to recover sums due and for damages or injunctive relief or both, maintainable by a Declarant or any aggrieved Owner.

- 6.2 **Enforcement and Remedies.** The obligations, provisions, covenants, restrictions and conditions contained in this Declaration, or in any supplemental or amended Declaration, shall be enforceable by Declarant or by any Owner of a Lot, by a proceeding for a prohibitive or mandatory injunction or by a suit or action to recover damages.

ARTICLE VII DECLARANT'S SALES PROGRAM

- 7.1 **Declarant's Right to Promote and Sell the Project.** Notwithstanding any other provisions of this Declaration, until Declarant ceases to be an Owner (the "Occurrence"), Declarant, its successor or assigns shall have the following rights, in furtherance of any sales, promotional or other activities designed to accomplish or facilitate the sale of Lots owned by Declarant:
- (a) **Sales Offices and Model Lots.** Declarant, its successors and assigns, shall have the right to maintain sales offices, including a trailer, and model homes on Lots. Sales offices may be located on any Lot (at any location) owned by Declarant. Declarant shall have the right to maintain any number of model homes it may desire using the Lots Declarant owns.
 - (b) **Promotional Devices.** Declarant, its successors and assigns, shall have the right to maintain a reasonable number of promotional, advertising and/or directional signs, banners and similar devices at any place or places on the Lots owned by Declarant, but any such devices shall be of sizes and in locations as are reasonable and customary.

ARTICLE VIII GENERAL PROVISIONS

- 8.1 **Intent and Purpose.** The provisions of this Declaration and any supplemental or amended Declaration shall be liberally construed to effectuate the purpose of creating a uniform plan for the development and operation of the Project. Failure to enforce any provision, restriction, covenant, or condition in this Declaration, or in any supplemental or amended Declaration, shall not operate as a waiver of any such provision, restriction, covenant, or condition or of any other provisions, restrictions, covenants, or conditions.
- 8.2 **Construction.** The provisions of this Declaration shall be in addition and supplemental to all applicable provisions of law. The provisions hereof shall be deemed independent and severable and the invalidity or partial invalidity or unenforceability of any one provision or portion thereof shall not affect the validity or enforceability of any other provision hereof.
- 8.3 **Amendment.**
- (a) Except as otherwise provided herein, this Declaration, and any amendments to the Declaration, may be amended with or without a meeting of the Owners by the affirmative consent or vote of at least sixty-seven percent (67%) of the Owners. All necessary written consents must be obtained prior to the expiration of ninety (90)

days from the date the first written consent is obtained. Any amendment so authorized shall be accomplished through the recordation of an instrument executed by at least sixty-seven percent (67%) of the Lot Owners certifying that the vote required by this Article has occurred, which properly approved amendments shall be evidenced by instruments which are duly recorded in the office of the County Recorder for Cache County, State of Utah.

(b) During the Period of Administrative Control, the Declarant shall have and is hereby vested with the right to amend this Declaration and the Plats by an instrument duly executed and acknowledged by Declarant and recorded in the Official Records of the County Recorder of Cache County, Utah. Such right of amendment shall apply without regard to the subject matter or the nature of the amendment involved, and such amendment shall not take away any substantive legal rights of those Owners who own a Lot at the time of such amendment by the Declarant. During any time Declarant holds an ownership interest in any Lot or in any portion of the property, no amendment shall be made to this Declaration without the written consent and approval of the Declarant.

8.4 **Effective Date.** This Declaration and any amendments thereto shall take effect upon recording.

8.5 **Owner’s Obligations.** All obligations of an Owner under and by virtue of the provisions contained in this Declaration shall continue, notwithstanding that he may be leasing, renting, or selling on contract his Lot. The Owner of a Lot shall have no obligation for expenses or other obligations accruing after he conveys title to such Lot.

EXECUTED BY DECLARANT on the date of notarization appearing below:

CANSON, LLC

By _____
Its: Manager

STATE OF UTAH)
 :SS.
COUNTY OF _____)

On this ____ day of _____, 2023, personally appeared before me **Matthew Nielson**, who being by me duly sworn, did say that he is manager of Canson, LLC, and that the within and foregoing instrument was signed in behalf of said limited liability company and he duly acknowledged to me he executed the same.

Notary Public

Exhibit “A”

LEGAL DESCRIPTION NIELSEN SUBDIVISION

BEGINNING 264 FEET WEST OF THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 10 NORTH, RANGE 1 EAST, AND THENCE WEST 396 FEET; THENCE NORTH 20 RODS; THENCE EAST 396 FEET; THENCE SOUTH 20 RODS TO THE POINT OF BEGINNING. CONTAINING 3 ACRES.

Parcel No. 01-071-0008

BEGINNING 40 RODS WEST OF THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 10 NORTH, RANGE 1 EAST; AND THENCE WEST 40 RODS; THENCE NORTH 20 RODS; THENCE EAST 40 RODS; THENCE SOUTH 20 RODS TO THE POINT OF BEGINNING. CONTAINING 5 ACRES.

Parcel No. 01-071-0007

THIS WILL NEED TO CHANGE TO THE NEW LEGAL DESCRIPTION FOR THE SUBDIVISION. THIS CONTAINS LAND OUTSIDE OF THE CURRENT OWNERSHIP.

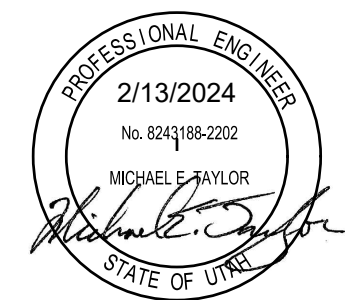
SUNSET FIELDS SUBDIVISION CONSTRUCTION DRAWINGS

2/13/2024



MARK	DATE	DESCRIPTION

PROJECT #: 23-321
DRAWN BY: L. WESTON
PROJECT MANAGER: M. TAYLOR
ISSUED: 2/13/2024



COVER

C001

GENERAL NOTES:

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF HYRUM DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A SURVEY CREW MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "BLUE STAKES" PRIOR TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT WWW.BLUESTAKES.ORG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND HYRUM CITY.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE HYRUM CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF HYRUM.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.

PROJECT CONTACTS:

- DEVELOPER
MATT NIELSON
E: MATTNIELSON@YAHOO.COM
P: 435.757.3070
- CIVIL ENGINEER:
MICHAEL TAYLOR
488 WEST 100 SOUTH
PROVIDENCE, UT 84332
MTAYLOR@CSG.WORK
P: 435.880.4498
- SURVEYOR
KEVIN BALLS
488 WEST 100 SOUTH
PROVIDENCE, UT 84332
KEVIN@CSG.WORK
P: 435.512.4559
- HYRUM CITY ENGINEER
MATTHEW HOLMES
60 WEST MAIN
HYRUM CITY, UT 84319
E: MHOLMES@HYRUMCITY.ORG
P: 435.999.8391
- HYRUM CITY LIGHT AND POWER:
TOM COOPER
P: 801.921.9841
- ROCKY MOUNTAIN POWER:
BUILDER'S HOTLINE
1.800.469.3881
ROCKYMOUNTAINPOWER.NET
- UTAH STORM WATER PERMIT:
UTAH DEPARTMENT OF WATER QUALITY
P.O. BOX 144870
SALT LAKE CITY, UTAH 84114-4870
P: 801.538.6146
<http://www.waterquality.utah.gov/UPDES/stormwater.htm>
- DOMINION ENERGY:
CRISTI FIEDEL
895 WEST 800 NORTH
LOGAN, UT 84321
P: 435.752.7751

STANDARD DRAWINGS & SPECIFICATIONS:

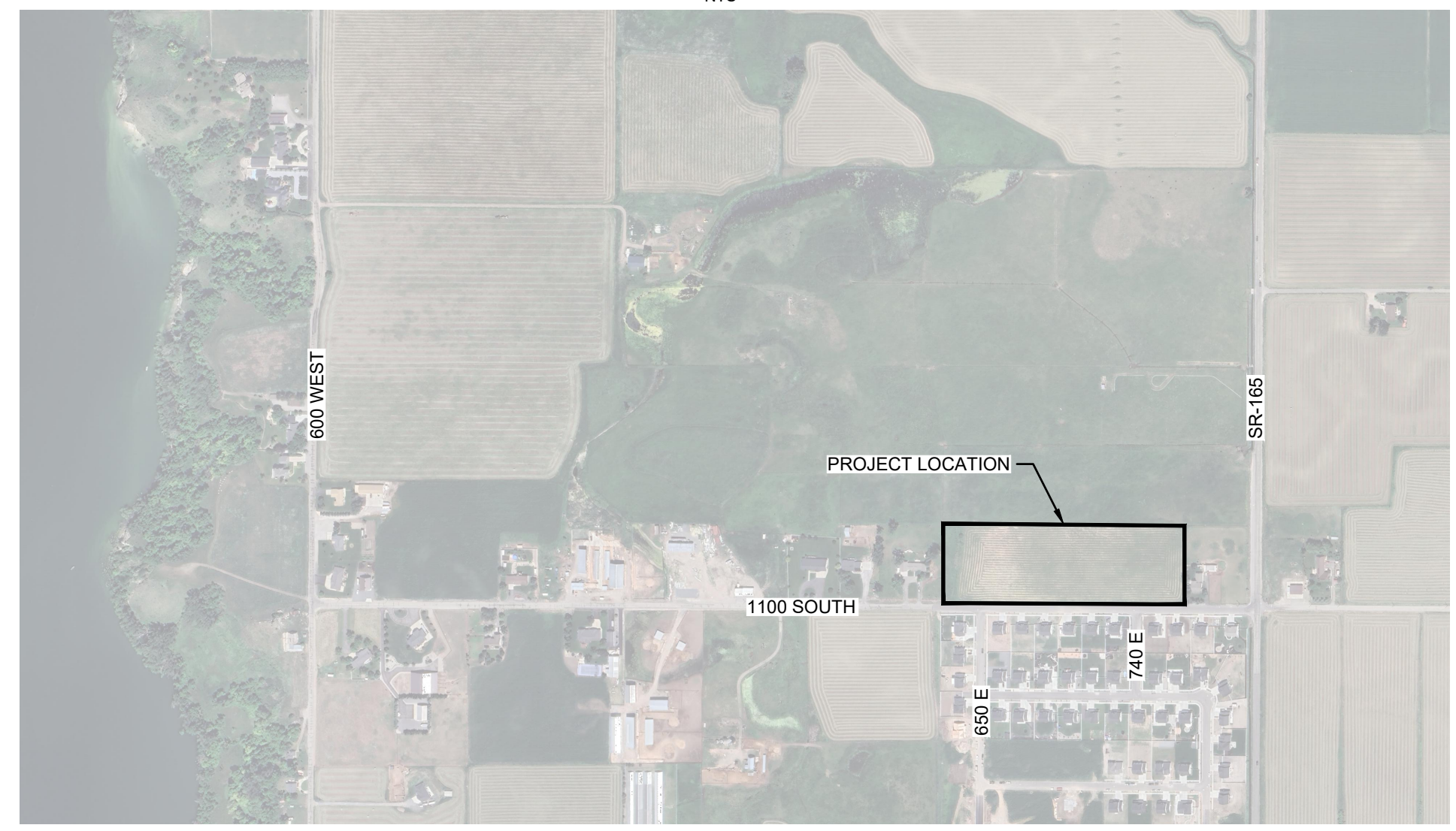
- HYRUM CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- HYRUM CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DRAWINGS.
- STORM WATER SPECIFICATIONS ARE PER THE EPA NATIONAL MENU OF STORMWATER BEST MANAGEMENT PRACTICES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE UTAH DEPARTMENT OF WATER QUALITY STORMWATER MANAGMENT PROGRAM.
- THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.

HYRUM CITY ENGINEERING DEPARTMENT APPROVAL:

THE IMPROVEMENT FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY-APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING, AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCES OF HIS OR HER WORK.

BY: _____ DATE: _____

VICINITY MAP
NTS



Sheet Number	Sheet Title
C001	COVER
C002	LEGEND
C100	DEMOLITION PLAN
C300	GRADING OVERVIEW
C301	STORMWATER CALCS
C400	SHEET OVERVIEW
C401	PLAN & PROFILE
C402	PLAN & PROFILE
C403	PLAN & PROFILE
C404	PLAN & PROFILE
C405	PLAN & PROFILE
C406	PLAN & PROFILE
C501	DETAILS
C502	DETAILS

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.

LEGEND EXISTING

	PROPERTY BOUNDARY
	STORM DRAIN LINE
	WATER LINE
	IRRIGATION LINE
	GAS LINE
	SEWER LINE
	BURIED POWER LINE
	AERIAL POWER LINE
	COMMUNICATION LINE
	CONTOUR MINOR
	CONTOUR MAJOR
	ASPHALT
	OPEN FACE CURB AND GUTTER
	FENCE
	CONCRETE
	EXISTING TO BE REMOVED
	WATER VALVE
	FIRE HYDRANT
	STORMDRAIN BOX
	WATER METER
	SEWER MANHOLE

LEGEND PROPOSED

	WATER LINE (SIZE SHOWN ON PLAN)
	STORM DRAIN LINE (SIZE SHOWN ON PLAN)
	IRRIGATION LINE (SIZE SHOWN ON PLAN)
	GAS LINE
	SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
	BURIED POWER LINE
	BURIED COMMUNICATION LINE
	CONTOUR MAJOR
	CONTOUR MINOR
	ASPHALT
	CATCH CURB AND GUTTER
	SPILL CURB AND GUTTER
	CONCRETE SIDEWALK
	BUILDING SETBACK
	WATER VALVE
	FIRE HYDRANT
	SEWER MANHOLE
	WATER METER
	STORMDRAIN BOX
	STORM WATER CATCH BASIN



MARK	DATE	DESCRIPTION

PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024

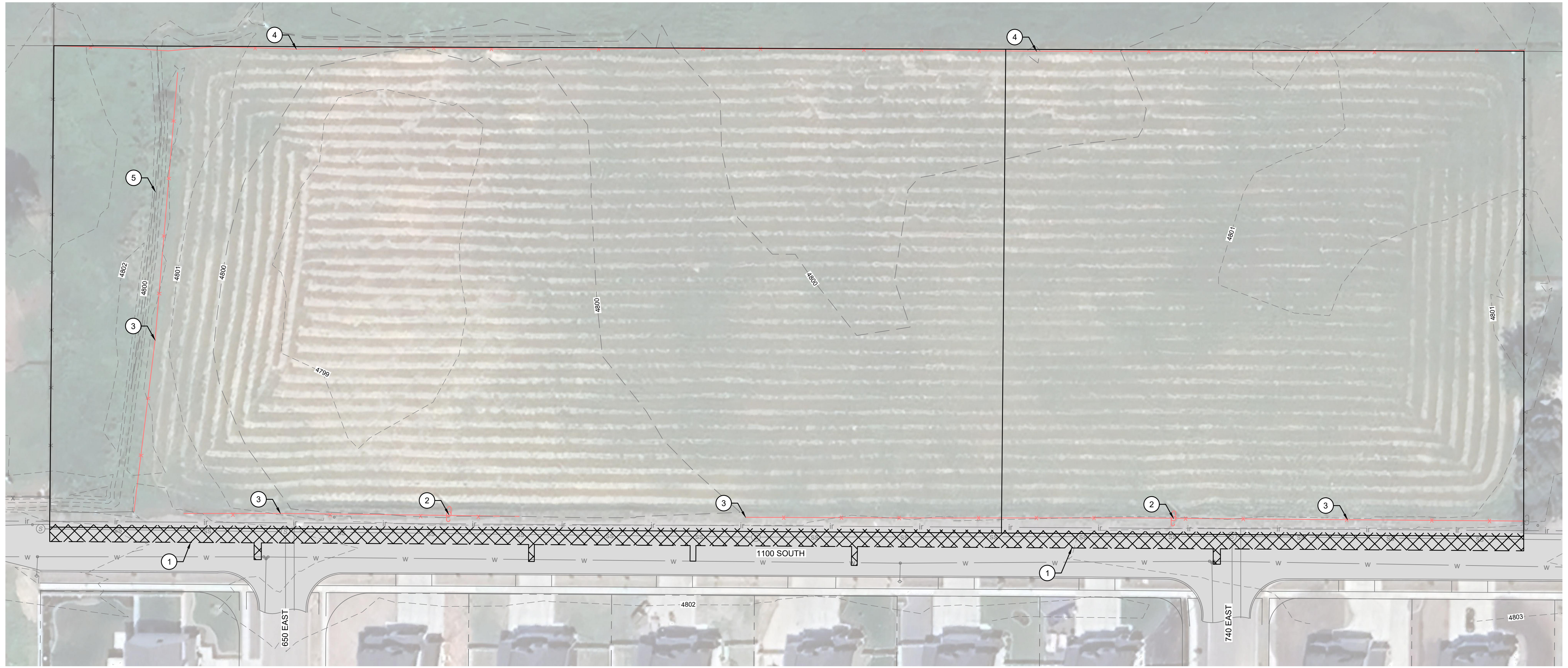
Know what's below. **811**
 Call 811 before you dig.

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 UTILITY NOTIFICATION CENTER, INC.
 www.bluestakes.org
 1-800-662-4111



LEGEND

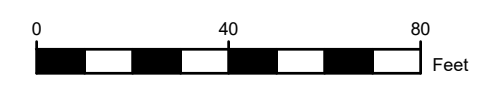
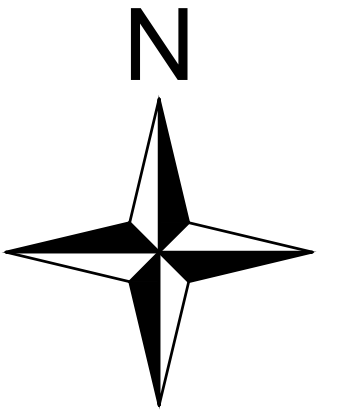
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① DEMOLITION PLAN SHEET KEY NOTES:
 ALL ITEMS CALLED OUT TO BE REMOVED SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AND LOCATION.

1. SAWCUT & REMOVE ASPHALT PAVEMENT
2. RELOCATE POWER POLE & LINE. COORDINATE WITH UTILITY OWNER.
3. REMOVE FENCE LINE.
4. RELOCATE FENCE LINE.
5. PROTECT IRRIGATION DITCH IN PLACE UNTIL PROPOSED IRRIGATION MAIN IS INSTALLED PER SHEET C401 AND TO THE SATISFACTION OF THE CANAL COMPANY. (SEE SHEET C400)

IRRIGATION COMPANY PIPE. CALLING IT A MAIN INFERS THAT THIS IS THE HYRUM CITY MAIN THAT MUST BE IN PLACE BEFORE ABANDONING THE DITCH.



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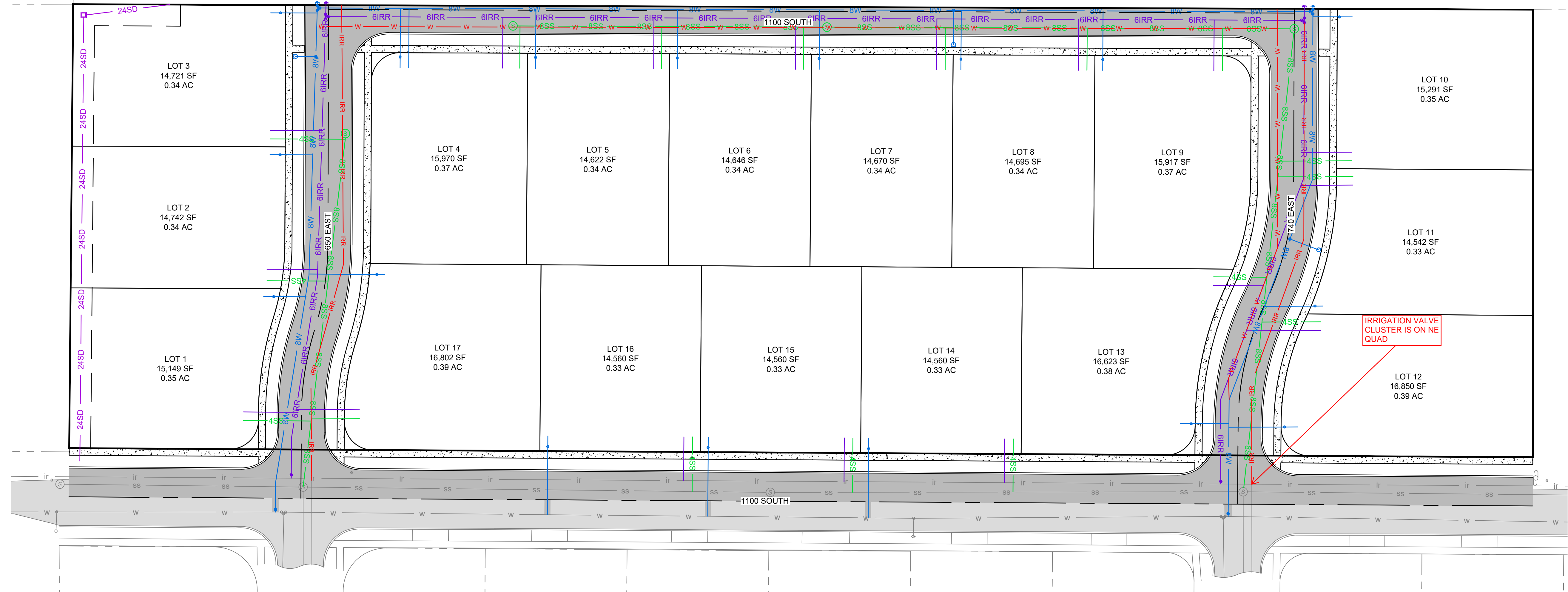
DEMOLITION PLAN

C100



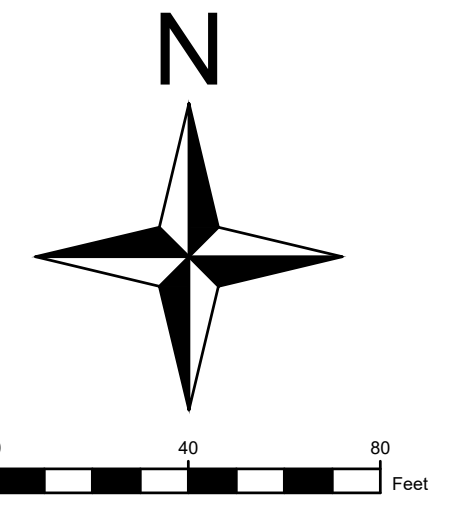
CACHE VALLEY | P: 435.213.3762
 SALT LAKE | P: 801.216.3192
 UTAH VALLEY | P: 801.874.1432
 info@civilsolutionsgroup.net
 www.civilsolutionsgroup.net

civilsolutionsgroup inc.
SUNSET FIELDS SUBDIVISION
 700 EAST 1100 SOUTH
 HYRUM, UT 84319



- GENERAL NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
 2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
 3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
 4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DRAWING 01 ON SHEET C-502.
 5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5" OF COVER. ALL SEWER AND WATER SERVICES SHALL BE 5.5' OFFSET FROM SIDE PROPERTY BOUNDARY. PROVIDE 11-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER.
 7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 2 ON SHEET C-502.
 8. ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 5 ON SHEET C-502.
 9. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
 10. ALL SEWER MANHOLES SHALL BE INSTALLED PER STANDARD DETAIL 4 ON SHEET C-502.
 11. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUTED USING NON-SHRINK GROUT. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 07 ON SHEET C-502.
 12. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND HYRUM POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
 14. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
 15. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH DOMINION ENERGY.
 16. CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY HYRUM POWER AND HYRUM CITY.
 17. CONTRACTOR SHALL NOT EXCAVATE ROAD SIDE SWALES UNTIL ALL UTILITIES HAVE BEEN INSTALLED.
 18. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER TO ENSURE PROPOSED UTILITIES ARE DE-CONFLICTED WITH THE EXISTING ROCKY MOUNTAIN POWER UNDERGROUND LINES AS WELL AS EXISTING DISTRIBUTION LINE.

MARK	DATE	DESCRIPTION



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SITE OVERVIEW

C200

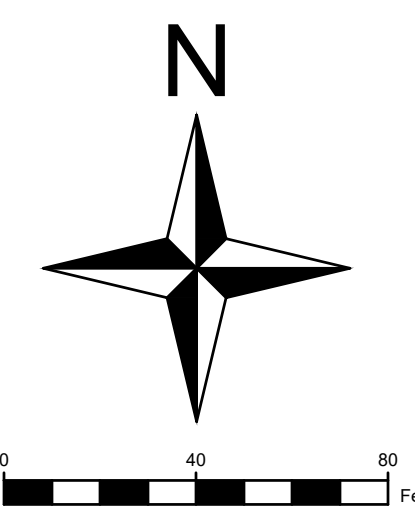
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P:\2023\23-321 Matt Nielson Hyrum Subdivision\Civil\AutoCAD\Sheet Set\02-321 Site Overview



GRADING LEGEND:

- LP = LOW POINT
- HP = HIGH POINT
- GRADE BREAK
- FLOW DIRECTION



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civilsolutionsgroup inc.
 CACHE VALLEY | P: 435.213.3762
 SALT LAKE | P: 801.216.3192
 UTAH VALLEY | P: 801.874.1432
 info@civilsolutionsgroup.net
 www.civilsolutionsgroup.net

SUNSET FIELDS SUBDIVISION
 700 EAST 1100 SOUTH
 HYRUM, UT 84319

MARK	DATE	DESCRIPTION

PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024



GRADING OVERVIEW

C300

Civil Solutions Group, Inc.
Designing Our Future

Project: Nielson Subdivision
Date: 13-Feb-24
Location: Hyrum, UT
Method: Rational

Post Development Area:

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Road Hardscape	1.64	0.90	1.47
Rooftops (2,500 sf/lot)		0.98	0.88
Driveways (20x25'/per lot)	0.20	0.90	0.18
Landscaping	5.28	0.15	0.79
Total Area	8.08 acres		
Total Weighted Area:			3.32

Design Storm: 100 year, 48-hr storm

Release Rate: 0.00 cfs/acre

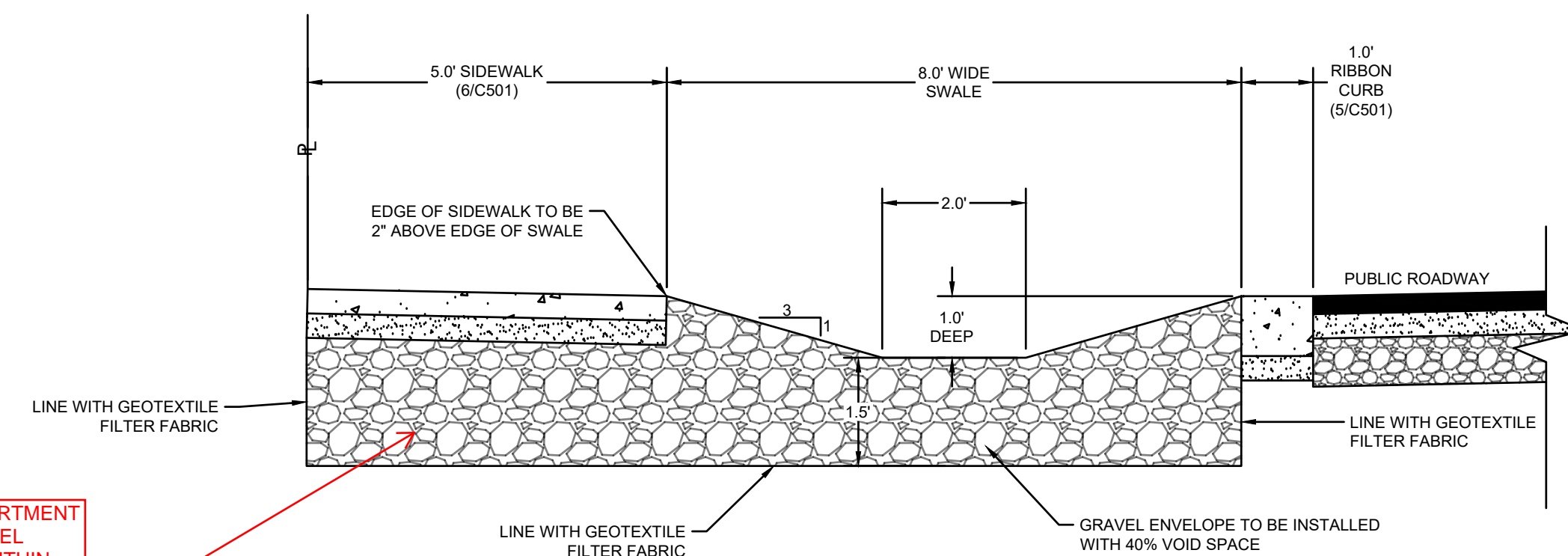
Duration (min)	Intensity (in/hr)	Post-Dev. Runoff (cfs)	Total Runoff (CF)	Cumulative Allow. Discharge (CF)	Detention Storage Req'd (CF)
5	5.40	17.92	5,377	-	5,377
10	4.08	13.54	8,126	-	8,126
15	3.40	11.29	10,157	-	10,157
30	2.28	7.57	13,623	-	13,623
60	1.41	4.68	16,849	-	16,849
120	0.81	2.67	19,239	-	19,239
180	0.57	1.89	20,434	-	20,434
360	0.34	1.13	24,497	-	24,497
720	0.21	0.70	30,113	-	30,113
1440	0.13	0.42	36,088	-	36,088
2880	0.07	0.24	40,868	-	40,868

STORMWATER DESIGN CRITERIA:

- STORM WATER DESIGN CONFORMS TO HYRUM CITY STORM WATER STANDARDS
- SITE HAS BEEN DESIGNED TO RETAIN CACHE COUNTY 100 YEAR, 48 HOUR STORM (3.42 IN)

STORAGE SUMMARY:

- 2,780 Swale length (lf)
- 2,320 Swale minus driveways and ADA ramps (lf)
- 5.0 Swale Storage (cf/lf)
- 11,600 Above ground storage provided in swales (cf)
- 40,868 Total storage required (cf)**
- 29,268 Gravel sump storage required (cf)
- 10.56 Sump storage, 40% void gravel (cf/lf)
- 29,357 Gravel sump storage provided, extending through driveways (cf)
- 40,957 Total storage provided (cf)**



ROADSIDE SWALE DETAIL

DISCUSSIONS WITH THE ROADS DEPARTMENT HAVE RAISED CONCERNS OVER GRAVEL UNDER THE SIDEWALK. THIS IS ALL WITHIN THE FROST DEPTH FOR HYRUM. WATER IN THIS POCKET THAT HAS NOT INFILTRATED CAN FREEZE CAUSING HEAVE UNDER THE SIDEWALKS AND THE DRIVEWAYS. A SHORT THAW FOLLOWED BY A HARD FREEZE COULD DESTROY THE SIDEWALKS BEFORE THE WATER COULD INFILTRATE.

MARK	DATE	DESCRIPTION

PROJECT #: 23-321
DRAWN BY: L. WESTON
PROJECT MANAGER: M. TAYLOR
ISSUED: 2/13/2024

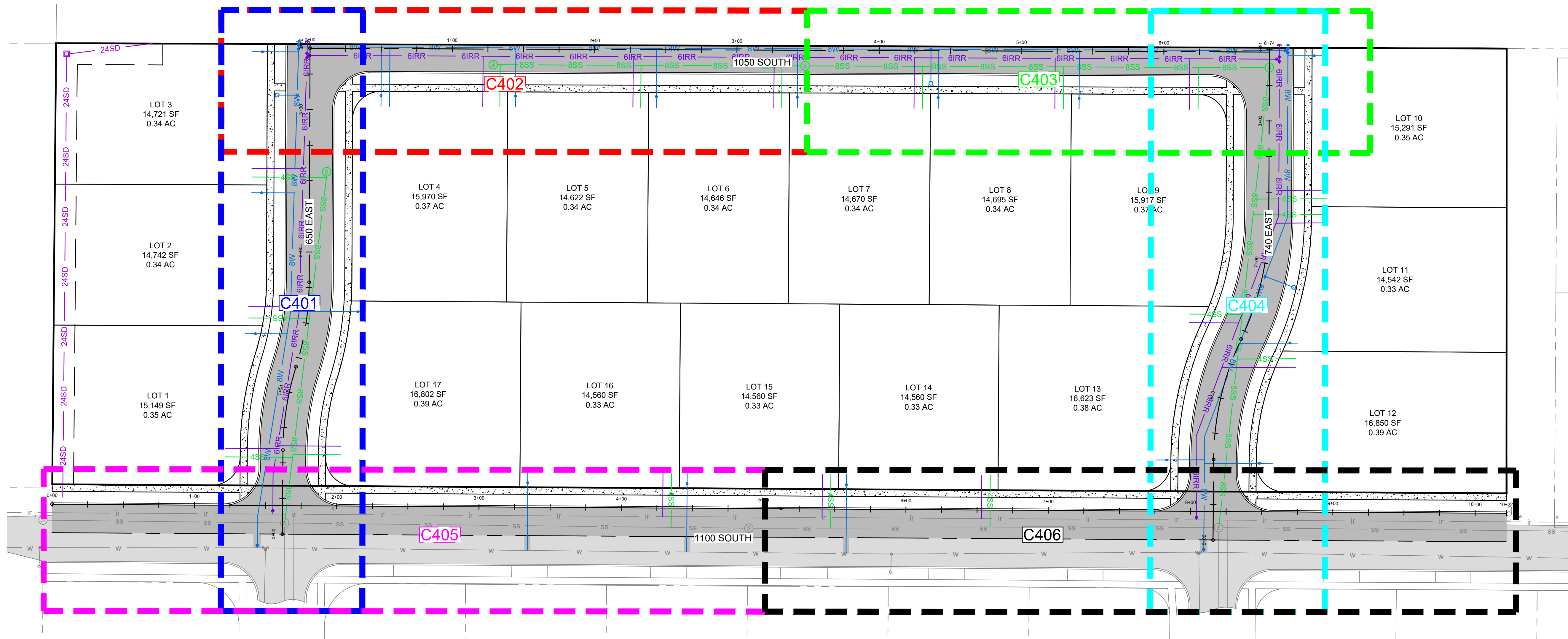
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STORMWATER CALCS

C301

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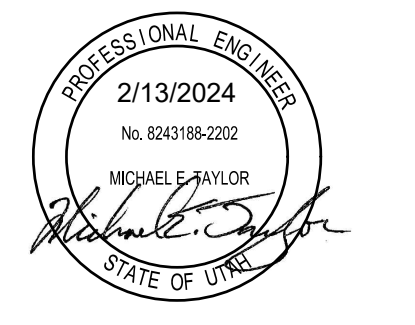
GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DRAWING 01 ON SHEET C-502.
5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5" OF COVER. ALL SEWER AND WATER SERVICES SHALL BE 5.5' OFFSET FROM SIDE PROPERTY BOUNDARY. PROVIDE 11-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER.
7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 2 ON SHEET C-502.
8. ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 5 ON SHEET C-502.
9. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
10. ALL SEWER MANHOLES SHALL BE INSTALLED PER STANDARD DETAIL 4 ON SHEET C-502.
11. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUTED USING NON-SHRINK GROUT.
12. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 07 ON SHEET C-502.
13. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND HYRUM POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
14. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
15. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH DOMINION ENERGY.
16. CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY HYRUM POWER AND HYRUM CITY.
17. CONTRACTOR SHALL NOT EXCAVATE ROAD SIDE SWALES UNTIL ALL UTILITIES HAVE BEEN INSTALLED.
18. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER TO ENSURE PROPOSED UTILITIES ARE DE-CONFLICTED WITH THE EXISTING ROCKY MOUNTAIN POWER UNDERGROUND LINES AS WELL AS EXISTING DISTRIBUTION LINE.

MARK	DATE	DESCRIPTION

PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024

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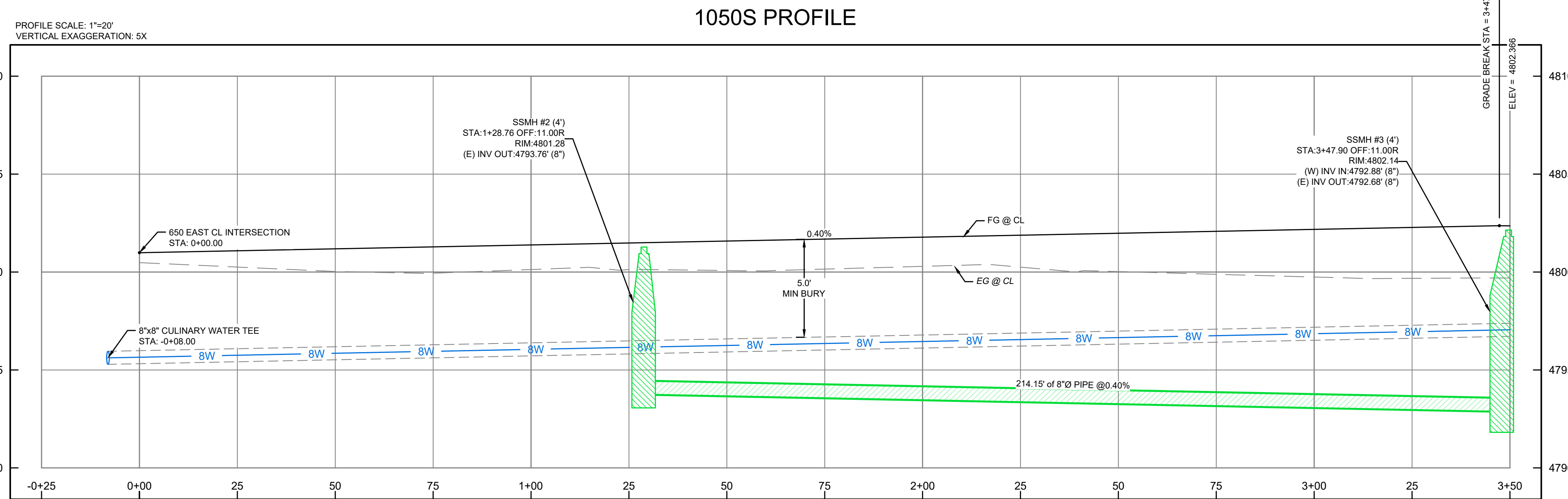
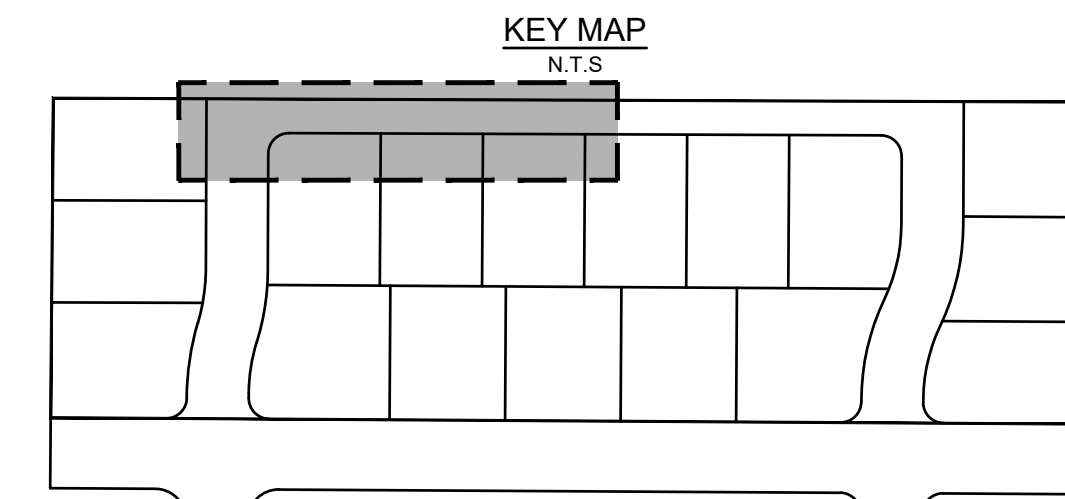
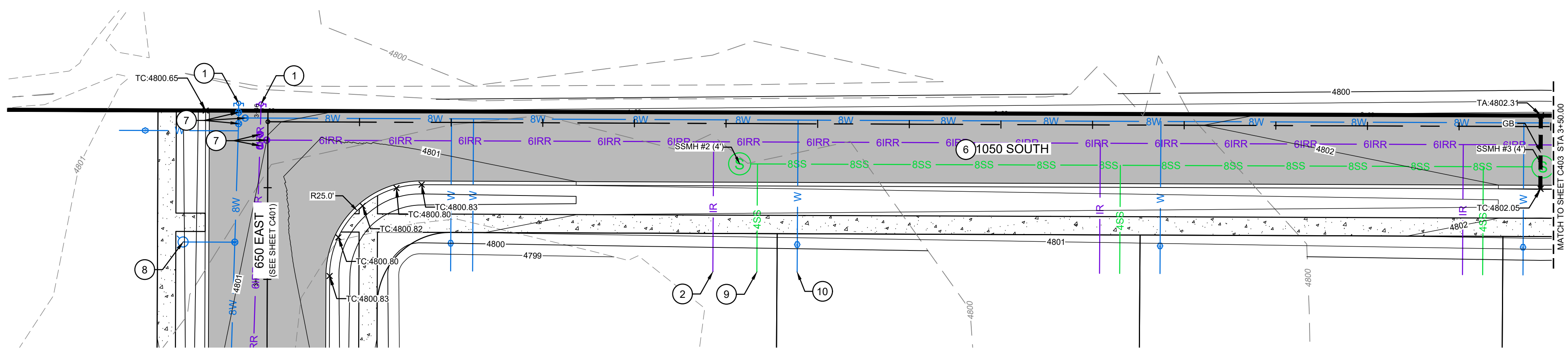


SHEET OVERVIEW

C400

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① SITE SHEET KEY NOTES:
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. UTILITY STUB, CAP, BLOCK & MARK END OF LINE
2. IRRIGATION SERVICE (8\"/>

GRADING GENERAL NOTES:

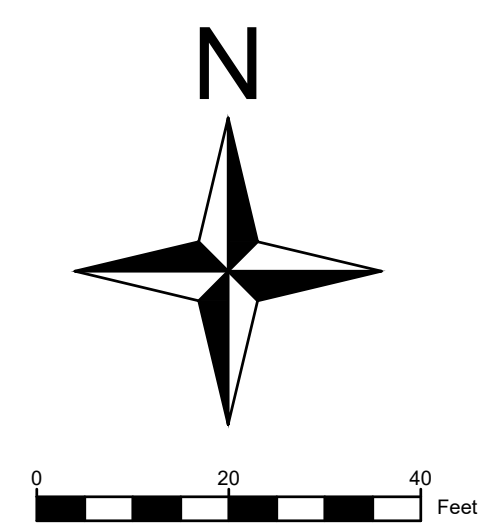
1. MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS.
2. MAINTAIN A MAXIMUM OF 2.0% CROSS-SLOPE ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY ENTRANCES AND EXITS.

GRADING LEGEND:

- FG = FINISHED GRADE
- EG = EXISTING GRADE
- ME = MATCH EXISTING
- TA = TOP OF ASPHALT
- TC = TOP OF CONCRETE
- TBC = TOP BACK OF CURB
- FL = FLOW LINE
- GB = GRADE BREAK

MARK	DATE	DESCRIPTION

PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024



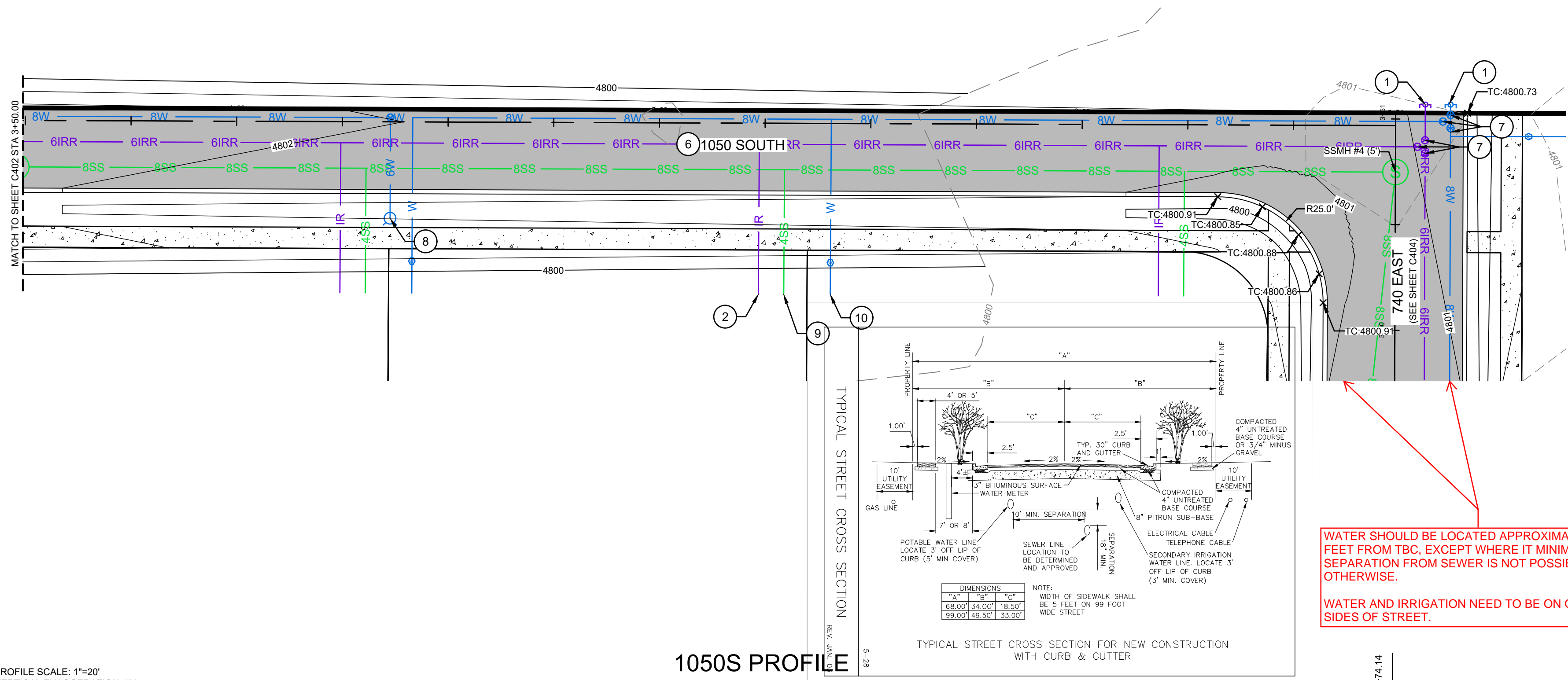
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PLAN & PROFILE

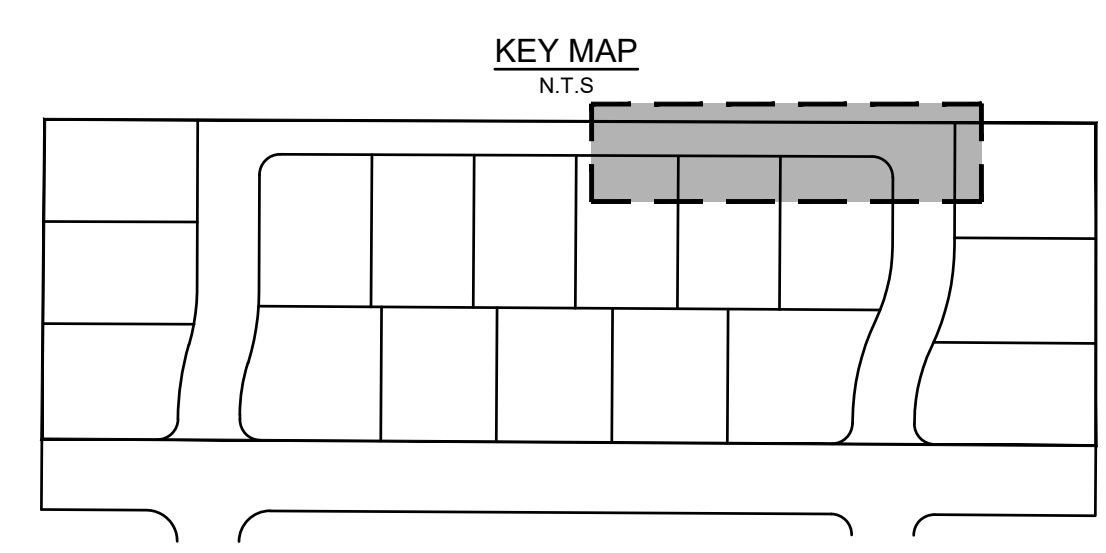
C402

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WATER SHOULD BE LOCATED APPROXIMATELY 5.5 FEET FROM TBC, EXCEPT WHERE IT MINIMUM SEPARATION FROM SEWER IS NOT POSSIBLE OTHERWISE.

WATER AND IRRIGATION NEED TO BE ON OPPOSITE SIDES OF STREET.

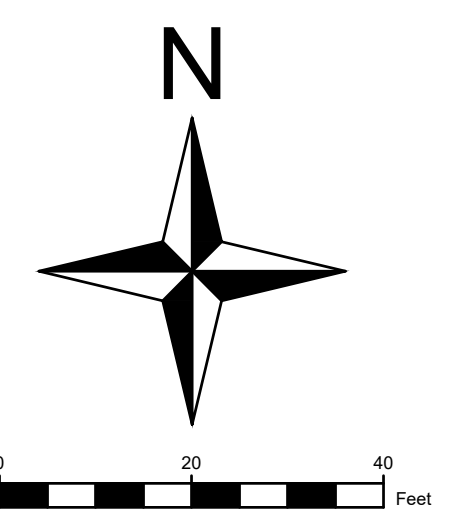
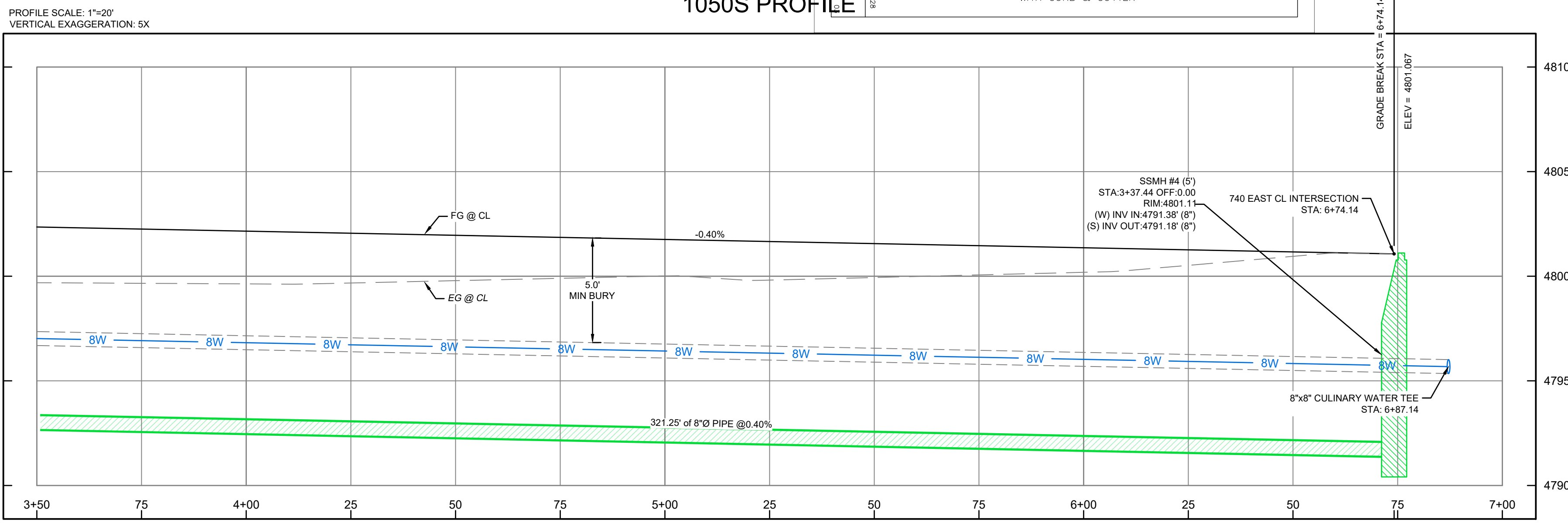


- 1 SITE SHEET KEY NOTES:**
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1. UTILITY STUB, CAP, BLOCK & MARK END OF LINE
 2. IRRIGATION SERVICE (8/C501)
 3. CONNECT TO EXISTING CULINARY WATER MAIN VIA HOT TAP
 4. 60-FIT WIDENING ROW CROSS SECTION (1/C501)
 5. 60-FIT ROW CROSS SECTION (2/C501)
 6. 60-FIT PARTIAL WIDTH ROW CROSS SECTION (3/C501)
 7. GATE VALVE (6/C502)
 8. FIRE HYDRANT ASSEMBLY (3/C502)
 9. 4"Ø SANITARY SEWER SERVICE (TYP) (5/C502)
 10. 1/2"Ø CULINARY WATER SERVICE & METER (TYP) (2/C502)
 11. CONNECT TO EXISTING SANITARY SEWER MANHOLE

- GRADING GENERAL NOTES:**
1. MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS.
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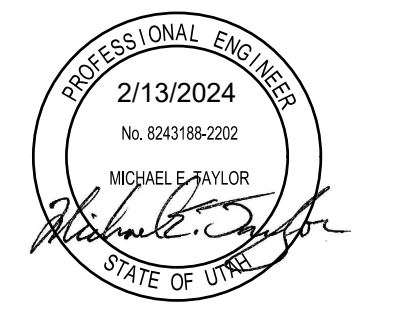
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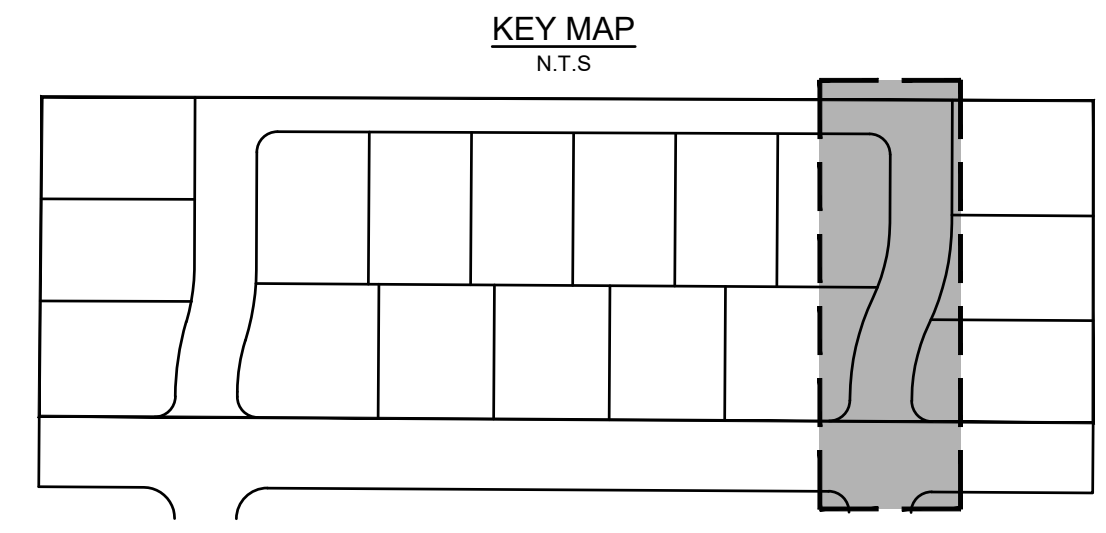
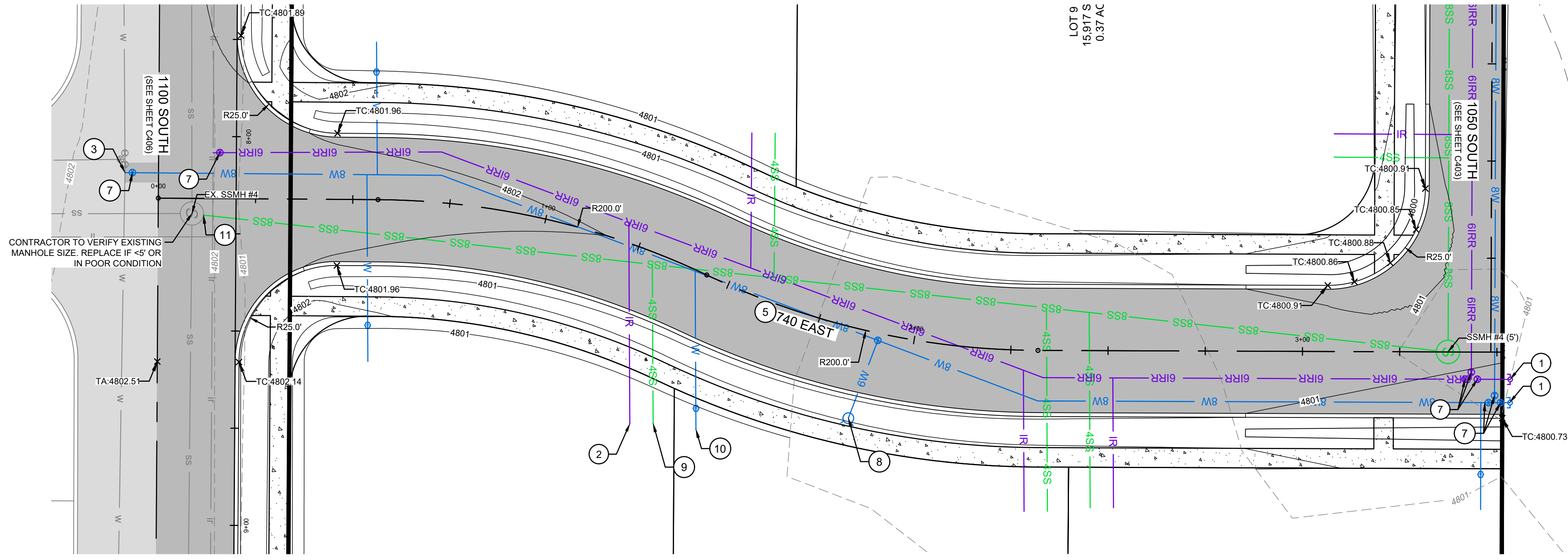
PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024



PLAN & PROFILE

C403

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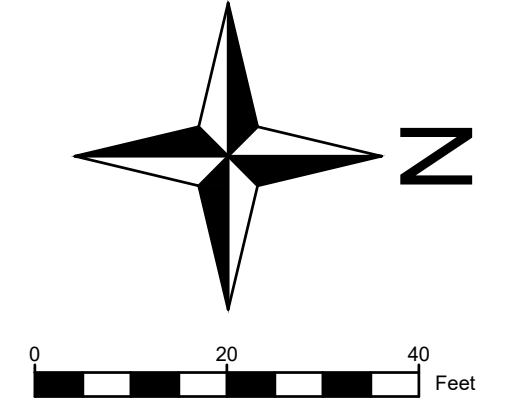
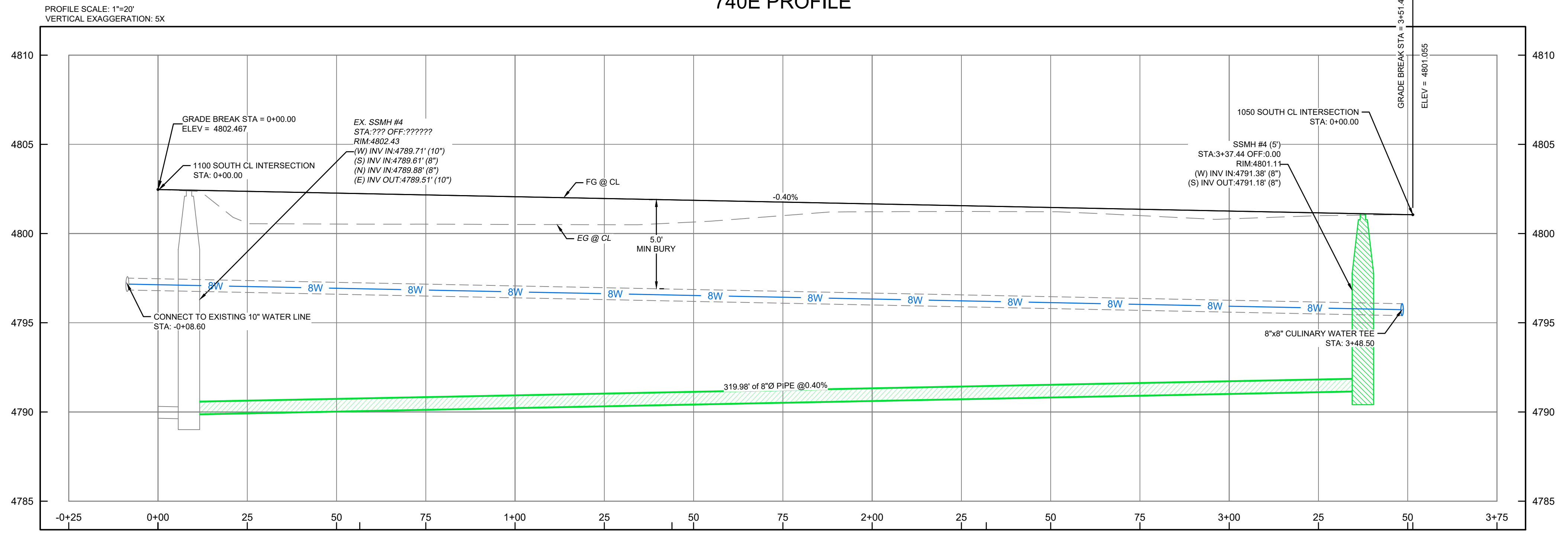


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 - IRRIGATION SERVICE (B/C501)
 - CONNECT TO EXISTING CULINARY WATER MAIN VIA HOT TAP
 - 60-FT WIDENING ROW CROSS SECTION (1/C501)
 - 60-FT ROW CROSS SECTION (2/C501)
 - 60-FT PARTIAL WIDTH ROW CROSS SECTION (3/C501)
 - GATE VALVE (6/C502)
 - FIRE HYDRANT ASSEMBLY (3/C502)
 - 4" Ø SANITARY SEWER SERVICE (TYP) (5/C502)
 - 3/4" Ø CULINARY WATER SERVICE & METER (TYP) (2/C502)
 - CONNECT TO EXISTING SANITARY SEWER MANHOLE

- GRADING GENERAL NOTES:**
- MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS.
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740E PROFILE

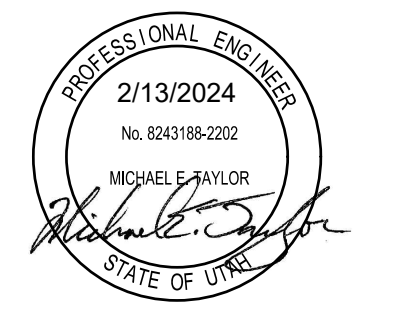


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PROJECT #: 23-321
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 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024



PLAN & PROFILE

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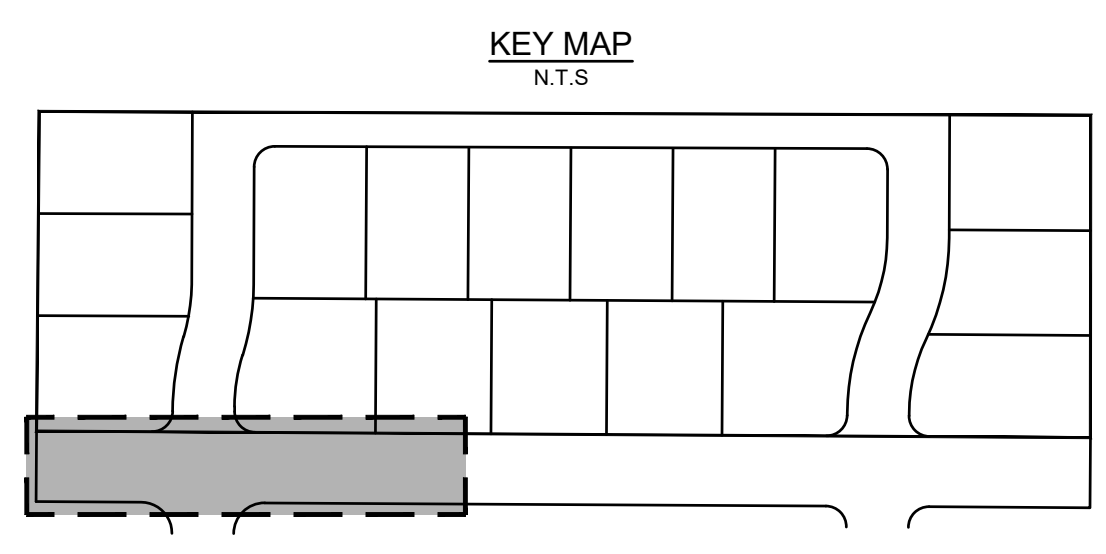
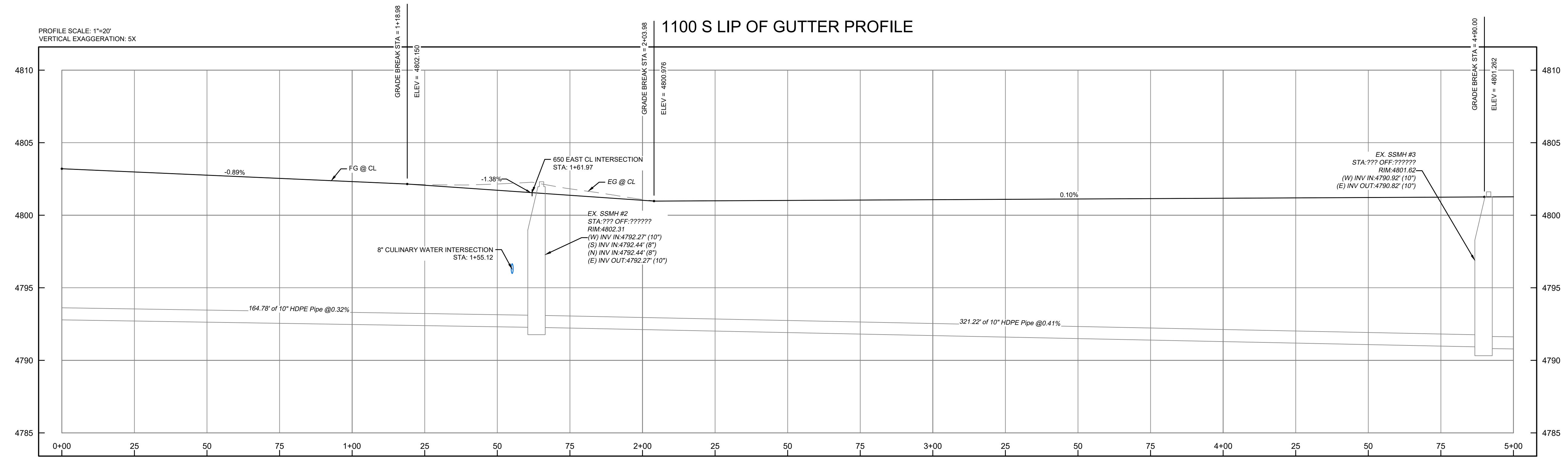
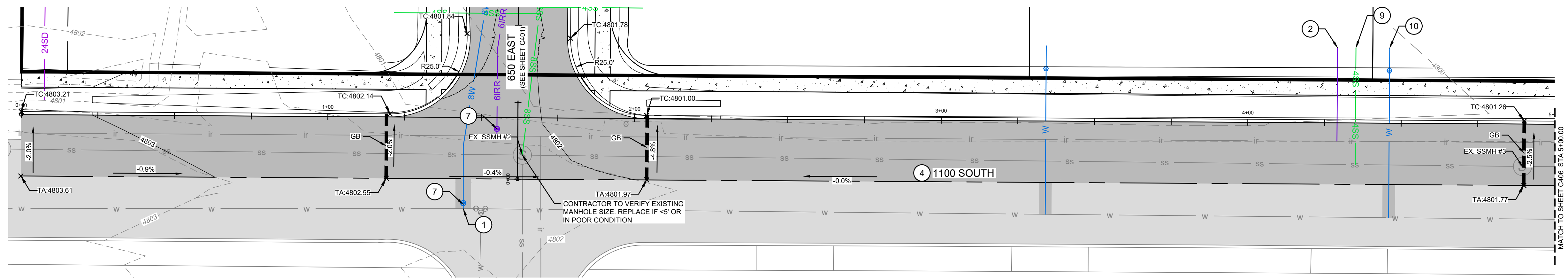
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DRAWN BY: L. WESTON
PROJECT MANAGER: M. TAYLOR
ISSUED: 2/13/2024



PLAN & PROFILE

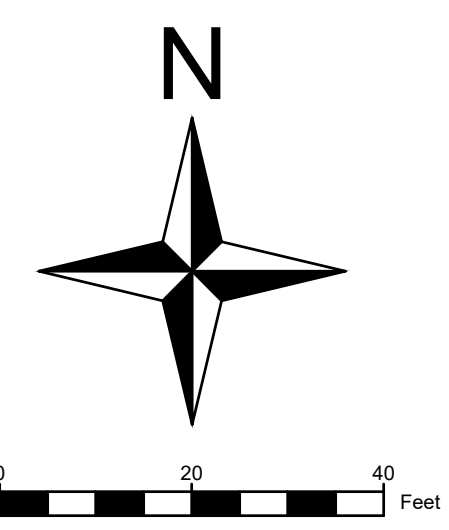
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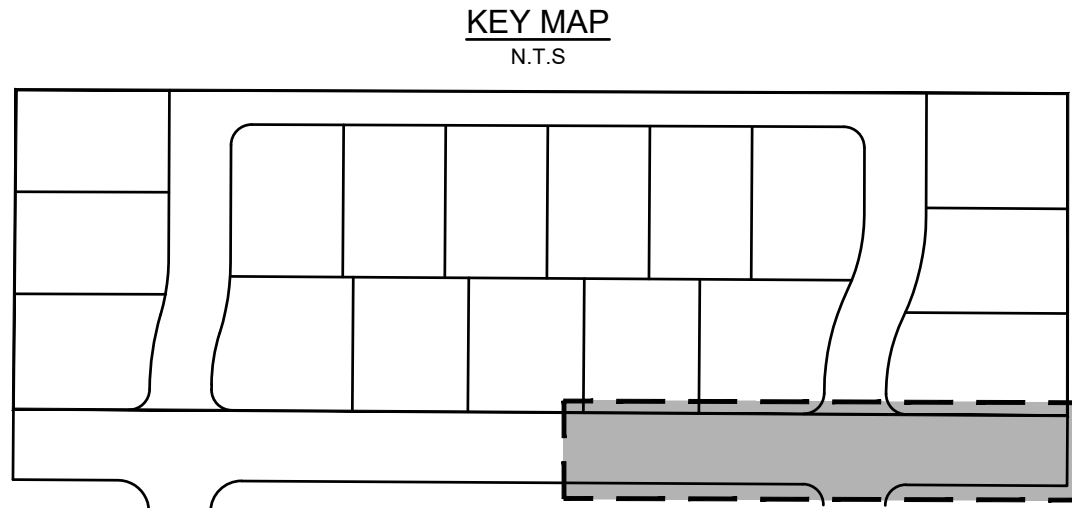
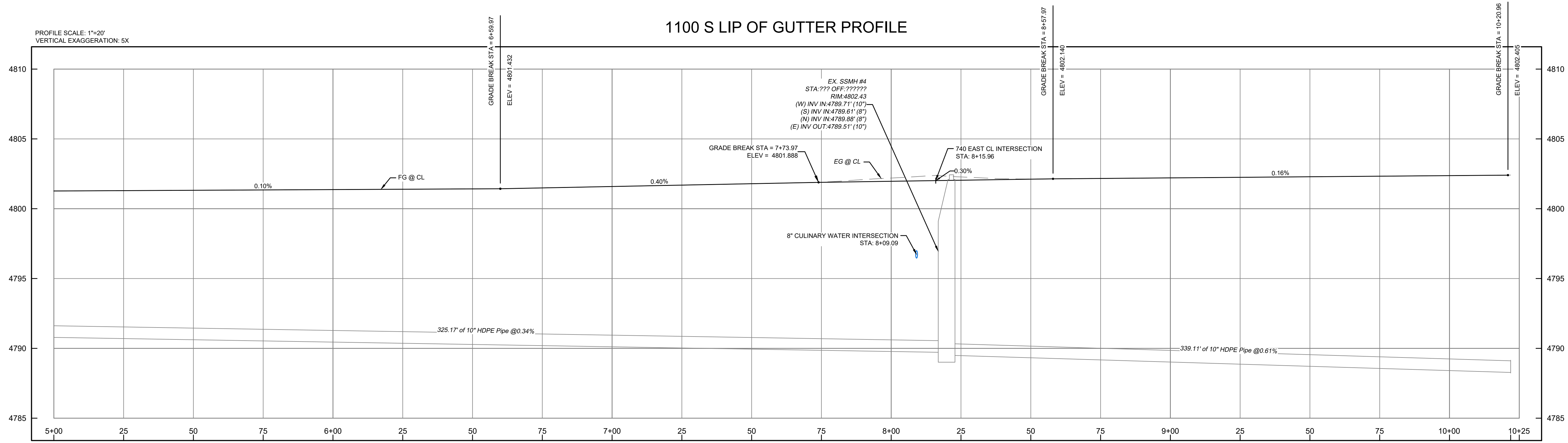
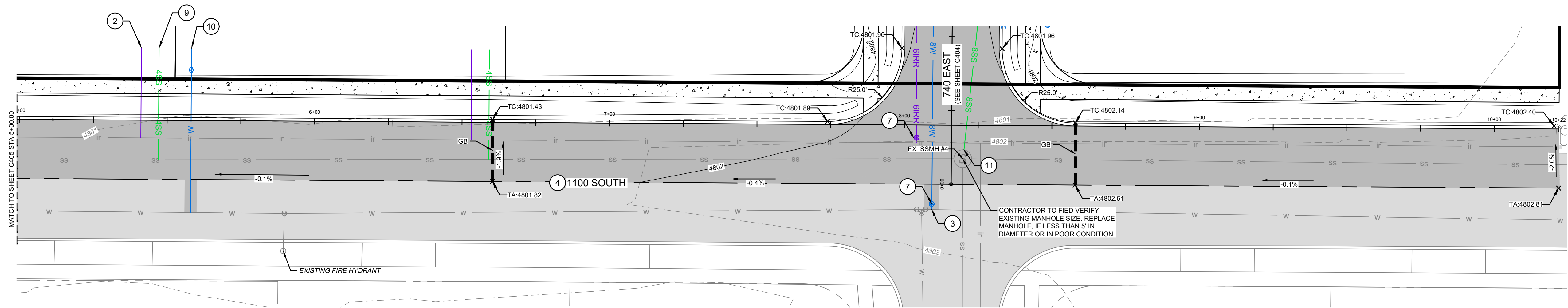
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 - IRRIGATION SERVICE (8/C501)
 - CONNECT TO EXISTING CULINARY WATER MAIN VIA HOT TAP
 - 68-FT WIDENING ROW CROSS SECTION (1/C501)
 - 60-FT ROW CROSS SECTION (2/C501)
 - 60-FT PARTIAL WIDTH ROW CROSS SECTION (3/C501)
 - GATE VALVE (6/C502)
 - FIRE HYDRANT ASSEMBLY (3/C502)
 - 4" SANITARY SEWER SERVICE (TYP) (5/C502)
 - 3/4" CULINARY WATER SERVICE & METER (TYP) (2/C502)
 - CONNECT TO EXISTING SANITARY SEWER MANHOLE

- GRADING GENERAL NOTES:**
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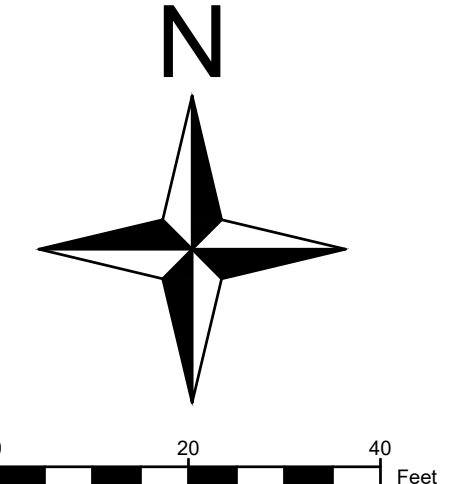
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 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- UTILITY STUB, CAP, BLOCK & MARK END OF LINE
 - IRRIGATION SERVICE (8/C501)
 - CONNECT TO EXISTING CULINARY WATER MAIN VIA HOT TAP
 - 68-FT WIDENING ROW CROSS SECTION (1/C501)
 - 60-FT ROW CROSS SECTION (2/C501)
 - 60-FT PARTIAL WIDTH ROW CROSS SECTION (3/C501)
 - GATE VALVE (6/C502)
 - FIRE HYDRANT ASSEMBLY (3/C502)
 - 4" SANITARY SEWER SERVICE (TYP) (5/C502)
 - 3/4" CULINARY WATER SERVICE & METER (TYP) (2/C502)
 - CONNECT TO EXISTING SANITARY SEWER MANHOLE

- GRADING GENERAL NOTES:**
- MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS.
 - MAINTAIN A MAXIMUM OF 2.0% CROSS-SLOPE ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY ENTRANCES AND EXITS.

- GRADING LEGEND:**
- FG = FINISHED GRADE
 - EG = EXISTING GRADE
 - ME = MATCH EXISTING
 - TA = TOP OF ASPHALT
 - TC = TOP OF CONCRETE
 - TBC = TOP BACK OF CURB
 - FL = FLOW LINE
 - GB = GRADE BREAK



Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
 www.bluestakes.org
 1-800-662-4111

MARK	DATE	DESCRIPTION

PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024



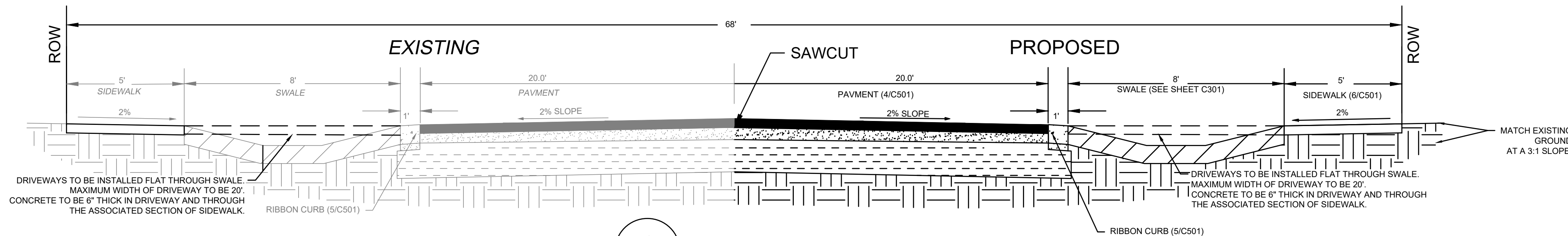
PLAN & PROFILE

C406

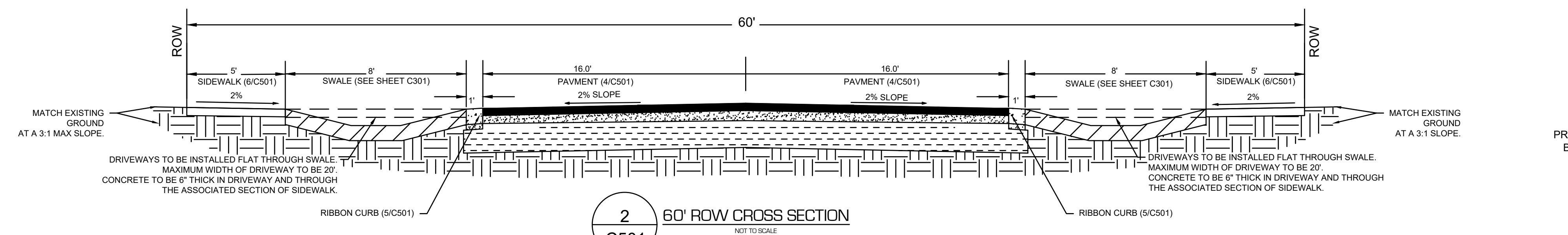
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700 EAST 1100 SOUTH
HYRUM, UT 84319

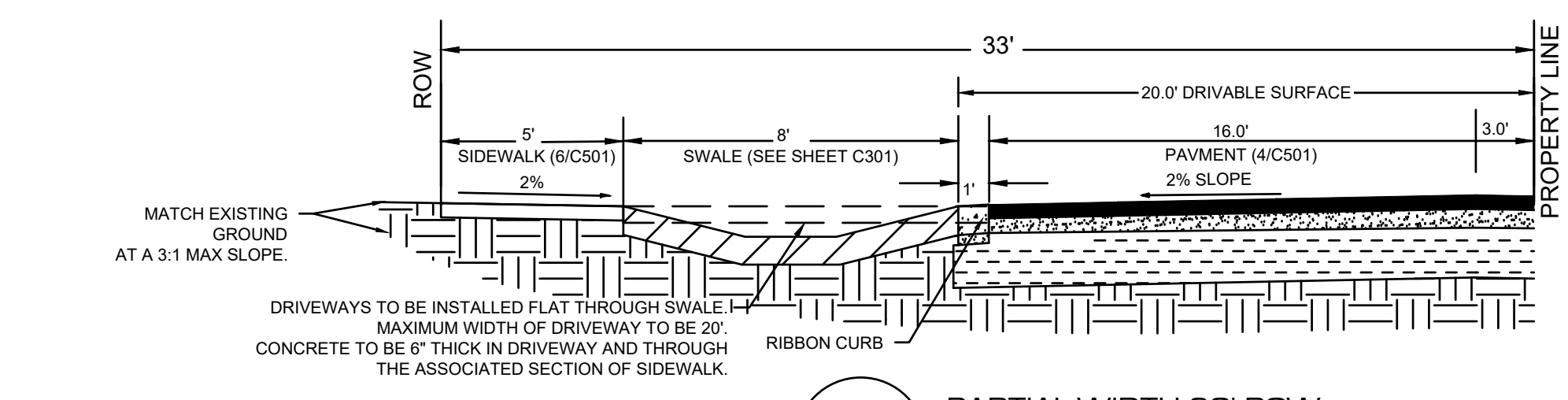
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.



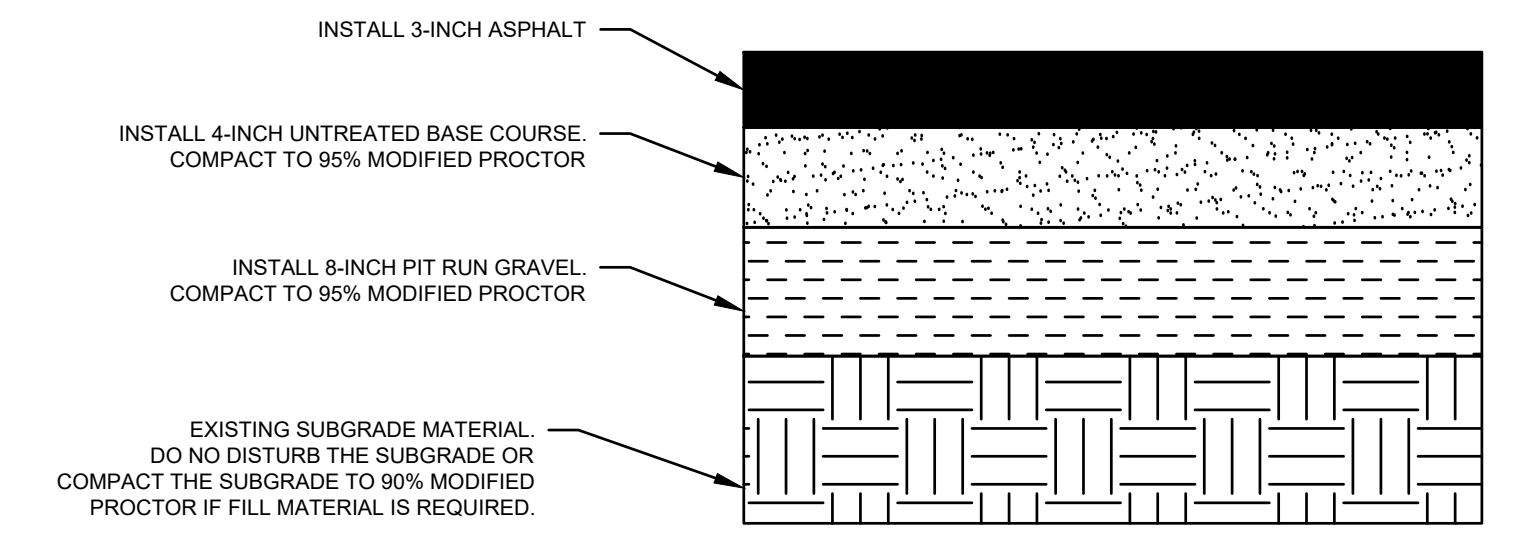
1 68' ROW CROSS SECTION
C501
NOT TO SCALE



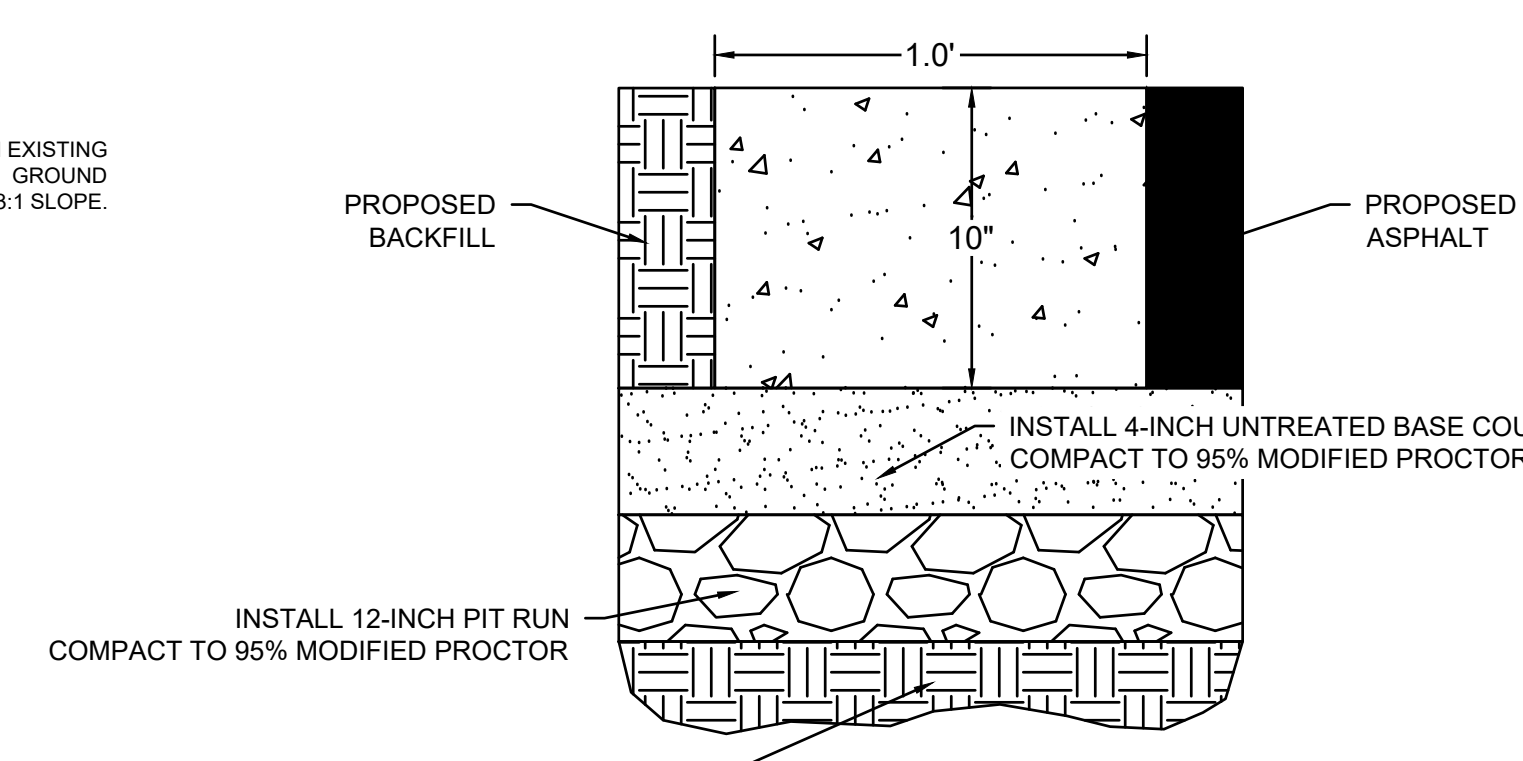
2 60' ROW CROSS SECTION
C501
NOT TO SCALE



3 PARTIAL-WIDTH 60' ROW CROSS SECTION
C501
NOT TO SCALE

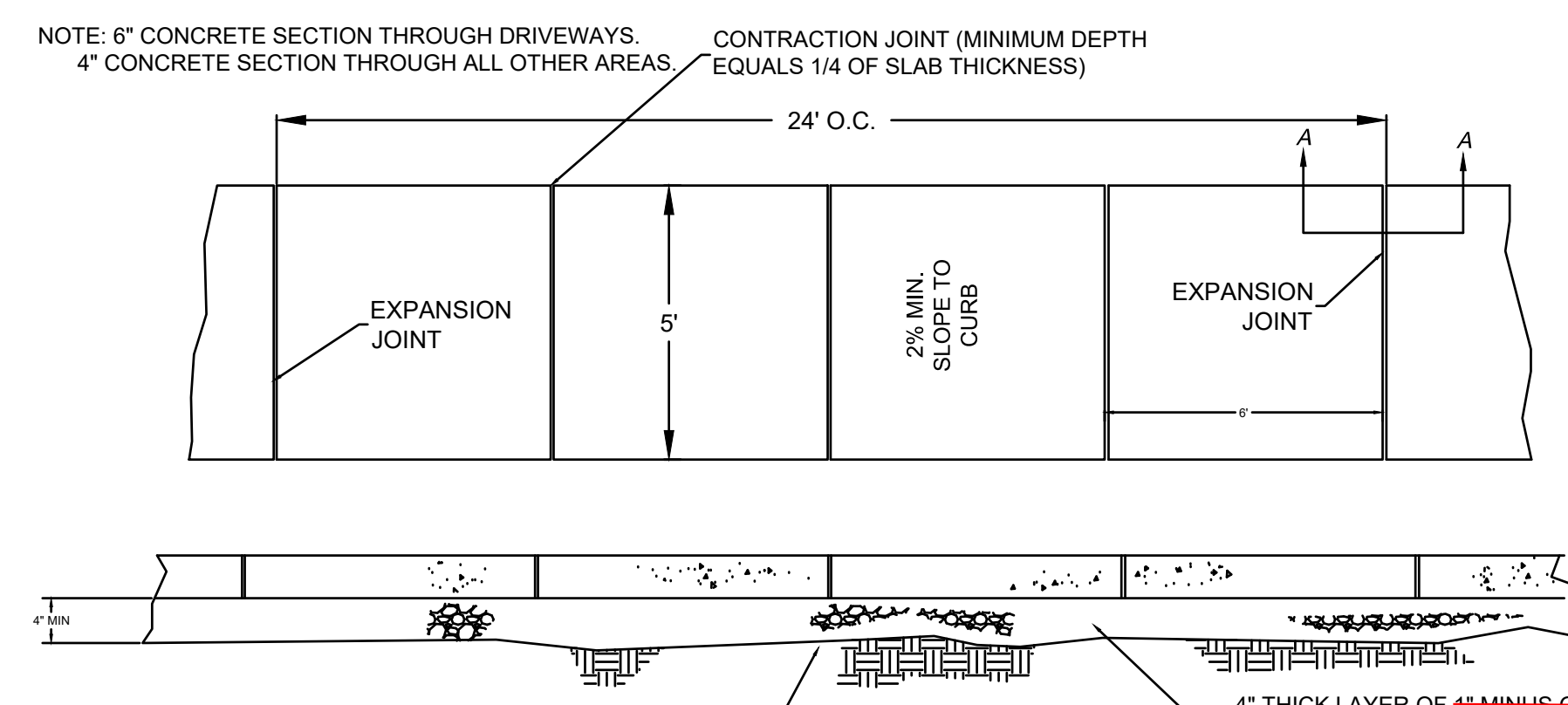


4 STANDARD DUTY ASPHALT PAVEMENT
C501
NOT TO SCALE



5 RIBBON CURB
C501
NOT TO SCALE

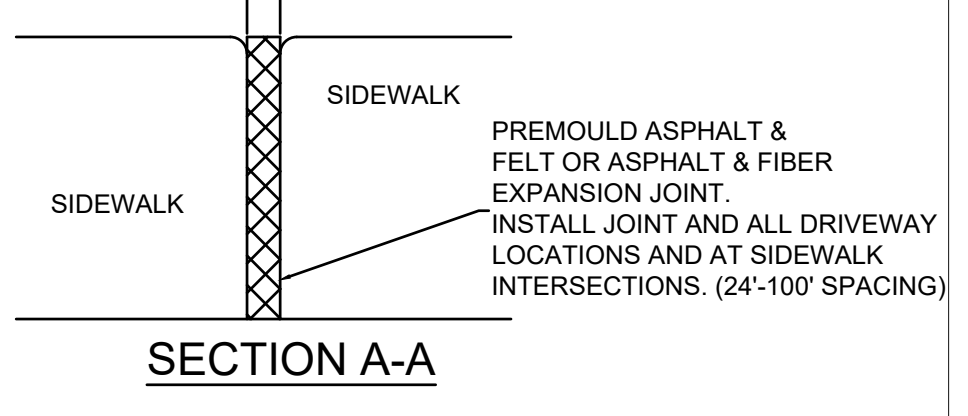
- NOTES:
1. CONCRETE SHALL BE 4000 PSI, 28 DAY STRENGTH.
 2. PROVIDE CONTRACTION JOINTS @ 10' - 0" O.C.
 3. PROVIDE EXPANSION JOINTS @ 50' - 0" O.C.
 4. BASE AND PIT RUN MATERIAL SHALL EXTEND 1 FOOT BEYOND CURB.



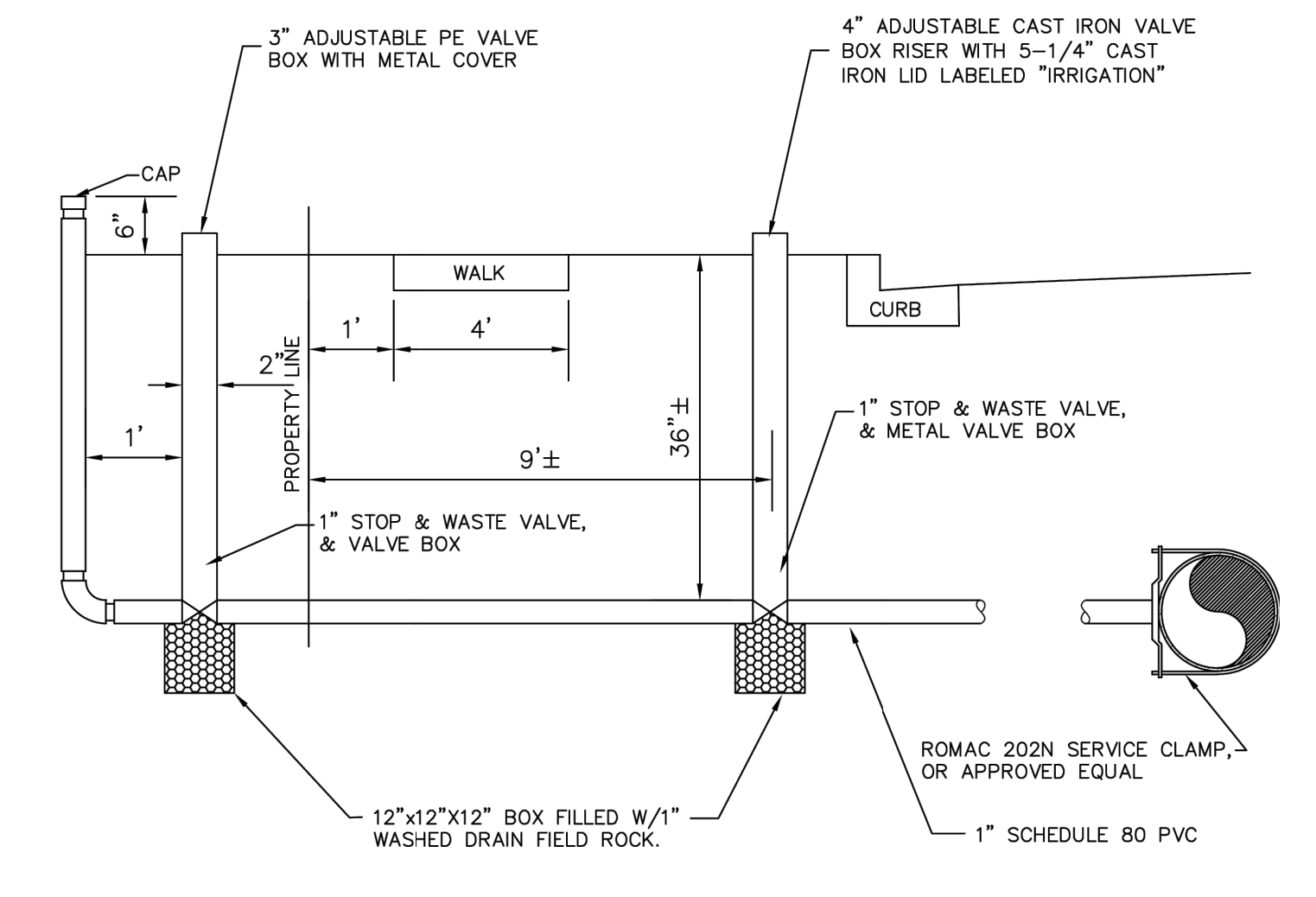
6 CONCRETE SIDEWALK
C501
NOT TO SCALE

B. Bedding: All sidewalks are to be bedded with a minimum of four (4) inches of untreated base course or six (6) inches of 3/4" minus gravel unless authorized in writing by the City.

IT WOULD BE PREFERRED TO ONLY USE BASE COURSE AS WE ARE FINDING THAT THE GRAVEL HOLDS TOO MUCH WATER AND IS SUBJECT TO HEAVE IN FREEZING CONDITIONS.



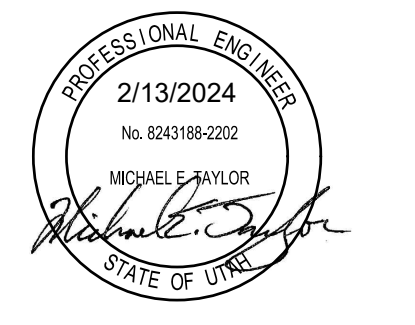
7 HYRUM CITY STREET MONUMENT
C501
NOT TO SCALE



8 IRRIGATION SERVICE CONNECTION
C501
NOT TO SCALE

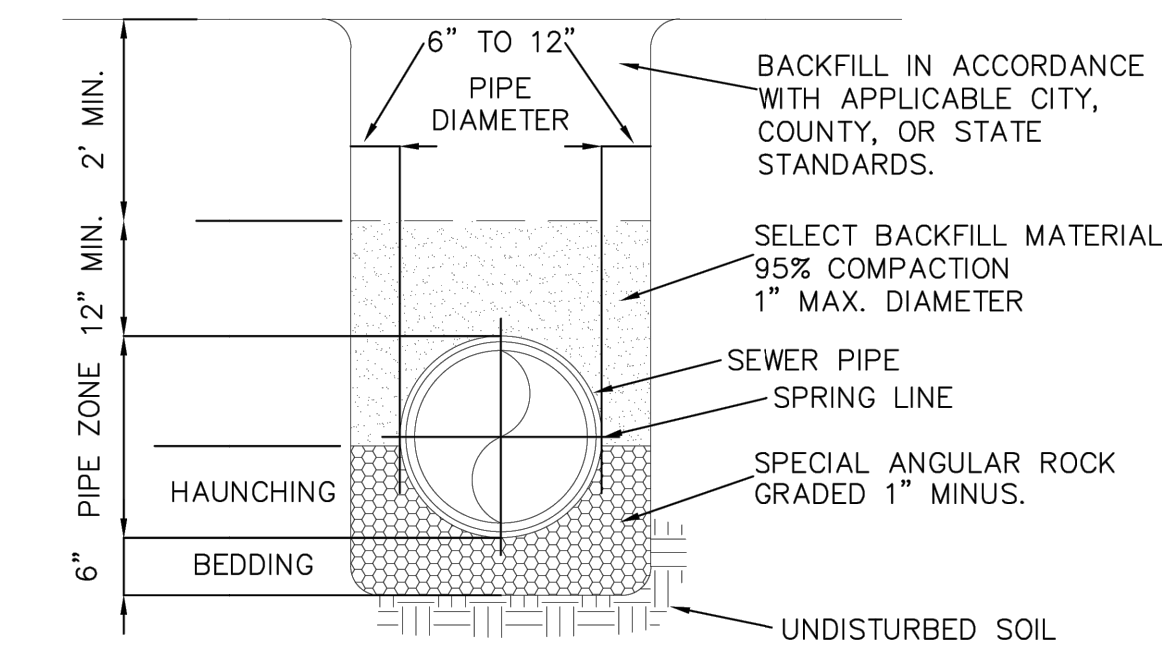
MARK	DATE	DESCRIPTION

PROJECT #: 23-321
DRAWN BY: L. WESTON
PROJECT MANAGER: M. TAYLOR
ISSUED: 2/13/2024

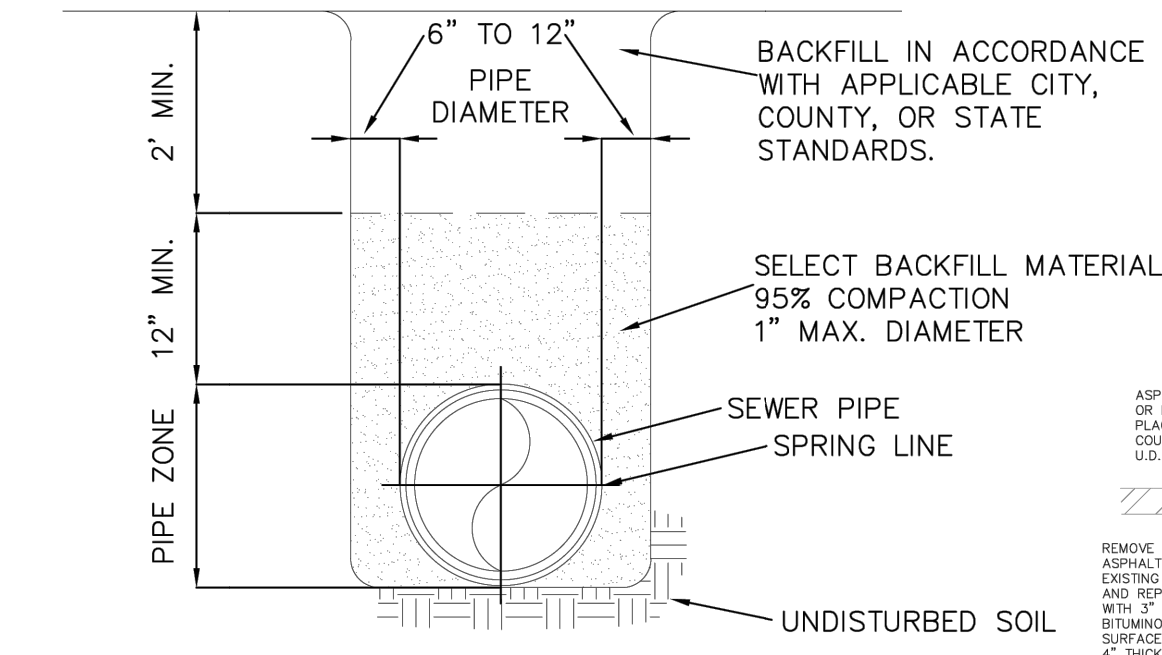


DETAILS

C501

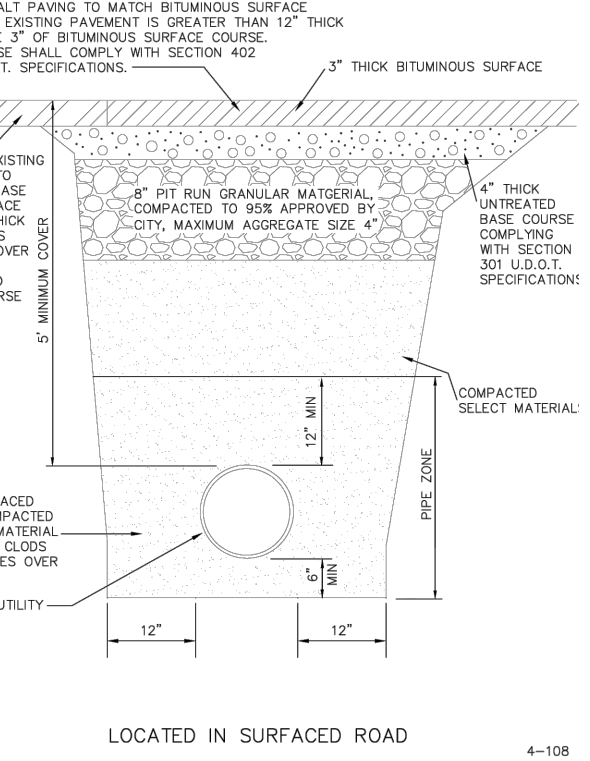


FLEXIBLE AND RIGID PIPE ON UNSUITABLE SUBGRADE



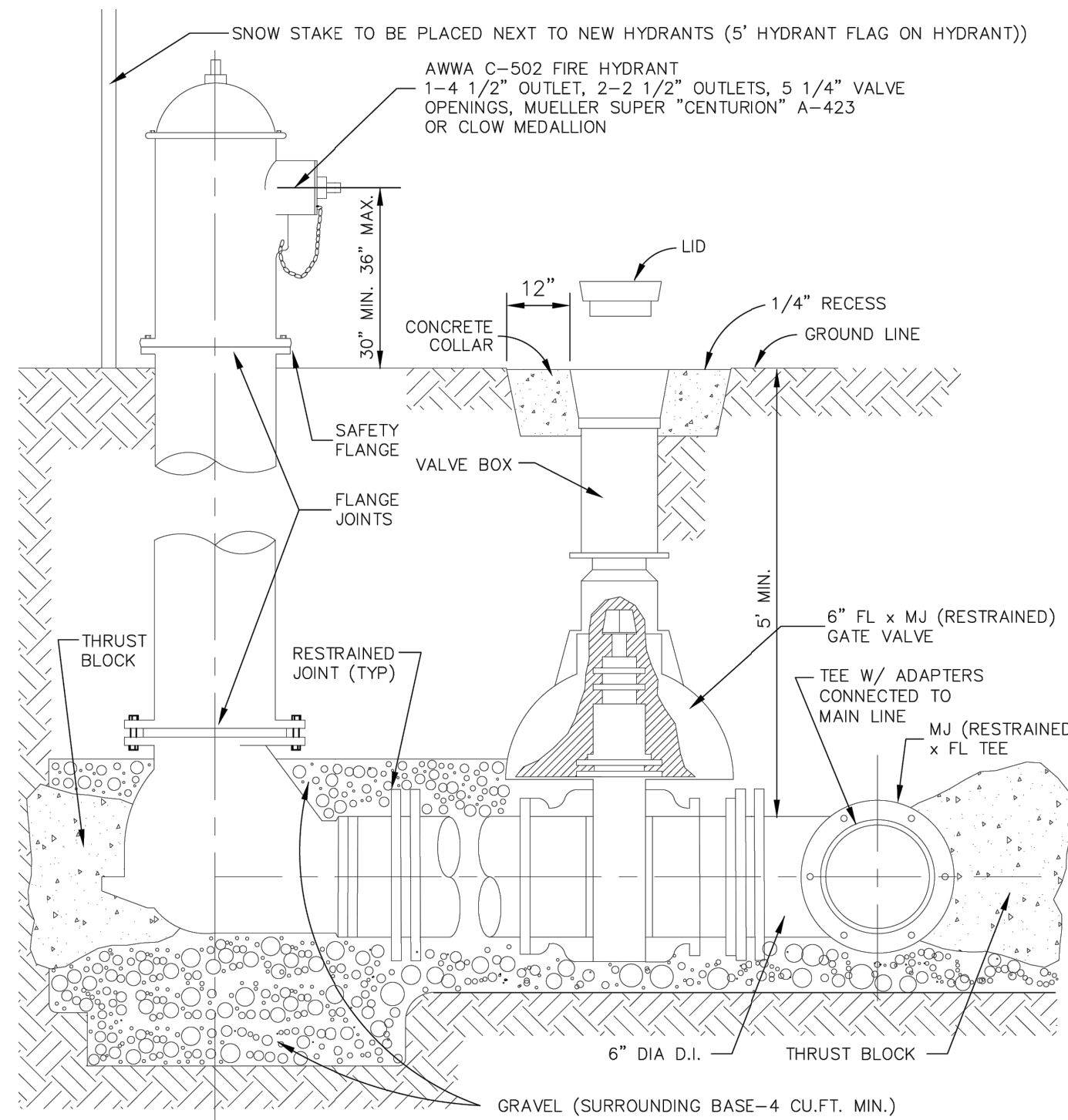
RIGID PIPE ON SUITABLE SUBGRADE

1
C502
PIPE TRENCH DETAIL
NOT TO SCALE



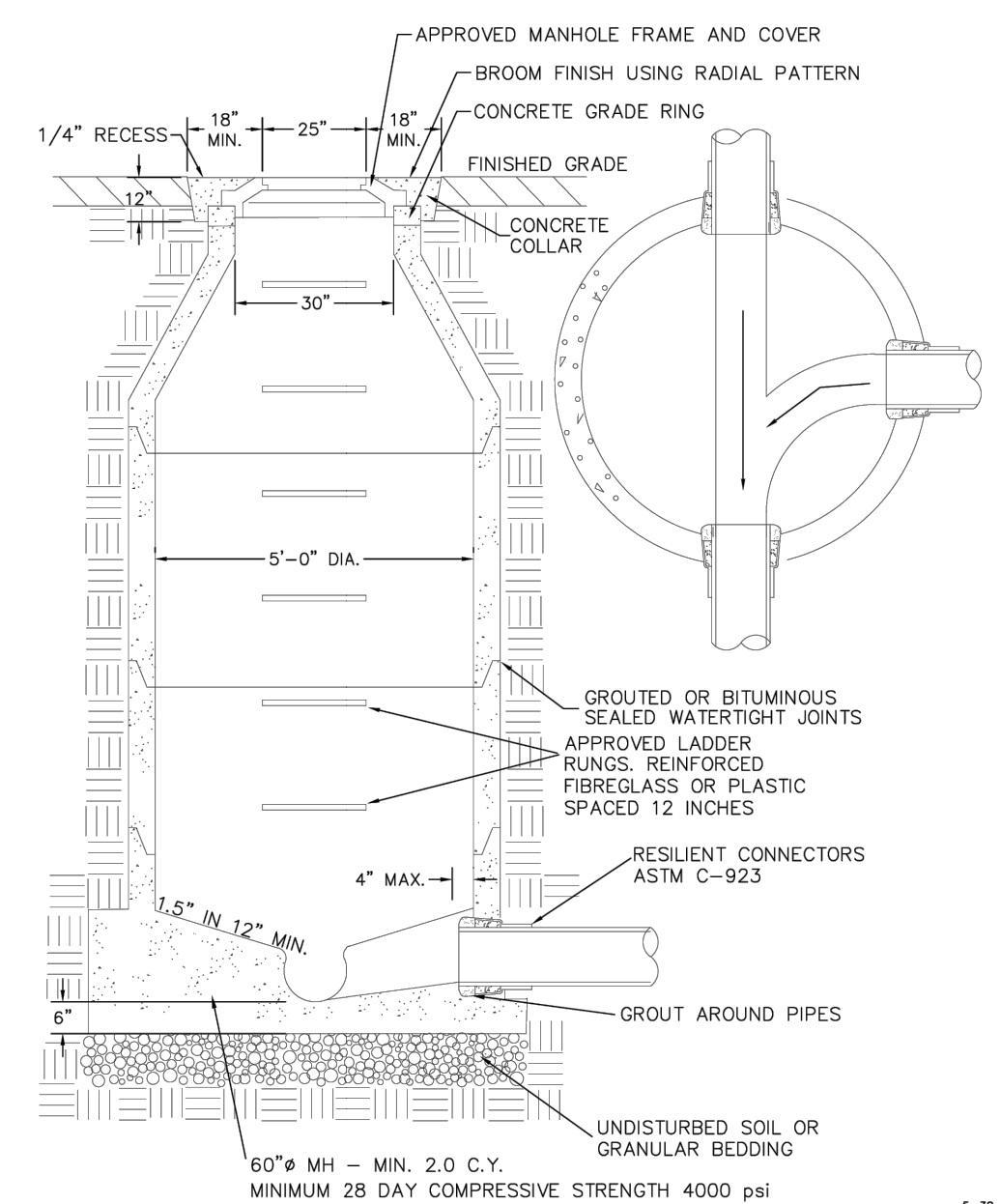
- NOTES:**
- METER BOX SHALL BE SET PLUMB
 - THREADS ON TAP SHALL MATCH THREADS ON CORPORATION STOP.
 - REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAILS.
 - NO METERS ARE TO BE INSTALLED IN SIDEWALK OR DRIVEWAYS UNLESS FIRST APPROVED BY THE CITY.
 - FOR DETAILED INFORMATION SEE SPECIFICATIONS.
 - METER BOX DIAMETERS (MINIMUMS):
 18" ϕ FOR 3/4" SERVICE
 24" ϕ FOR 1" SERVICE
 48" ϕ FOR 1-1/2" OR 2" SERVICE (CONCRETE PIPE SECTION OR MANHOLE)

2
C502
WATER SERVICE AND METER
NOT TO SCALE

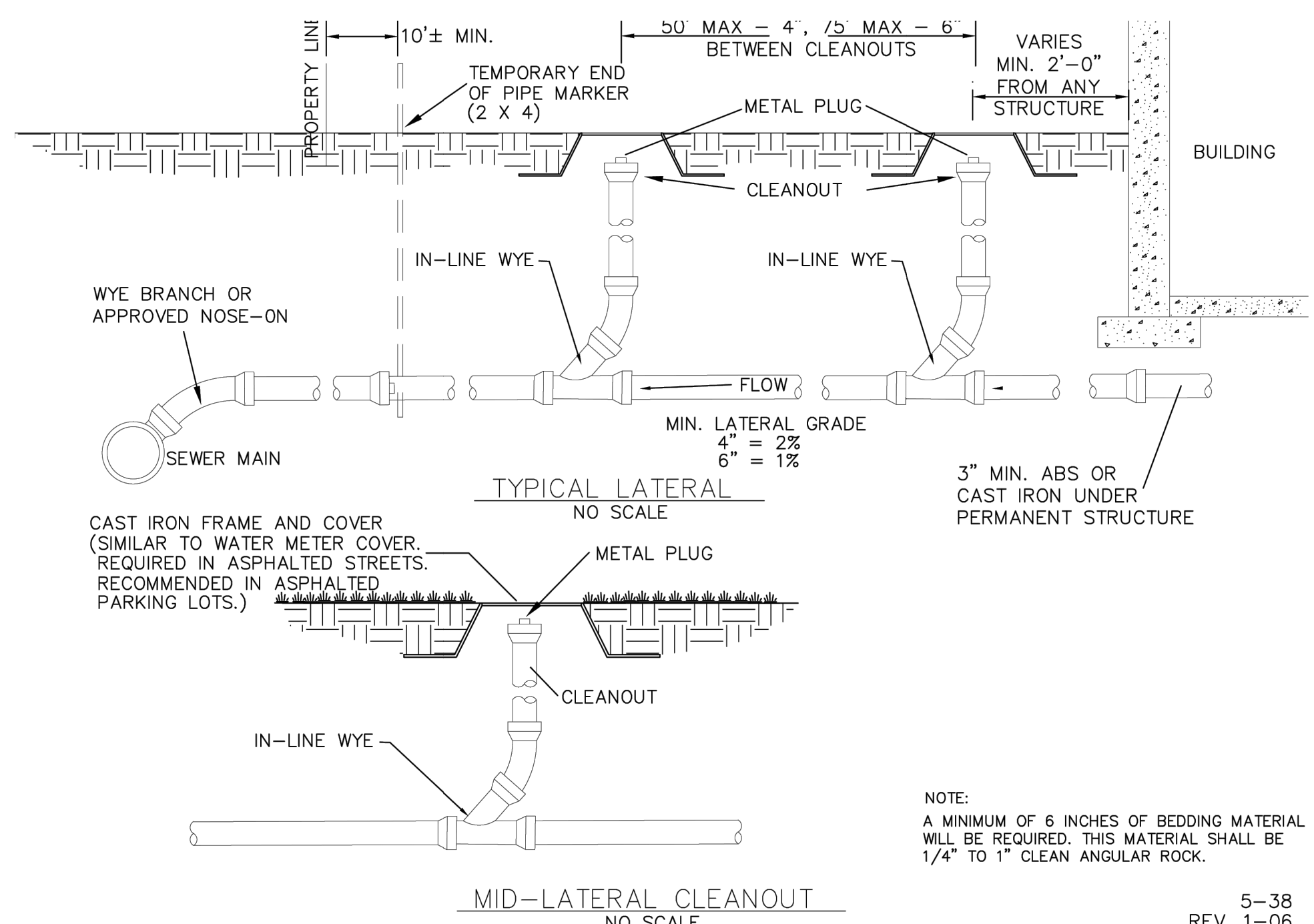


- NOTES:**
- ALL FIRE HYDRANTS SHALL BE LOCATED AS SHOWN ON THE PLANS.
 - ALL FIRE HYDRANTS WILL STAND PLUMB WITH THE PUMPER NOZZLE FACING THE STREET.
 - THE VALVE WILL BE LOCATED AS APPROVED BY CITY.
 - PIPE MATERIAL SHALL BE DUCTILE.
 - FOR DETAILED INFORMATION SEE SPECIFICATIONS.
 - RESTRAIN ALL JOINTS FROM MAIN TO FIRE HYDRANT.
 - CONCRETE VALVE COLLAR SHALL BE BROOM FINISHED IN RADIAL PATTERN.

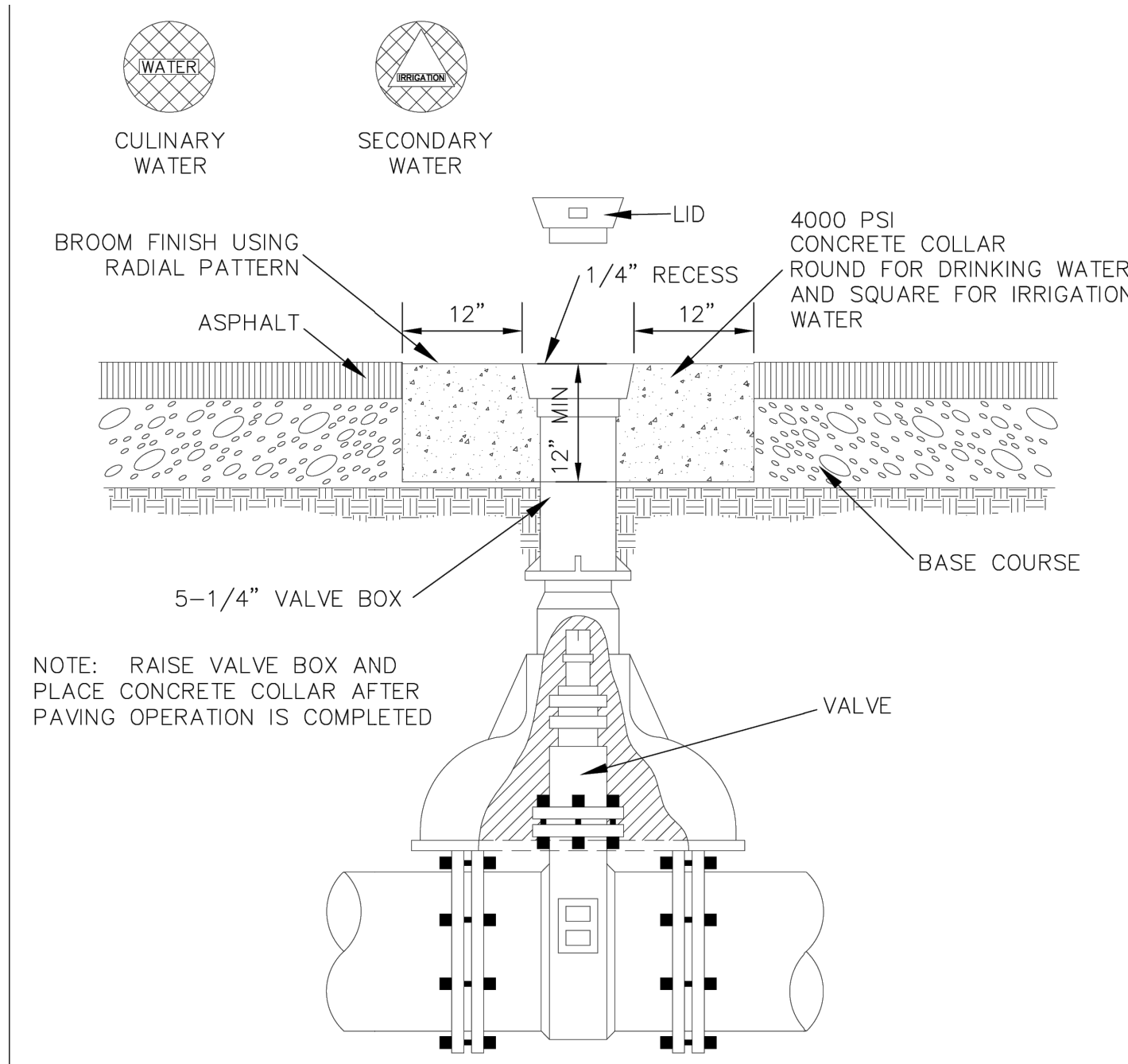
3
C502
FIRE HYDRANT ASSEMBLY
NOT TO SCALE



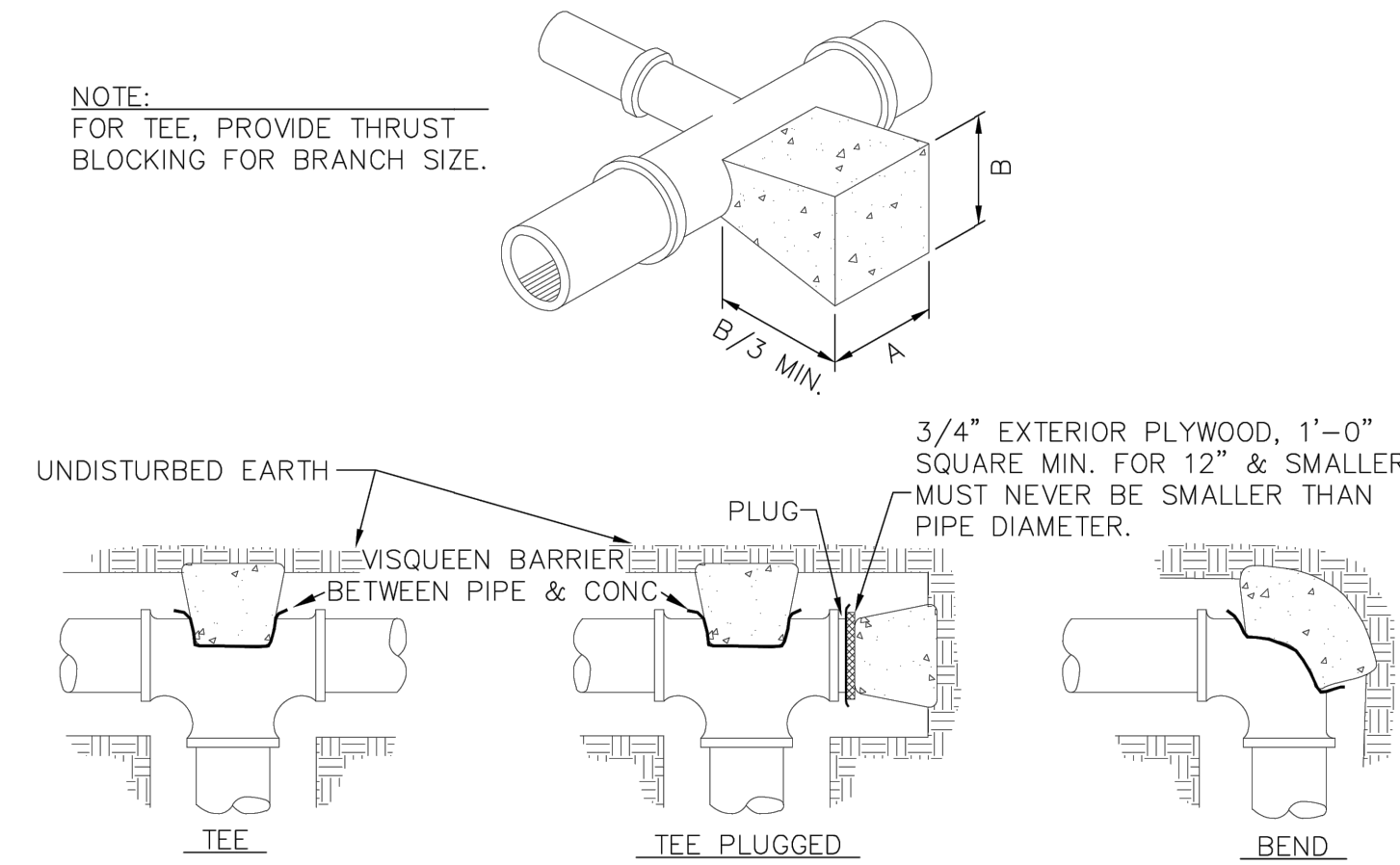
4
C502
SEWER MANHOLE DETAIL
NOT TO SCALE



5
C502
SEWER SERVICE LATERAL
NOT TO SCALE



6
C502
GATE VALVE DETAIL
NOT TO SCALE



DIMENSIONS FOR THRUST BLOCKING	
FITTING SIZES	TEES & PLUGS / 90° BENDS / 45° BENDS & 'Y'S' / 22 1/2° BENDS
	A B A B A B A B
4"	1'-6" 1'-6" 1'-6" 1'-9"
6"	2'-0" 1'-0" 2'-0" 2'-0"
8"	2'-0" 1'-6" 2'-3" 2'-3"
10"	2'-6" 2'-3" 2'-9" 2'-10"
12"	3'-0" 2'-9" 3'-6" 3'-3"
14"	3'-5" 3'-0" 4'-0" 3'-8"
16"	4'-0" 3'-6" 5'-0" 4'-0"
18"	4'-0" 4'-3" 6'-0" 5'-0"
20"	5'-0" 4'-3" 6'-0" 5'-0"
24"	6'-0" 5'-3" 8'-0" 5'-6"

- NOTES:**
- THIS TABLE IS BASED ON 200 P.S.I. MAIN PRESSURE AND 2000 P.S.F. SOIL BEARING PRESSURE. ADJUST BEARING AREAS IN ACCORDANCE WITH SOIL CONDITIONS AND PRESSURES ENCOUNTERED.
 - FOR ASBESTOS CEMENT PIPE GREATER THAN 6 INCHES IN DIAMETER DOUBLE THE AREA REQUIRED IN THE TABLE ABOVE.
 - USE VISQUEEN BETWEEN CONCRETE AND PIPE.
 - REFER TO CONCRETE STANDARD SPECIFICATIONS.
 - THE "THRUST BLOCKING DETAILS" IN NO WAY LIMITS THE LOCATION OR SIZE OF ADDITIONAL BLOCKING WHEN SO WARRANTED OR REQUIRED BY THE ENGINEER.

7
C502
THRUST BLOCK DETAIL
NOT TO SCALE

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SUNSET FIELDS SUBDIVISION
 700 EAST 1100 SOUTH
 HYRUM, UT 84319

MARK	DATE	DESCRIPTION

PROJECT #: 23-321
 DRAWN BY: L. WESTON
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 2/13/2024

PROFESSIONAL ENGINEER
 2/13/2024
 No. 6243188-2022
 MICHAEL E. TAYLOR
 STATE OF UTAH

DETAILS

C502