



Memorandum

To: Mayor and City Council

From: Tony Ekins, City Planner

Date: August 1, 2025

Subject: Carlyle Greger, Carlyle Machine - To seek site plan approval for a new 10,950 sq. ft. building to manufacture prototypes in the medical industry located at 1671 East 145 South, consisting of approximately 1.00 acres. Application 25-023A

Application Summary:

Hyrum City received a complete site plan application from Carlyle Greger who desires to construct a new 10,950 sq. ft. metal building. 7,950 sq. ft. will be used by the applicant to manufacture prototypes in the medical industry that are typically within the scale of two-inch (2") square. The remaining 3,000 sq. ft. of the building will be lease space. The 1-acre lot will be improved with an asphalt parking lot with landscaping areas on the south side and rock landscaping on the other remaining sides.

Planning Commission Recommendation:

On June 12, 2025, the Planning Commission made a motion (3-0 vote) recommending approval based on the applicant submittals, addressing staff comments and submitting the updated corrections and documents to the City Council.

City Council Meeting Details:

- Meeting Date: August 7, 2025
- Council Role: Administrative

Attachments:

1. Staff Evaluation – Second Review



Planning Commission Staff Evaluation – Second Review

APPLICATION: 25-023A

Carlyle Creger, Carlyle Machine - To seek site plan approval for a new 10,950 sq. ft. building to manufacture prototypes in the medical industry located at 1671 East 145 South, consisting of approximately 1.00 acres.

APPLICANT NAME: Carlyle Creger
PROPERTY OWNER: Carlyle Creger LLC
PROPERTY ADDRESS: 1671 East 145 South
PARCEL NUMBER: 01-170-0002
PARCEL AREA: 1.00 Acres
CURRENT ZONE: Manufacturing Zone M-2

COMMISSION MEETING: June 12, 2025
COMMISSION ROLE: Recommending Body to City Council
APPLICATION TYPE: Site Plan Approval

NATURE OF REQUEST: Permitted Use – Manufacturing (no excessive noise, dust, smoke or odor).

ZONING DISTRICT:

The purpose of this zone is to provide an area where medium to heavy manufacturing can occur. It allows higher levels of noise, dust, smoke and odor than is permitted in the M-1 Zone. Restrictions may be applied on proposed businesses whose levels of noise, dust, smoke or odor may be considered excessive by the planning commission. Design and landscaping requirements may also be imposed on businesses proposed for this zone

APPLICATION OVERVIEW:

The applicant desires to construct a new 10,950 sq. ft. metal building. 7,950 sq. ft. will be used by the applicant to manufacture prototypes in the medical industry that are typically within the scale of two-inch (2") square. The remaining 3,000 sq. ft. of the building will be lease space. The 1-acre lot will be improved with an asphalt parking lot with landscaping areas on the south side and rock landscaping on the other remaining sides.

UTILITIES: Water, Sewer and Power

STAFF COMMENTS – SECOND REVIEW

Water & Roads:

1. Meter pit for culinary water cannot be within the storm water swale and will require a 3 feet radius around the meter pit of level grade before sloping to swale.

Water Reclamation:

1. Recommend taking out the clean out in the detention pond. The other two clean outs shown on the drawing are adequate. 50' is exceeded between clean outs, but less than 75', which most likely will be our new standard once they are updated.

STAFF COMMENTS: *Planning Commission: June 12, 2025 – Applicant Responses in Red*
Planning and Zoning:

1. Each site plan shall include a lighting plan that is designed to discourage crime, enhance the safety of the project, and the parking lot and structure shall be well lit while preventing glare onto adjacent properties with dark-sky initiatives. Please submit the required lighting plan for Site Plan Approval. See HCC 17.49.022. ?
2. "Landscape Design By Others" is identified on Site & Utility Plan Sheet 1.1 but not provided for Site Plan Approval. Please submit the required landscape plan and appropriate maintenance plan for Site Plan Approval. See HCC 17.49.025. ?
3. Staff supports the parking proposed parking count, provided the property maintains compliance with HCC 17.49.060 Off-Street Parking – Specific Requirements to provide one (1) space for each employee working on the highest employment shift for manufacturing, processing or repair uses; and the remaining 3,000 sq. ft. future tenant improvements maintains: ?
 - a. Storage or warehouse: one (1) space for each five thousand (5,000) square feet of floor area;
 - b. Manufacturing, processing or repair: one (1) space for each employee working on the highest employment shift; the City Council may adjust this requirement if sufficient justification is provided.
4. The driveway widths proposed are forty feet (40') wide. Each roadway shall not be more than thirty-six feet (36') in width. See HCC 17.49.090.

The entrances have been adjusted to 36' wide and regraded.

5. A pedestrian opening on one wall of the enclosure for employee access to the dumpster shall be required. See HCC 17.49.105.

A note was added to the site plan that the dumpster enclosure shall have a man accessible door on the wall closest to the building.

6. A building permit will be required through a separate application. See HCC Title 15 Building and Construction for building permit requirements. ?
7. A sign permit will be required through a separate application if the applicant desires to advertise on the site. See HCC 17.72 Signs for sign requirements. ?
8. All construction shall be coordinated and conform to Hyrum City Design Standards and Construction Specifications for Public Works when applicable.

This is noted on each sheet.

Engineering:

1. See attachments.
 1. Handicap sign was moved to be mounted on the building.
 2. Roll gutter was removed and replaced with a 1' ribbon curb.
 3. Adjusted dumpster enclosure to maintain 3' separation from existing electrical box.
 4. Cross sections were added to show the grading and the low and high points of the storm ponds.
 5. Elevation callouts were added to show how the asphalt ramps up to the garage doors.
 6. A swale was added between Pond A and Pond C to ensure Pond C will spill over into Pond A if needed.
 7. Thank you for your stormwater comments. In the attached submittal, you will see that we addressed the redline comments. Our stormwater calculations use the FAA equation (1970) with the Runoff Coefficient table that was inadvertently left out of the stormwater report last submittal. We apologize for missing that. We have also taken a close look at our grading plan and have increased the capacity of all our ponds, as well as incorporating your connecting ideas. The ponds are all now oversized, including the front pond in Basin B. We apologize for the erroneous label,

that pond is sized to fully hold the 100-year requirement.

8. We added the note "T-PATCH TO INCLUDE SLURRY COAT TO HELP SEAL THE CRACKS AND PROVIDE SMOOTHER TRANSITION. 10' EACH SIDE".

9. We moved the water meter cleanout and sewer cleanout 3' behind the curb as requested.

Fire Department:

1. Supports the site plan.

Power Department:

1. Light & Power request that both the general contractor and the electrical contractor meet with department staff regarding expectations and installation standards of electrical utility and equipment. ?
2. Previous communication with Mr. Creger has taken place and some discussion on the transformer has happened, transformer is ordered and paid for.
3. Location of transformer and metering equipment looks acceptable.
4. There will need to be a 3-phase junction can installed on east side of property in the park strip to accommodate the connection of the transformer.

Added this to the utility plan with the note "3 PHASE JUNCTION CAN PER HYRUM CITY POWER SPECIFICATIONS".

5. Associated costs relevant to the project, excluding the previously paid for transformer, will be updated. ?

Water & Roads:

1. Please verify that the lateral and meter pit is not already stubbed into site before excavation of the road (most parcels in this area were pre-installed). For installation, please follow Hyrum city standards and remember sewer and water must maintain 10 feet of horizontal separation.

Our surveyor was not able to locate any stubs, but a note was added for the contractor to field verify any existing utility stubs prior to installing new ones. There is also a note added to the utility plans that the contractor shall follow all Hyrum City standards and specs along with the note to maintain 10' separation between water and sewer.

2. The water meter pit shall provide and maintain three feet (3') clearance from the back of the concrete curb, bank of detention pond, and landscape planting materials such as shrubs and trees.

The water meter and sewer cleanout is now moved back the requested 3' behind the TBC

Water Reclamation:

1. A lateral cleanout is located outside of structure per standard; however, cleanouts need to be installed at 50' intervals on 4" laterals which is not shown on the drawing. Refer to Construction Standard, 5.2.2.F.

There are 2 new cleanouts added to the utility plan at the required minimum 50' separation.

2. If a cleanout must be placed in asphalted streets, a cast iron frame and cover should be used. Refer to drawing 5-36.

One of the cleanouts is located in the parking drive area and a note was added to use a DOT rated cast iron frame and lid.

PLANNING COMMISSION RESPONSIBILITY:

1. The Planning Commission should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.

STAFF RECOMMENDATION:

1. Staff recommends the Planning Commission include in their motion the lighting plan required by HCC 17.49.022 prior to the City Council meeting.

2. Staff recommends the Planning Commission include in their motion the landscaping plan and appropriate maintenance plan required by HCC 17.49.025 prior to the City Council meeting.
3. Staff recommends the Planning Commission make a motion specifying conditions and requirements, and staff comments to the City Council.

STIPULATIONS:

1. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission with revisions; or require the applicant to return revisions to the City Council.
2. The applicant is required to include a lighting plan to the City Council.
3. The applicant is required to include a landscape plan and appropriate maintenance plan to the City Council.

FINDINGS OF FACT:

1. Manufacturing is a Permitted Use in the Manufacturing Zone M-2.

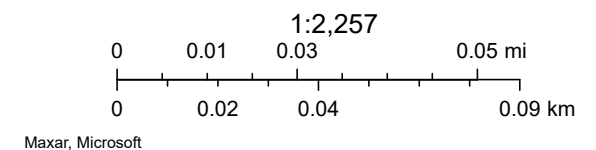
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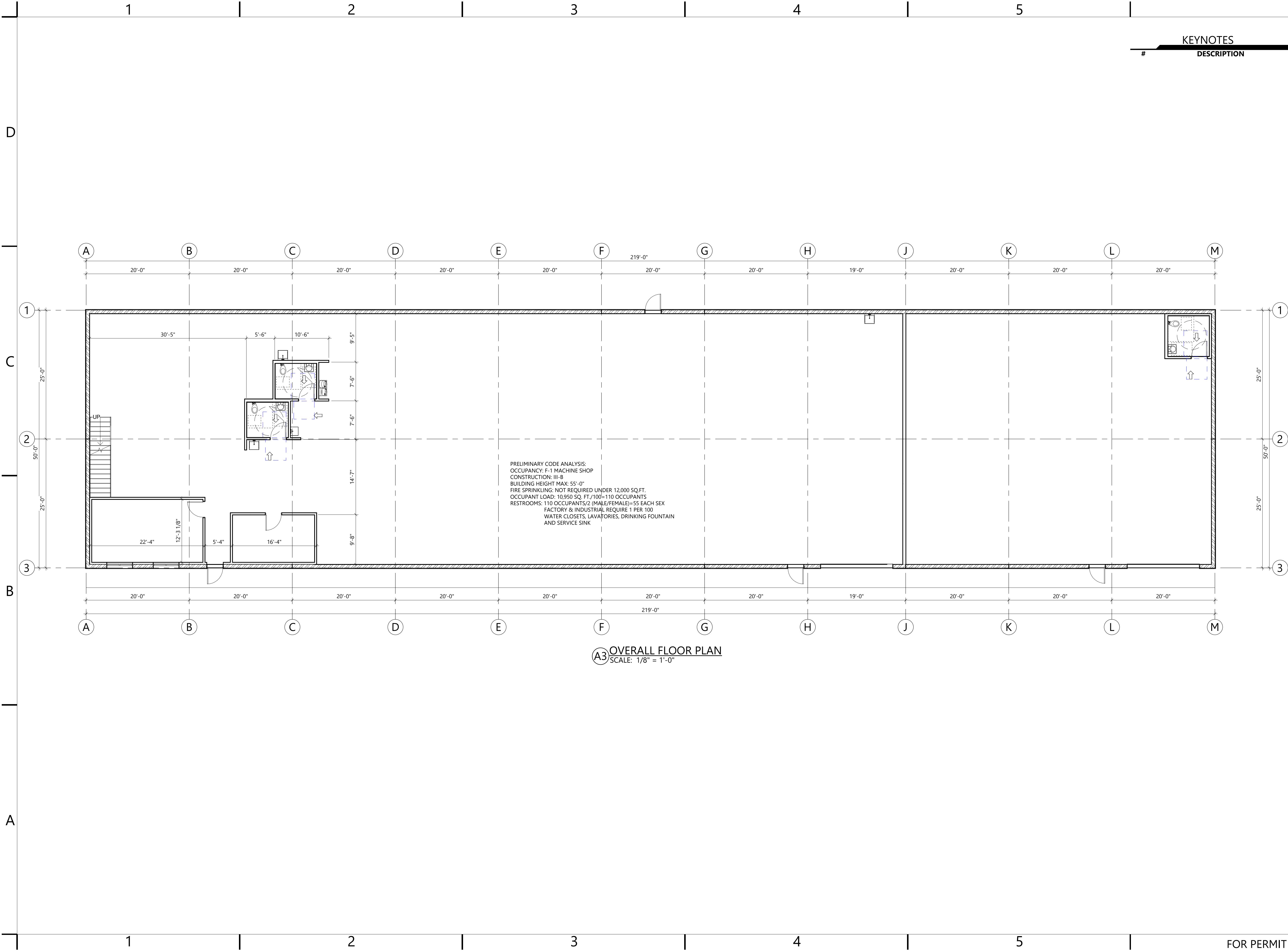
1. ArcGIS Web Map
2. Main Floor Plan
3. Building Elevations
4. Erosion Control Plan
5. Site Plan
6. Grading Plan
7. Utility Plan
8. Stormwater Plan
9. Details
10. Sections
11. Lighting Plan
12. Landscape Plan

ArcGIS Web Map



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A3 OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES	
#	DESCRIPTION

CARTWRIGHT
ARCHITECTS & ENGINEERS

635 SOUTH 100 EAST
LOGAN, UT 84341
T435 753.2850
F435 753.2851
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PROFESSIONAL STAMP

AGENCY APPROVAL

CREGER MACHINE

1671 E. 145 S. HYRUM, UT

CARTWRIGHT PROJECT #		125017
DATE:		03/12/2025
DRAWN BY:		CW
CHECKED BY:		CW
APPROVED BY:		JC

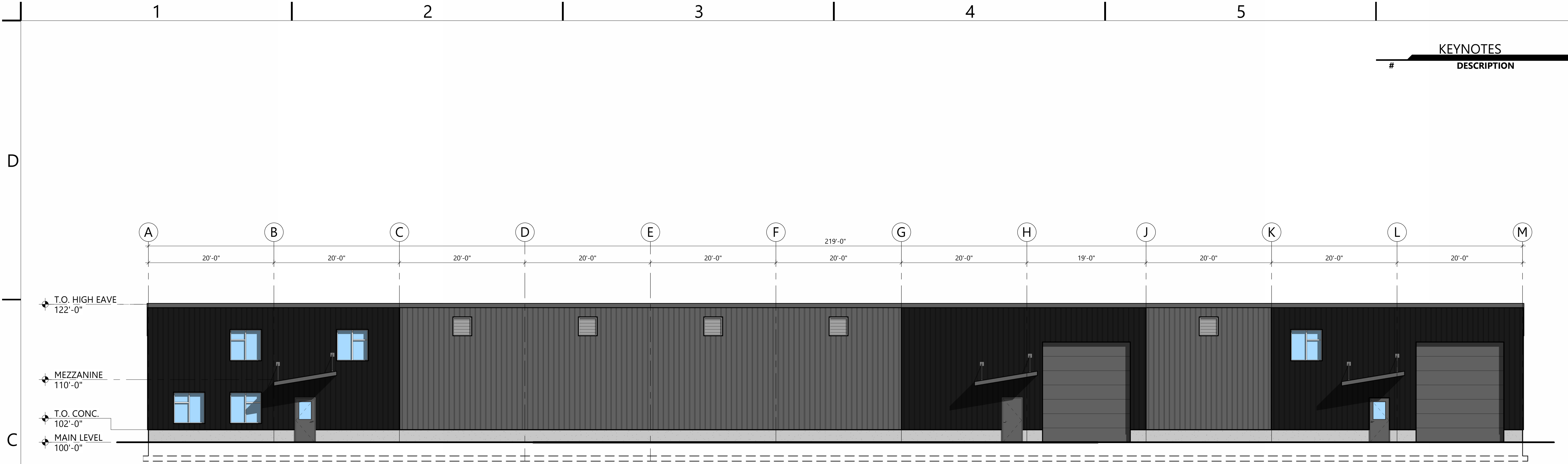
REVISIONS	
DATE	DESCRIPTION

FLOOR PLAN

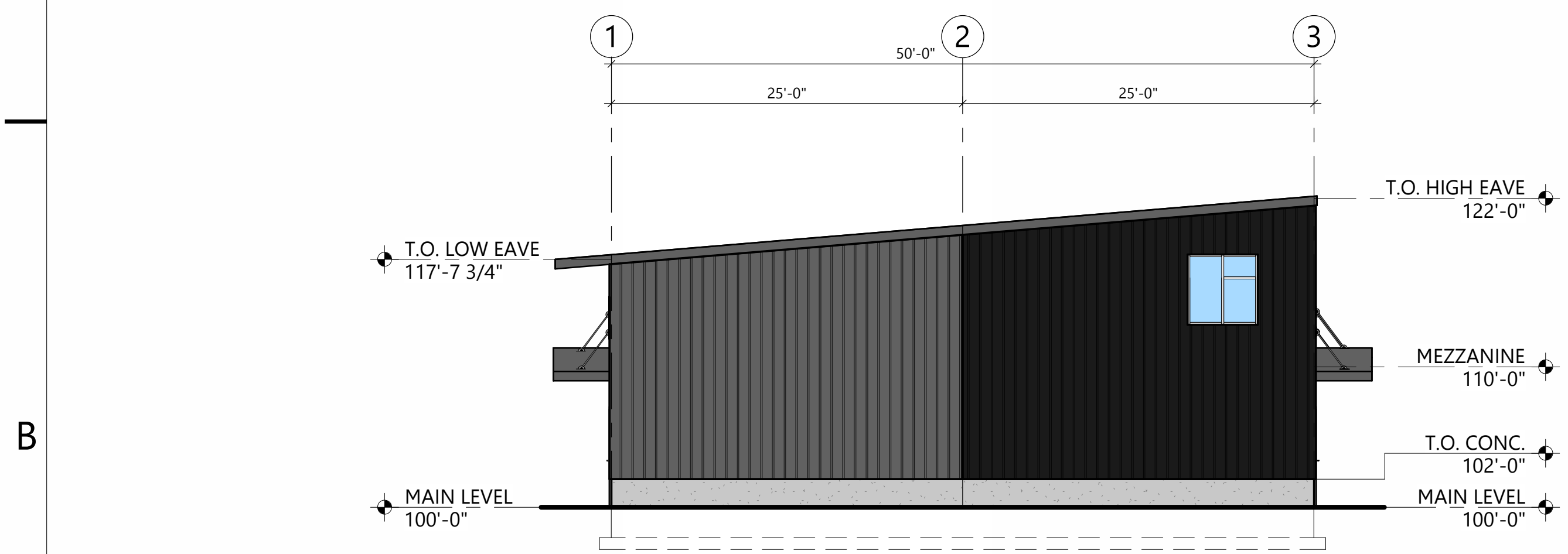
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FOR PERMIT

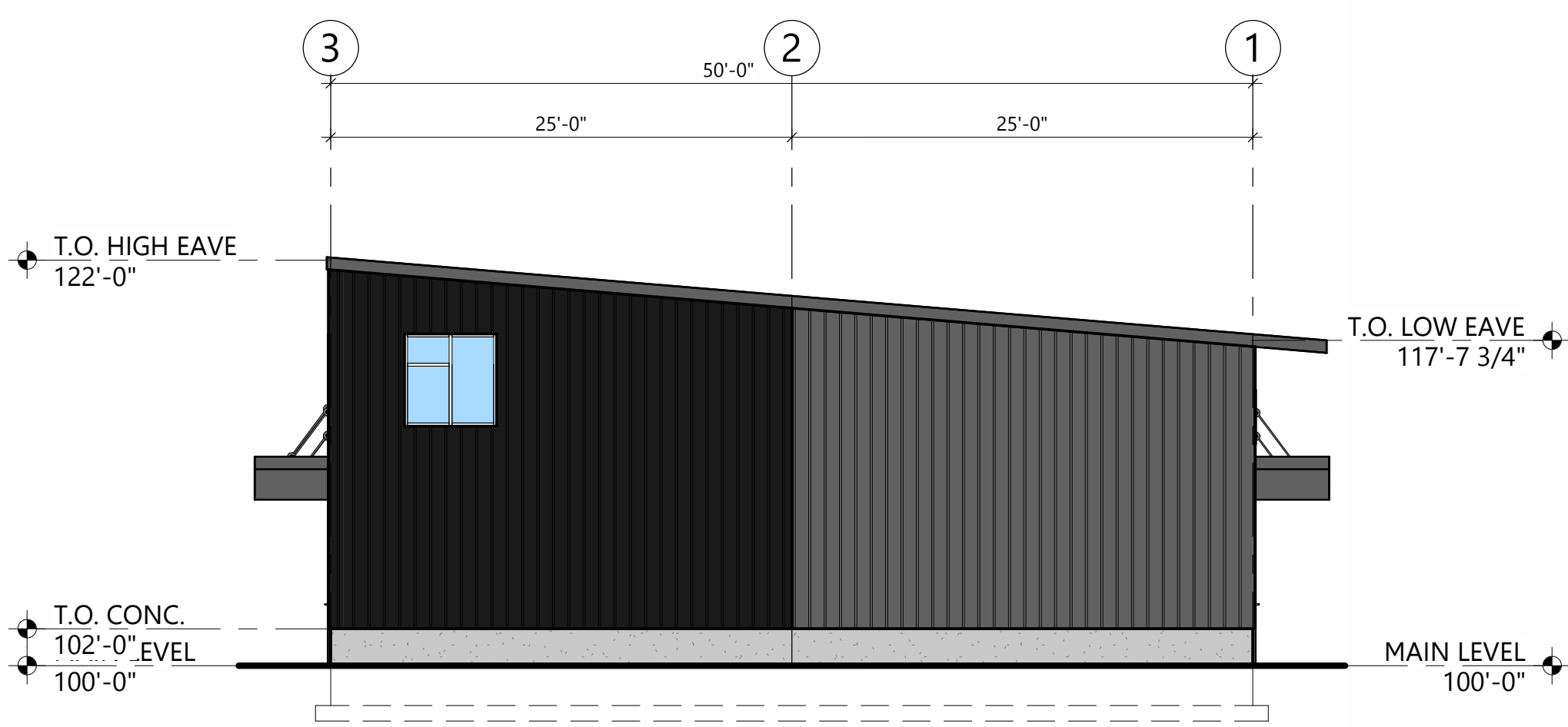
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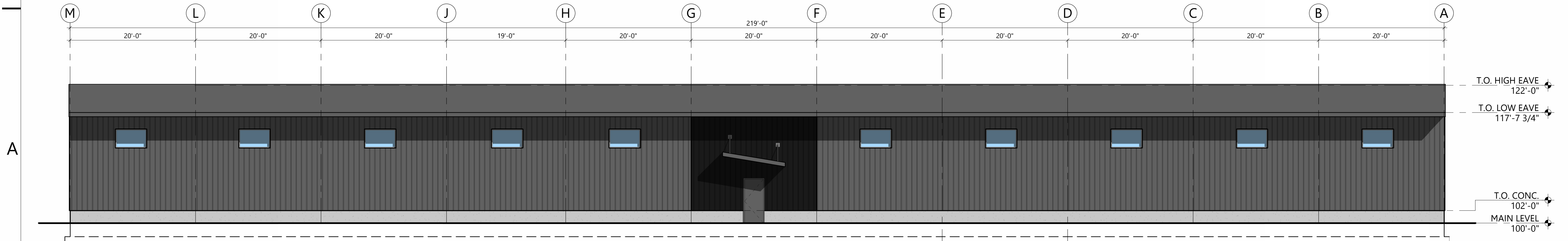
C3 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



B2 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



B5 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



A3 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

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AGENCY APPROVAL

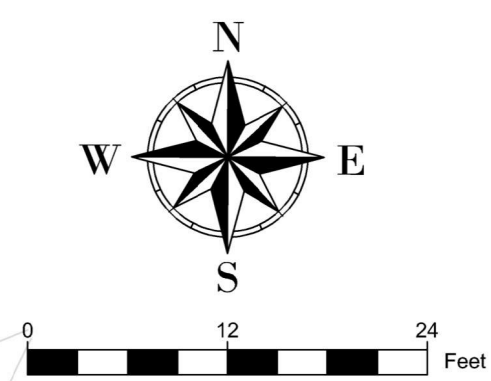
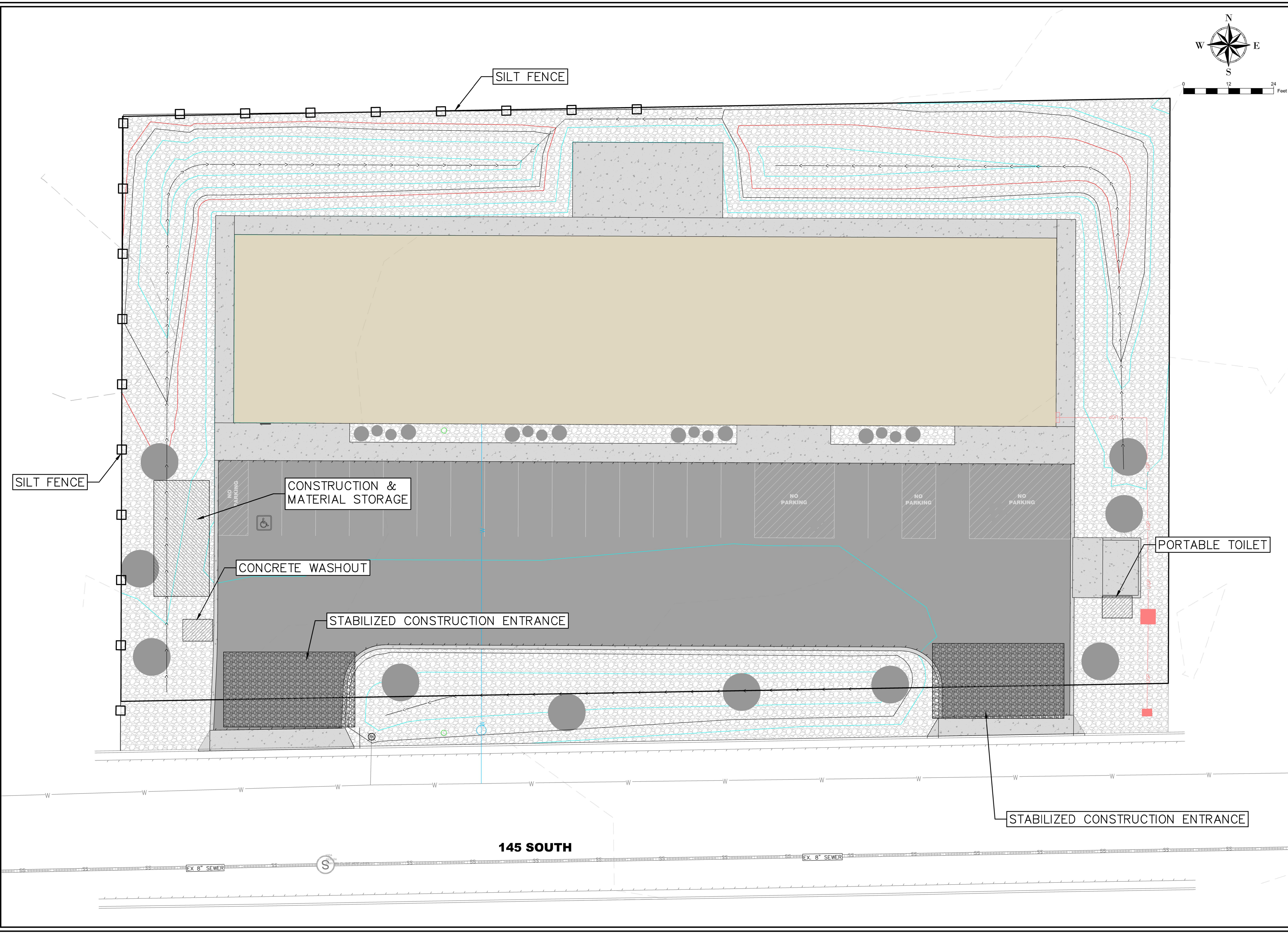
CREGER MACHINE
1671 E. 145 S. HYRUM, UT

CARTWRIGHT PROJECT # 125017
DATE: 03/12/2025
DRAWN BY: CW
CHECKED BY: CW
APPROVED BY: CW
REVISIONS
DATE DESCRIPTION
ARCHITECTURAL
ELEVATIONS
A201

FOR PERMIT

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7/2/2025



SHEET NOTES

ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES. .

SHEET LEGEND

PLAN REVISIONS

A.	
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RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: RJM	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: RJM	
Q&A: JNS	

PROJECT NAME

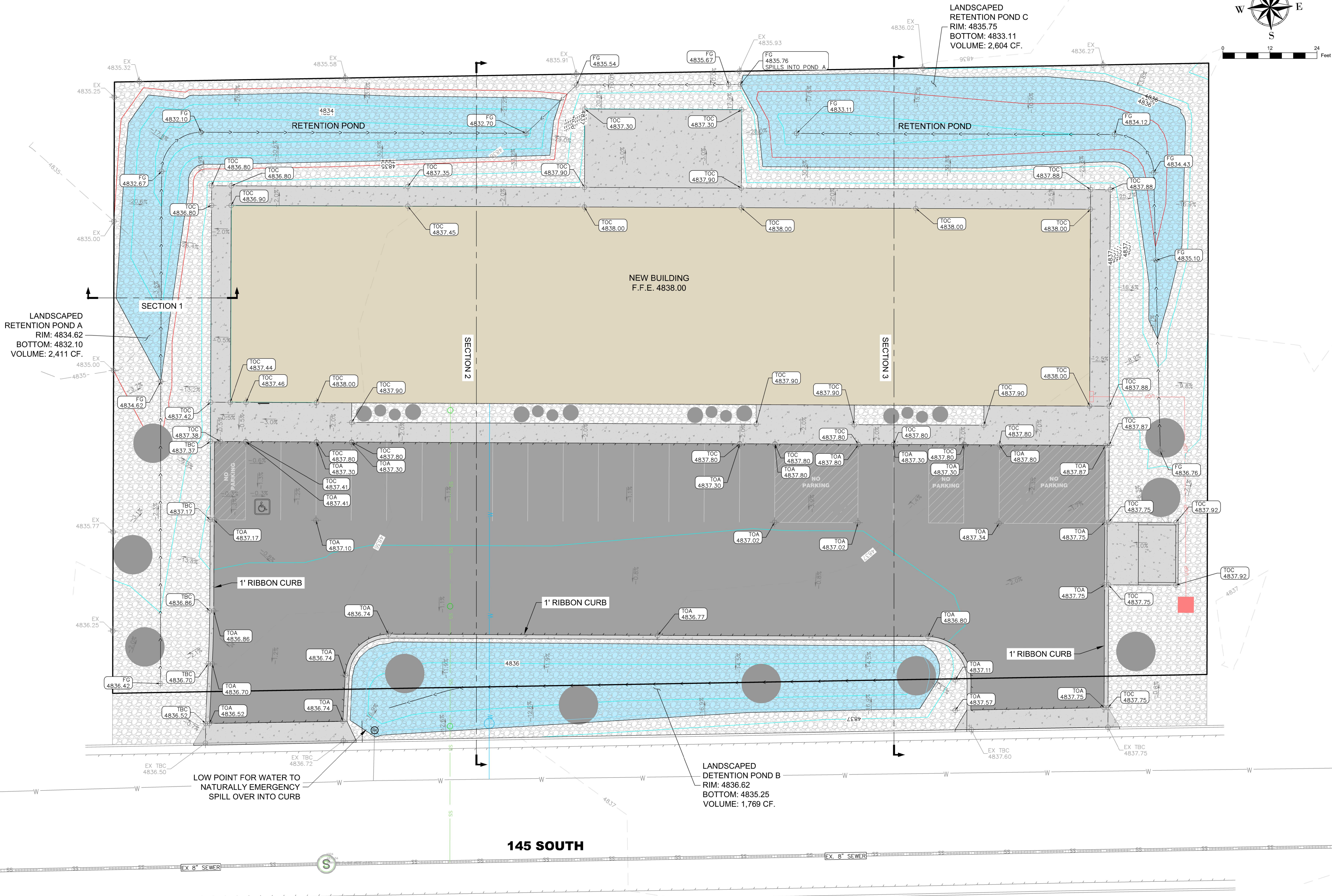
CREGER MACHINE SHOP

SHEET NAME

EROSION CONTROL PLAN

PLAN SUBMITTAL:	PRELIM
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REVIEW SET 7/2/25	SHEET NUMBER 1.0
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SHEET NOTES

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SHEET LEGEND

- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. EDGE OF ASPHALT
- EX. EDGE OF ROAD
- PROP. SHOULDER
- FL SWALE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN

EX: EXISTING GRADE
FFE: FINISHED FLOOR ELEVATION
FG: FINISHED GRADE
TBC: TOP BACK CURB
TOA: TOP OF ASPHALT
TOC: TOP OF CONCRETE

PLAN REVISIONS

A.	
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RIMROCK
ENGINEERING &
DEVELOPMENT

CAD TECH: RJM
DESIGNER: RJM
Q&A: JNS

CALL BLUE
STAKES PRIOR
TO DIGGING

PROJECT NAME

CREGER MACHINE
SHOP

SHEET NAME

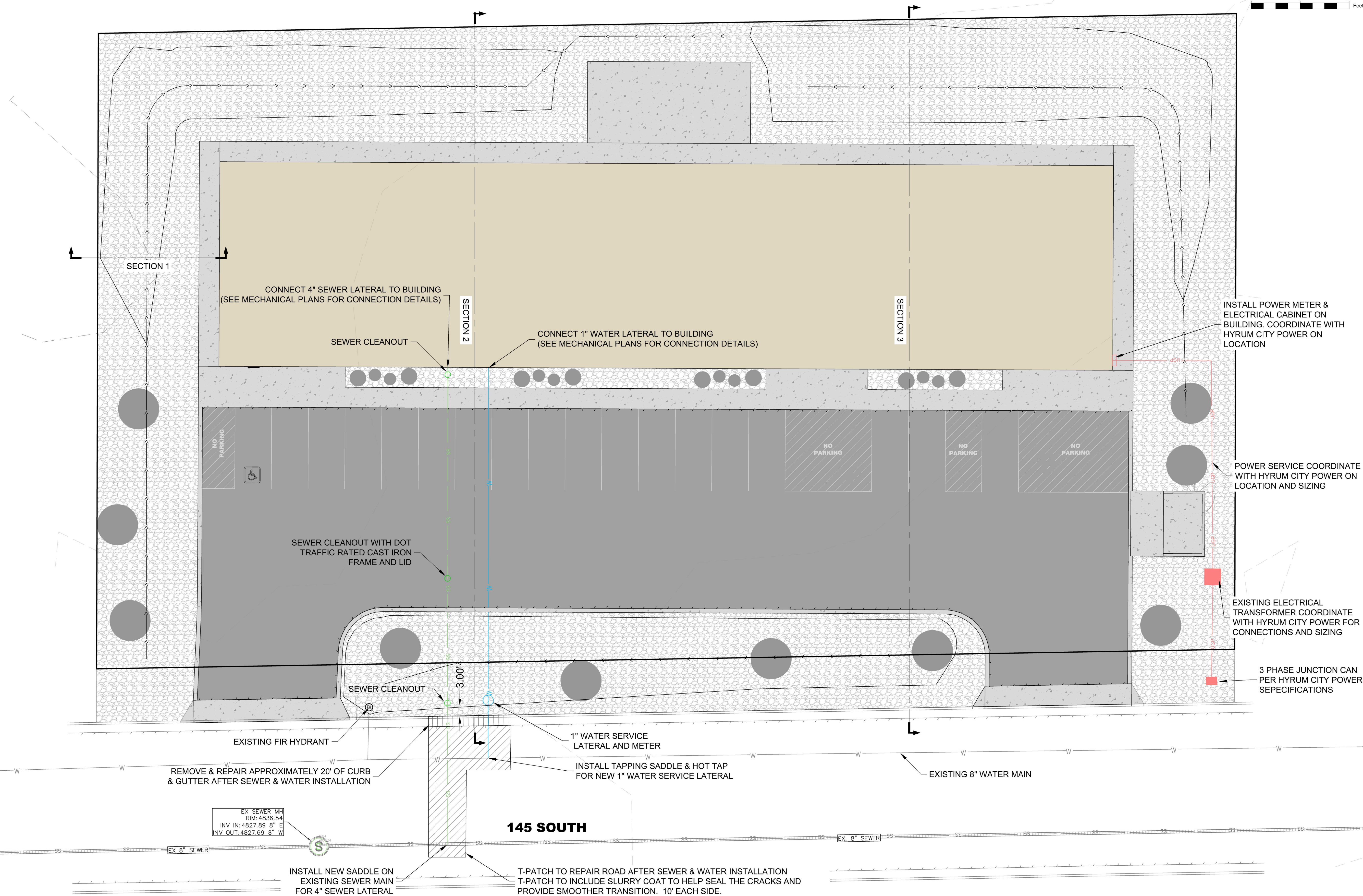
GRADING PLAN

PLAN SUBMITTAL:

PRELIM

REVIEW SET
7/1/25

SHEET NUMBER
1.2



SHEET NOTES

1. ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS
2. IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES.
3. CONTRACTOR TO MAINTAIN 10' MINIMUM SEPARATION BETWEEN SEWER AND WATER LATERALS.
4. CONTRACTOR TO VERIFY EXISTING SEWER AND WATER LATERALS PRIOR TO INSTALLING NEW ONES.

SHEET LEGEND

	EX. MAJOR CONTOUR
	EX. MINOR CONTOUR
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. EDGE OF ASPHALT
	EX. EDGE OF ROAD
	PROP. SHOULDER
	FL SWALE
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	1" WATER SERVICE LAT.
	4" SEWER SERVICE LAT.
	UNDER GROUND POWER

PLAN REVISIONS

A.



**IMROCK
ENGINEERING &
DEVELOPMENT**

CAD TECH:	RJM
DESIGNER:	RJM
Q&A:	JNS

**CALL BLUE
STAKES PRIOR
TO DIGGING**

PROJECT NAME

CREGER MACHINE SHOP

SHEET NAME

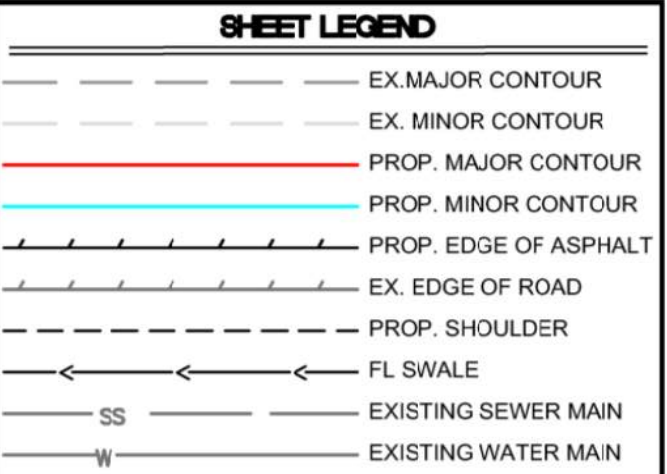
UTILITY PLAN

PLAN SUBMITTAL

SHEET NUMBER

REVIEW SET
7/2/25

1.3



PLAN REVISIONS

A.



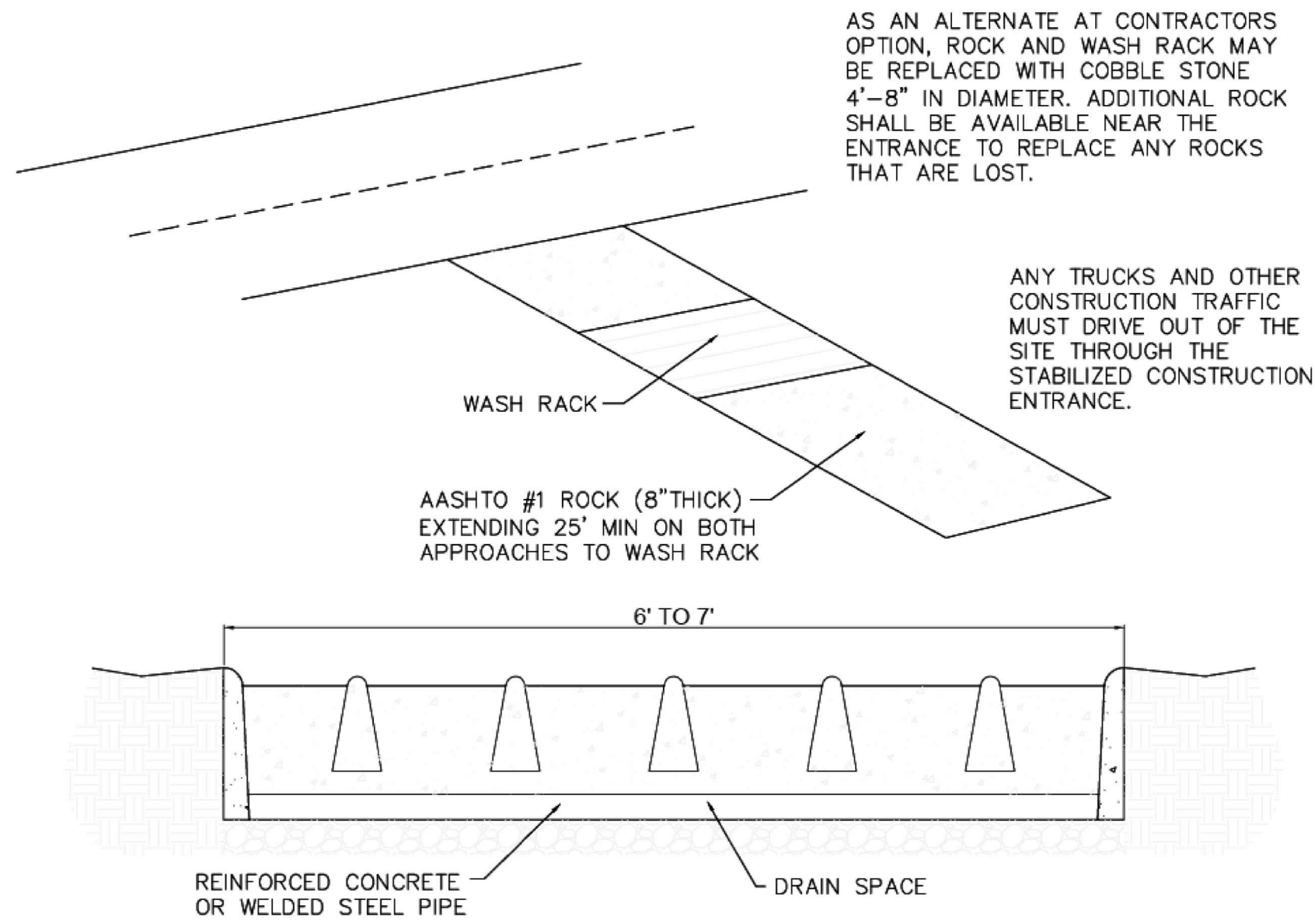
PROJECT NAME

**CREGER MACHINE
SHOP**

SHEET NAME
STORMWATER PLAN

PLAN SUBMITTAL:	PRELIM
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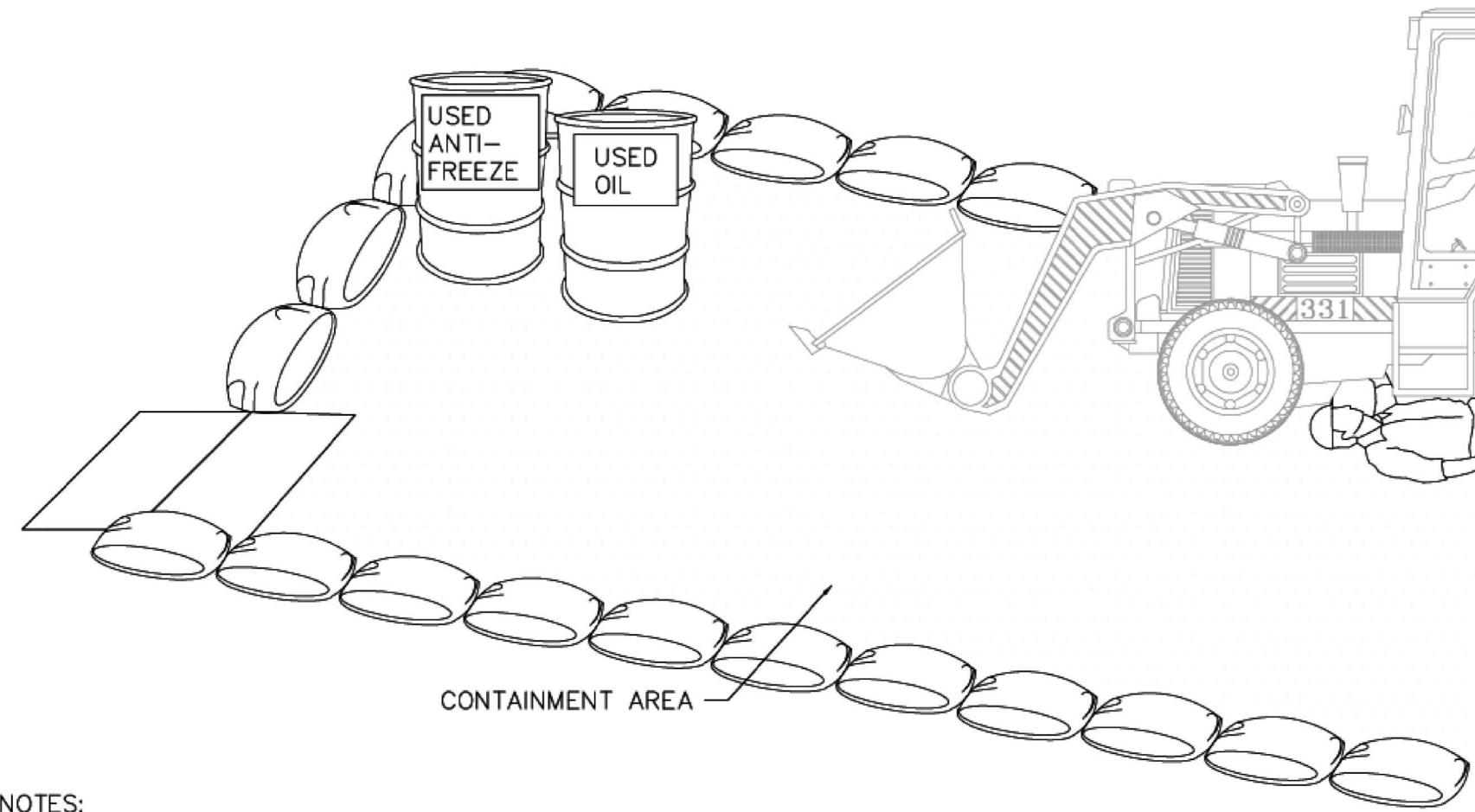
REVIEW SET 6/13/25	SHEET NUMBER 1.4
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MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCK PILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIME. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

A

STABILIZED CONSTRUCTION ENTRANCE

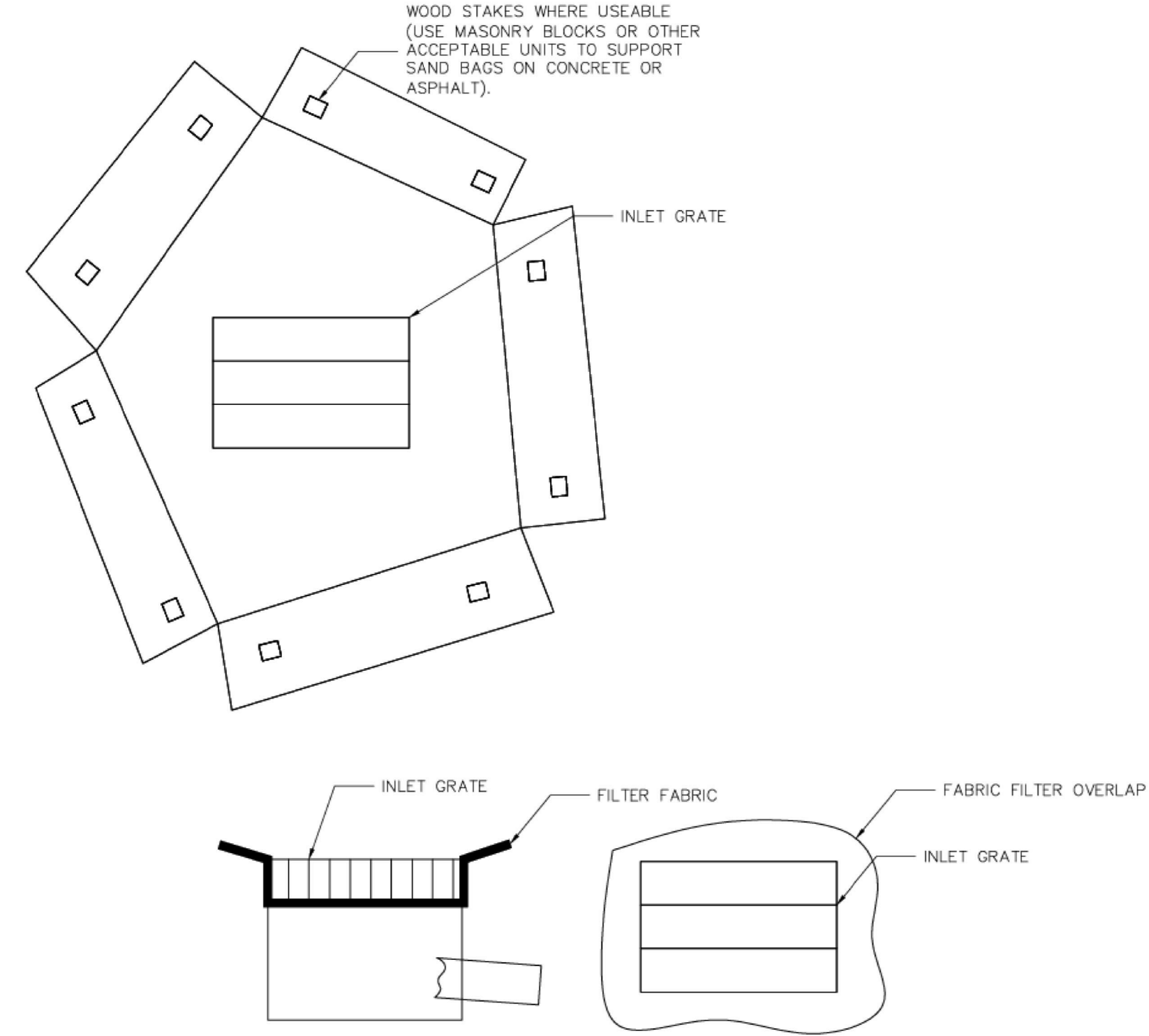


NOTES:

1. LEAKING VEHICLES AND EQUIPMENT SHALL NOT BE ALLOWED ON-SITE. EQUIPMENT AND VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS AND SHALL BE REPAIRED IMMEDIATELY. CLEAN UP SPILLS AND LEAKS PROMPTLY WITH ABSORBENT MATERIALS; DO NOT FLUSH WITH WATER.
2. VEHICLES AND EQUIPMENT SHALL BE MAINTAINED, AND REPAIRED ON-SITE ONLY IN DESIGNATED AREAS. PREVENT RUN-ON AND RUN-OFF FROM DESIGNATED AREAS.
3. CONTAINMENT DEVISED SHALL BE PROVIDED AND AREAS SHALL BE COVERED IF NECESSARY.
4. DESIGNATE ON-SITE VEHICLE AND EQUIPMENT MAINTENANCE AREAS, AWAY FROM STORM DRAIN INLETS AND WATERCOURSES.
5. ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN OR DROP CLOTH TO CATCH SPILLS AND LEAKS WHEN REMOVING OR CHANGING FLUIDS. LEGALLY DISPOSE OF USED OILS, FLUIDS AND LUBRICANTS.
6. PROVIDE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL, FUEL, AND CHEMICAL DRUMS.
7. MAINTAIN AN ADEQUATE SUPPLY OF ABSORBENT SPILL CLEANUP MATERIALS IN DESIGNATED AREAS.

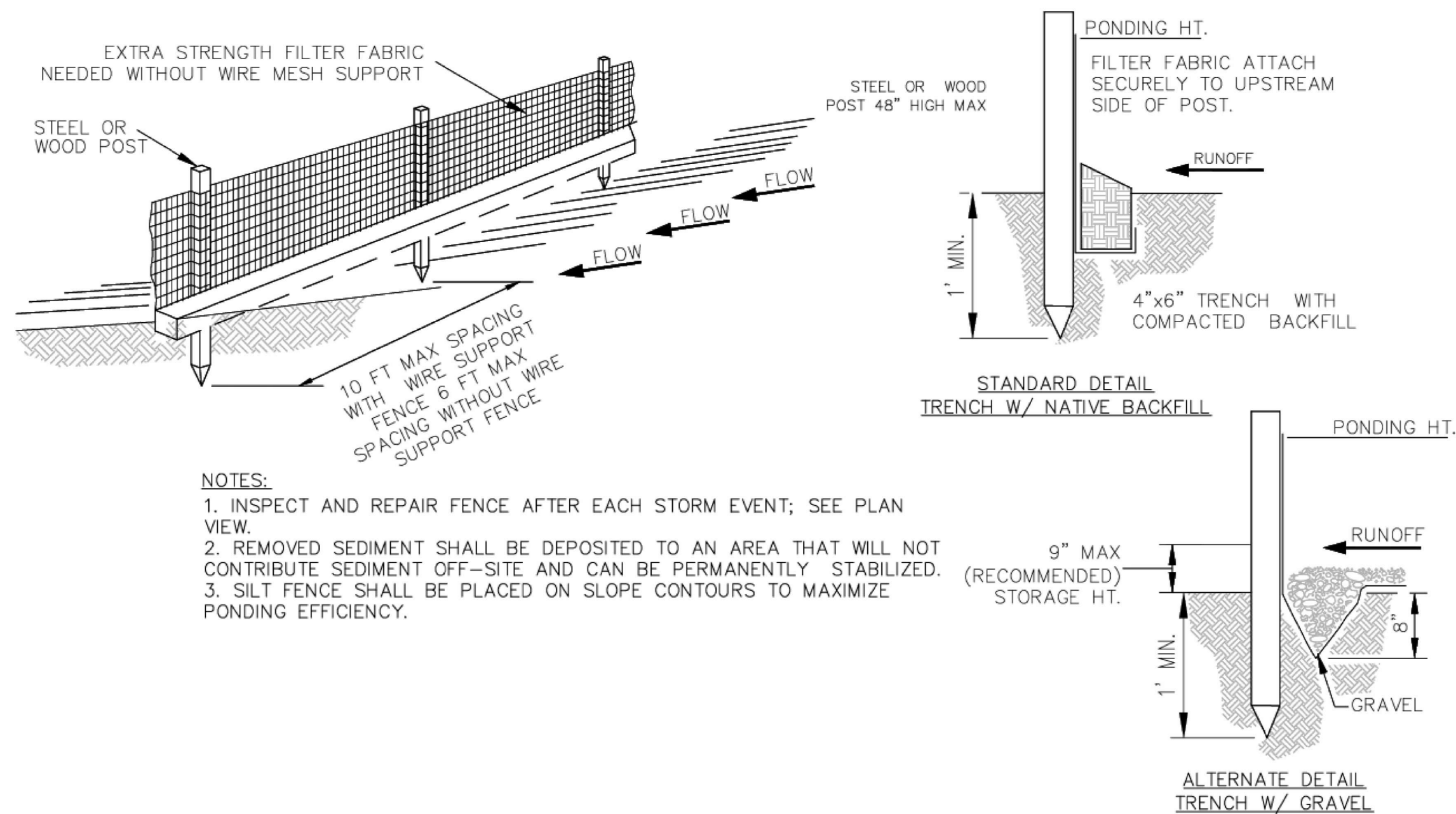
B

CONSTRUCTION & MATERIAL STORAGE



C

GRAVEL BAG AND FILTER FABRIC INLET PROTECTION

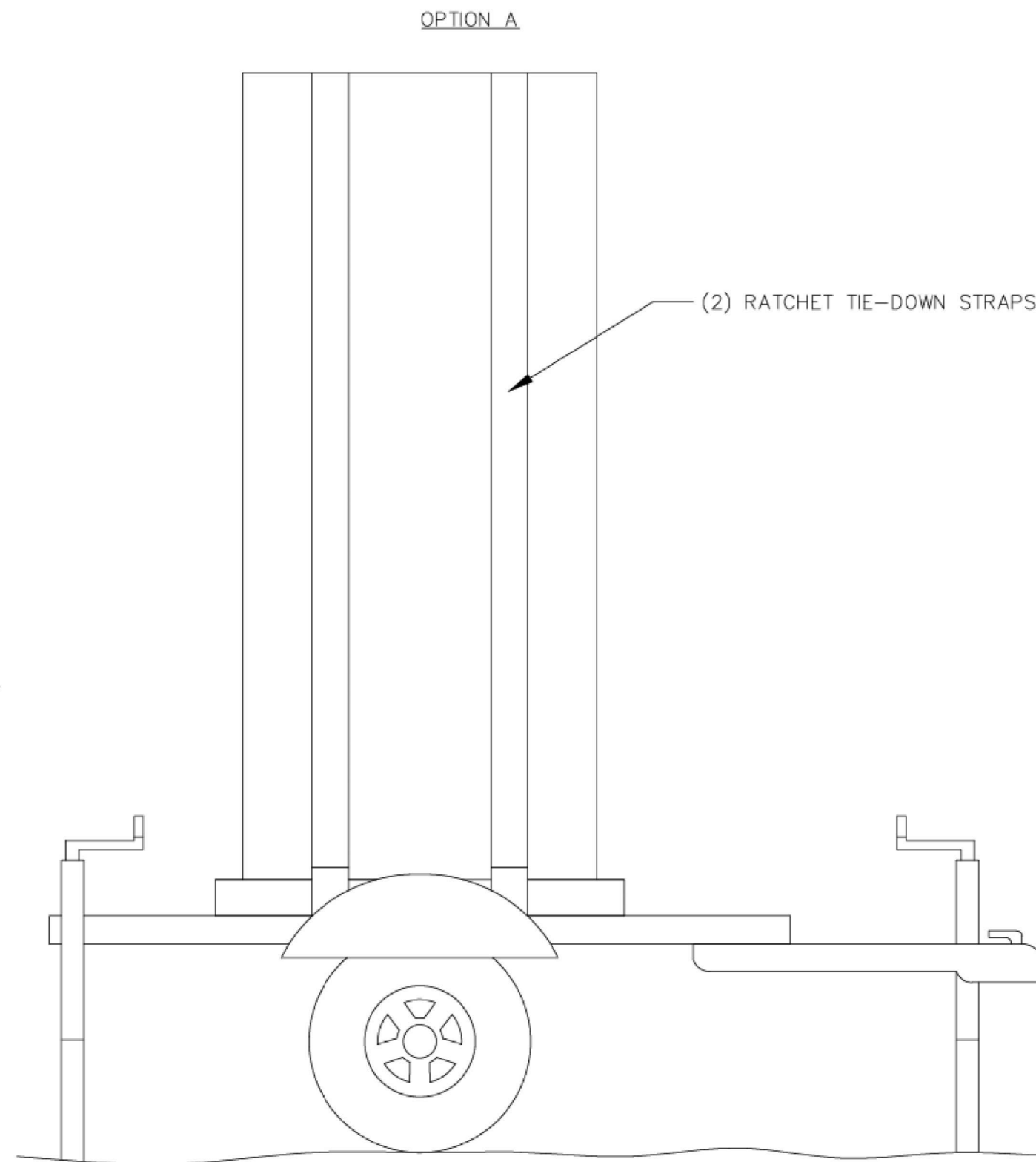


NOTES:

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT; SEE PLAN VIEW.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

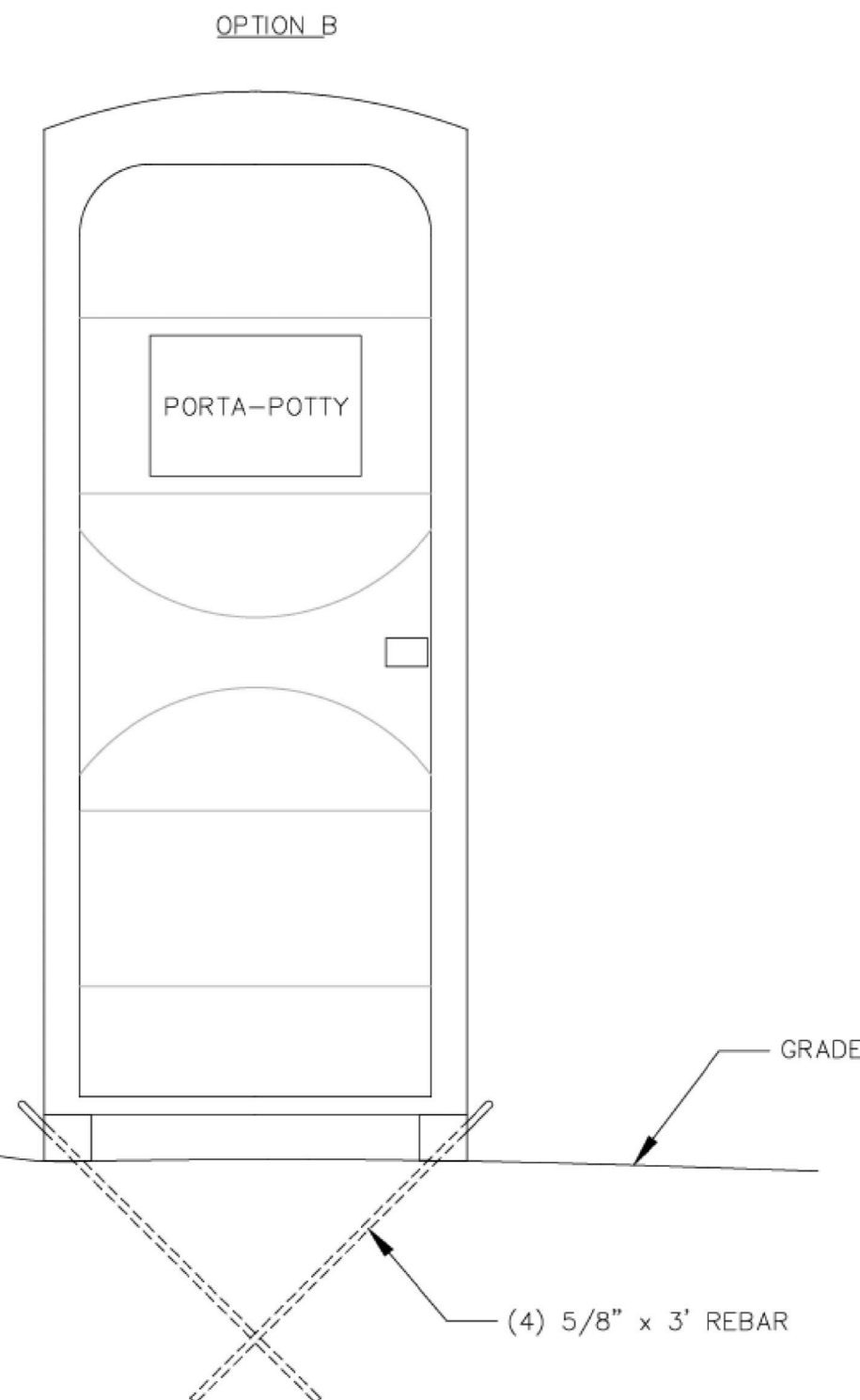
D

LODA/SILT FENCE



E

PORTABLE TOILET



SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

A.	



RIMROCK
ENGINEERING &
DEVELOPMENT

CAD TECH: RJM
DESIGNER: RJM
Q&A: JNS

**CALL BLUE
STAKES PRIOR
TO DIGGING**

PROJECT NAME

**CREGER MACHINE
SHOP**

SHEET NAME

DETAILS

PLAN SUBMITTAL:

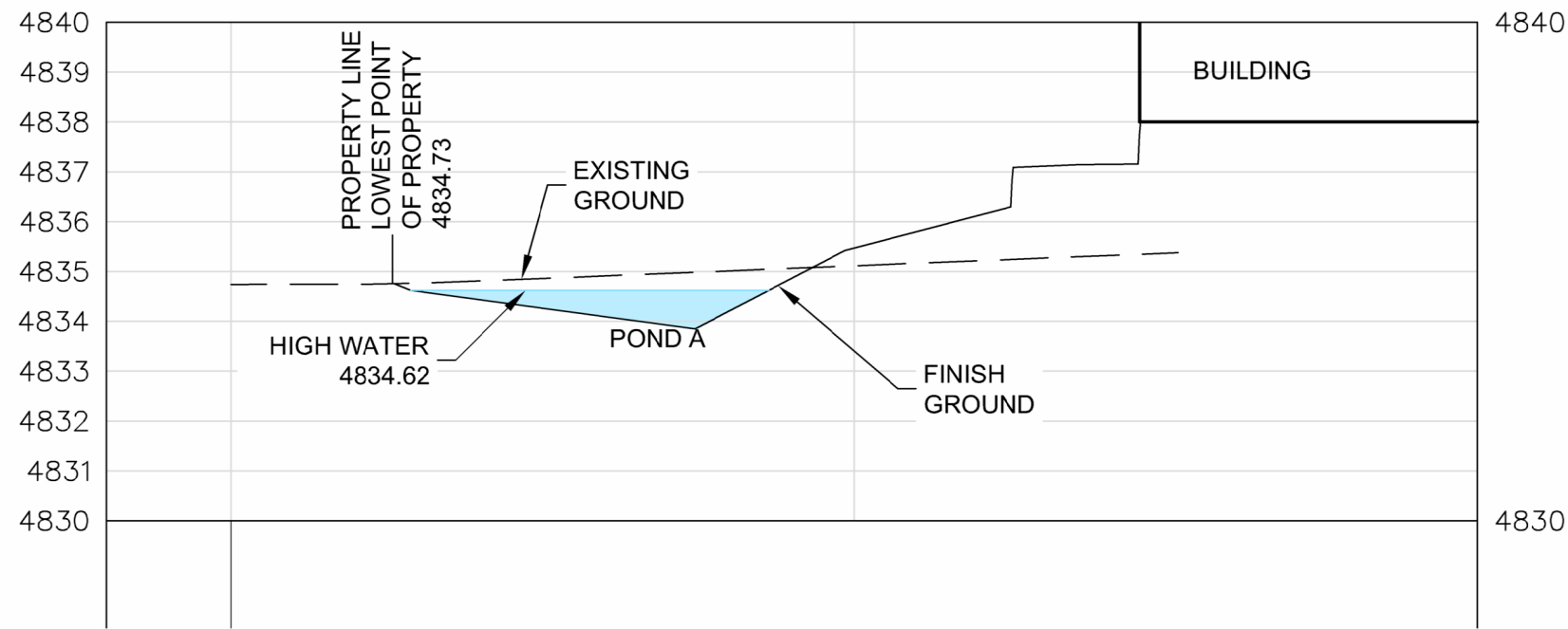
PRELIM

**REVIEW SET
7/1/25**

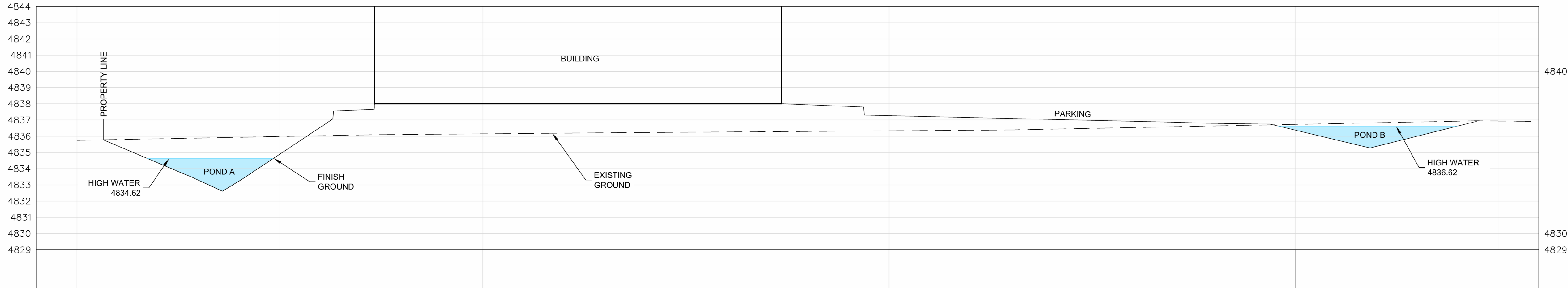
SHEET NUMBER

4.0

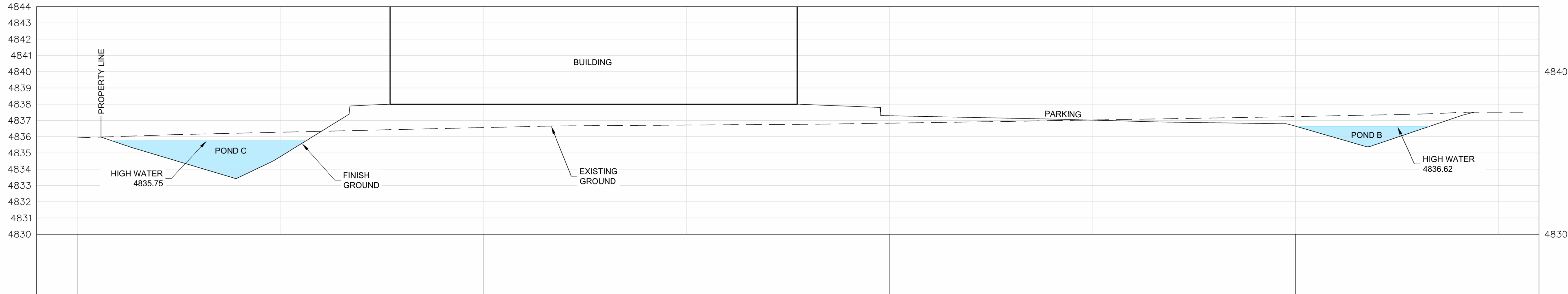
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SECTION 1
NTS



SECTION 2
NTS



SECTION 3
NTS

SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

A.	



RIMROCK
ENGINEERING &
DEVELOPMENT

CAD TECH: RJM
DESIGNER: RJM
Q&A: JNS

**CALL BLUE
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TO DIGGING**

PROJECT NAME

**CREGER MACHINE
SHOP**

SHEET NAME

SECTIONS

PLAN SUBMITTAL:

PRELIM

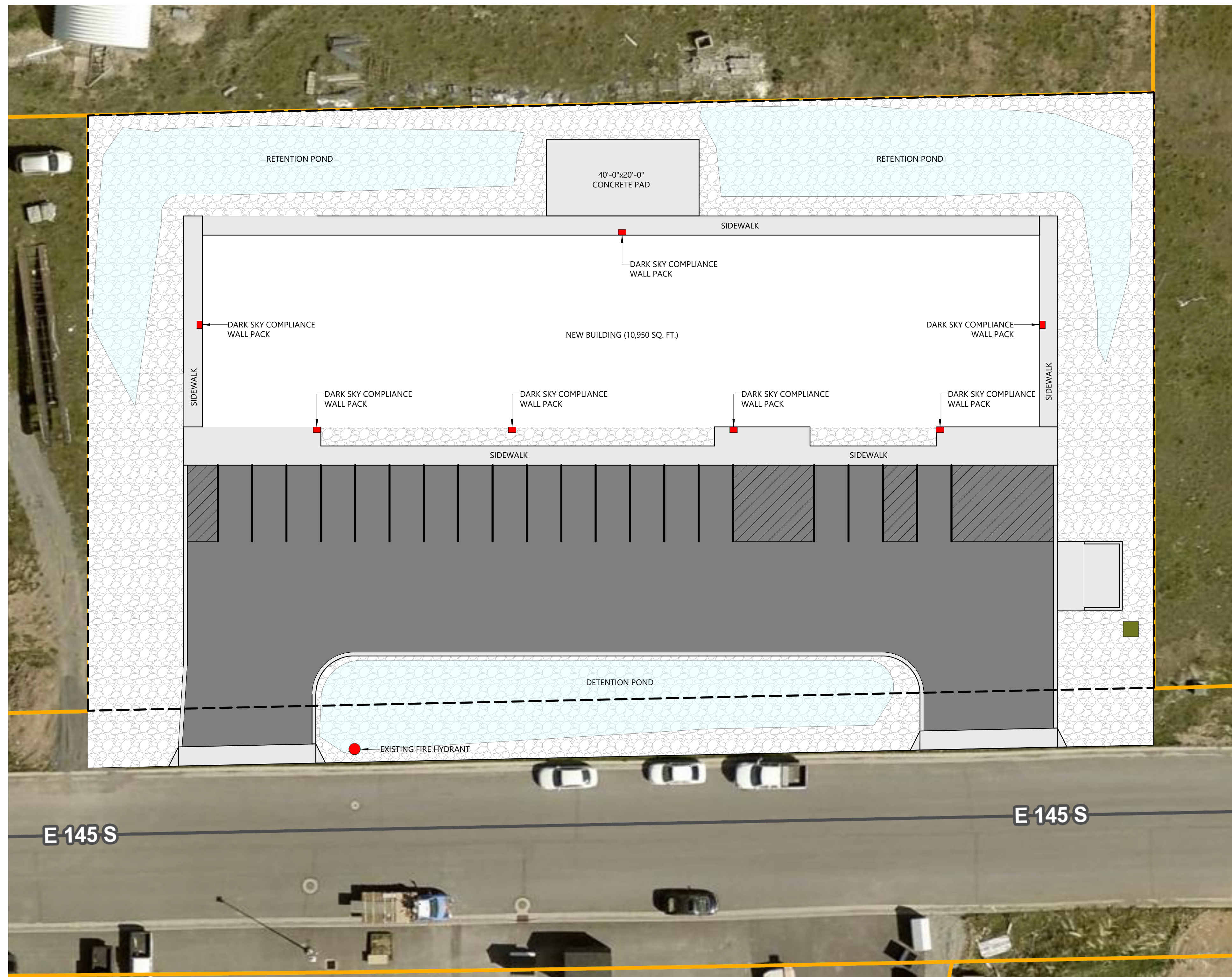
**REVIEW SET
7/1/25**

SHEET NUMBER

4.1

CARTWRIGHT PROJECT #	125017
DATE:	06/17/2025
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	JC

REVISIONS	
DATE	DESCRIPTION



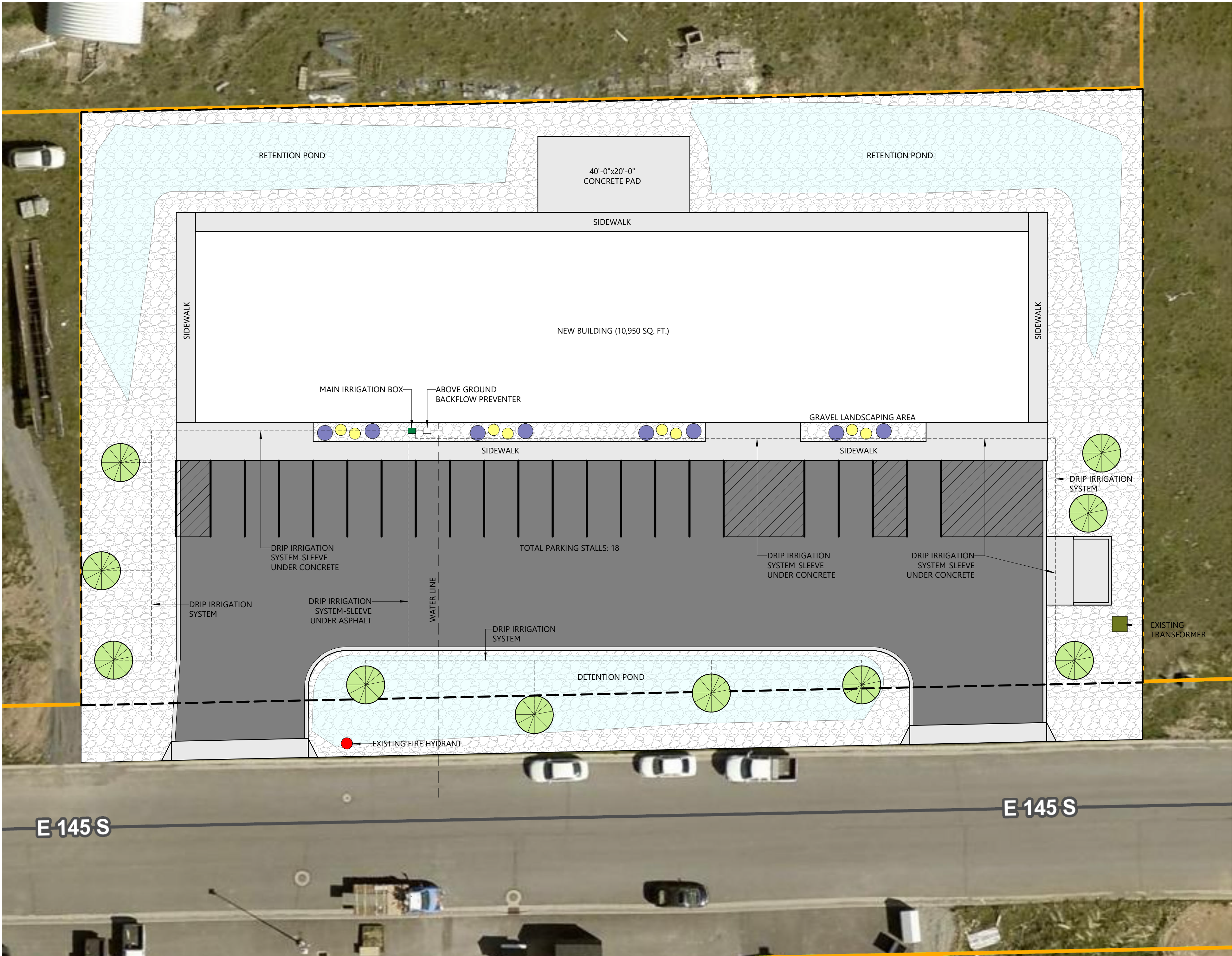
A3 SITE LIGHTING PLAN
SCALE: 1/16" = 1'-0"

D

C

B

A



- 2" GRAVEL w/ WEED BARRIER UNDERNEATH
- MEMEROCALLIS X ALL AMERICAN CHIEF
ALL AMERICAN CHIEF DAYLILLY
QUANTITY: 8
- CALAMOGROSTIS KARL FOERSTER
FEATHER REED GRASS
QUANTITY: 8
- GINKGO BILOBA
MAIDENHAIR TREE
QUANTITY: 10
- LANDSCAPE LEGEND**
SCALE: 1/8" = 1'-0"

CARTWRIGHT
ARCHITECTS & ENGINEERS

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AGENCY APPROVAL

CREGER MACHINE

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CARTWRIGHT PROJECT # 125017
DATE: 06/17/2025
DRAWN BY: CW
CHECKED BY: CW
APPROVED BY: JC

REVISIONS
DATE DESCRIPTION

LANDSCAPE
PLAN

L101

FOR PERMIT

7/24/2025 10:51:10 AM