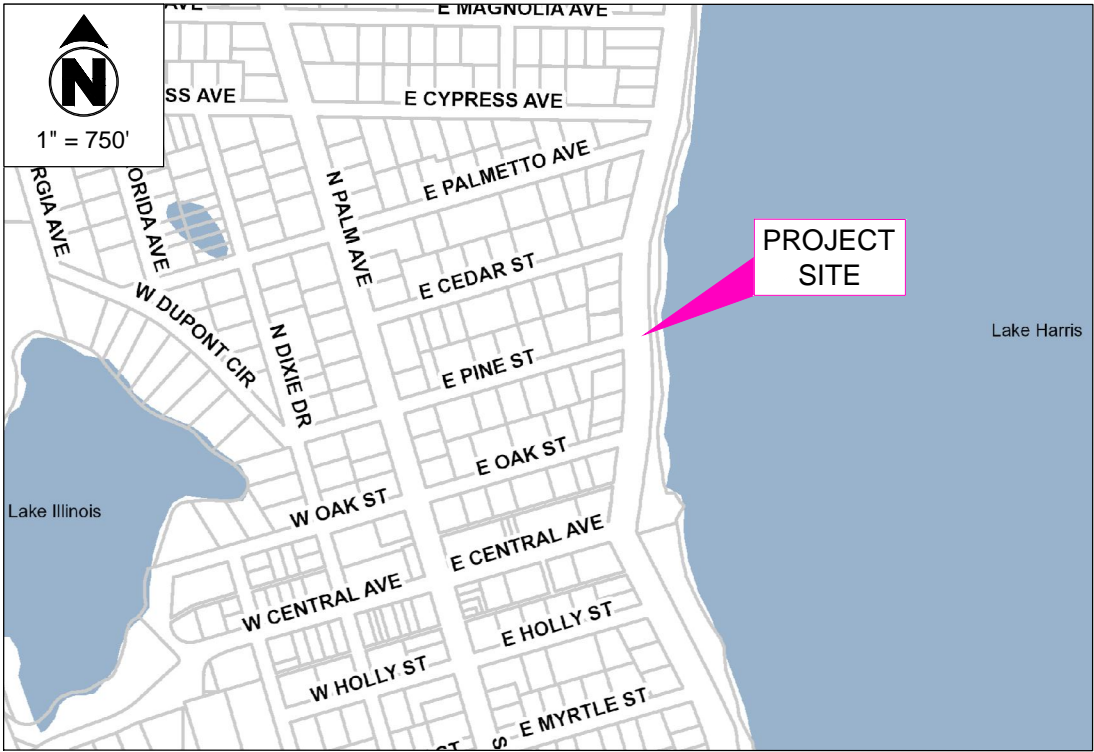


# LAKESIDE CAPTURE PHASE 1

## INDEX

- 1. COVER
- 2. SURVEY
- 3. IMPROVEMENT PLAN
- 4. NOTES
- 5. DETAILS
- 6. DETAILS

VICINITY MAP

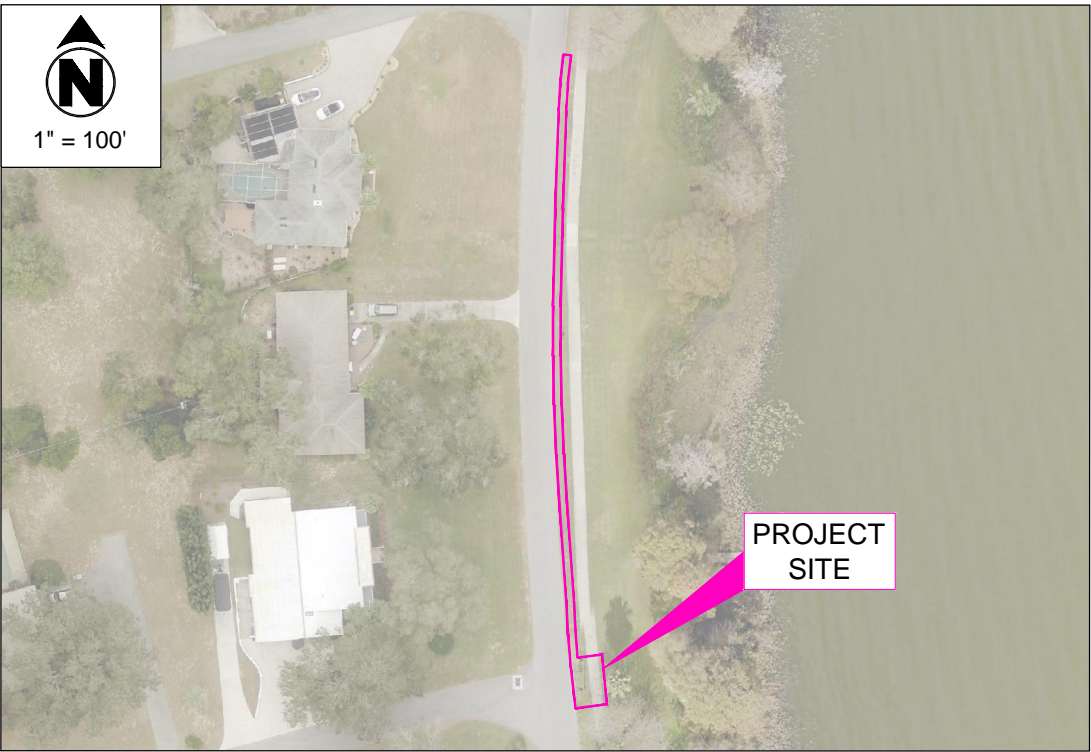


CALL BEFORE YOU DIG:

**Sunshine811**

11 Plantation Road  
DeBary, FL 32713  
Admin: (386) 575-2000  
Locates: 811 or (800) 432-4770

AERIAL MAP



DONALD A. GRIFFEY  
FLORIDA 036799

GRIFFEY ENGINEERING, INC.  
36202 E Eldorado Lake Drive  
Eustis, FLORIDA 32736  
(352) 409-0640

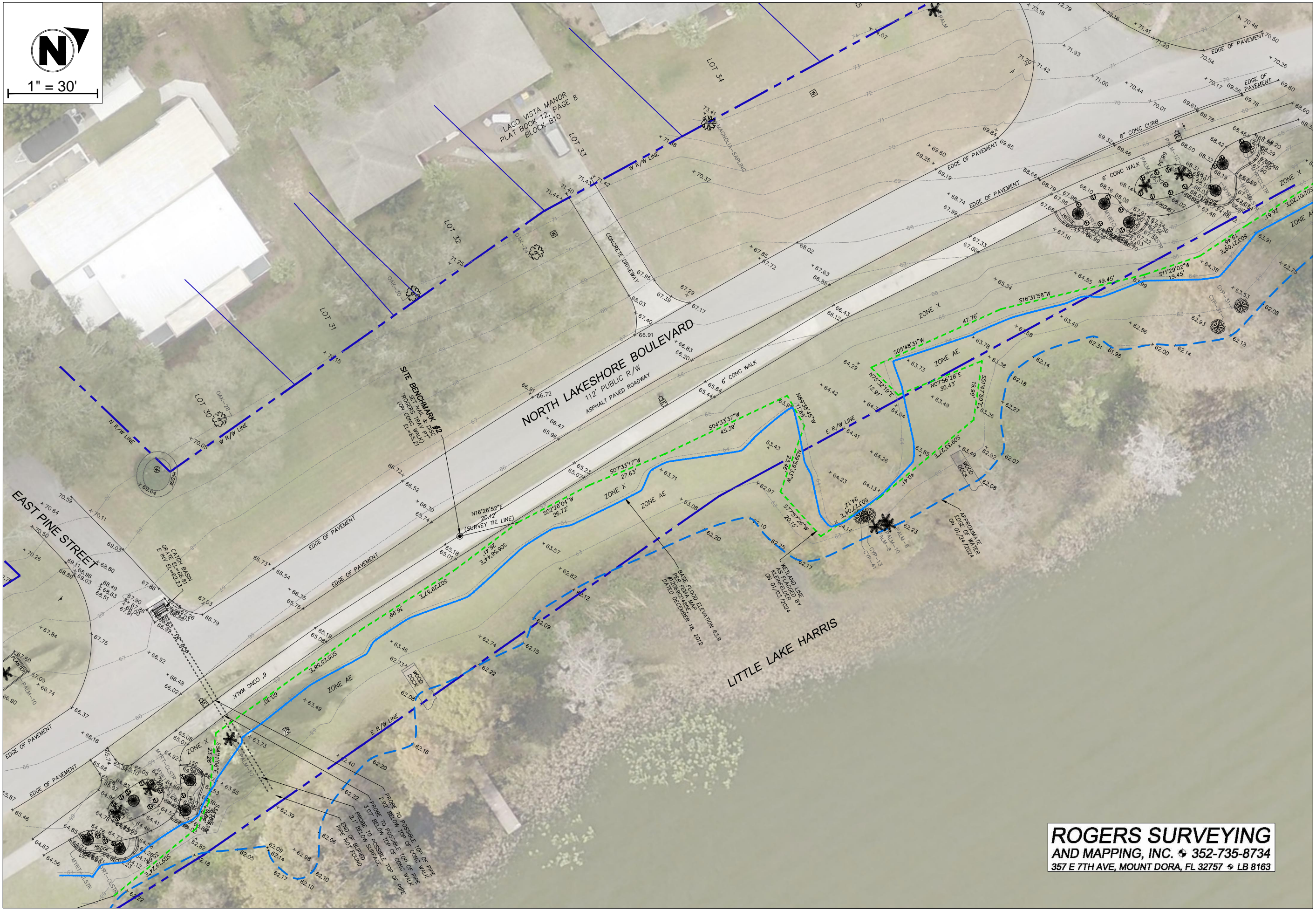
TOWN OF  
HOWEY-IN-THE-HILLS  
101 N. PALM AVENUE  
P.O. BOX 128  
HOWEY-IN-THE-HILLS, FL 34737  
(352) 324-2290

LAKESIDE CAPTURE  
PHASE 1

COVER

Date	Drawn By:
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	LAKESIDE CAPTURE
	Project #:
	15028
	Scale:
08-13-2024	AS NOTED





**ROGERS SURVEYING**  
AND MAPPING, INC. ♦ 352-735-8734  
357 E 7TH AVE, MOUNT DORA, FL 32757 ♦ LB 8163

**GRIFFEY ENGINEERING, INC.**  
36202 E Eldorado Lake Drive  
Eustis, Florida 32736  
(352) 409-0640

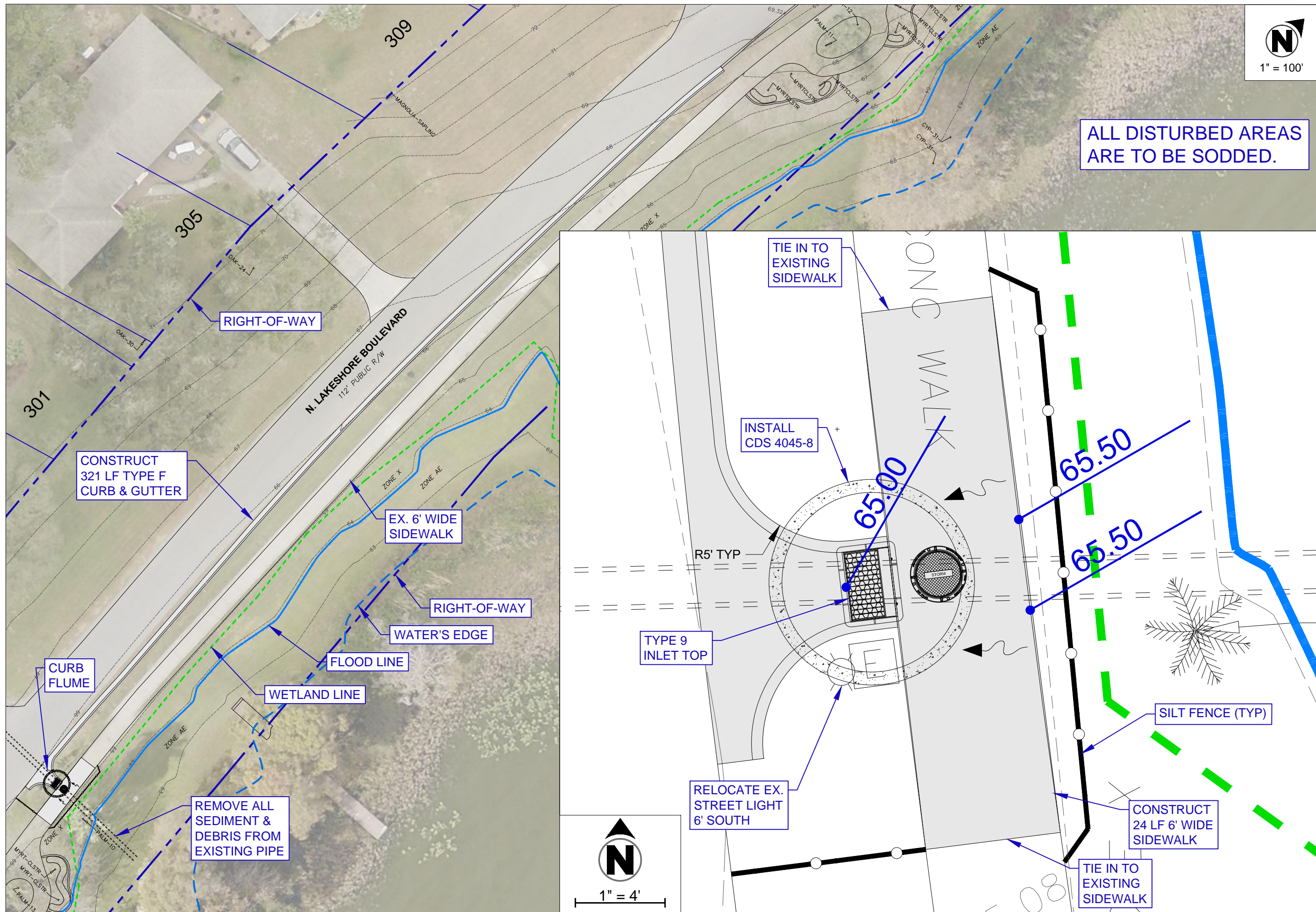
**TOWN OF**  
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**LAKESIDE CAPTURE**  
PHASE 1

**SURVEY**

Date	Drawn By:
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LAKESIDE CAPTURE  
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IMPROVEMENT PLAN

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SHEET 3 of 6



GENERAL NOTES

- A. ALL MATERIALS, INSTALLATION, TESTING, AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, F.D.O.T. STANDARD PLANS, LATEST EDITION, AND THE TOWN'S CONSTRUCTION SPECIFICATION MANUAL FOR STORMWATER AND FOR ROADWAYS.
- B. PAVEMENT SHALL MEAN ALL ASPHALT AND BASE ASSOCIATED WITH A DRIVING SURFACE AS SHOWN ON THE CONSTRUCTION PLANS.
- C. ALL WORK SHALL BE PERFORMED IN SUCH A MANNER THAT WILL SUCCESSFULLY ACCOMPLISH THE INTENDED DESIGN WITH MINIMAL IMPACT TO EXISTING CONDITIONS. ANY CONSTRUCTION ACTIVITY PERFORMED WITHOUT PRIOR WRITTEN APPROVAL FROM THETOWN THAT IS DEEMED EXCESSIVELY DISRUPTIVE TO EXISTING CONDITIONS OF THE SURROUNDING AREA AND/OR SIGNIFICANTLY DEVIATES FROM THE LIMITS OF CONSTRUCTION AS SET FORTH BY THESE CONSTRUCTION PLANS SHALL BE CONSIDERED AS PART OF THE ORIGINAL WORK AND NO ADDITIONAL COMPENSATION SHALL BE GIVEN TO RESTORE THE DISTURBED AREA(S).
- D. APPARENT ERRORS, DISCREPANCIES OR OMISSIONS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION WITHIN A REASONABLE TIME FRAME, LESS THAN 48 HOURS AFTER DISCOVERED. ADVANTAGE WILL NOT BE TAKEN OF APPARENT ERROR OR OMISSION IN THE DRAWINGS OR SPECIFICATIONS, AND THE ENGINEER SHALL BE PERMITTED TO MAKE CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLMENT OF THE INTENT OF THE DESIGN.

PUBLIC NOTIFICATION

- A. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO ALL RESIDENCES ADJACENT TO THE PROJECT LIMITS. WITHIN A MINIMUM OF 14 CALENDAR DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL PROVIDE TO THE TOWN A COPY OF THE NOTIFICATION WITH A LIST OF THE PARTIES CONTACTED. THIS NOTICE SHALL INCLUDE, AT A MINIMUM, THE ANTICIPATED CONSTRUCTION SCHEDULE, MAINTENANCE OF TRAFFIC PLAN AND ANY IMPACTS, PERMANENT OR TEMPORARY, TO THE SUBJECT RESIDENCE AND ITS ADJACENT AREA. CONTRACTOR SHALL PROVIDE CONTACT INFO INCLUDING NAME OF PROJECT MANAGER AND TELEPHONE NUMBER.

TRAFFIC CONTROLS

- A. EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED TO LOCAL TRAFFIC AND PROPERTY OWNERS.
- B. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL INCLUDING SIGNAGE AND FLAGMEN AS NEEDED THROUGHOUT CONSTRUCTION OF THE PROJECT.
- C. MAINTENANCE OF TRAFFIC SHALL ADHERE TO FDOT STANDARD PLANS INDEX 102-601, 102-602, 102-603. ALL ROADS SHALL BE OPEN TO TRAFFIC WITH NO PERMANENT LANE CLOSURES ALLOWED. CONTRACTOR SHALL CONFORM TO THE LATEST EDITIONS OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AS APPLICABLE.
- D. ANY TEMPORARY ROAD CLOSURE REQUIRES AN AUTHORIZATION REQUEST MADE TO THE TOWN WITH AT LEAST THREE (3) DAYS NOTICE PRIOR TO CLOSURE. NO CLOSURE SHALL TAKE PLACE WITHOUT APPROVAL BY THE TOWN. CONTRACTOR SHALL SUPPLY ALL SIGNAGE AND TRAFFIC CONTROL ASSOCIATED WITH THE CLOSURE.

UTILITIES

- A. THE UTILITIES SHOWN IN THE CONSTRUCTION PLANS MAY NOT BE ALL OF THE UTILITIES ON SITE. UNLESS OTHERWISE NOTED, THE LOCATION OF UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. CALL SUNSHINE 811 AT 1-800-432-4770 TO CONFIRM UTILITY LOCATIONS.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITIES PRIOR TO CONSTRUCTION AND COORDINATING UTILITY RELOCATION WITH THE PROJECT CONSTRUCTION.

TREES, LANDSCAPING & APPURTENANCES

- A. ALL TREES ARE TO BE PRESERVED UNLESS OTHERWISE NOTED IN THE PLANS.
- B. CONTRACTOR SHALL REPLACE LANDSCAPING, IRRIGATION, AND/OR ROADSIDE APPURTENANCES (SIGNS, MAILBOXES, ETC) THAT ARE REMOVED OR DESTROYED DURING CONSTRUCTION. IRRIGATION REPAIR SHALL OCCUR WITHIN 24HOURS OF DISRUPTION UNLESS OTHERWISE DIRECTED BY THE TOWN.

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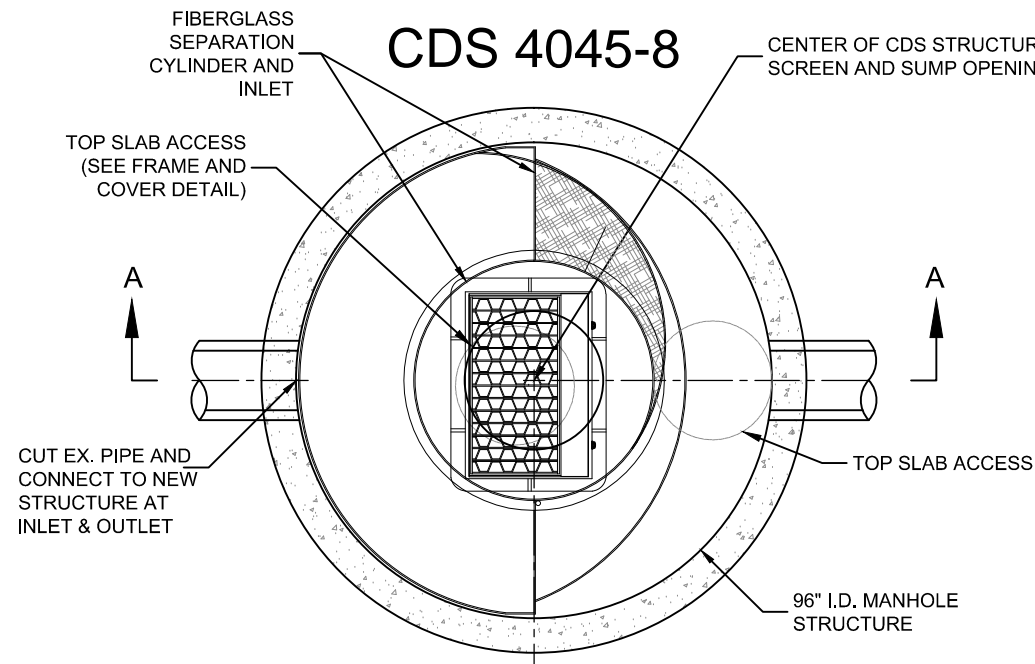
GRIFFEY ENGINEERING, INC.  
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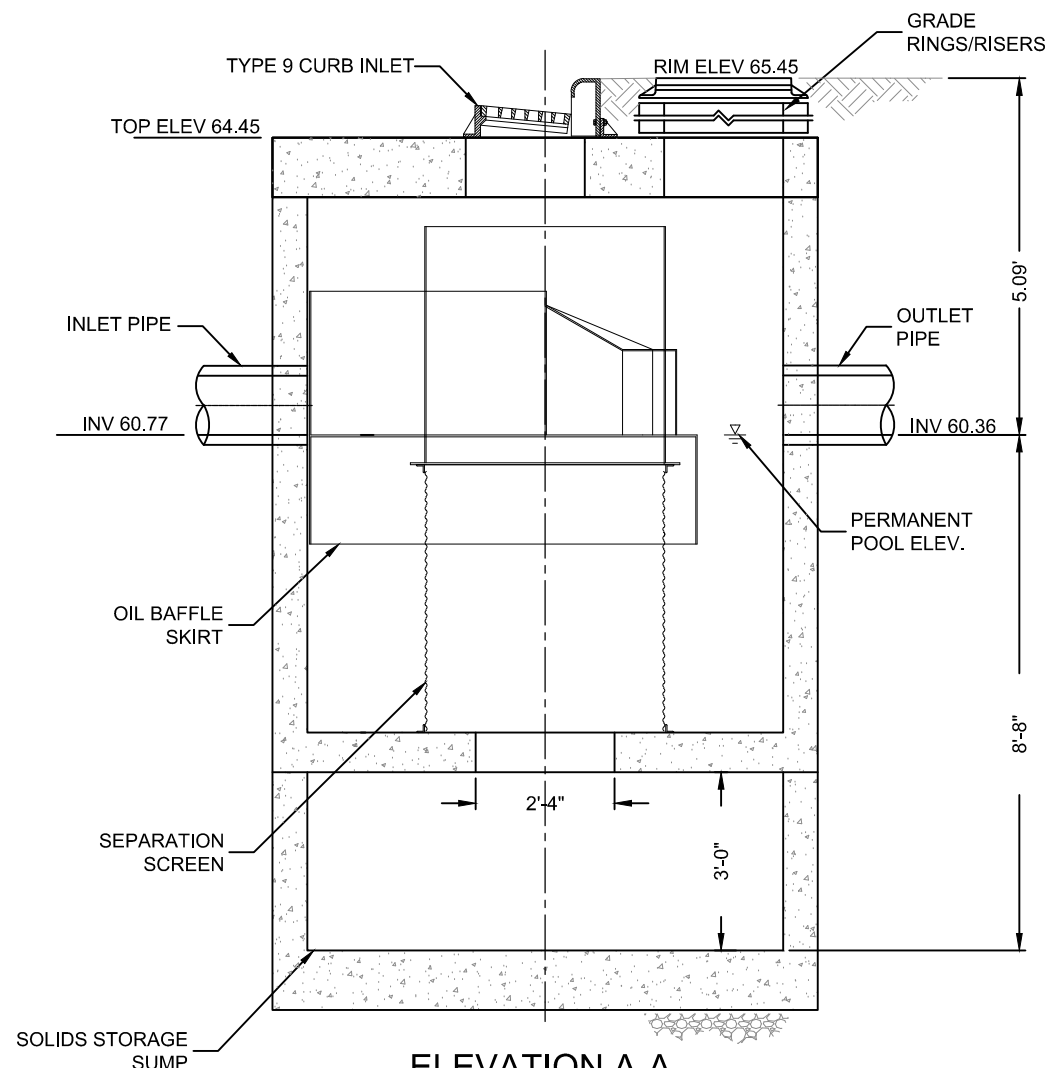
LAKE-SIDE CAPTURE  
PHASE 1

NOTES

Date	Drawn By:
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	LAKE-SIDE CAPTURE
	Project #:
	15028
	Scale:
08-13-2024	N/A



PLAN VIEW B-B  
N.T.S.

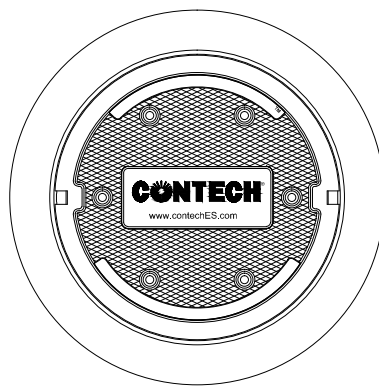


ELEVATION A-A  
N.T.S.

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.contechES.com



THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 6,788,848; 6,641,720; 6,511,595; 6,581,783; RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.



FRAME AND COVER  
(DIAMETER VARIES)  
N.T.S.

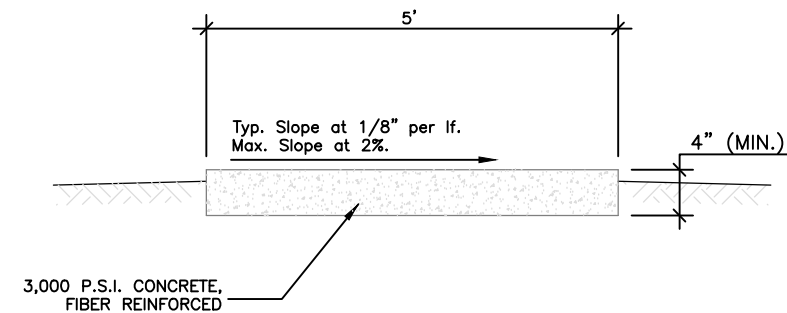
#### GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

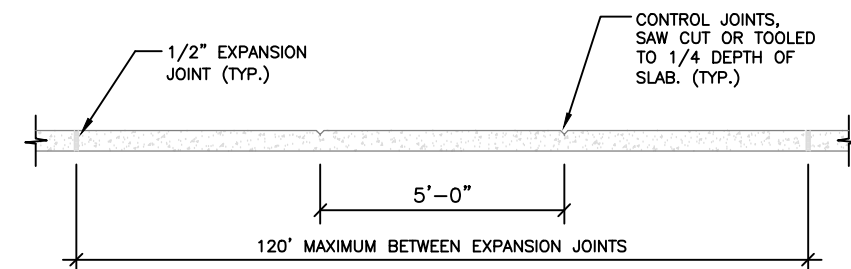
#### INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

## SIDEWALKS



SECTION



PROFILE

## SIDEWALK NOTES

### SIDEWALK CONSTRUCTION- GENERAL NOTES

1. SIDEWALKS, BIKE PATHS, RAMPS, AND DRIVEWAY APRONS SHALL BE CONSTRUCTED OF PLAIN PORTLAND CEMENT CONCRETE WITH A MAXIMUM SLUMP OF 3 INCHES, A MINIMUM DEVELOPED COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS, AND A MINIMUM UNIFORM THICKNESS OF 4 INCHES WHERE INTENDED SOLELY FOR PEDESTRIAN TRAFFIC, AND 6 INCHES THICK WHERE MOTOR VEHICLES ARE LIKELY TO CROSS.
2. SIDEWALKS AND BIKE PATHS SHALL BE PLACED PARALLEL TO, AND ONE FOOT WITHIN THE RIGHT-OF-WAY LINE EXCEPT THAT THE CITY MAY APPROVE DEVIATIONS TO SAVE SPECIMEN TREES PROVIDED THAT THE PAVEMENT REMAINS WITHIN THE RIGHT-OF-WAY, OR ADJACENT EASEMENT DEDICATED FOR SIDEWALK USE, IS NOT DIMINISHED IN WIDTH, AND REMAINS AT LEAST 3 FEET FROM THE EDGE OF THE STREET PAVEMENT, UNLESS OTHERWISE APPROVED BY THE CITY.
3. THE TOP OF THE CONCRETE SHALL BE AT AN ELEVATION NO LOWER THAN THE CROWN OF THE ADJACENT ROADWAY, AND NO HIGHER THAN 6 INCHES ABOVE THE CROWN UNLESS APPROVED BY THE CITY TO MAKE A MORE NATURAL TRANSITION WITH THE ADJACENT LAND. UNDER NO CIRCUMSTANCES WILL THE SIDEWALK EXCEED ADA MAXIMUM GRADES.
4. ISOLATION JOINTS (TYPE A JOINTS) SHALL BE PROVIDED BETWEEN EXISTING SLABS OR STRUCTURES AND FRESH CONCRETE, TO SEPARATE PEDESTRIAN SECTIONS FROM SECTIONS WHICH WILL ENCOUNTER VEHICLE TRAFFIC, TO SEPARATE FRESH PLACEMENT FROM CONCRETE WHICH HAS SET FOR MORE THAN 60 MINUTES, AND NO FARTHER APART THAN 120 FEET IN SIDEWALKS AND BIKE PATHS. JOINT MATERIAL SHALL BE AS SPECIFIED IN FDOT STANDARDS AND SPECIFICATIONS AND SHALL BE RUBBER, PLASTIC OR OTHER APPROVED NON-BIODEGRADABLE ELASTOMERIC MATERIAL. WOOD IS PROHIBITED.
5. CONTROL JOINTS (TYPE B JOINTS) SHALL BE TOOLED INTO THE FRESH CONCRETE, OR SAW-CUT WITHIN 24 HOURS OF PLACEMENT, TO A DEPTH EQUAL TO 1/4 THE SLAB THICKNESS AND SPACED APART A DISTANCE EQUAL TO THE WIDTH OF THE SLAB OR 5 FEET, WHICHEVER IS GREATEST.
6. THE SLAB SURFACE SHALL BE BROOM FINISHED TO BE SLIP RESISTANT, AND SHALL MATCH AS CLOSELY AS POSSIBLE THE FINISH OF EXISTING ADJACENT SLABS AND ALL EDGES SHALL BE TOOLED TO ELIMINATE SHARP CORNERS.
7. THE BEARING SUBSURFACE SHALL HAVE ALL ORGANIC, LOOSE, AND DELETERIOUS MATTER REMOVED, AND THE REMAINING CLEAN SOIL SHALL BE SMOOTH, SOUND, AND SOLID. ANY FILL MATERIAL SHALL BE COMPACTED WITH A VIBRATORY OR IMPACT COMPACTION MACHINE IN MAXIMUM 12 INCH LIFTS OR COMPACTED WITH A HAND TAMPER IN MAXIMUM 4 INCH LIFTS. THE CITY SHALL REQUIRE A COMPACTION TEST FOR EACH LIFT IF THE TOTAL FILLED SECTION IS MORE THEN 12 INCHES DEEP OR IF THE SUBSURFACE HAS BEEN DISTURBED MORE THAN 12 INCHES DEEP. WHERE SUCH TEST IS REQUIRED, THE RESULTS SHALL SHOW A MINIMUM PROCTOR FIELD DENSITY OF 95 PERCENT.
8. ALL CONCRETE WORK IN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY AFTER THE SUBSOIL IS PREPARED AND THE FORMS ARE SET, BUT BEFORE THE CONCRETE PLACEMENT BEGINS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FINISHED SLAB FROM ALL DAMAGE AND VANDALISM UNTIL THE CITY ACCEPTS OR APPROVES THE SLAB.
10. SIDEWALKS LOCATED WITHIN THE RIGHT-OF-WAY SHALL NOT BE TINTED, STAINED, COLORED, OR COATED, UNLESS APPROVED BY THE CITY ENGINEER.
11. ALL FORMS SHALL BE REMOVED PRIOR TO ACCEPTANCE OR APPROVAL AND THE DISTURBED GROUND SHALL BE BACK-FILLED, RE-GRADED, AND SODDED SO THAT THE WEAR SURFACE OF THE CONCRETE IS REASONABLY FLUSH WITH THE ADJACENT GRADE.
12. THE CITY MAY REQUIRE ADDITIONAL JOINTS AROUND UTILITY STRUCTURES LOCATED WITHIN THE SIDEWALK.

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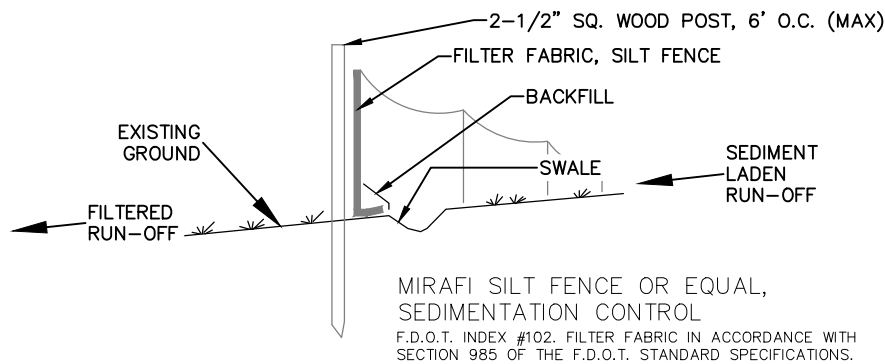
TOWN OF  
HOWEY-IN-THE-HILLS  
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(352) 324-2290

LAKESIDE CAPTURE  
PHASE 1

DETAILS

Date	Drawn By:
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	15028
	Scale:
08-13-2024	N.T.S.

EROSION CONTROL DETAILS



- NOTES:
1. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
  2. CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
    - a.)PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
    - b.)PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED

EROSION CONTROL STRUCTURE  
NOT TO SCALE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.

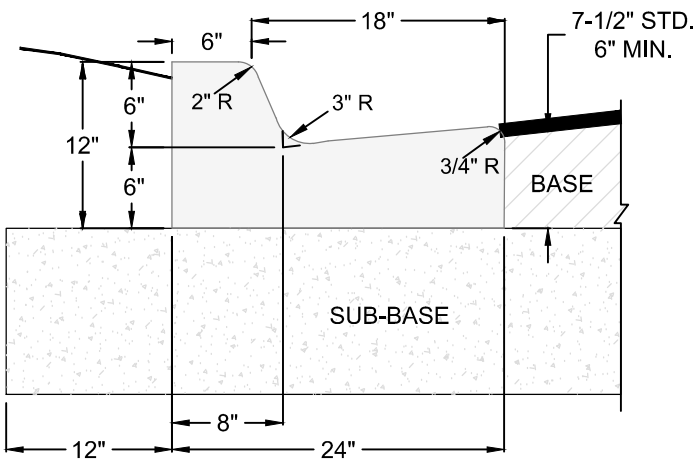
NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.

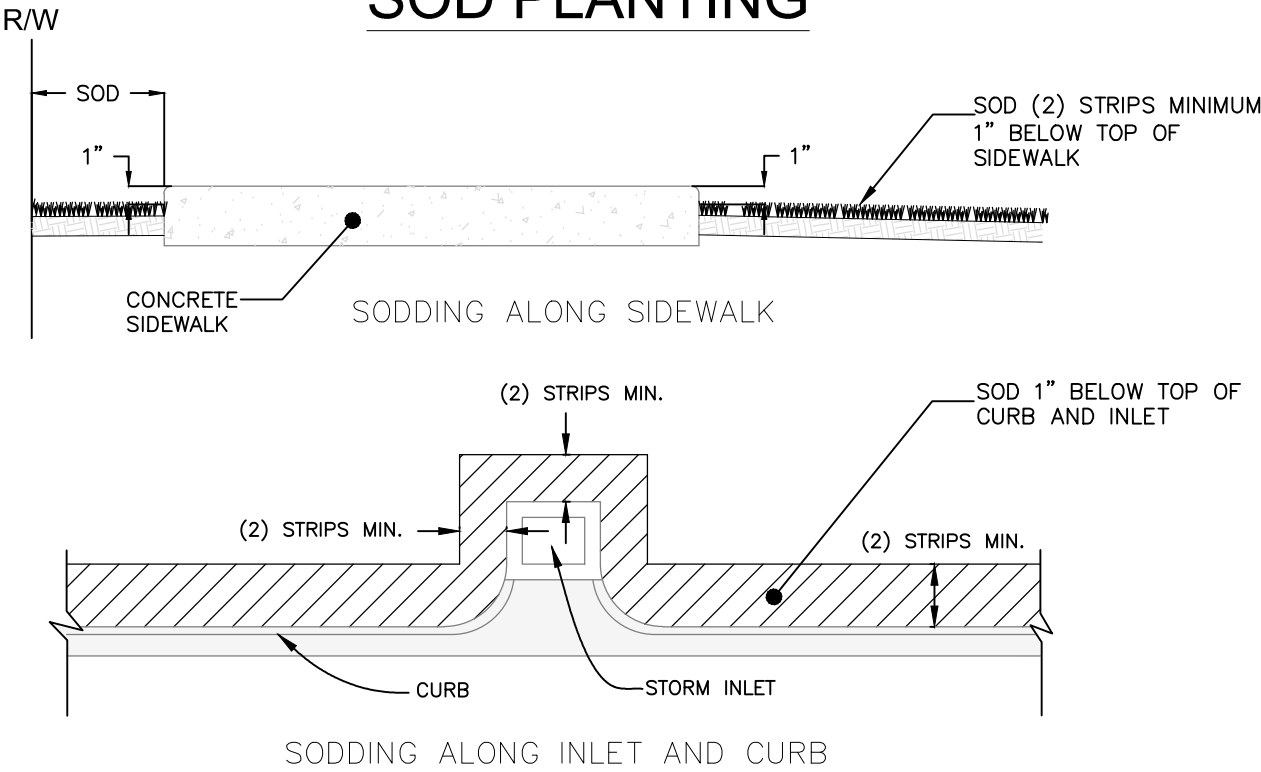
ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

TYPE F CURB



- NOTES:
1. ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 3,000 P.S.I. CONCRETE.
  2. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 500'. CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4' MINIMUM).
  3. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED AT EACH SIDE OF ALL STORM INLET STRUCTURES AND AT ALL RADIUS POINTS.
  4. SUB-BASE TO BE COMPACTED AND TESTED TO 98% MINIMUM DENSITY WITH MINIMUM L.B.R. 40 BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
  5. EXPANSION JOINT MATERIAL MUST COVER THE ENTIRE CROSS SECTION OF CURB.

SOD PLANTING



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