

HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA



CONTACT INFORMATION:



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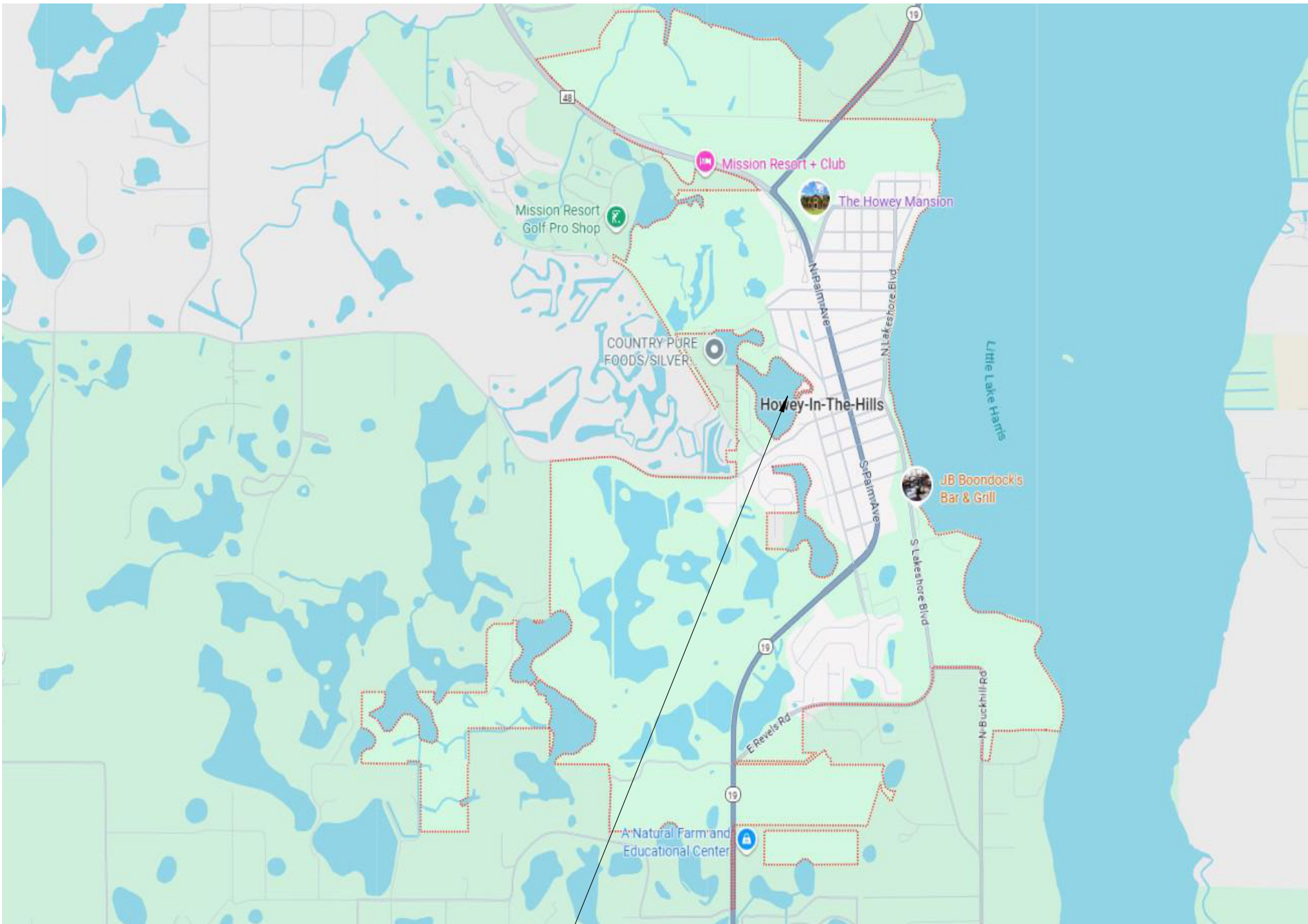
STRUCTURAL ENGINEER:
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ENGINEER: SCOTT LEWKOWSKI
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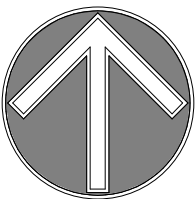
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
MIGRE ENGINEERING LLC
760 FLORIDA CENTRAL PARKWAY
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PROJECT LOCATION



VICINITY MAP

SCALE: NTS

DRAWING INDEX

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION DATE
0 - GENERAL			
A001	INDEX & BUILDING DATA	08.26.25	
A002	ABBREVIATIONS, LEGENDS, & NOTES	08.26.25	
2 - LIFE SAFETY			
A100	LIFE SAFETY PLAN	08.26.25	
A101	LIFE SAFETY SITE PLAN	08.26.25	
A102	ADA CLEARANCE REQUIREMENTS	08.26.25	
A103	ADA CLEARANCE REQUIREMENTS	08.26.25	
A104	ADA CLEARANCE REQUIREMENTS	08.26.25	
3 - ARCHITECTURAL			
A300	FLOOR PLAN - NOTES	08.26.25	
A302	FLOOR PLAN - DIMENSIONS	08.26.25	
A401	ENLARGED PLANS / INTERIOR ELEVATIONS	08.26.25	
A500	REFLECTED CEILING PLAN	08.26.25	
A600	ROOF PLAN	08.26.25	
A700	BUILDING ELEVATIONS	08.26.25	
A701	BUILDING ELEVATIONS	08.26.25	
A800	BUILDING SECTIONS	08.26.25	
A900	WALL SECTIONS	08.26.25	
A1000	DOOR & WINDOW SCHEDULES & DETAILS	08.26.25	
A1100	WALL PARTITION TYPES	08.26.25	
A1101	DETAILS	08.26.25	
A1200	EXTERIOR PERSPECTIVES	08.26.25	

GROSS AREA TABULATION

AREA NAME	SQUARE FT.
CLUBHOUSE	1829 SF
COVERED LANAI - NON AC	789 SF
FRONT ENTRY - NON AC	207 SF
TOTAL SQUARE FOOTAGE	2826 SF

OCCUPANCY CLASSIFICATION

GROUP - A3 - ASSEMBLY

CONSTRUCTION TYPE

NEW - TYPE VB - NON-SPRINKLED/UNPROTECTED

JURISDICTION

HOWEY-IN-THE-HILLS, FLORIDA DIGITAL SIGNED & SEALED

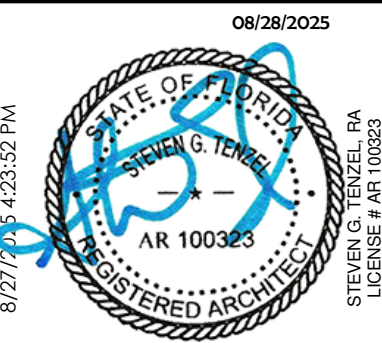
APPLICABLE CODES:

FLORIDA BUILDING CODE
FLORIDA PLUMBING CODE
FLORIDA MECHANICAL CODE
FLORIDA FUEL GAS CODE
NFPA 70 NATIONAL ELECTRIC CODE
FLORIDA FIRE PREVENTION CODE
2020 NEC
2023 8th ED. & CURRENT ADOPTED CODES & STANDARD BY THE STATE FLORIDA
2021 EDITION
FLORIDA BUILDING CODE 2023 8TH ED.
FLORIDA BUILDING CODE 2023 8TH ED.



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HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	00/00/00

INDEX & BUILDING DATA

Project No:
25-01934
Sheet No:
A001

SITE PLAN SUBMITTAL ONLY

FIXTURE CALCULATIONS					
FIRST FLOOR PLAN (BASIS = M - 62, W - 63)					
WC MEN @	1/75 =	REQ'D 1	PROVIDED 2		
WC WOMEN @	1/75 =	REQ'D 2	PROVIDED 3		
LAVS MEN @	1/200 =	REQ'D 1	PROVIDED 3		
LAVS WOMEN @	1/200 =	REQ'D 1	PROVIDED 3		
SERVICE SINK		REQ'D 1	PROVIDED 1		
DRINKING FOUNTAINS @	1/500 =	REQ'D 1	PROVIDED 1		

FIXTURE CALCULATIONS - POOL					
TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE					
SIZE OF POOL (SF)	MEN'S RESTROOM		WOMEN'S RESTROOM		
	URINALS	WC LAVATORY	WC	LAVATORY	
3,333 SF	1	2	3	3	

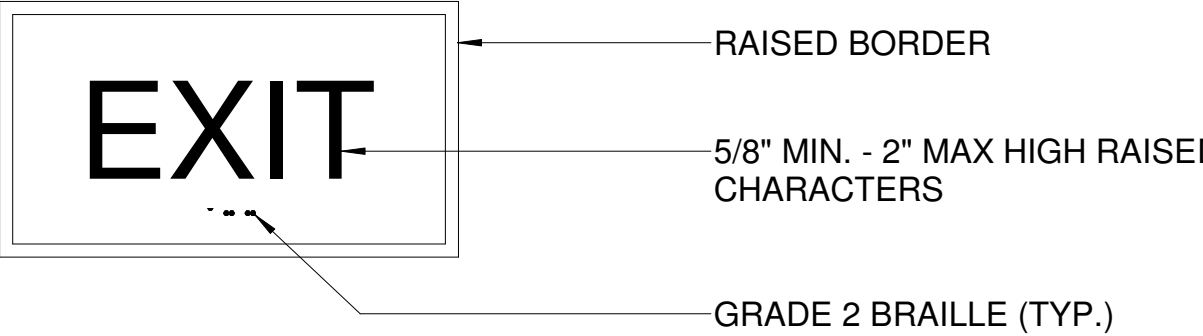
TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE					
MEN'S RESTROOMS			WOMEN'S RESTROOMS		
WC	LAVATORY		WC	LAVATORY	
1 per 2,500 for the first 10,000, 1 per 5,000 for the remainder exceeding 10,000	1 per 5,000 for the first 10,000, 1 per 10,000 for the remainder exceeding 10,000		1 per 1,250 for the first 10,000, 1 per 2,500 for the remainder exceeding 10,000	1 per 5,000 for the first 10,000, 1 per 10,000 for the remainder exceeding 10,000	

ROOM OCCUPANCY SCHEDULE						
ROOM NUMBER	ROOM NAME	OCCUPANCY CLASSIFICATION	GROSS ROOM AREA	OCCUPANT LOAD FACTOR	OCCUPANCY LOAD CALCULATED	REQUIRED EGRESS WIDTH
100	GREAT ROOM	ASSEMBLY (NON-FIXED SEATS)	931 SF	15 SF NET	62 PPL	12.4"
101	MECH ROOM	NO OCCUPANCY	26 SF	---	---	---
102	STORAGE CLOSET	STORAGE	72 SF	300 SF GROSS	1 PPL	0.2"
103	KITCHENETTE	ASSEMBLY (NON-FIXED SEATS)	180 SF	15 SF NET	12 PPL	2.4"
104	MEN'S RESTROOM	NO OCCUPANCY	171 SF	---	---	---
105	WOMEN'S RESTROOM	NO OCCUPANCY	191 SF	---	---	---
106	VESTIBULE	CIRCULATION	---	---	---	---
107	JANITOR	NO OCCUPANCY	45 SF	---	---	---
108	COVERED LANAI	ASSEMBLY (NON-FIXED SEATS)	741 SF	15 SF	50 PPL	10"
109	FRONT ENTRY	CIRCULATION	---	---	---	---
TOTALS:					125 PPL	25.0"
TOTAL EGRESS PROVIDED:						288"

NOTES:

- SCHEDULE COMPLIES WITH FBC 2023 8TH EDITION TABLE 1004.5
- FBC 8TH ED. 2023 CH. 10 SECTION 1005.3.1 - REQUIRED EGRESS WIDTH IN INCHES FOR STAIRWAYS SHALL PROVIDE A MIN. OF .3" PER OCCUPANT, OCCUPANT FACTOR MAY BE REDUCED TO .2" IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM
- FBC 8TH ED. 2023 CH. 10 SECTION 1005.3.2 - REQUIRED EGRESS WIDTH IN INCHES FOR OTHER EGRESS COMPONENTS SHALL PROVIDE A MIN. OF .2" PER OCCUPANT, OCCUPANT FACTOR MAY BE REDUCED TO .15" IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM
- ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUPANT LOAD OF 100 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH A LATCH OR LOCK ONLY IF THE LATCH OR LOCK IS PANIC HARDWARE OR FIRE EXIT HARDWARE AS PER NFPA 101.12.2.2.3
- FBC 8TH ED. 2023 CH. 10 TABLE 1006.2.1 - AN ASSEMBLY OCCUPANCY OF 49 PPL OR LESS MAY UTILIZE A SINGLE MEANS OF EGRESS, HOWEVER WITH 50 OR MORE, TWO MEANS OF EGRESS SHALL BE REQUIRED W/ NECESSARY SEPARATION & DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE
- FBC 8TH ED. 2023 CH. 10 SECTION 1004.7 OUTDOOR AREAS

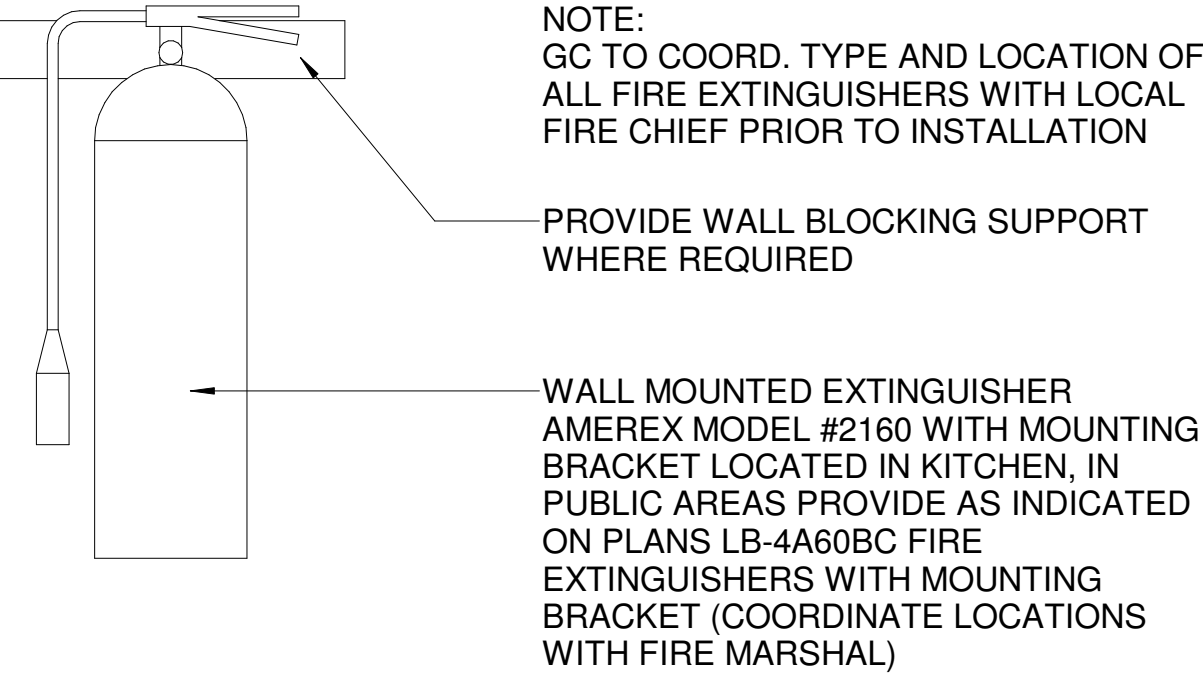
LEGEND		
SYMBOL	DISTRIBUTION	NOTES
	PATH OF TRAVEL	
	FIRE EXTINGUISHER - G.C. TO COORDINATE FINAL LOCATION WITH FIRE MARSHAL	
	EXIT LIGHT SIGN, REF. ELECTRICAL	
	EMERGENCY LIGHTING CEILING PACK, REF. ELECTRICAL	



SIGNS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 101, SECT 7.10.1.3 AND ICC/ANSI A117.1, SECT 703.3-703.4

NOTE:
1. ALL COPY AND GRAPHICS SHALL BE RAISED 1/32"
2. LETTER FORM SHALL BE SANS SERIF

EXIT DOOR IDENTIFICATION DETAIL
SCALE: NTS



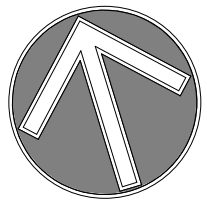
FIRE EXTINGUISHER DETAIL
SCALE: NTS

2 DETAIL - FIRE EXTINGUISHER-EXIT SIGNAGE

1/4" = 1'-0"

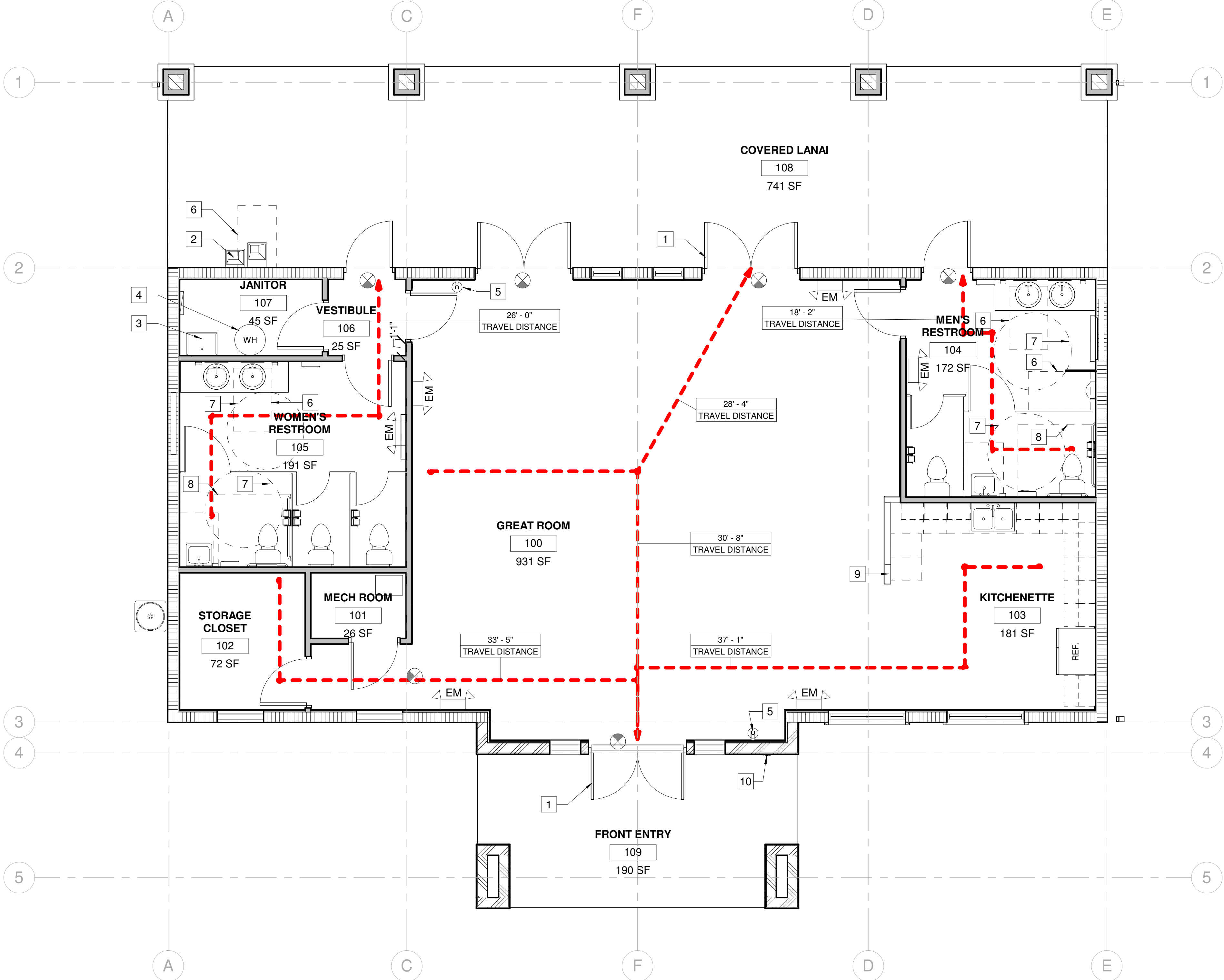
KEY NOTES

- DOOR EXIT REQUIRES PANIC HARDWARE AS PER NFPA 101:12.2.2.2.3
- HI-LOW DRINKING FOUNTAIN, REFER TO MEP DRAWINGS, REFER TO DETAIL 8/A102
- SERVICE SINK, REFER TO MEP DRAWINGS
- WATER HEATER
- FIRE EXTINGUISHER, REFER TO DETAIL 2/A100
- 30"x48" CLEAR FLOOR SPACE
- 60" DIA. CLEAR FLOOR SPACE
- 56"x60" CLEAR FLOOR SPACE
- 34" MAX. HT. ADA COUNTERTOP
- KNOX BOX INSTALLED AT FRONT ENTRANCE AT 6FT A.F.F.



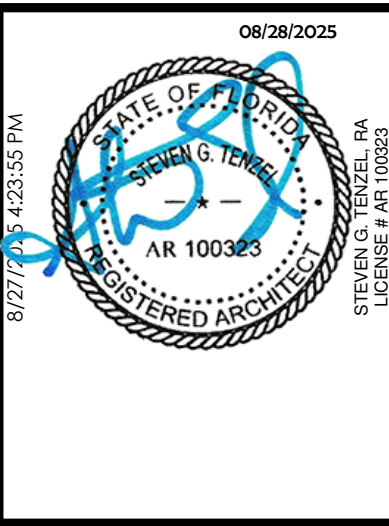
1 LIFE SAFETY PLAN

1/4" = 1'-0"



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HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE

LIFE SAFETY PLAN
Project No:
25-01934
Sheet No:
A100

FIXTURE CALCULATIONS					
FIRST FLOOR PLAN (BASIS = M - 62, W - 63)					
WC MEN @	1/75 =	REQ'D 1	PROVIDED 2		
WC WOMEN @	1/75 =	REQ'D 2	PROVIDED 3		
LAVS MEN @	1/200 =	REQ'D 1	PROVIDED 3		
LAVS WOMEN @	1/200 =	REQ'D 1	PROVIDED 3		
SERVICE SINK		REQ'D 1	PROVIDED 1		
DRINKING FOUNTAINS @	1/500 =	REQ'D 1	PROVIDED 1		

FIXTURE CALCULATIONS - POOL					
TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE					
SIZE OF POOL (SF)	MEN'S RESTROOM			WOMEN'S RESTROOM	
	URINALS	WC	LAVATORY	WC	LAVATORY
3,333 SF	1	2	3	3	3

TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE			
MEN'S RESTROOMS		WOMEN'S RESTROOMS	
WC	LAVATORY	WC	LAVATORY
1 per 2,500 for the first 10,000, 1 per 5,000 for the remainder exceeding 10,000	1 per 5,000 for the first 10,000, 1 per 10,000 for the remainder exceeding 10,000	1 per 1,250 for the first 10,000, 1 per 2,500 for the remainder exceeding 10,000	1 per 5,000 for the first 10,000, 1 per 10,000 for the remainder exceeding 10,000

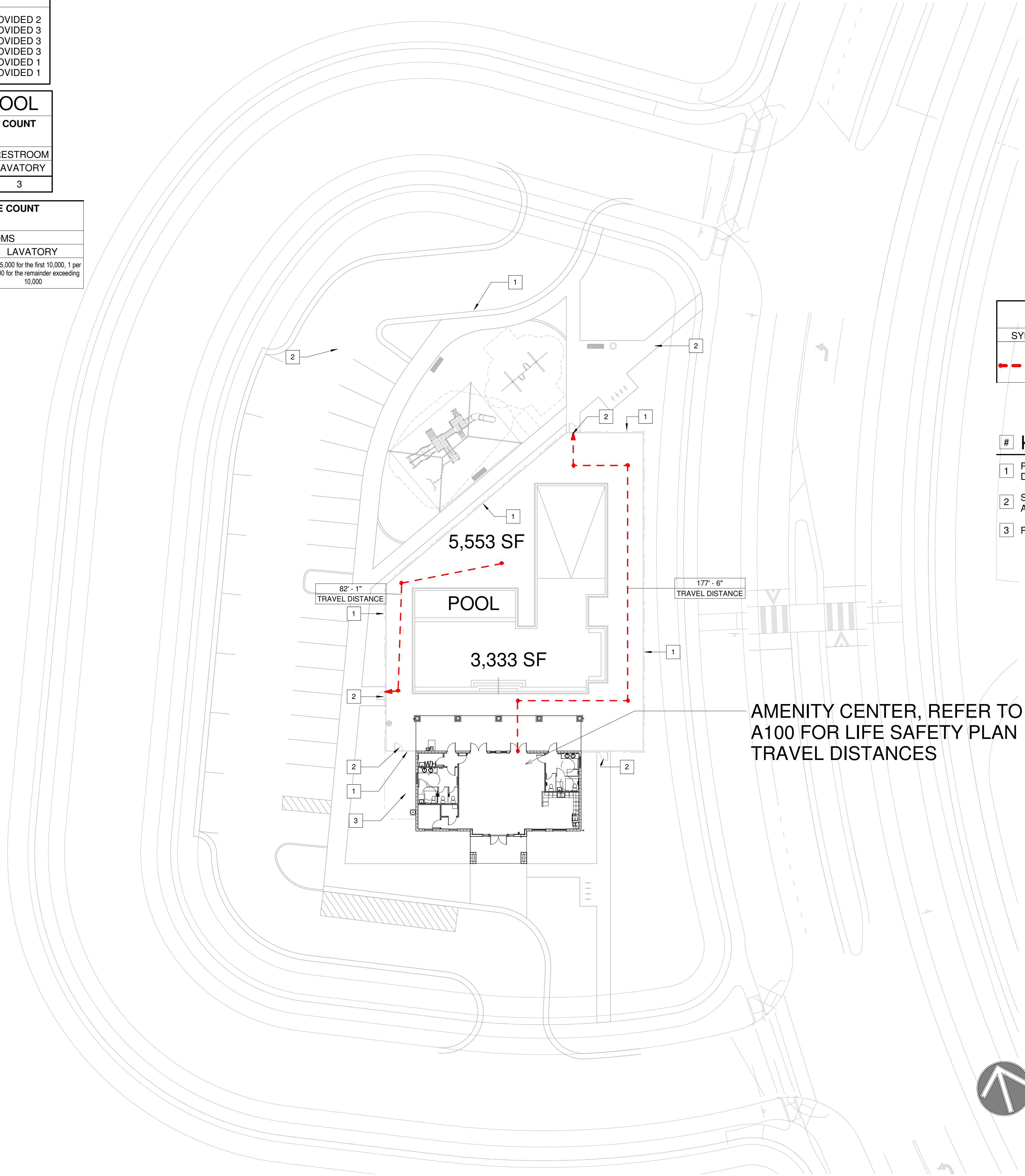
GENERAL NOTES

1. THIS SITE PLAN IS PRESENTED FOR INFORMATION PURPOSES OF BUILDING LOCATION ONLY AND SHALL NOT BE VIEWED AS A SURVEY, LANDSCAPE SITE PLAN, IRRIGATION PLAN, PAVING PLAN, GRADING PLAN, DRAINAGE PLAN, OR UTILITY/CIVIL ENGINEERED PLAN
2. ALL BOUNDARY, SETBACK, EASEMENT, UTILITY, AND PERMANENT OBJECT INFORMATION AS SHOWN WAS SUPPLIED TO TOTAL SOLUTIONS GROUP VIA A SURVEY FURNISHED BY A LICENSED SURVEYOR
3. IF A LANDSCAPE SITE PLAN, IRRIGATION PLAN, PAVING PLAN, GRADING PLAN, DRAINAGE PLAN, OR UTILITY/CIVIL ENGINEERED PLAN IS REQUIRED, IT SHALL BE PROVIDED BY OTHERS AS A SEPARATE ATTACHMENT TO THE PERMIT PLAN SET PACKAGE SUBMITTED
4. DIMENSIONS AS SHOWN ARE FROM THE BUILDING CORNERS TO THEIR RESPECTIVE PERPENDICULAR LOCATIONS ALONG THE BOUNDARY LINES
5. PROPOSED FENCES AND/OR GATES ARE PROVIDED AND SUBMITTED BY OTHERS

LEGEND		
SYMBOL	DISTRIBUTION	NOTES
	PATH OF TRAVEL	

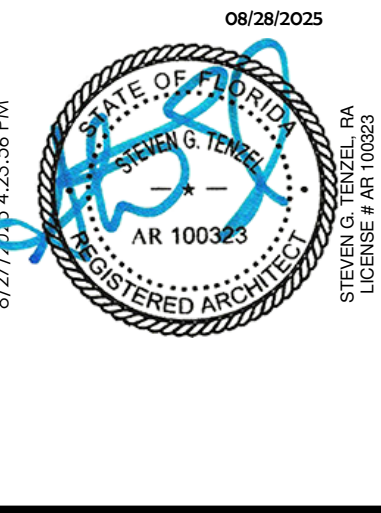
KEY NOTES

- 1 PERIMETER FENCE @ MIN. 60" ABV. FINISH DECK
- 2 SELF CLOSING SELF LATCHING GATE @ 60" A.F.F. BY OTHERS
- 3 PROPOSED POOL EQUIP. LOCATION



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HILLSIDE GROVES AMENITY

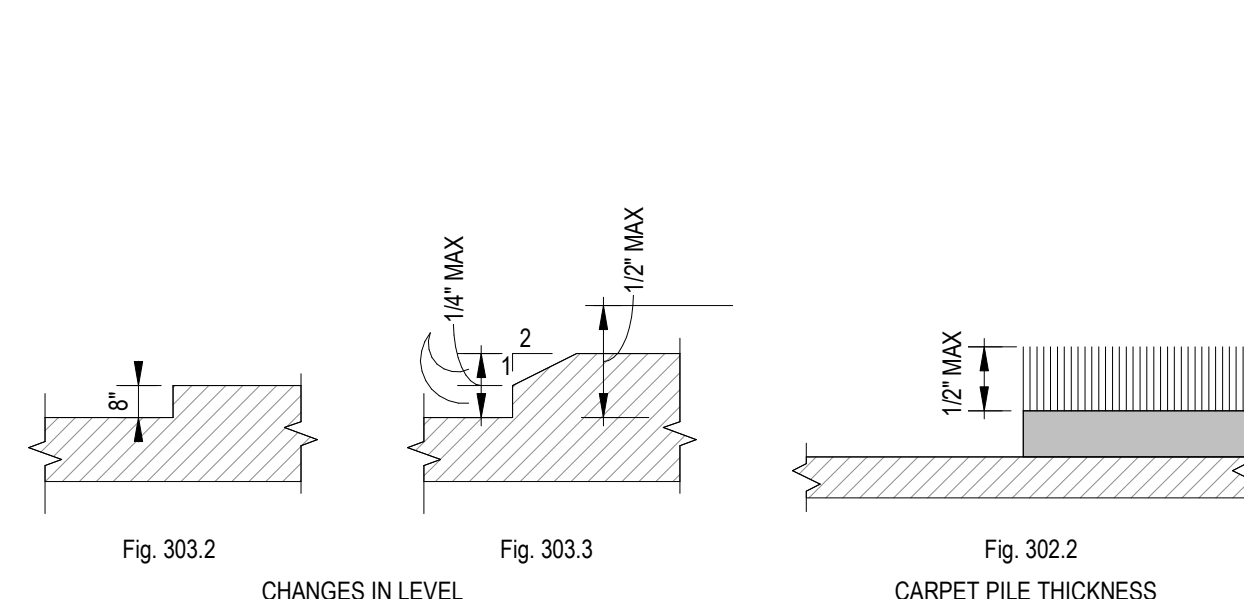
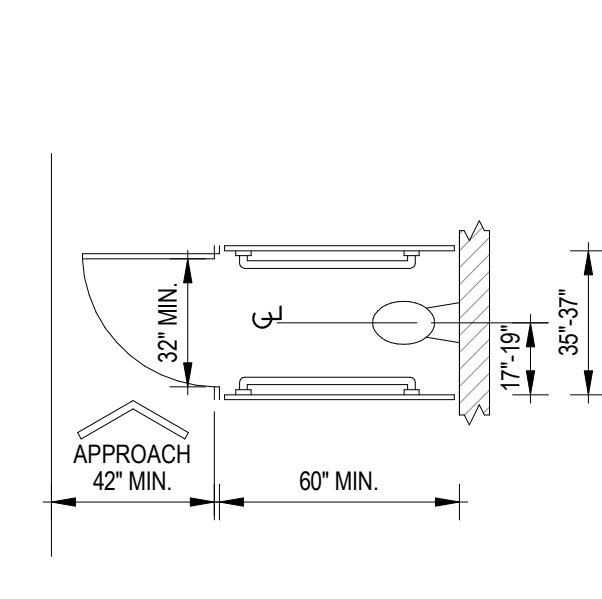
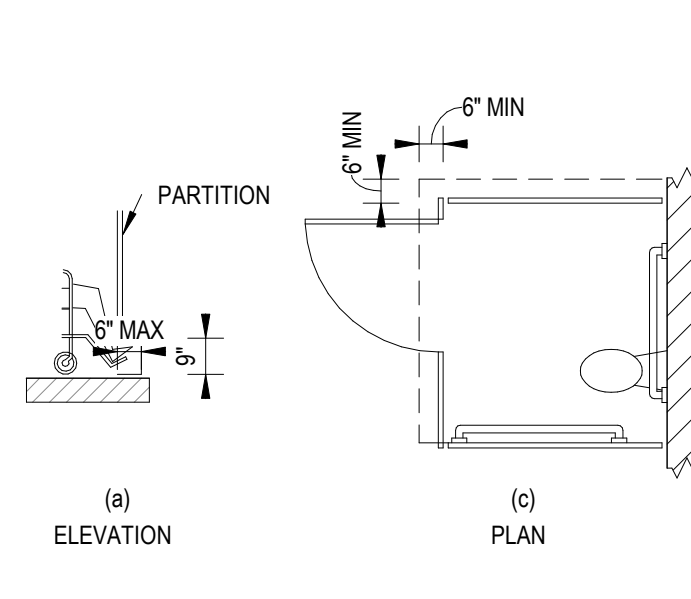
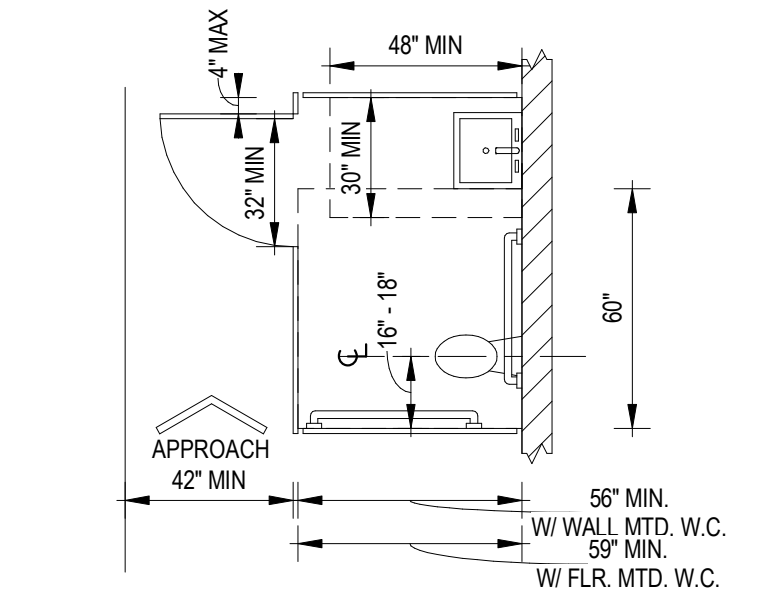
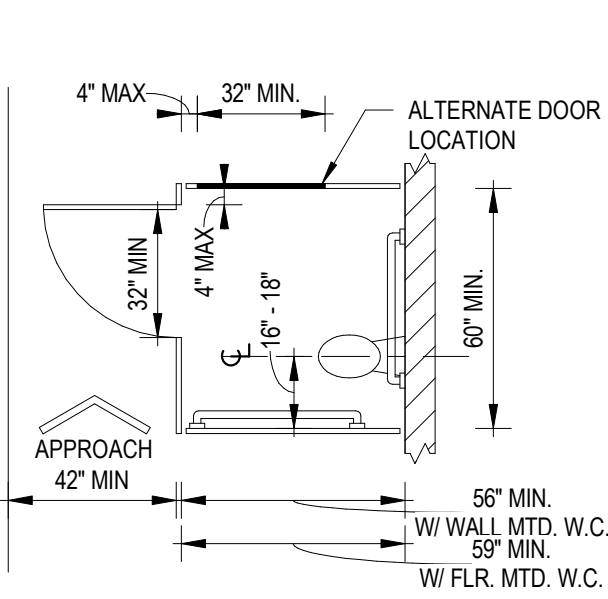
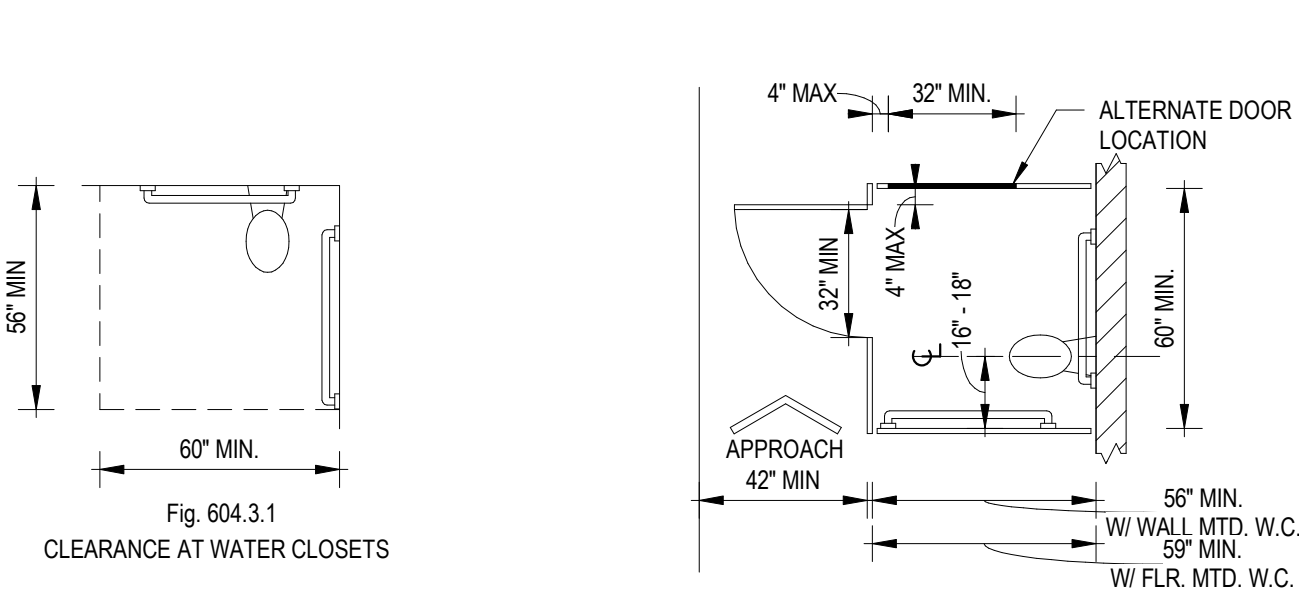
HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	00/00/00

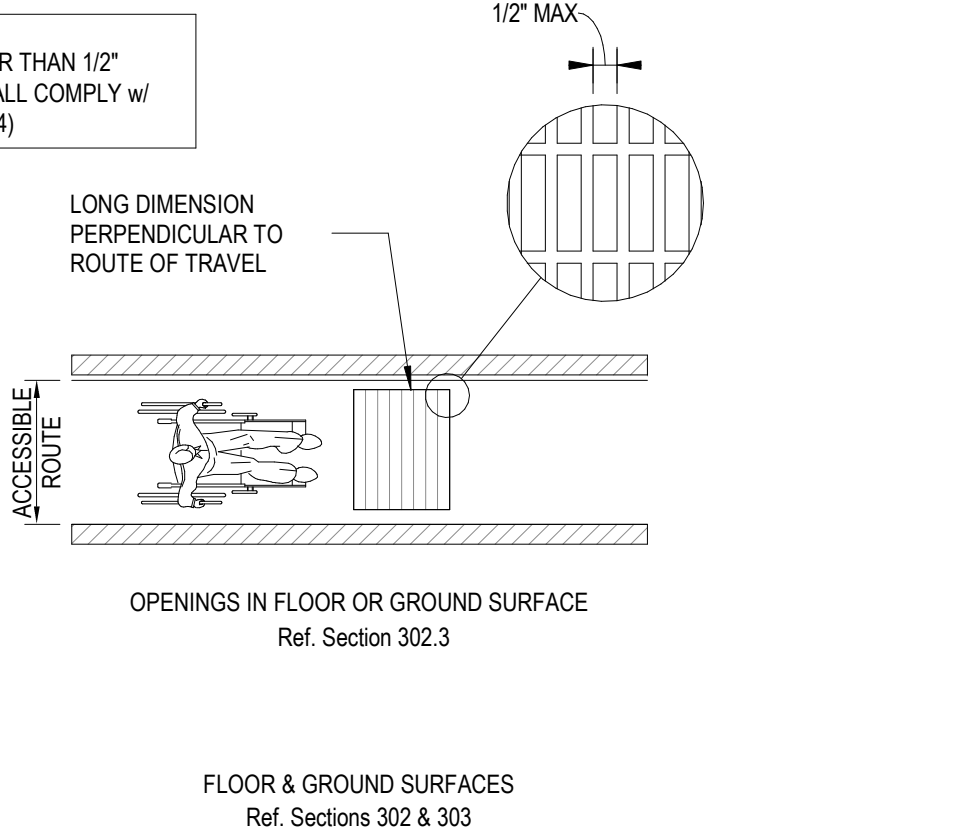
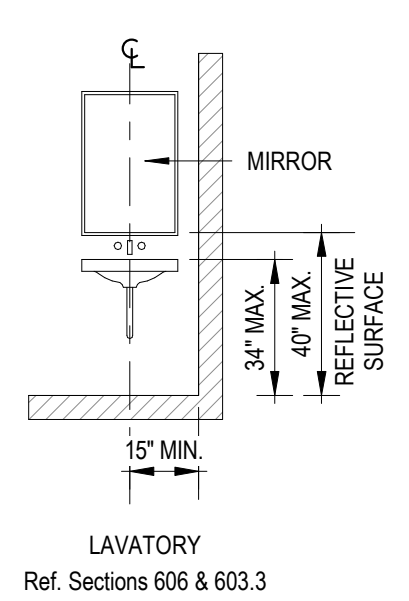
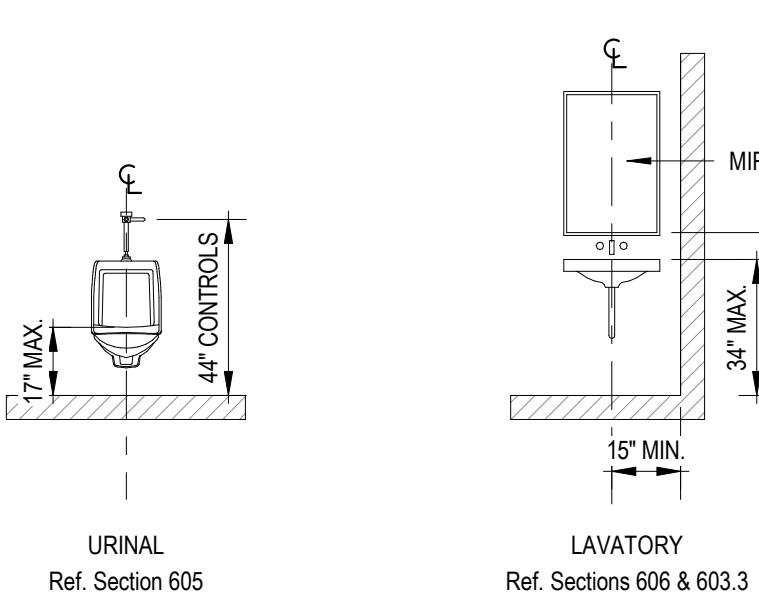
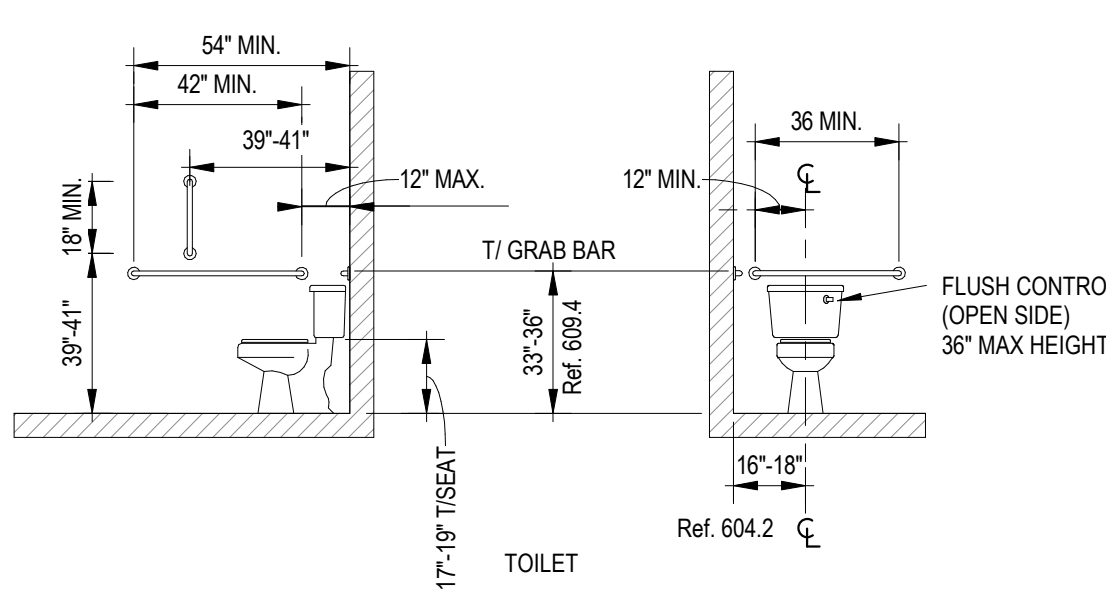
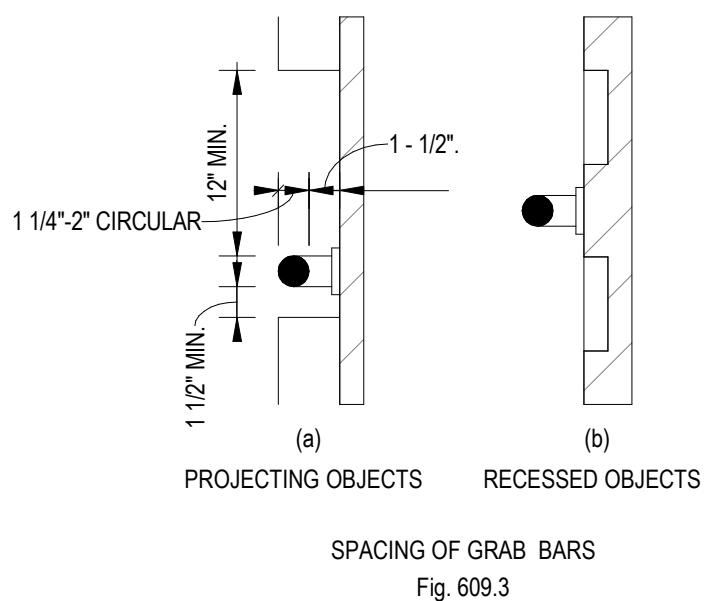
LIFE SAFETY SITE PLAN

Project No:
25-01934

Sheet No:
A101

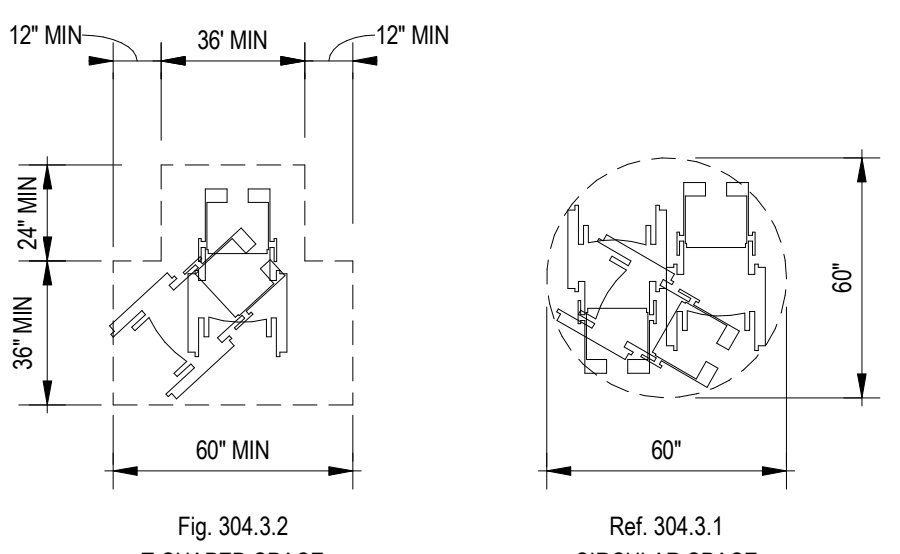


- TOILET ROOM NOTES:
- A TURNING SPACE PER SECTION 304 IS REQUIRED WITHIN A TOILET ROOM (603.2.1)
 - ONLY THE FOLLOWING OBJECTS ARE PERMITTED TO OVERLAP THE REQUIRED CLEARANCE: GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNIT, COAT HOOKS AND SHELVES (604.3.2)
 - FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET (604.6)
 - URINALS SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR FORWARD APPROACH AND CENTERED ON UNIT (605.3)
 - LAVATORIES SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR FORWARD APPROACH AND CENTERED ON UNIT (605.2)
 - KNEE & TOE CLEARANCE COMPLYING WITH 306 SHALL BE PROVIDED (602.2)
 - EXPOSED WATER SUPPLY AND DRAIN PIPES SHALL BE INSULATED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES (605.5)
 - INSTALL GRAB BARS TO WITHSTAND NOT LESS THAN A 250 POUND FORCE APPLIED AT ANY POINT ON THE BAR (609.8)



1 FBC ADA CHAPTER 6

1/4" = 1'-0"



TURNING SPACE
Ref. Section 304

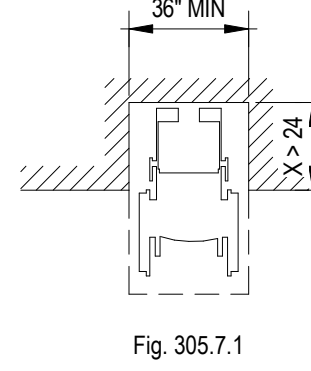


Fig. 305.7.2

CLEAR FLOOR SPACE IN ALCOVES

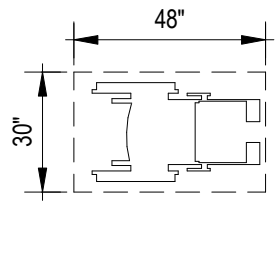


Fig. 305.3

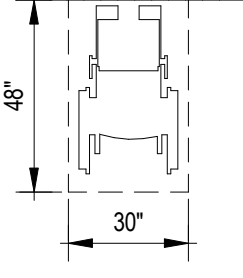


Fig. 305.5 (a)

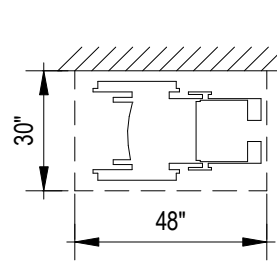


Fig. 305.5 (b)

- CLEAR FLOOR SPACE NOTES:
- DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES (304.4)
 - ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE MUST ADJOIN AN ACCESSIBLE ROUTE OR ANOTHER CLEAR FLOOR SPACE (305.6)
 - A CLEAR FLOOR SPACE IS REQUIRED AT ANY DEVICE WITH AN OPERABLE PART (309.2)

MINIMUM CLEAR FLOOR SPACE
Ref. Sections 304 & 305

3 FBC ADA SECTIONS 304 & 305

1/4" = 1'-0"

4 FBC ADA SECTION 306

1/4" = 1'-0"

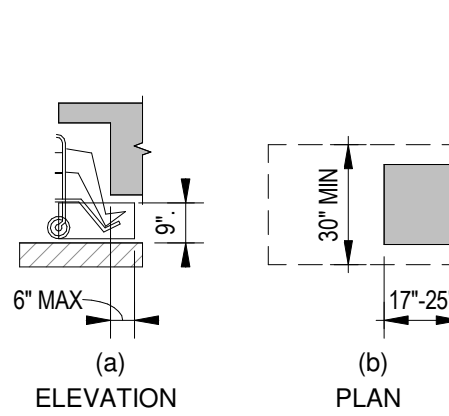


Fig. 306.2

KNEE & TOE CLEARANCES
Ref. Section 306

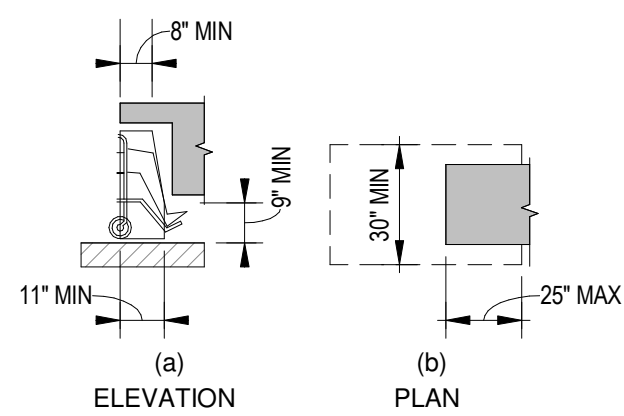


Fig. 306.3

KNEE CLEARANCES
Ref. Section 306

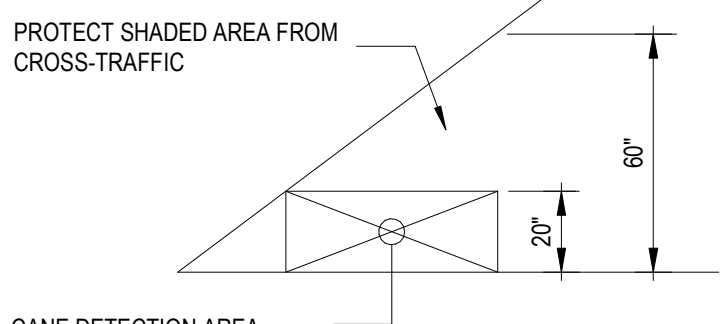


Fig. 307.5

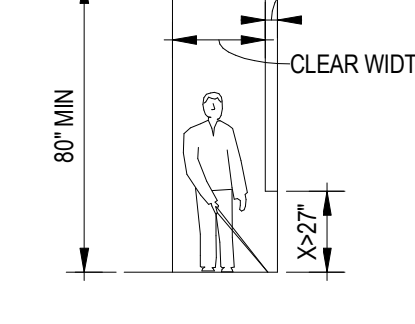


Fig. 307.2

LIMITS OF PROTRUDING OBJECTS

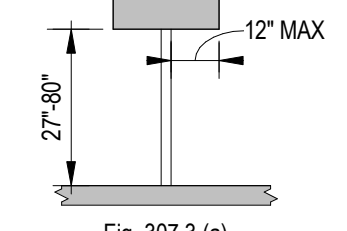


Fig. 307.3 (a)

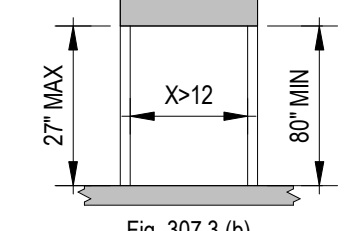


Fig. 307.3 (b)

POST-MOUNTED PROTRUDING OBJECTS
Ref. Section 307

- NOTES:
- PROTRUDING OBJECTS SHALL NOT REDUCE THE REQUIRED WIDTH OF AN ACCESSIBLE ROUTE (307.5)
 - PROTRUDING OBJECTS ON A CIRCULATION PATH SHALL COMPLY W/ SECTION 307 (204.1)

5 FBC ADA SECTION 307

1/4" = 1'-0"

6 FBC ADA SECTION 308

1/4" = 1'-0"

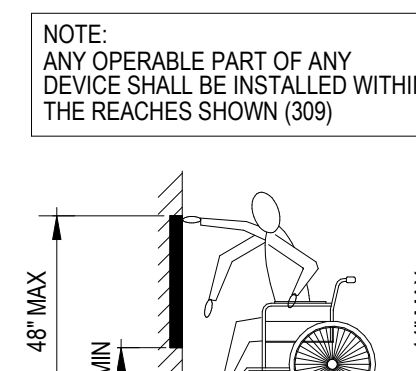


Fig. 308.2.1

UNOBSTRUCTED FORWARD REACH
Ref. Section 308

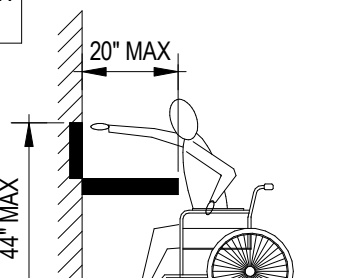


Fig. 308.2.2

OBSTRUCTED HIGH FORWARD REACH
Ref. Section 308

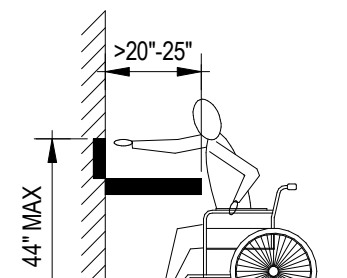


Fig. 308.3.1

UNOBSTRUCTED SIDE REACH
Ref. Section 308

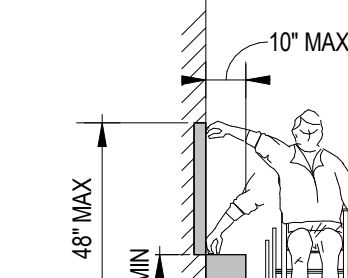


Fig. 308.3.2

OBSTRUCTED HIGH SIDE REACH
Ref. Section 308

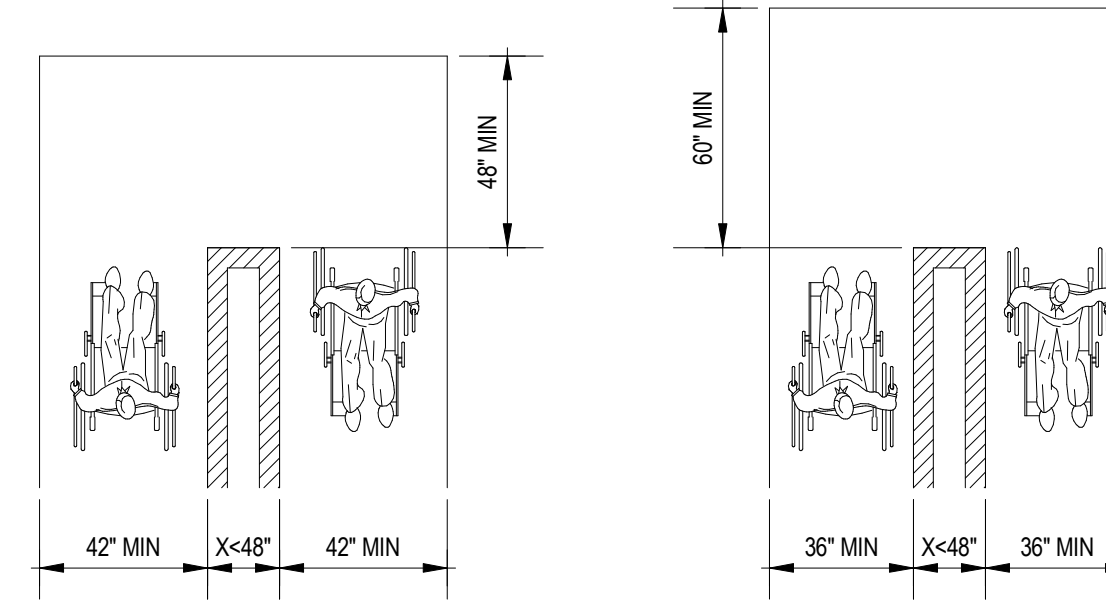


Fig. 403.5.2 (a)

CLEAR WIDTHS AT 180 DEGREE TURNS

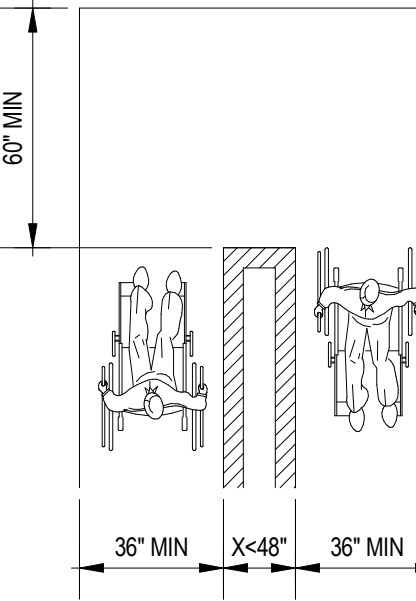


Fig. 403.5.2 (b)

- ACCESSIBLE ROUTE NOTE:
- THE SLOPE OF A WALKING SURFACE ALONG AN ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:48 (402)

7 FBC ADA SECTION 402

1/4" = 1'-0"

- DRINKING FOUNTAIN NOTES:
- KNEE & TOE CLEARANCE COMPLYING WITH 306 SHALL BE PROVIDED (602.2)
 - WHERE A DRINKING FOUNTAIN IS REQUIRED, TWO SHALL BE PROVIDED; ONE HIGH & ONE LOW (211.2)
 - UNITS SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR FORWARD APPROACH AND CENTERED ON UNIT (602.2)

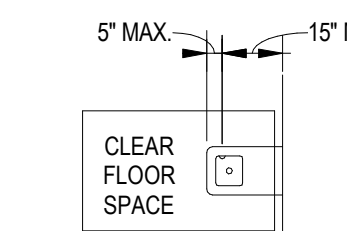


Fig. 602.5

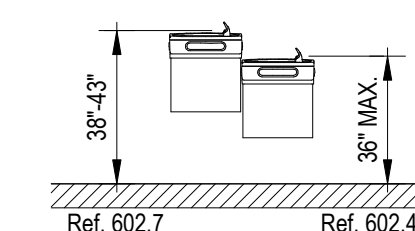


Fig. 602.7

DRINKING FOUNTAIN OUTLET HEIGHTS

DRINKING FOUNTAIN
Ref. Section 602

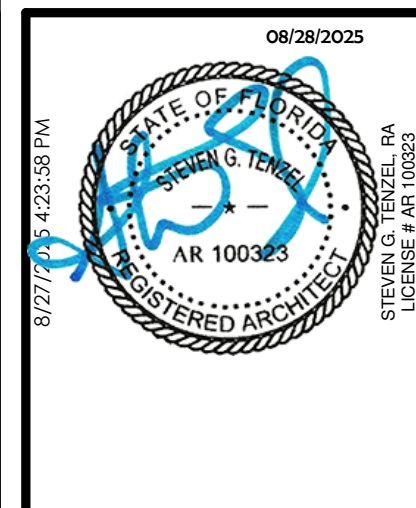
8 FBC ADA SECTION 602

1/4" = 1'-0"



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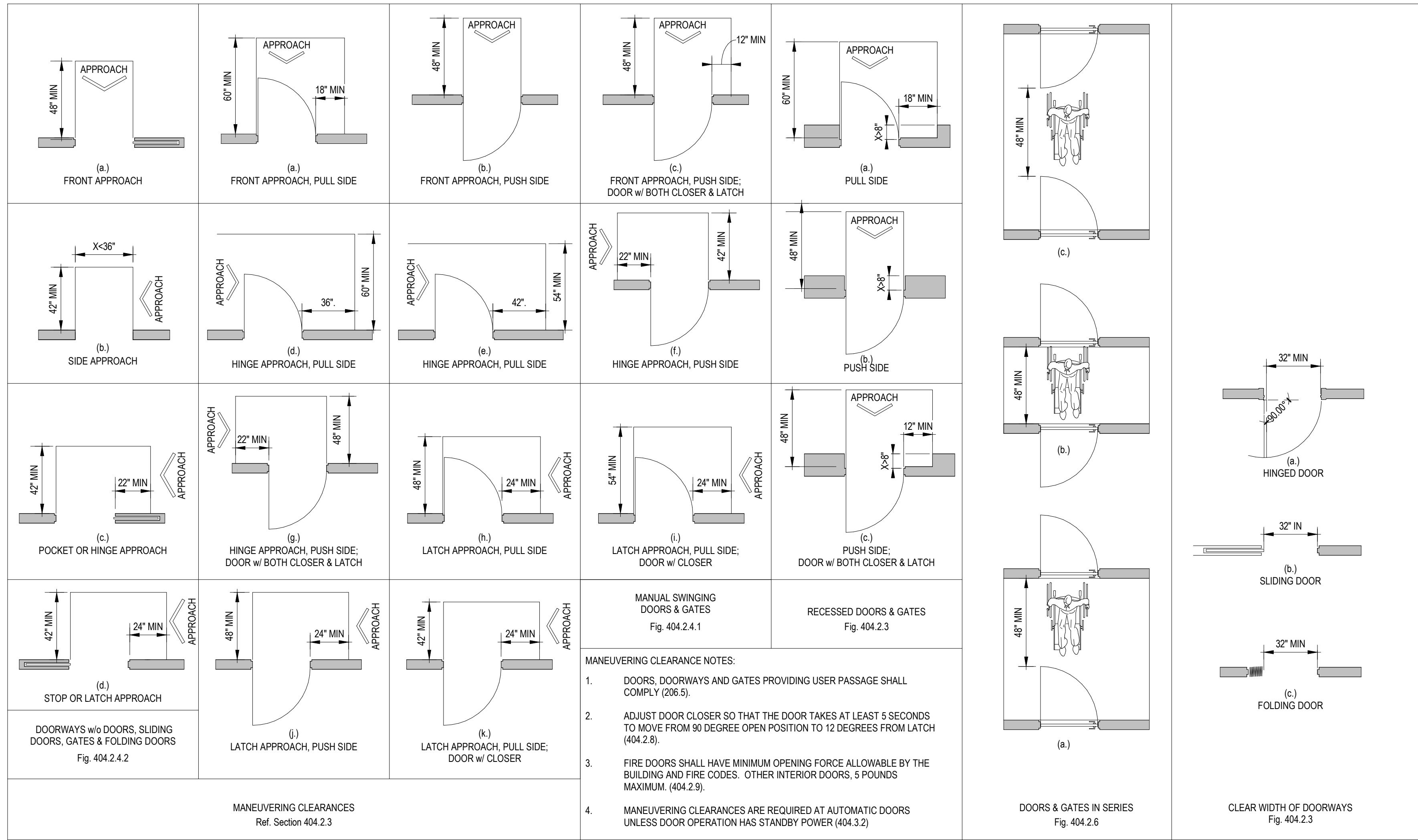
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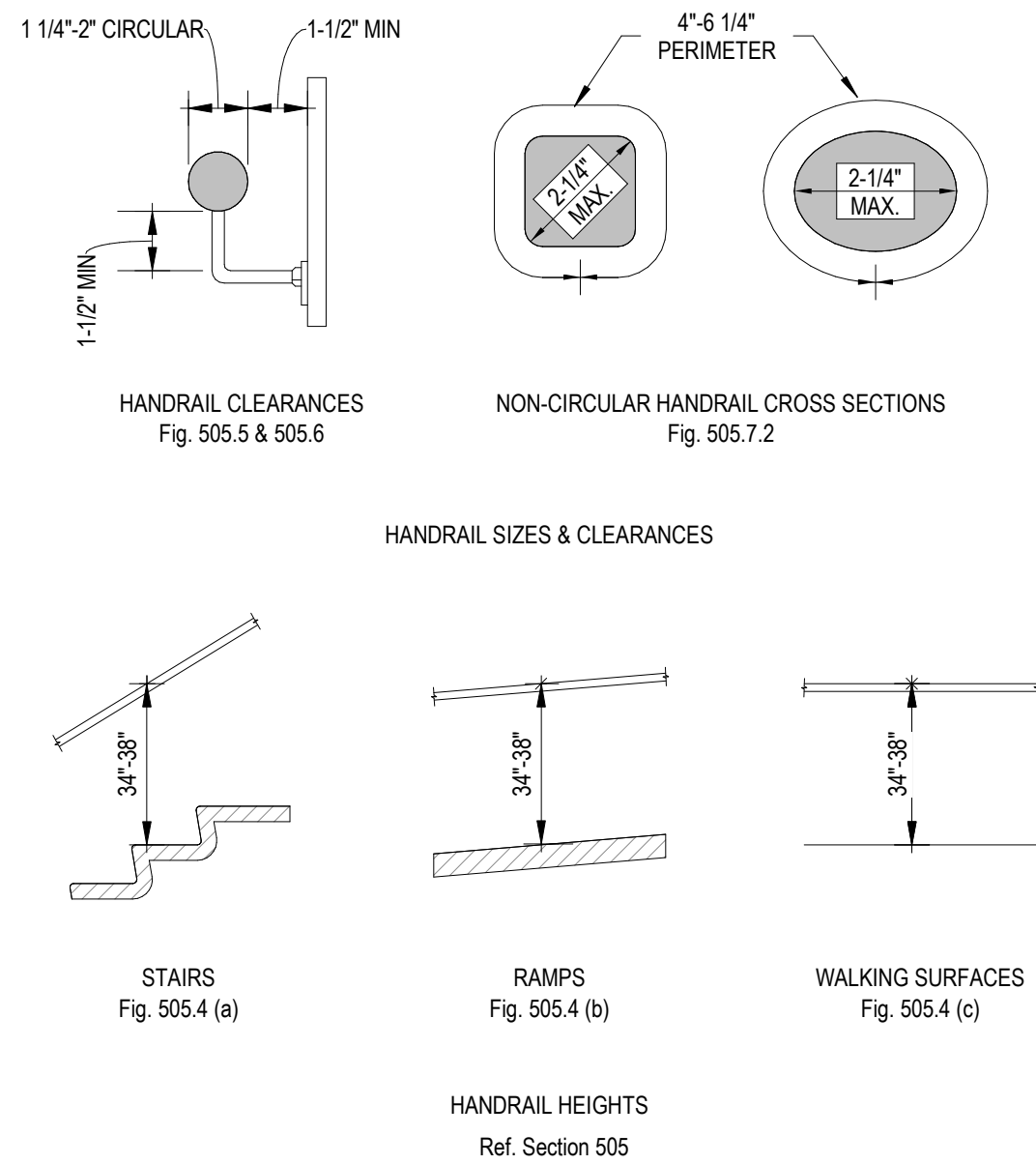
Revision Schedule		
NO	DESCRIPTION	DATE
01	00/00/00	

ADA CLEARANCE REQUIREMENTS
Project No: 25-01934
Sheet No: A102

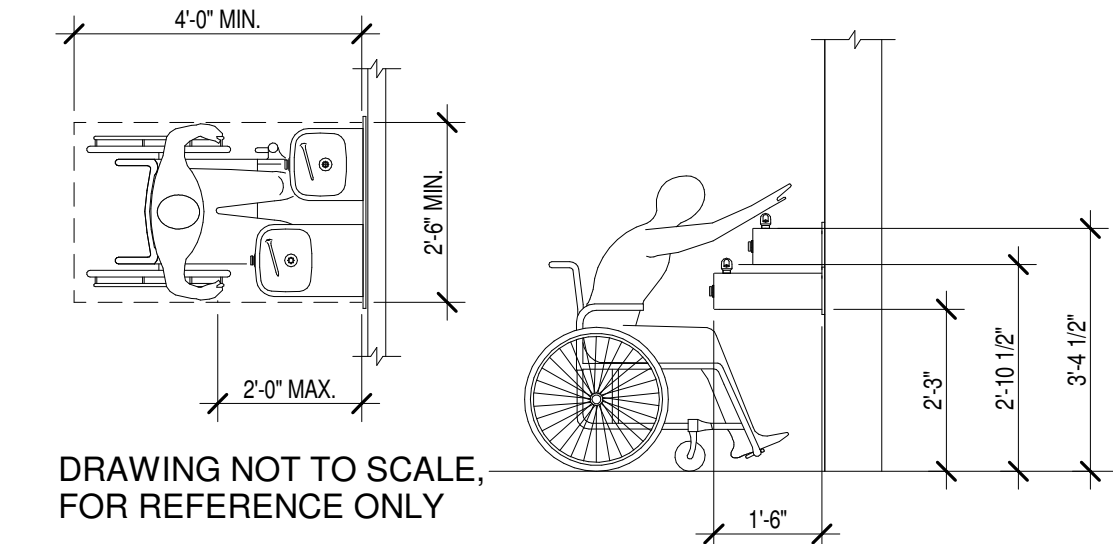
SITE PLAN SUBMITTAL ONLY



1 FBC ADA SECTION 404
1/4" = 1'-0"

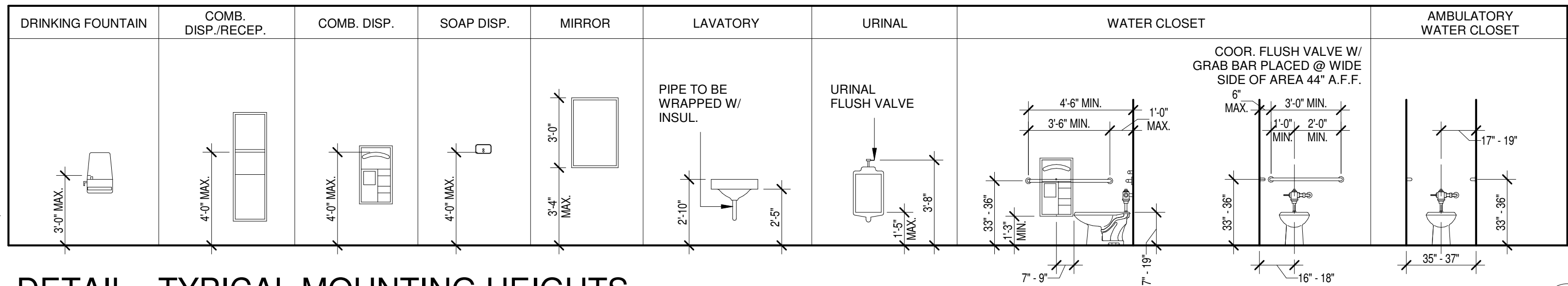


4 FBC ADA SECTIONS 504 & 505
1/4" = 1'-0"

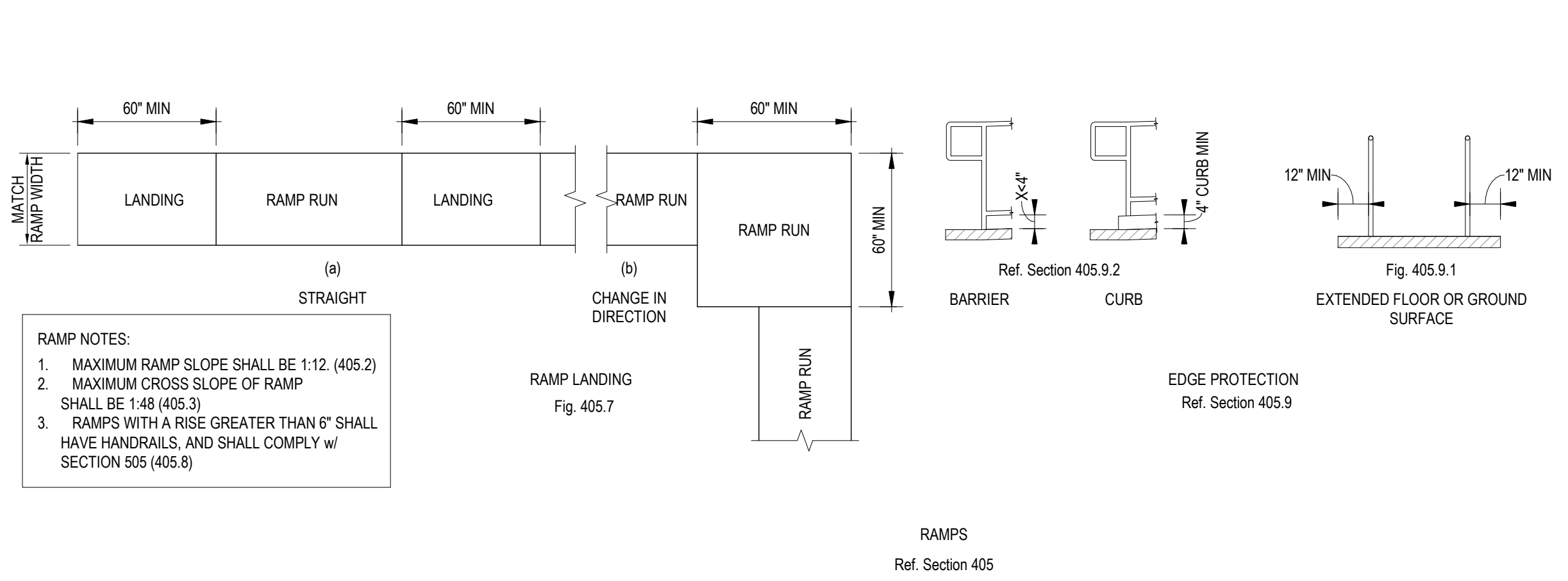


7 DETAIL - DRINKING FOUNTAIN
3/8" = 1'-0"

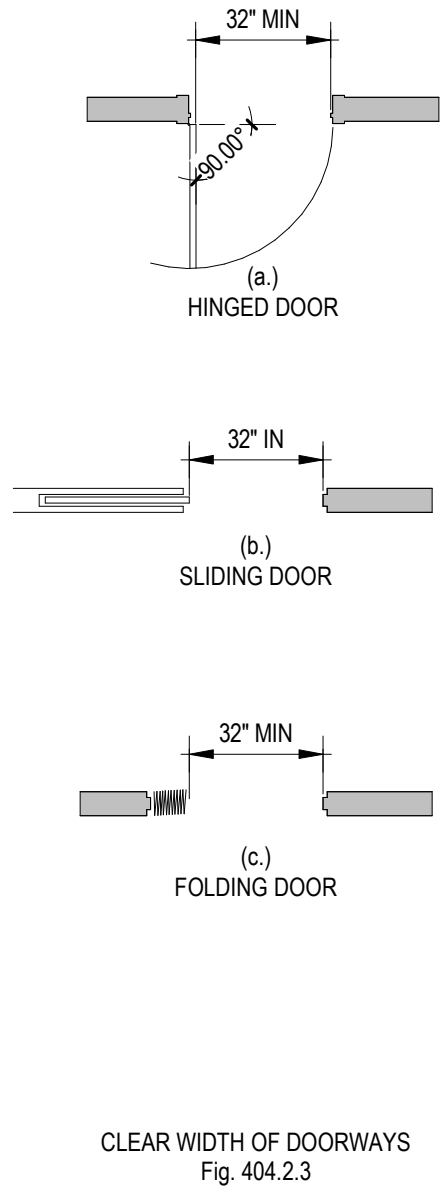
5 FBC ADA SECTION 703
1/4" = 1'-0"



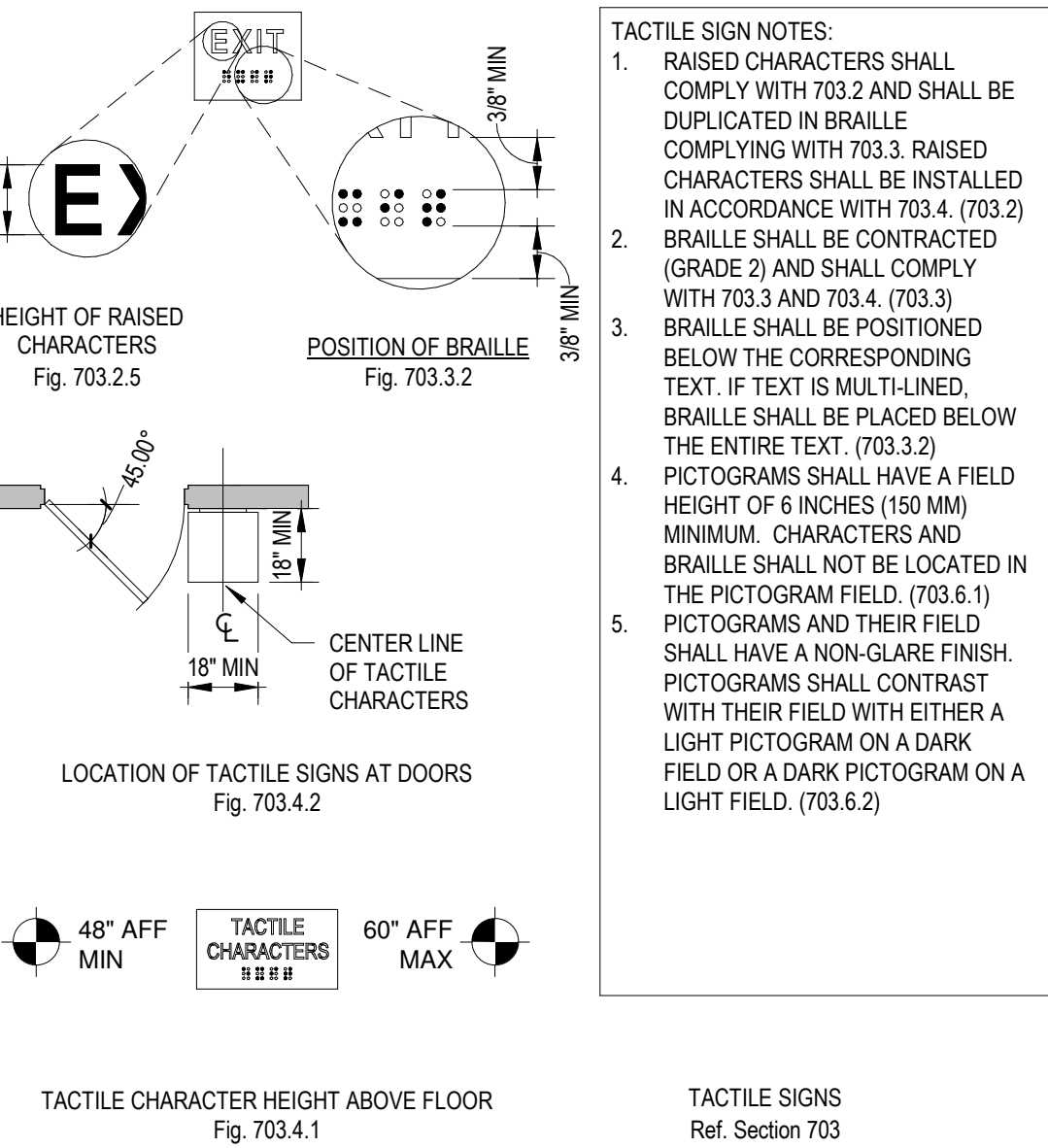
8 DETAIL - TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



2 FBC ADA SECTION 405
1/4" = 1'-0"



3 FBC ADA SECTION 406
1/4" = 1'-0"

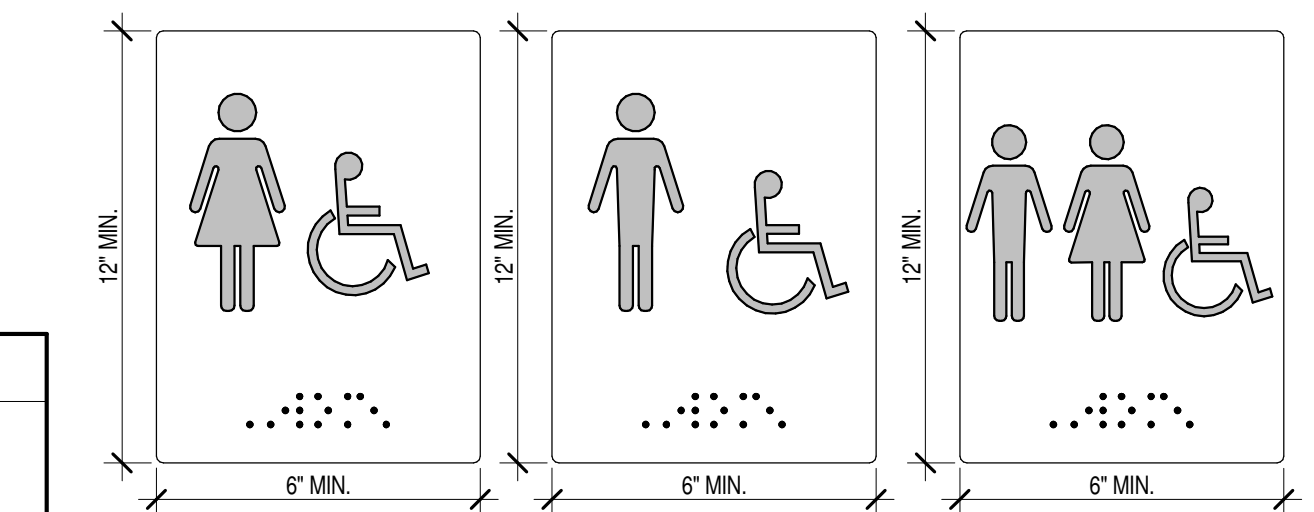
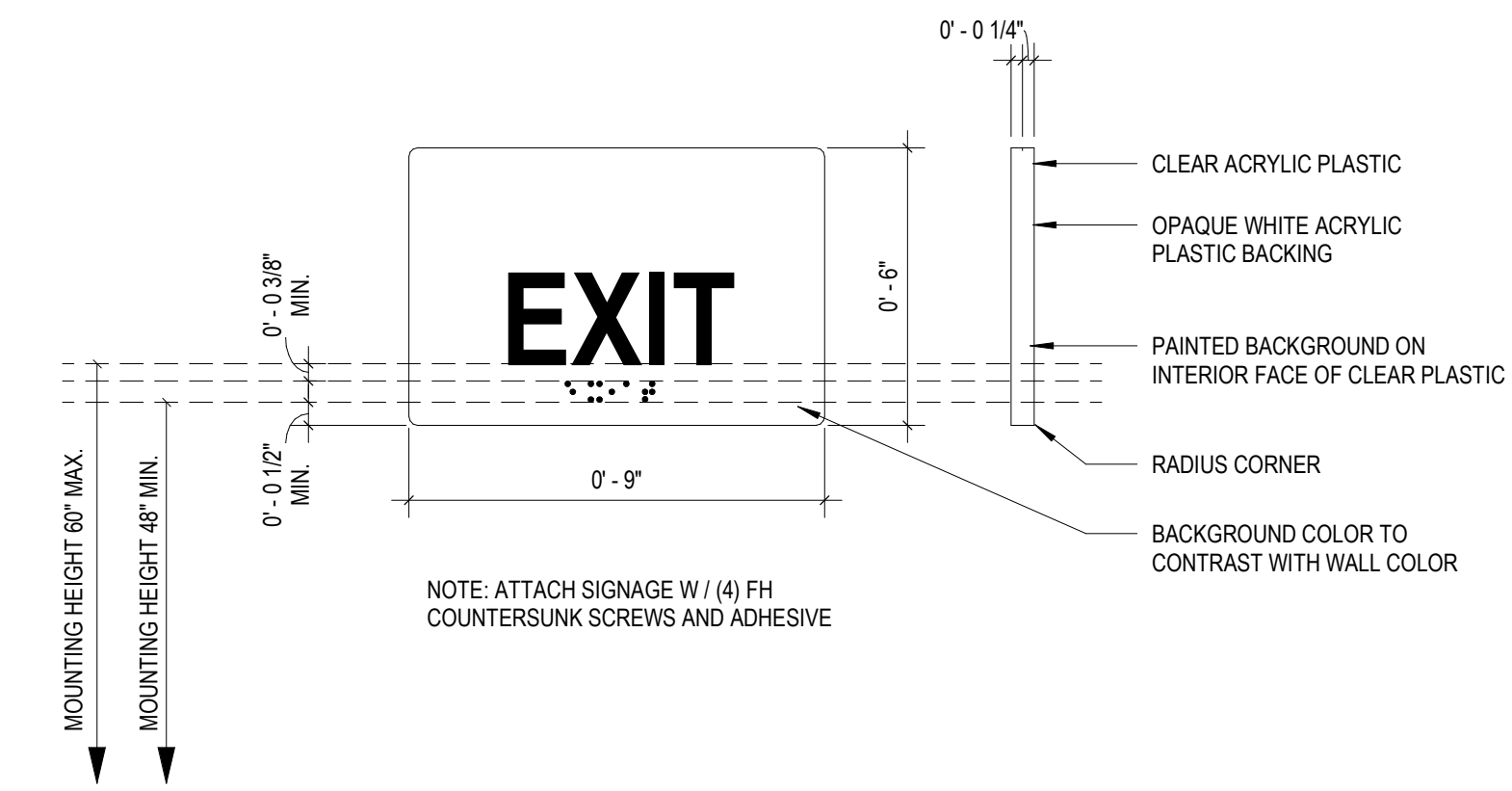


TACTILE SIGN NOTES:
1. RAISED CHARACTERS SHALL COMPLY WITH 703.2 AND SHALL BE DUPLICATED IN BRAILLE. COMPLYING WITH 703.3, RAISED CHARACTERS SHALL BE INSTALLED IN ACCORDANCE WITH 703.4. (703.2)
2. BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH 703.3 AND 703.4. (703.3)
3. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT. IF TEXT IS MULTI-LINED, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. (703.3.2)
4. PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6 INCHES (150 MM) MINIMUM. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD. (703.6.1)
5. PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD. (703.6.2)

TACTILE CHARACTER HEIGHT ABOVE FLOOR
Fig. 703.4.1

TACTILE SIGN
Ref. Section 703

6 ACCESSIBILITY EXIT SIGNAGE
3" = 1'-0"



DRAWING NOT TO SCALE, FOR REFERENCE ONLY
* PROVIDED BY OWNER
** PROVIDE (1) SIGN PER TOILET COMPLYING WITH ADA LOCAL CODE. SIGN TO HAVE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL OF ACCESSIBILITY MOUNT 5'-0" TO CENTERLINE A.F.F. & 9" FROM CENTERLINE OF SIGN TO EDGE OF DOOR (OPPOSITE HINGE)
*** TYPICAL INTERIOR ACCESS SIGNS

9 DETAIL - HANDICAP SIGNAGE
1/2" = 1'-0"

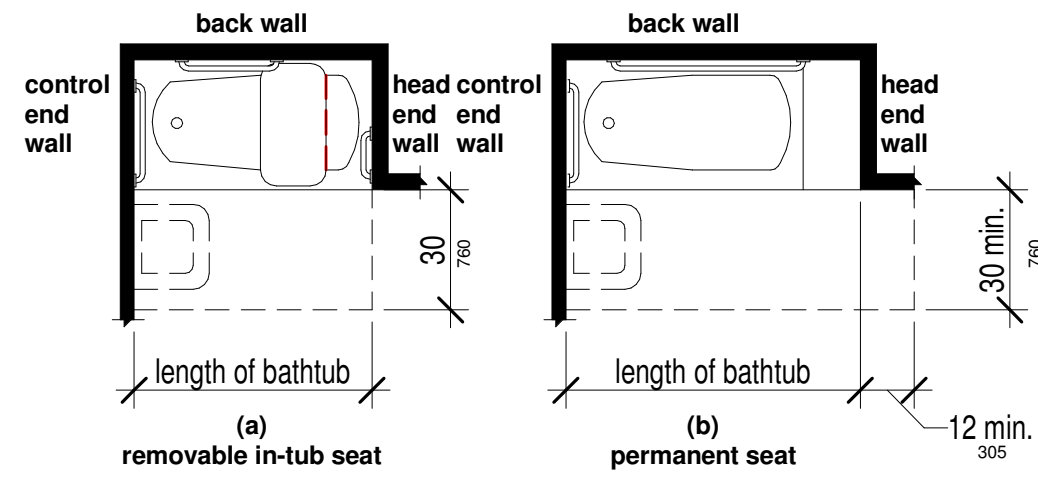


FIGURE 607.2 CLEARANCE FOR BATHTUBS

1 FBC ADA SECTION 607.2
1/4" = 1'-0"

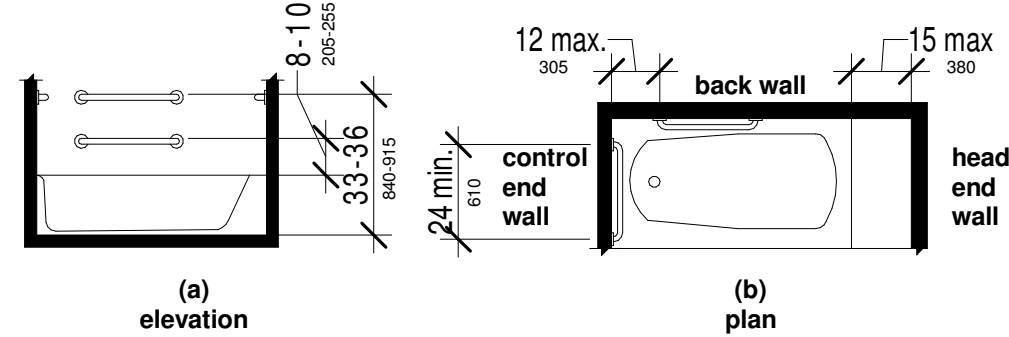


FIGURE 607.4.2 GRAB BARS FOR BATHTUBS WITH PERMANENT SEATS

2 FBC ADA SECTION 607.4.1
1/4" = 1'-0"

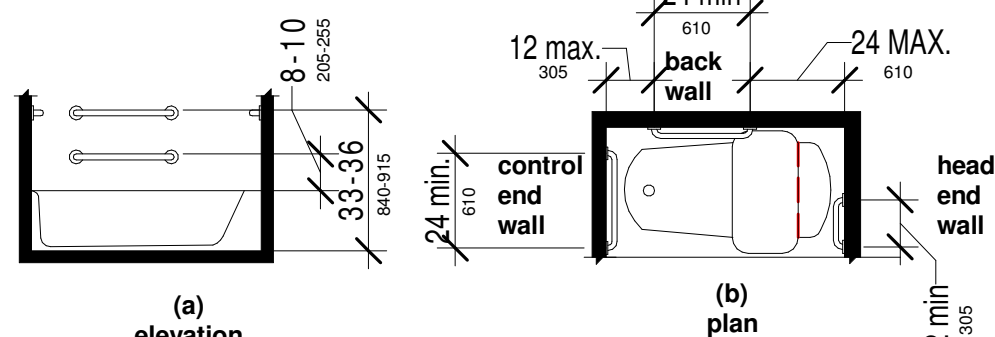


FIGURE 607.4.2 GRAB BARS FOR BATHTUBS WITH REMOVABLE IN-TUB SEATS

3 FBC ADA SECTION 607.4.2
1/4" = 1'-0"

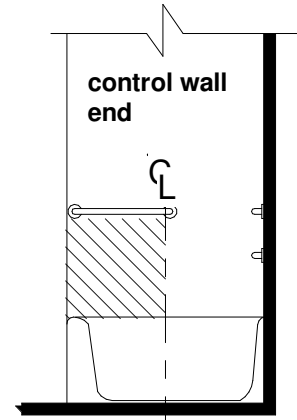
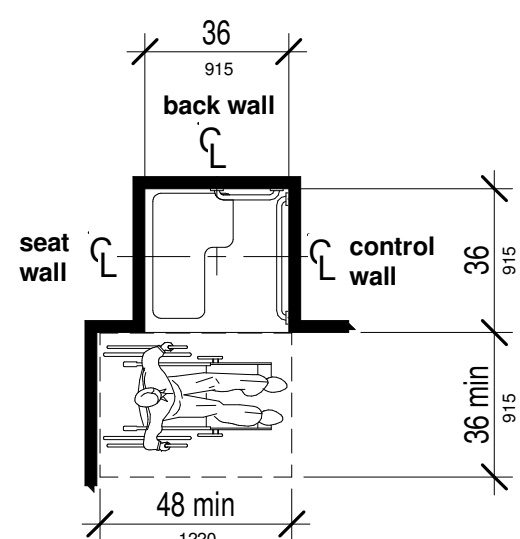


FIGURE 607.5 BATHTUB CONTROL LOCATION

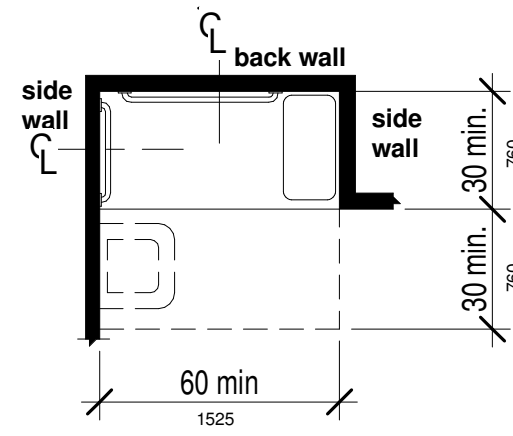
4 FBC ADA SECTION 607.5
1/4" = 1'-0"



note: inside finished dimensions measured a the center points of opposing sides

FIGURE 608.2.1 TRANSFER TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

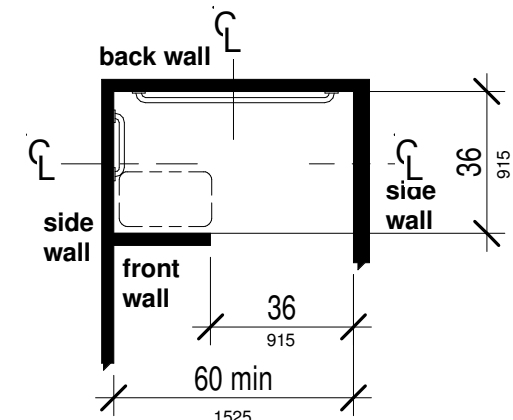
5 FBC ADA SECTION 608.2.1
1/4" = 1'-0"



note: inside finished dimensions measured a the center points of opposing sides

FIGURE 608.2.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

6 FBC ADA SECTION 608.2.2
1/4" = 1'-0"



note: inside finished dimensions measured a the center points of opposing sides

FIGURE 608.2.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

7 FBC ADA SECTION 608.2.3
1/4" = 1'-0"

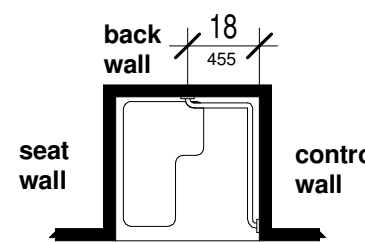


FIGURE 608.3.1 GRAB BARS FOR TRANSFER TYPE SHOWERS

8 FBC ADA SECTION 608.3.1
1/4" = 1'-0"

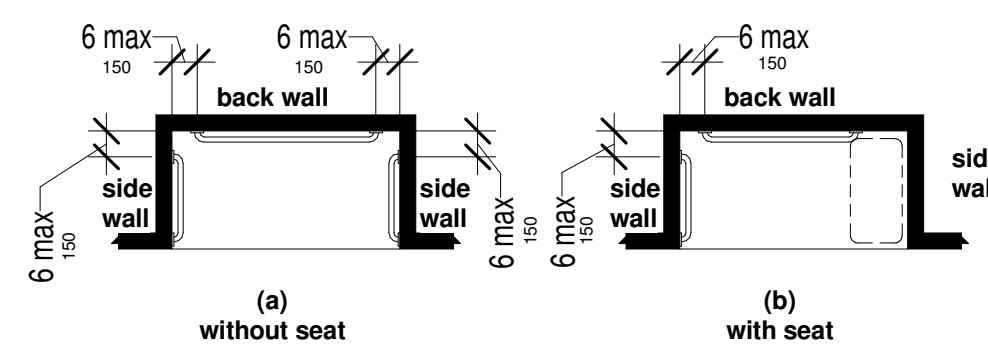


FIGURE 608.3.2 GRAB BARS FOR STANDARD ROLL-IN TYPE SHOWERS

9 FBC ADA SECTION 608.3.2
1/4" = 1'-0"

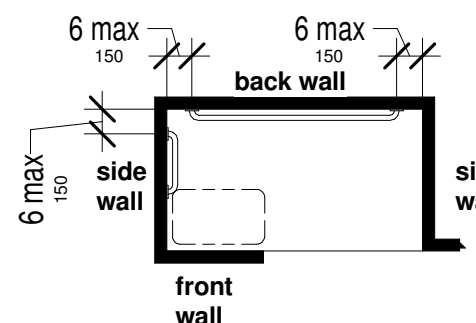


FIGURE 608.3.3 GRAB BARS FOR ALTERNATE ROLL-IN TYPE SHOWERS

10 FBC ADA SECTION 608.3.3
1/4" = 1'-0"

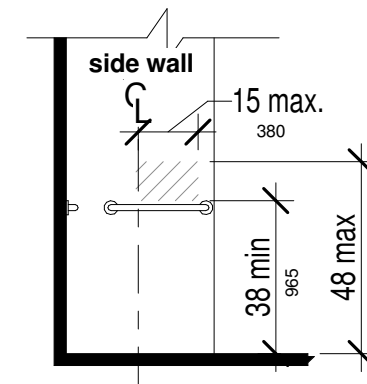


FIGURE 608.5.1 TRANSFER TYPE SHOWER COMPARTMENT CONTROL LOCATION

11 FBC ADA SECTION 608.5.1
1/4" = 1'-0"

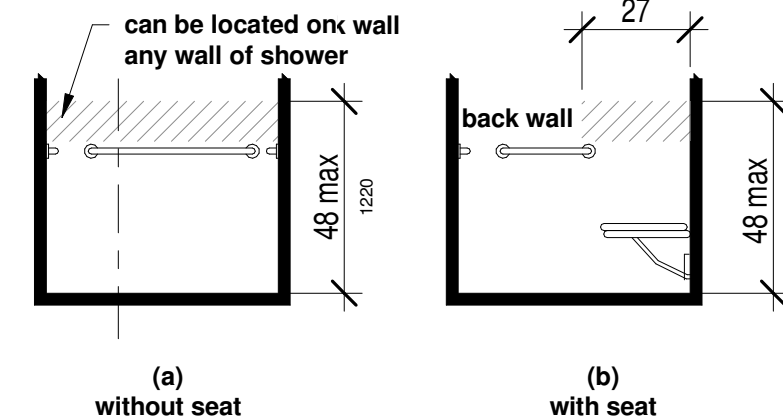


FIGURE 608.5.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENT CONTROL LOCATION

12 FBC ADA SECTION 608.5.2
1/4" = 1'-0"

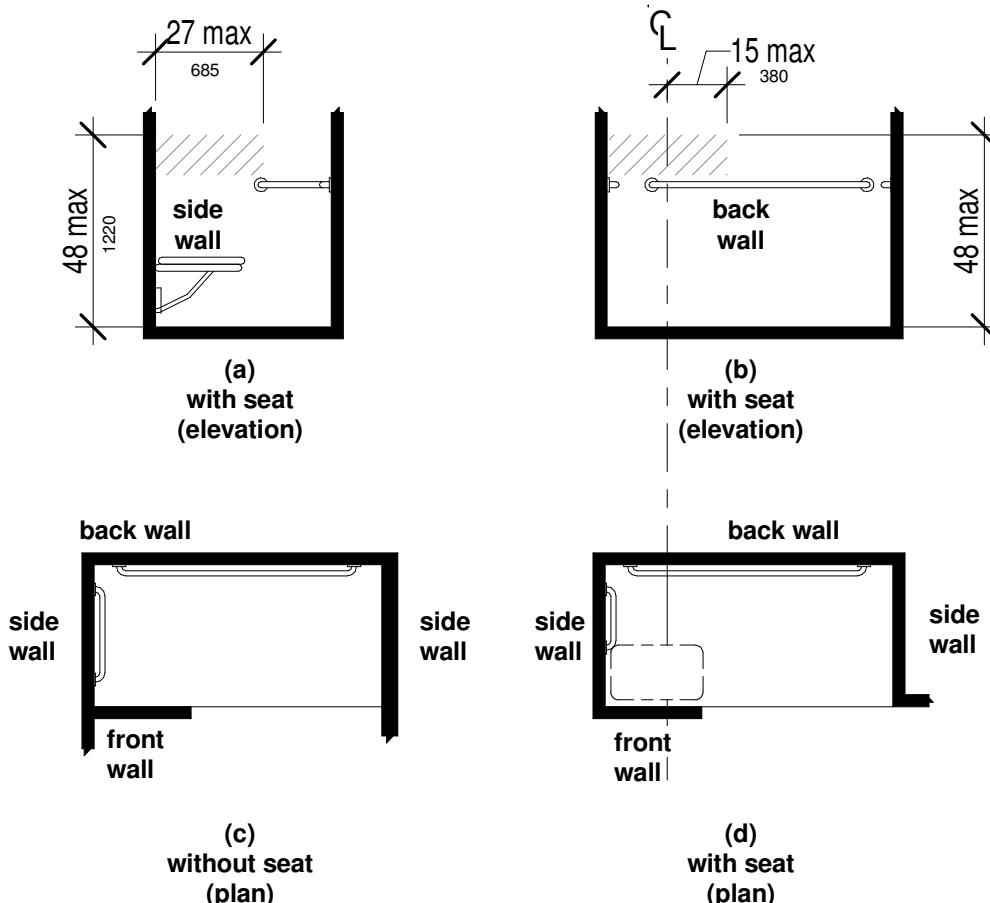


FIGURE 608.5.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT CONTROL LOCATION

13 FBC ADA SECTION 608.5.3
1/4" = 1'-0"

SITE PLAN SUBMITTAL ONLY

HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE
00		00/00/00
01		08/27/2025 4:24:00 PM
02		08/27/2025
03		MAR
04		SGT

ADA CLEARANCE REQUIREMENTS

Project No:
25-01934

Sheet No:
A104

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STATE OF ARIZONA
AR 100363
REGISTERED ARCHITECT
8/27/2025 4:24:00 PM

GROSS AREA TABULATION	
AREA NAME	SQUARE FT.
CLUBHOUSE	1829 SF
COVERED LANAI - NON AC	789 SF
FRONT ENTRY - NON AC	207 SF
TOTAL SQUARE FOOTAGE	2826 SF

WALL TYPE LEGEND	
	8" CONCRETE BLOCK, AT 10'-0" HT
	8" CONCRETE BLOCK, AT 11'-4" HT
	2x 4 WOOD FRAMED WALL

- # KEYNOTES
- 1

30X48 ADA. CLR. FLOOR SPACE
- 2

34" MAX. HT. ADA COUNTERTOP
- 3

HEADER, REFER TO RCP
- 4

WOOD FRAME BEAM, SEE STRUCT. DWGS.
- 5

LO/HI ADA. WATER FOUNTAIN
- 6

CONC. FLOOR SLAB, TIE TO POOL DECK, SEE STRUCT. DWGS
- 7

12X12 CMU COL., HARDIE BD. FINISH, WD. FRAMED BASE FINISH WITH STONE VENEER
- 8

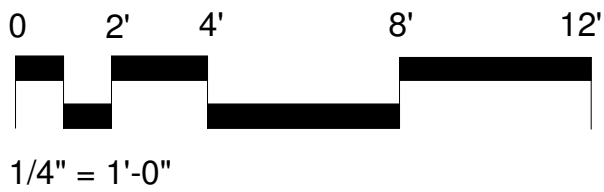
AHU UNIT, REFER TO MECHANICAL DRAWINGS
- 9

A/C UNIT, REFER TO MECHANICAL DRAWINGS
- 10

ELECTRICAL PANEL, REFER TO ELECTRICAL DRAWINGS
- 11

WALL MOUNTED TV, MOUNTING HT. 5'-6" TO CENTER.
- 12

ELECTRICAL METER CAN LOCATION W/ DISCONNECT



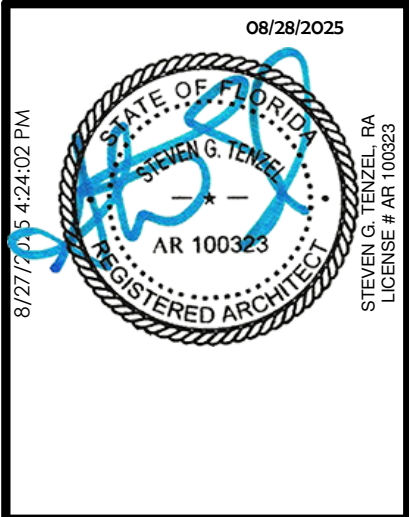
1 FIRST FLOOR PLAN - NOTES

1/4" = 1'-0"



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HILLSIDE GROVES AMENITY

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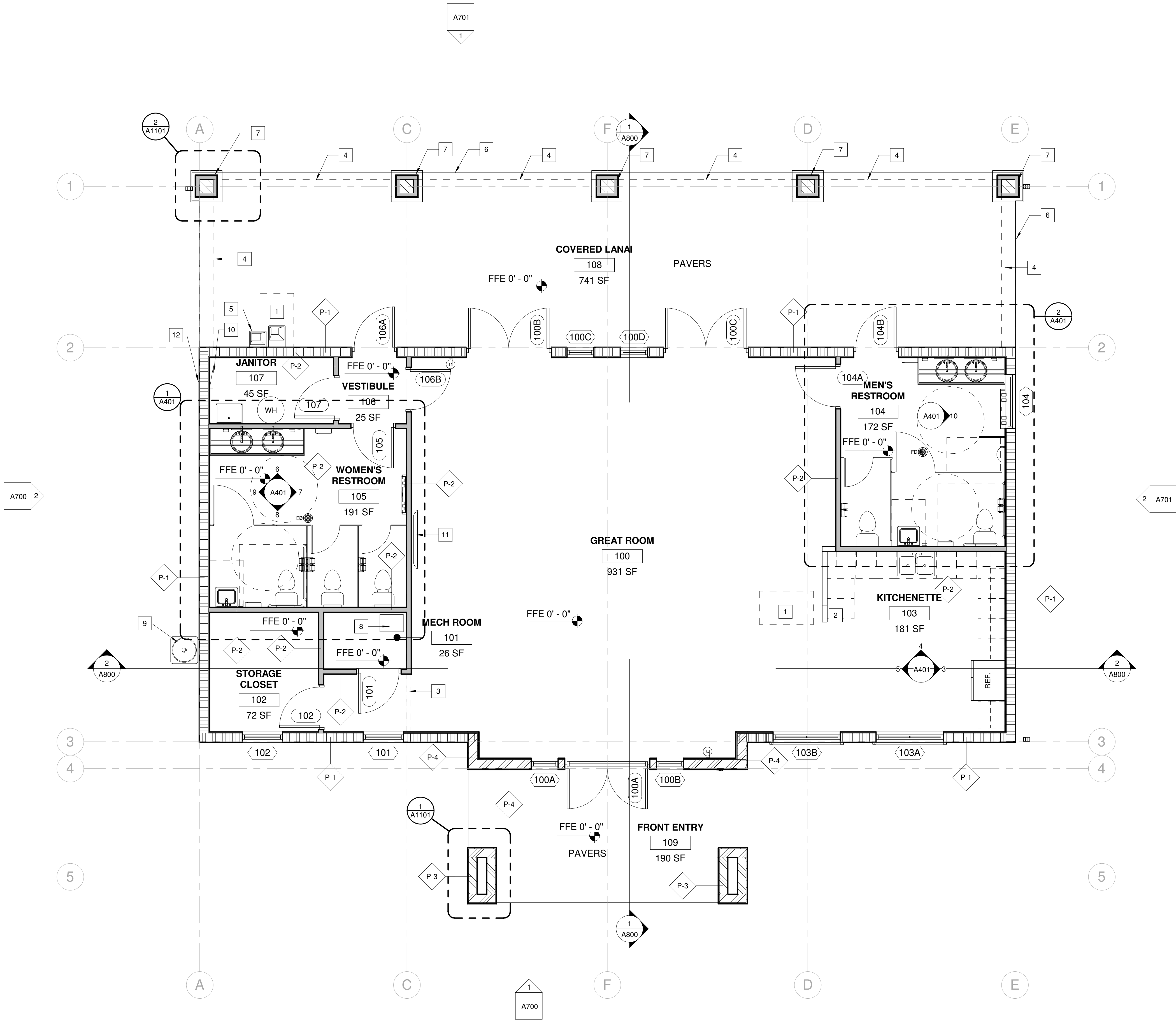
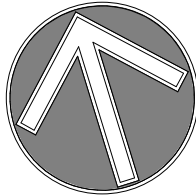
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NO	DESCRIPTION	DATE

FLOOR PLAN - NOTES

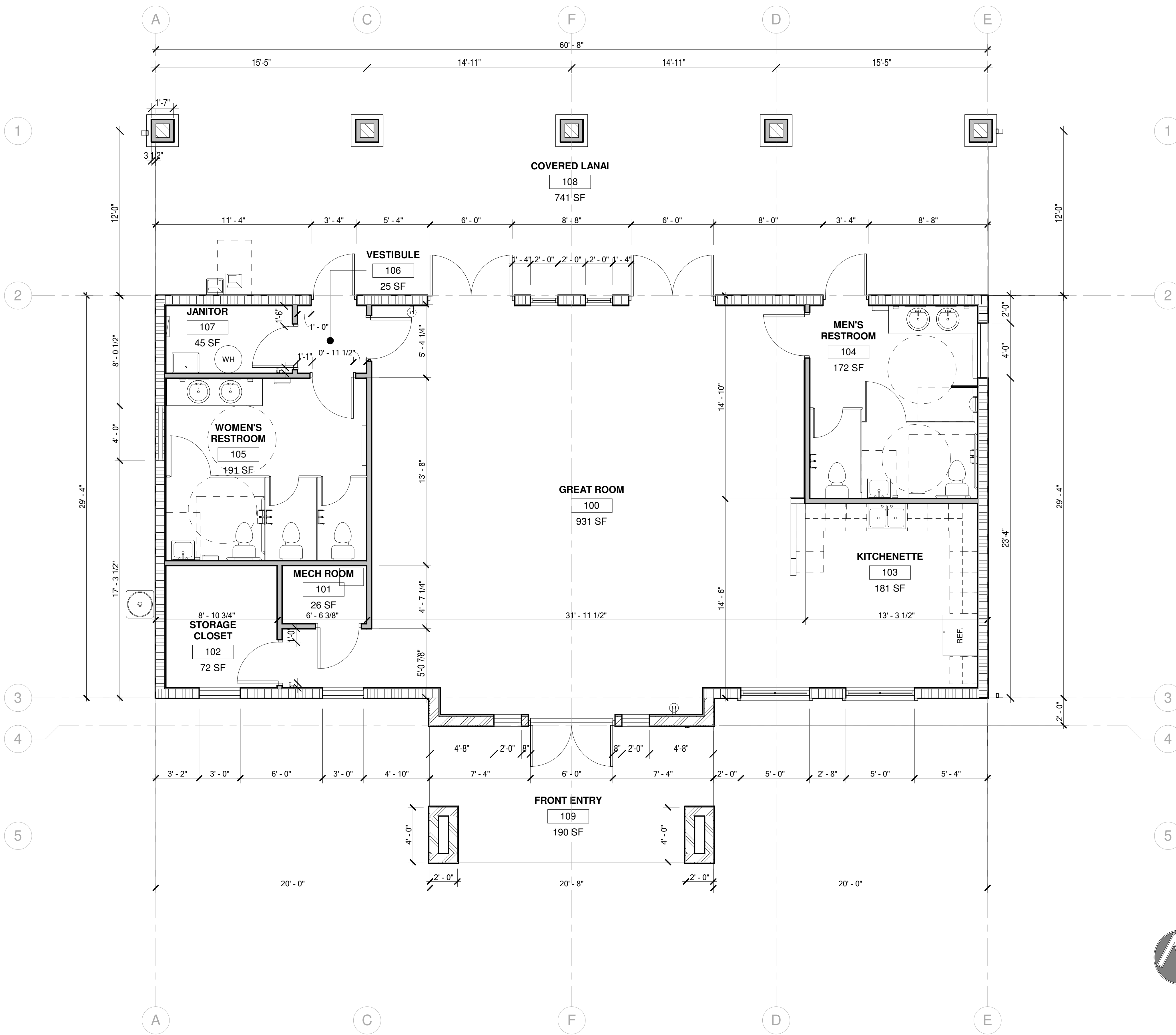
Project No:
25-01934

Sheet No:
A300

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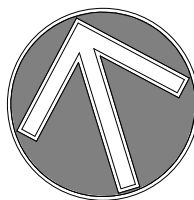
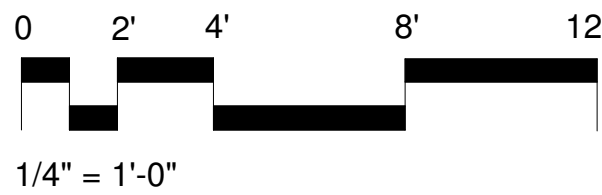


PROJECT: HILLSIDE GROVES AMENITY - SITE PLAN SUBMITTAL ONLY



GROSS AREA TABULATION	
AREA NAME	SQUARE FT.
CLUBHOUSE	1829 SF
COVERED LANAI - NON AC	789 SF
FRONT ENTRY - NON AC	207 SF
TOTAL SQUARE FOOTAGE	2826 SF

WALL TYPE LEGEND	
	8" CONCRETE BLOCK, AT 10'-0" HT
	8" CONCRETE BLOCK, AT 11'-4" HT
	2x 4 WOOD FRAMED WALL



1 FIRST FLOOR PLAN - DIMENSIONS
1/4" = 1'-0"



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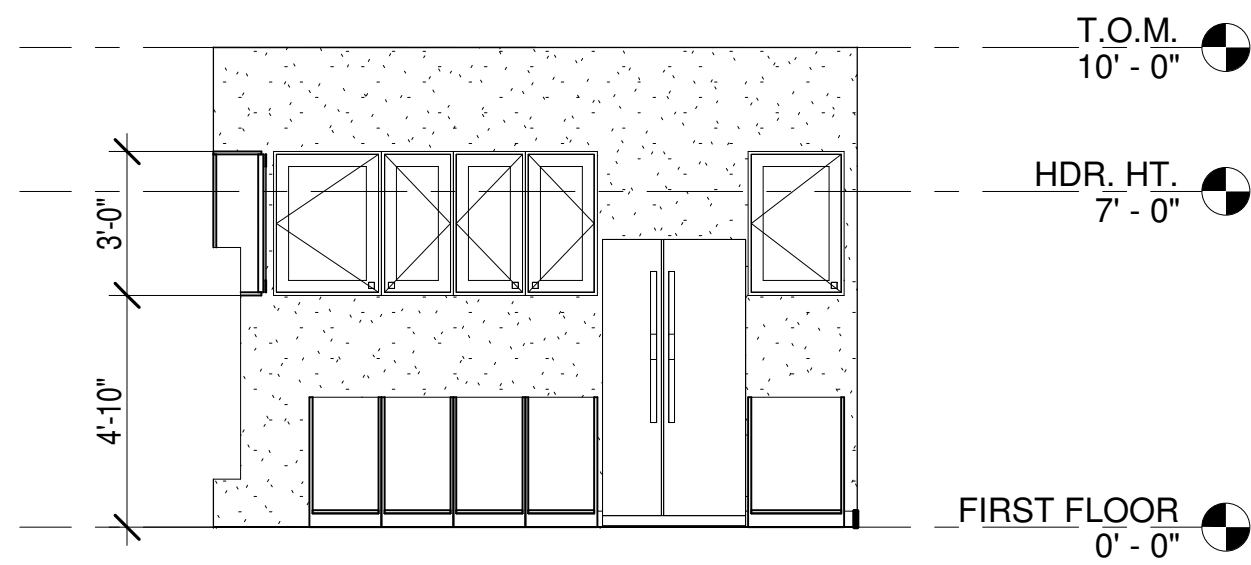
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NO	DESCRIPTION	DATE

FLOOR PLAN - DIMENSIONS

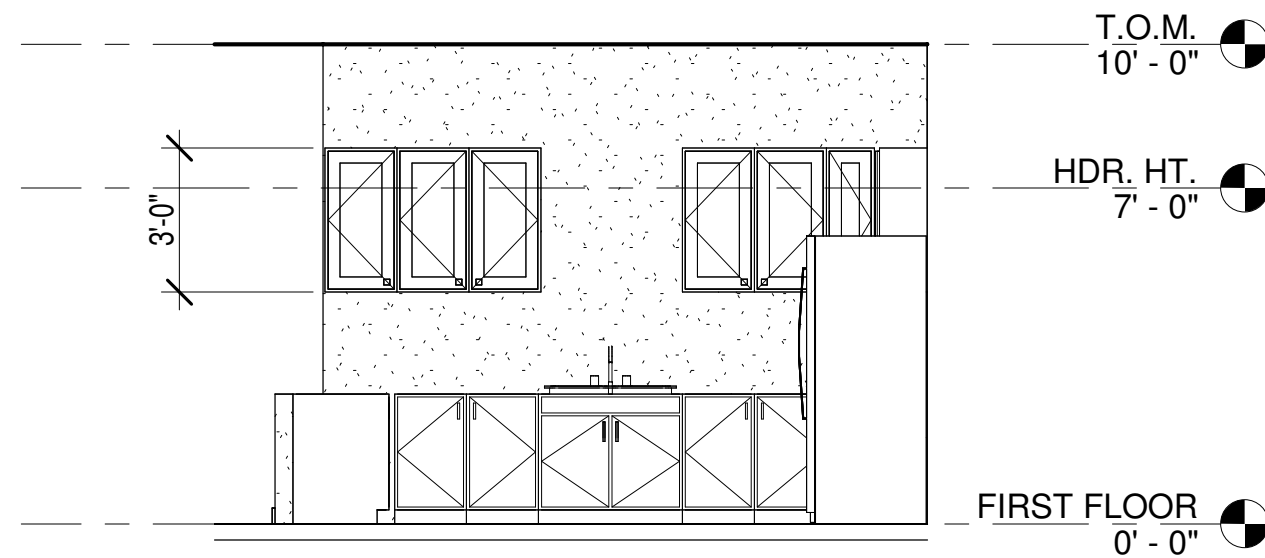
Project No:
25-01934

Sheet No:
A302

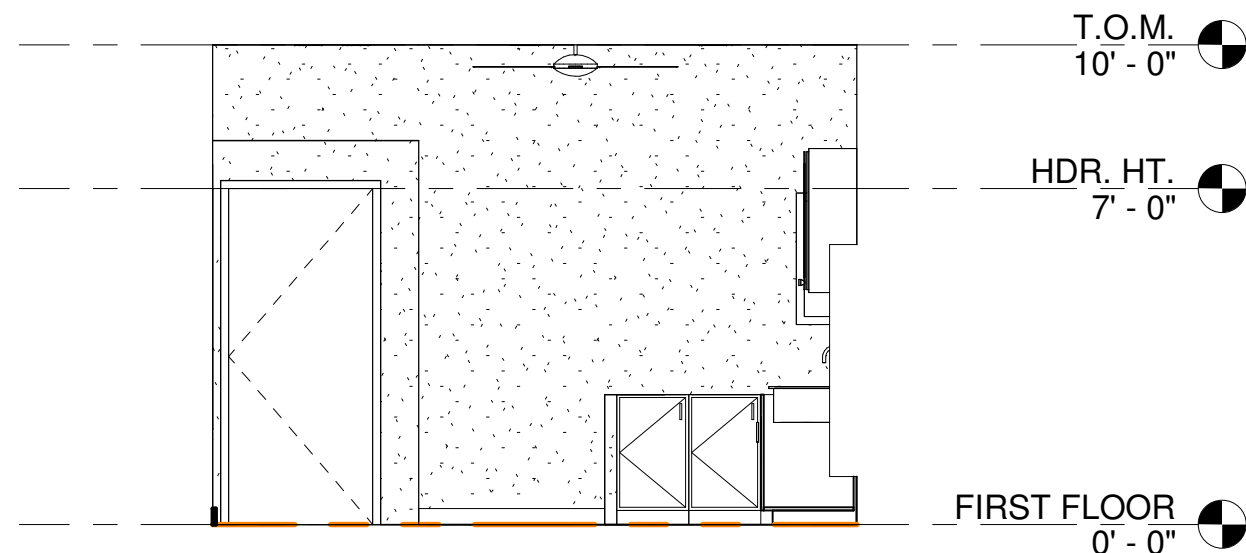
SITE PLAN SUBMITTAL ONLY



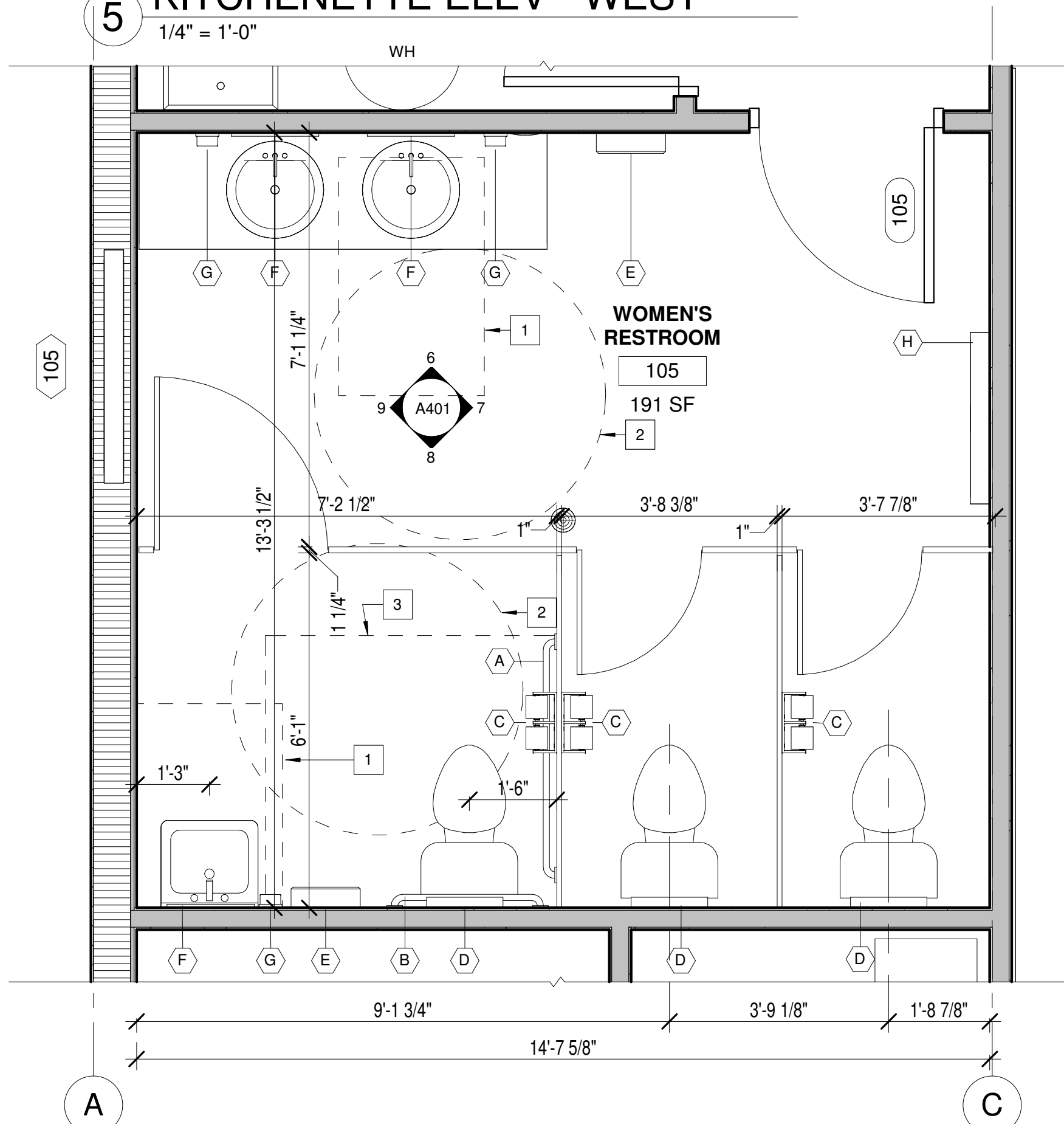
3 KITCHENETTE ELEV - EAST
1/4" = 1'-0"



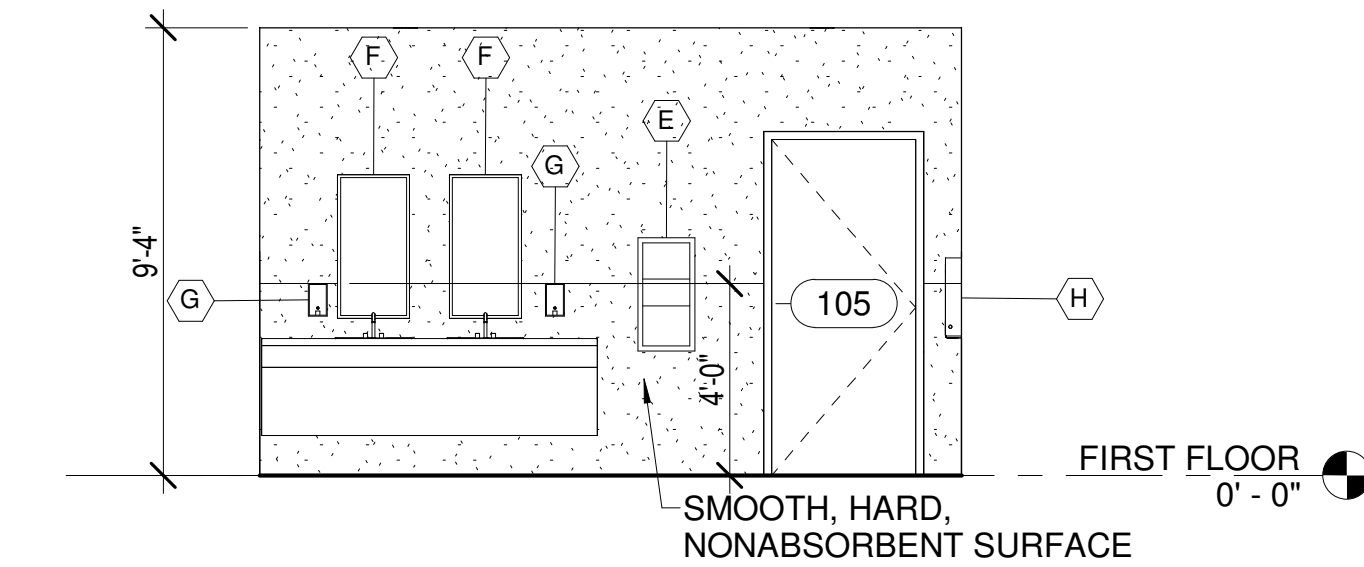
4 KITCHENETTE ELEV - NORTH
1/4" = 1'-0"



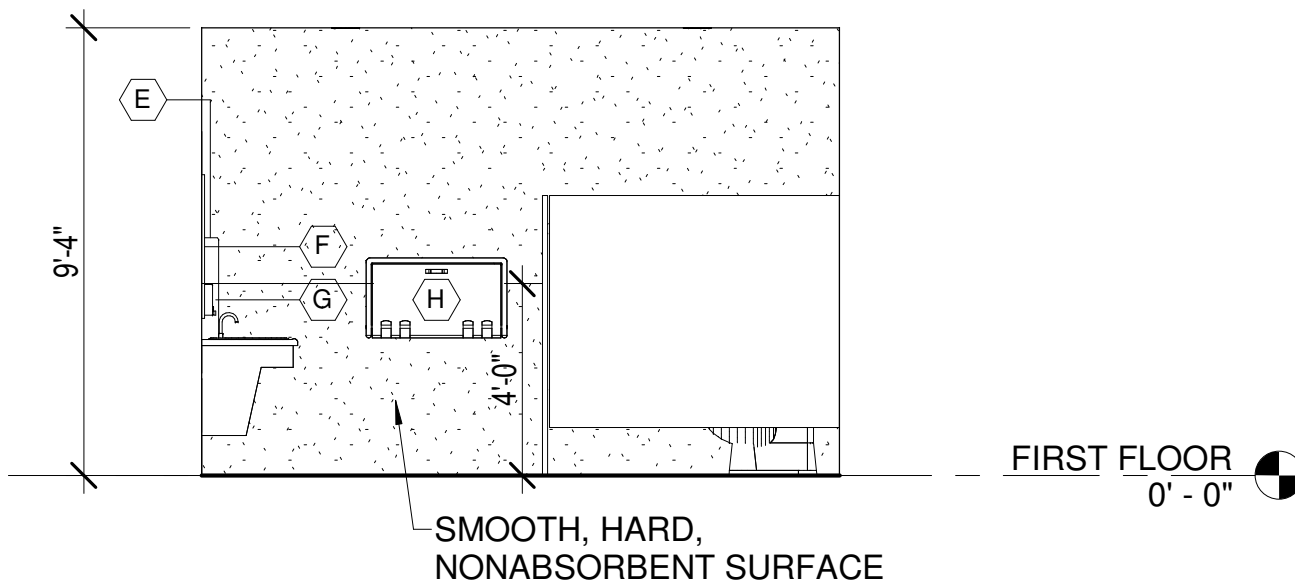
5 KITCHENETTE ELEV - WEST
1/4" = 1'-0"



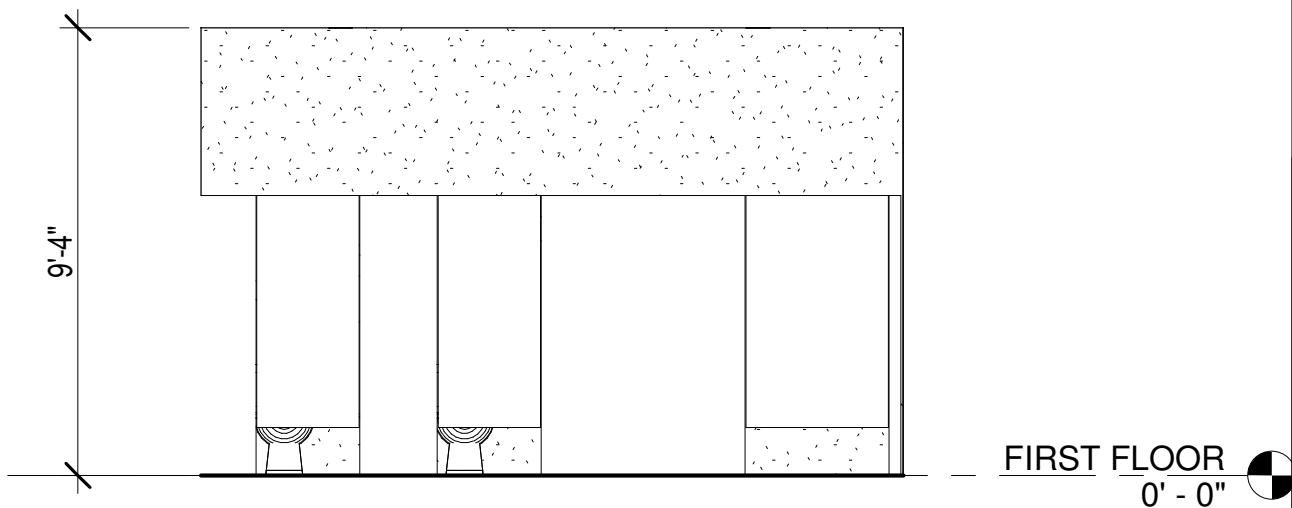
1 ENLARGED WOMENS RR PLAN
1/2" = 1'-0"



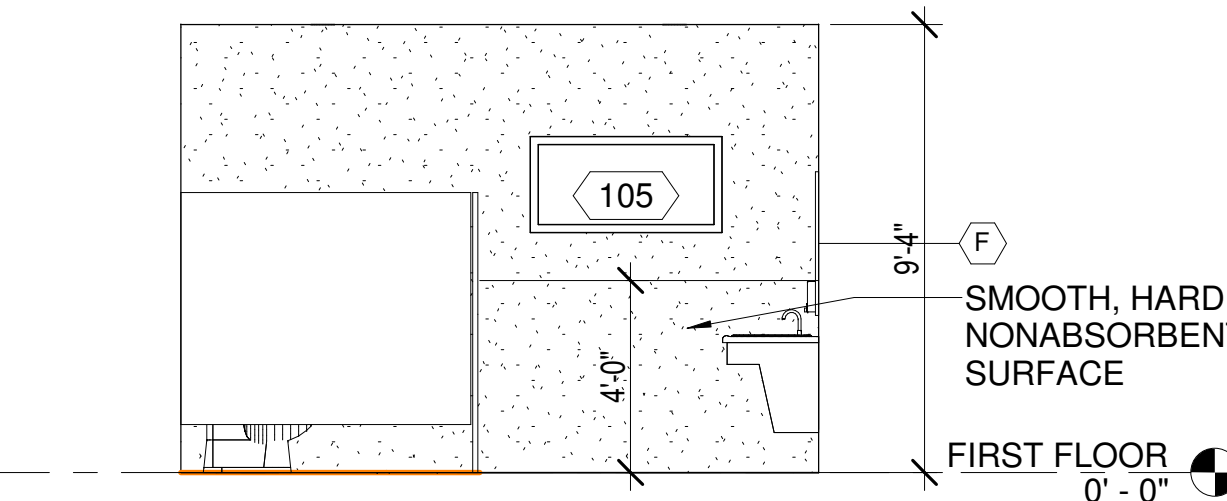
6 WOMEN'S RR ELEVATION 1
1/4" = 1'-0"



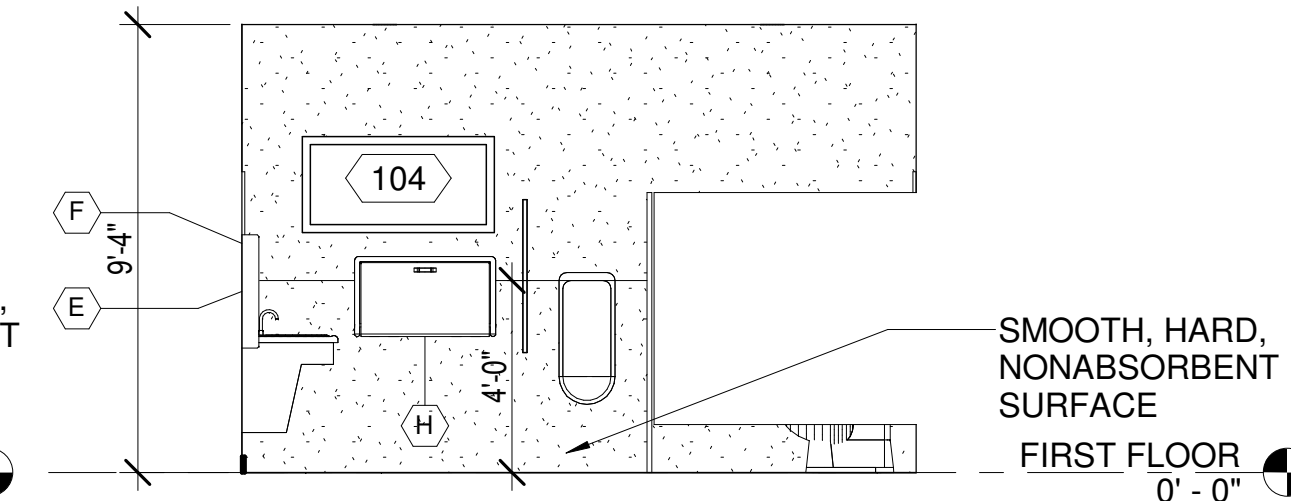
7 WOMEN'S RR ELEVATION 2
1/4" = 1'-0"



8 WOMEN'S RR ELEVATION 3
1/4" = 1'-0"



9 WOMEN'S RR ELEVATION 4
1/4" = 1'-0"



10 MEN'S RR ELEVATION
1/4" = 1'-0"

KEY NOTES

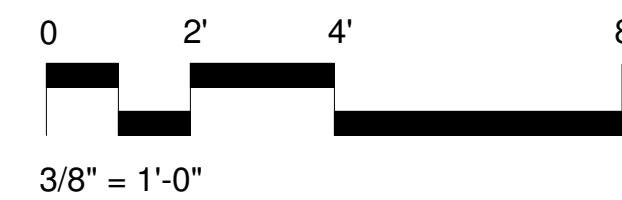
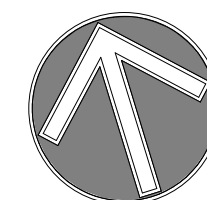
- 30"X 48" CLEAR FLOOR SPACE
- 60" DIA. CLEAR FLOOR SPACE
- 60"x60" CLEAR FLOOR SPACE

GENERAL NOTES

- REFER TO SHEET A103 FOR MOUNTING HEIGHTS.
- FOR DRINKING FOUNTAIN DETAIL, REFER TO 8/A102.
- FOR HANDICAP SIGNAGE DETAIL, REFER TO 9/A103.

EQUIPMENT SCHEDULE

Type Mark	DESCRIPTION	MODEL NO.	COMMENTS
A	1 1/4" Diameter Stainless Steel Grab Bars with Snap Flange	B-5806 Series	42"
B	1 1/4" Diameter Stainless Steel Grab Bars with Snap Flange	B-5806 Series	36"
C	Bobrick B-2740 Surface Mounted Double Toilet Tissue Dispenser	B-2740	
D	Contura Series Surface Mounted Seat Cover Dispenser	B-4221	
E	Surface-Mounted Paper Towel Dispenser And Waste Receptacle	B-3699 ClassicSeries	
F	Glass Mirror with Stainless Steel Angle Frame	B-290 Series	
G	Classic Series Surface Mounted Soap Dispenser	B-2111	
H	Baby Changing Station		



2 ENLARGED MENS RR PLAN
1/2" = 1'-0"

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HILLSIDE GROVES AMENITY

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Revision Schedule		
NO	DESCRIPTION	DATE
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ENLARGED PLANS / INTERIOR ELEVATIONS

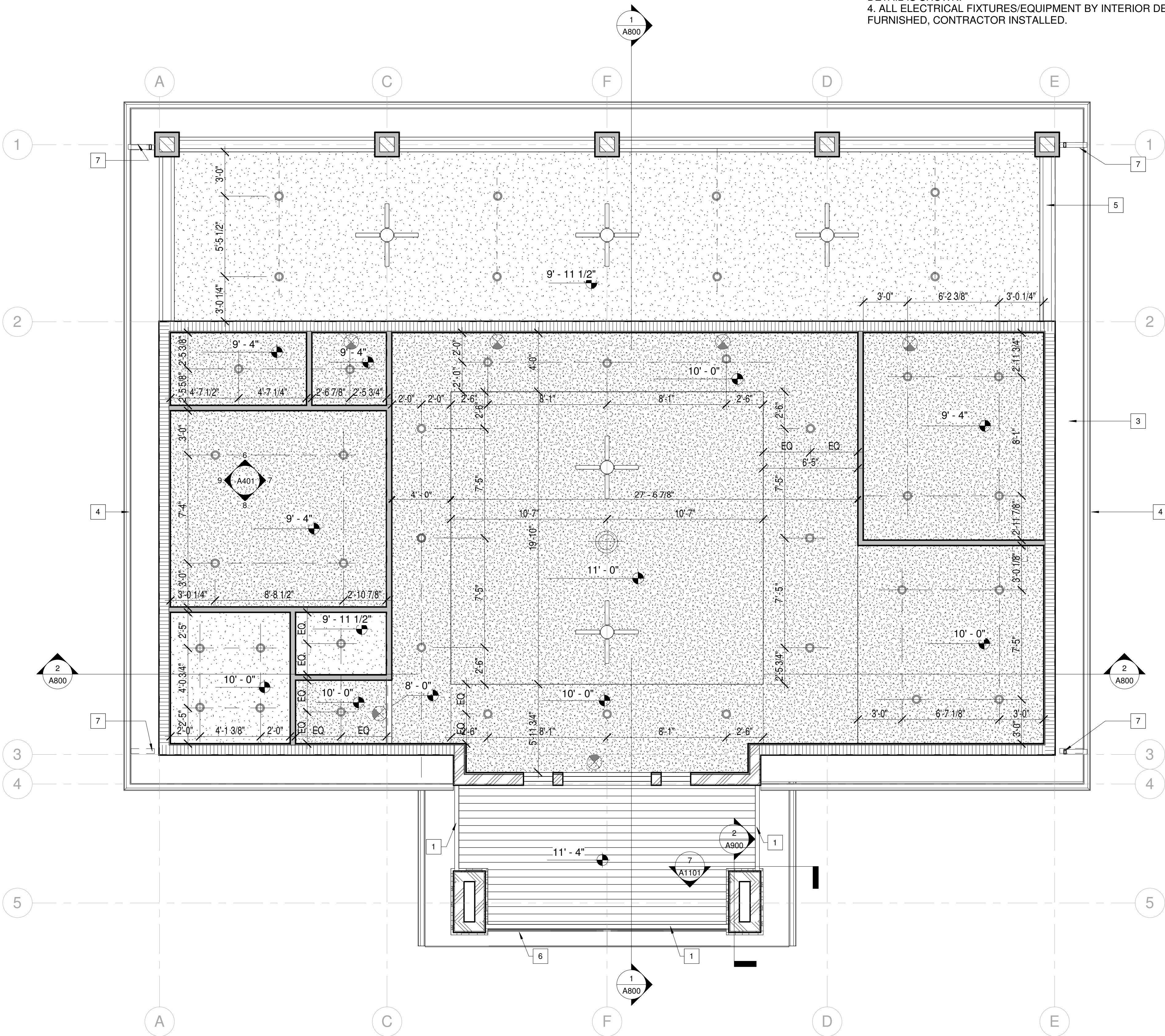
Project No: 25-01934

Sheet No: A401

SITE PLAN SUBMITTAL ONLY

GENERAL NOTES

1. REFER TO ELECTRICAL DRAWINGS FOR FINAL LIGHTING LAYOUT AND FIXTURE INFORMATION
2. REFER TO MECHANICAL DRAWINGS FOR MECHANICAL INFORMATION.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWING ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. ALL ELECTRICAL FIXTURES/EQUIPMENT BY INTERIOR DESIGNER, OWNER FURNISHED, CONTRACTOR INSTALLED.



LEGEND - REFLECTED CEILING PLAN

SYMBOL	DESCRIPTION	NOTES
	GYPSUM BOARD CEILING	-
	6" T & G CEILING	
	EMERGENCY LIGHT	REFER TO MEP DRAWINGS
	EXIT SIGNAGE	REFER TO MEP DRAWINGS
	HVAC SUPPLY GRILL	REFER TO MEP DRAWINGS
	HVAC RETURN AIR GRILL	REFER TO MEP DRAWINGS
	RECESSED LIGHT	REFER TO MEP DRAWINGS

KEYNOTES

- 1 WD STRUCT. BEAM, REFER TO STRUCT. DWGS.
2 NOT USED
3 CONTINUOUS VINYL SOFFIT
4 GUTTER SYSTEM, 5" MIN
5 2X WD. FRAMED BEAM, SEE STRUCT. DWGS. W/ HARDIE BD. FINISH
6 WD. FRAMED GABLE END W/ HARDIE SMOOTH PANEL AND DECORATIVE HARDIE TRIM, SEE ELEVATION
7 DOWNSPOUT, MIN 4", TIE TO TERMINATE ON SPLASH BLOCK

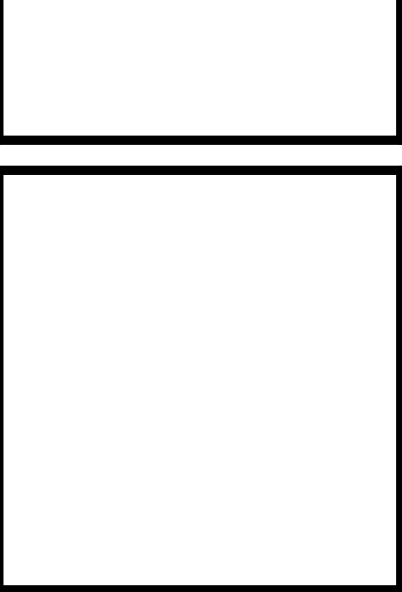
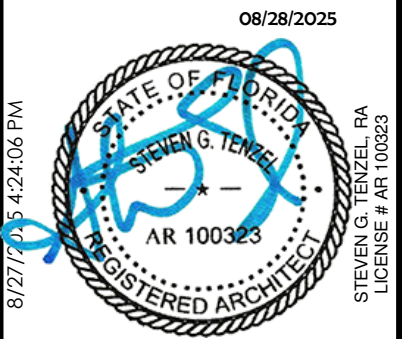


1 REFLECTED CEILING PLAN
1/4" = 1'-0"



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HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE

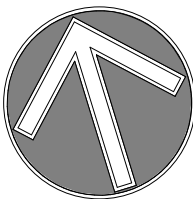
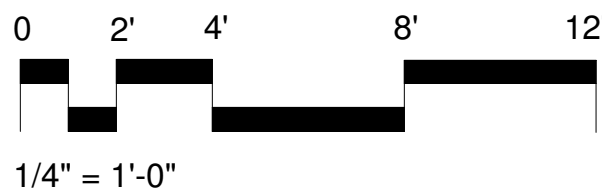
REFLECTED CEILING PLAN

Project No:
25-01934
Sheet No:

A500

ROOF TYPE LEGEND	
	ARCH. SHINGLES

- # KEYNOTES
- 1 ARCH. SHINGLES, ON ROOFING UNDERLAYMENT ON STRUCT. SHEATHING, ON PRE. ENG. WD. TRUSSES
 - 2 ALUMINUM GUTTER SYSTEM, 5" MIN.
 - 3 ALUMINUM DOWNSPOUT, 4" MIN. TERMINATE ON SPLASH BLOCKS.

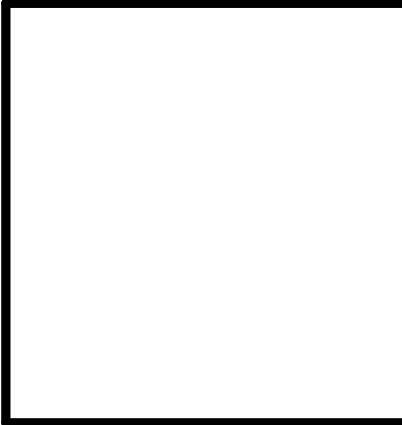
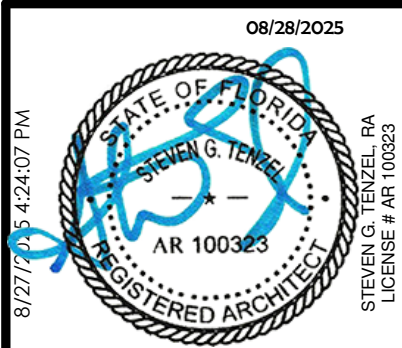


1 ROOF PLAN
1/4" = 1'-0"



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HILLSIDE GROVES AMENITY

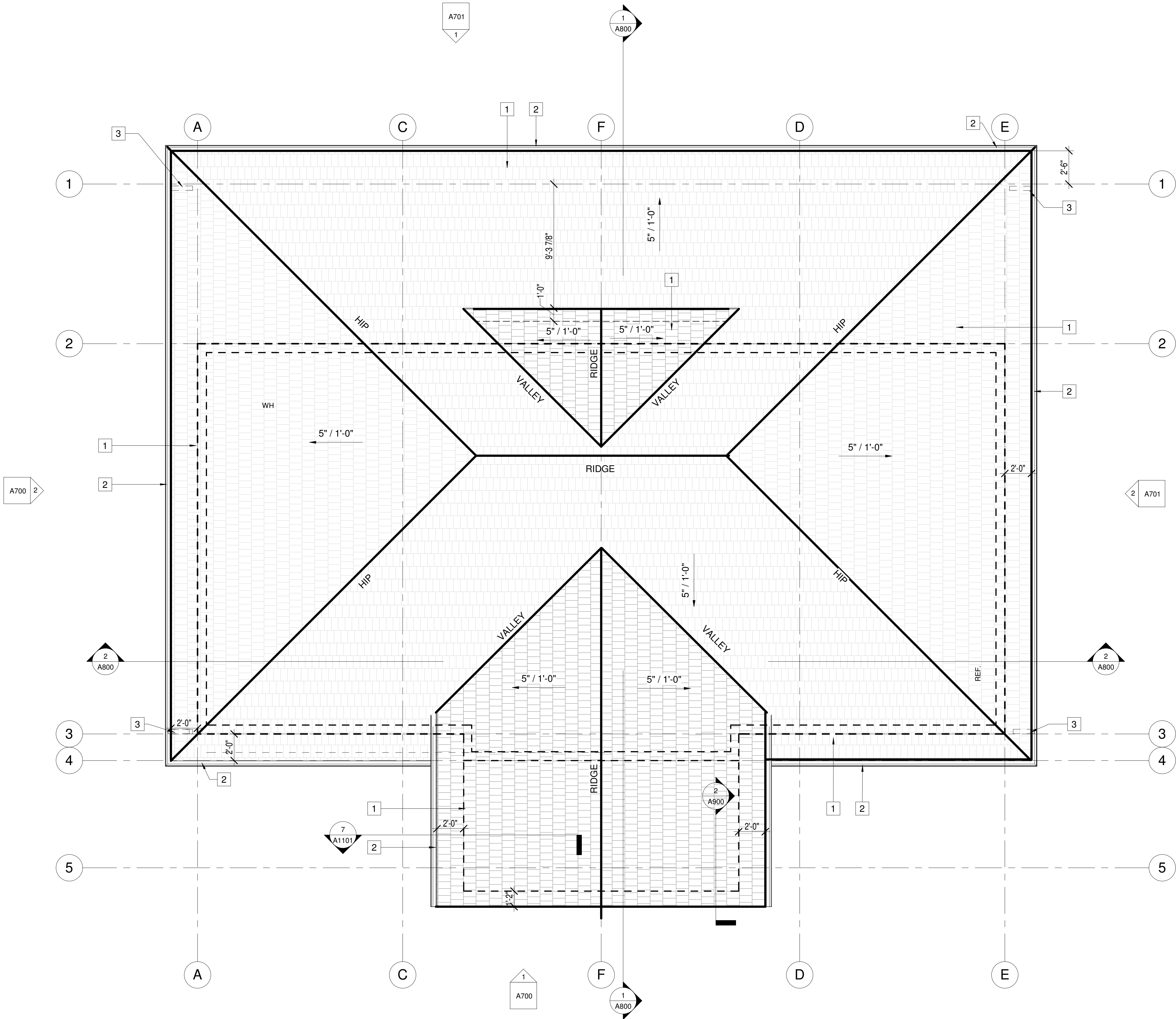
HOWEY-IN-THE-HILLS, FLORIDA

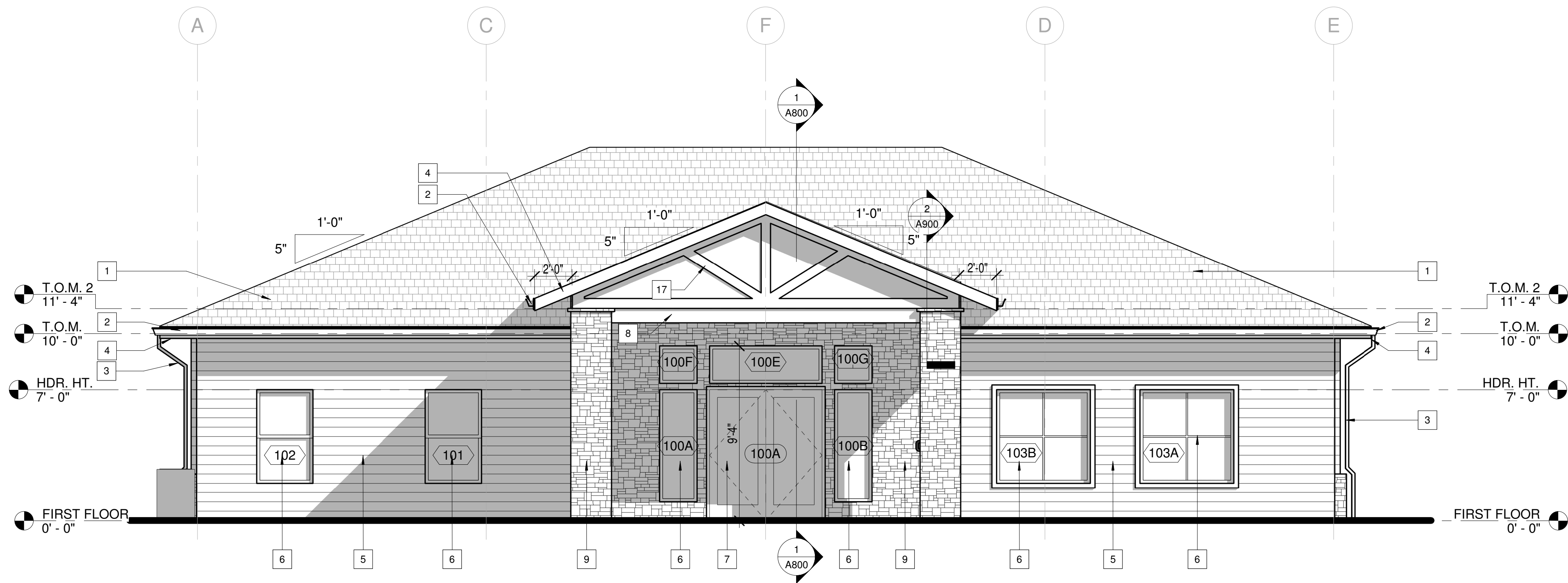
Revision Schedule		
NO	DESCRIPTION	DATE

ROOF PLAN

Project No:
25-01934
Sheet No:
A600

SITE PLAN SUBMITTAL ONLY

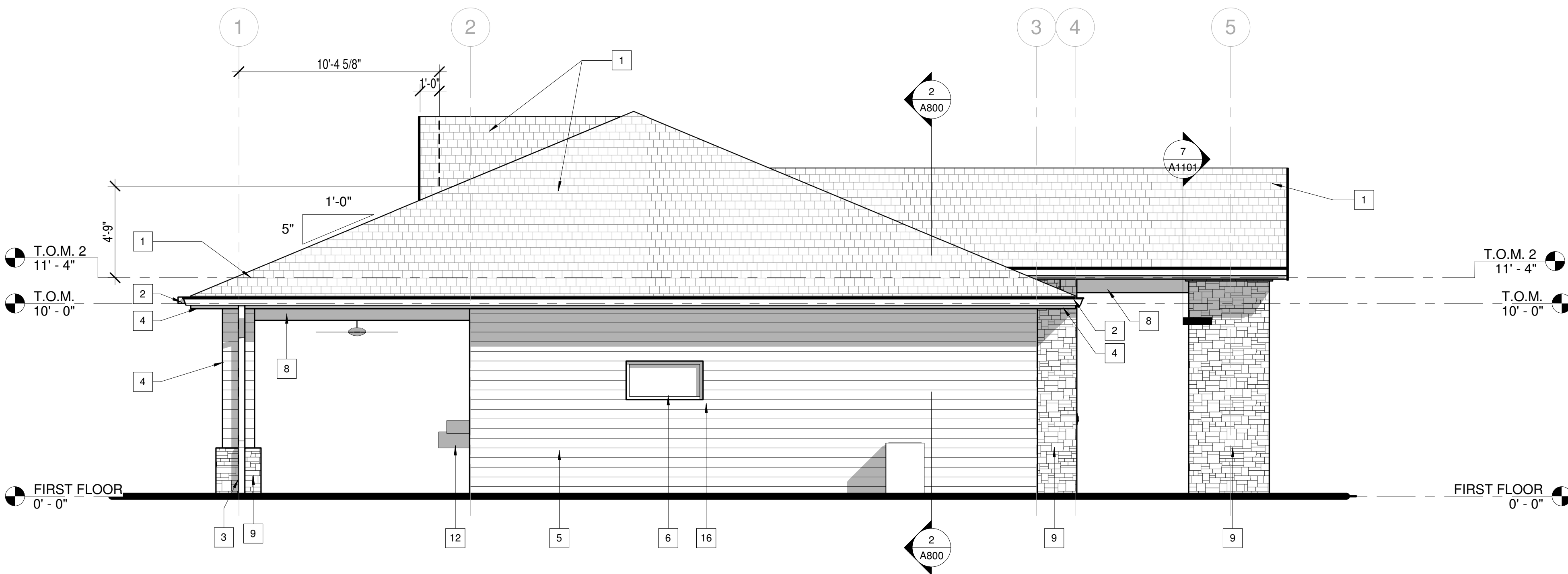




1 BUILDING ELEVATION - SOUTH
1/4" = 1'-0"

KEYNOTES

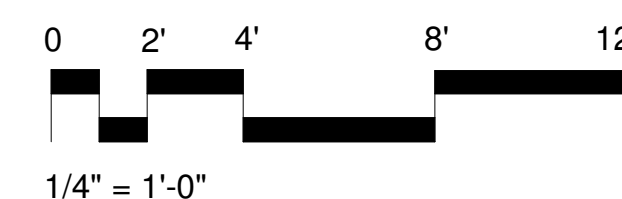
- 1 ARCH. SHINGLES, ON ROOFING
UNDERLAYMENT ON STRUCT. SHEATHING, ON
PRE. ENG. WD. TRUSSES
- 2 GUTTER SYSTEM, 5" MIN.
- 3 DOWNSPOUT, 4" MIN. TERMINATE ON SPLASH
BLOCK
- 4 2X P.T. WOOD FASCIA BD.
- 5 HORIZONTAL HARDIE PLANK LAP SIDING, ON
WATER RESISTANT BARRIERS
- 6 ALUMINUM WINDOW, REFER TO WINDOW
SCHEDULE
- 7 STOREFRONT ENTRANCE DOOR, REFER TO
DOOR SCHEDULE
- 8 WD. STRUCTURAL BEAM, W/ HARDIE FINISH
SEE STRUCT.
- 9 STONE VENEER W/ STONE CAP SLOPED
- 10 HEAVY TIMBER TRUSS, REFER TO STRUCT.
DWGS.
- 11 METAL EXTERIOR DOOR, REFER TO DOOR
SCHEDULE
- 12 HI/LO ADA WATER FOUNTAIN
- 13 HARDIE VERTICAL BOARD & BATTEN SIDING
- 14 1X6 HARDIE CORNER BD.
- 15 STONE STRINGCOURSE
- 16 HARDIE WINDOW AND DOOR TRIM BD.
- 17 HARDIE SMOOTH PANEL GABLE END
- 18 DECORATIVE HARDIE TRIM BOARD
- 19 FLASHING



2 BUILDING ELEVATION - WEST
1/4" = 1'-0"

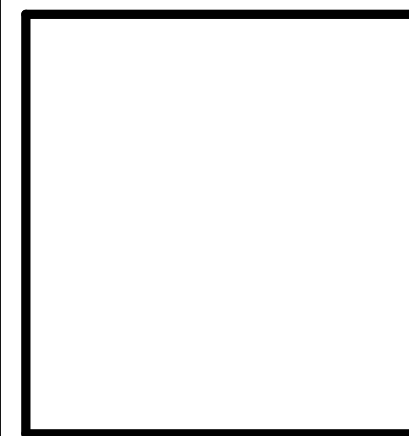
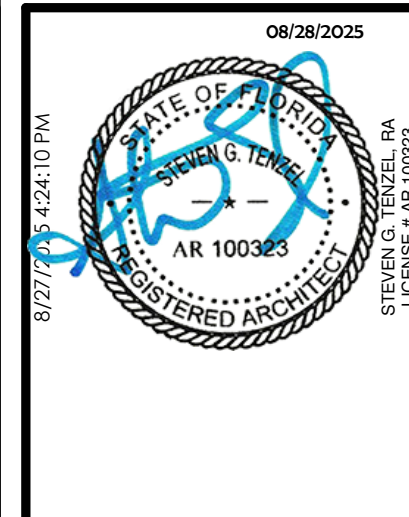
Exterior Finishes	
Stucco texture and color	Stucco: Accessible Beige SW7036, Finish (Smooth Cementous)
Exterior Paint	Ceiling: Whitetail SW7103 Doors/Door frames: Granite Peak SW6250 Storage Rooms: Accessible Beige SW7036 Exterior Paint (Hardie): Cadet SW9143 Hardie Trim and Stucco Bands: Snowbound SW7004
Gutters & Downspouts	White 30
Stone Veneer/Mortar	Nappenee Laytile from J&N Stone
Doors/Frames/Hardware	Doors – Granite Peak SW6250 Frames – Granite Peak SW6250 Hardware: Per Drawings Finish- Brushed Alum
Siding & Trim	Hardie siding – Color – Cadet SW9143 Hardie Trim and Stucco bands – Snowbound SW7004
Roofing	Shingle Roof: Certainteed Weathered Wood Metal Roof: 24ga Black snaplock metal roof
Eaves, Flashing & Soffit, Drip Edge	White
Fence & Gate Color	Powder Coated Black
Board & Batten Ceilings	Color – Whitetail SW7103
Toilet Partitions	Pebble 959
Flooring	Resufloor 3561V Epoxy Deco Flake ¼" Velvet Feather

Hardscape/Other Finishes	
Fences & Gates	PVC pool fence color - White
Pool Finishes: Tiles/Surface	Pool Tile – NPT - Terrasini Blue Step Edge tile – LUV Tile-2685 Sapphire Blue Interior/Step Edge Finish – PMM Marquis Series- 050462 Pool Quartz Coping – Buff White Zero Entry Grate – Buff White
Pavers type & Color	Amaretto (12x12 with 4x8 Holland Stone Border at deck edges) Layout – block on block
Playground	Color Scheme – Creamsicle RSP Color – Chocolate & Latte
Sidewalks Concrete Finish	Broom Finish



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HILLSIDE GROVES AMENITY

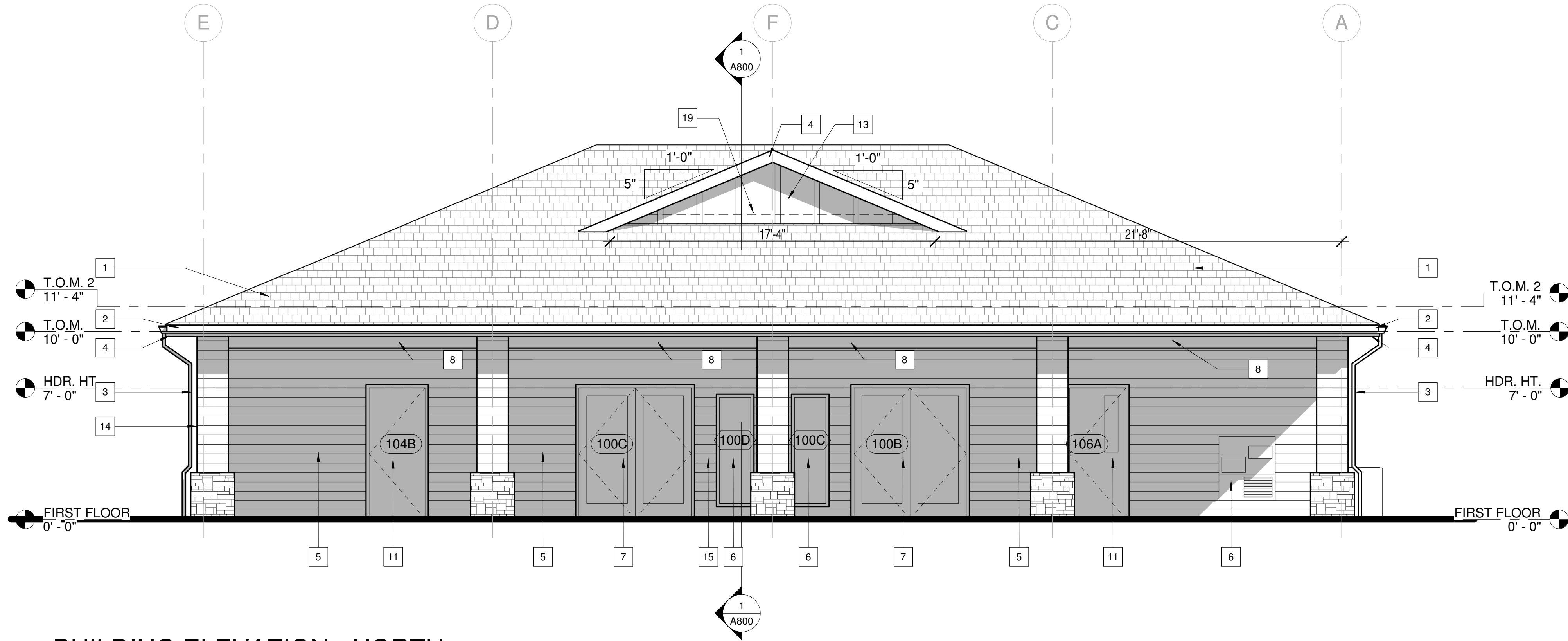
HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE

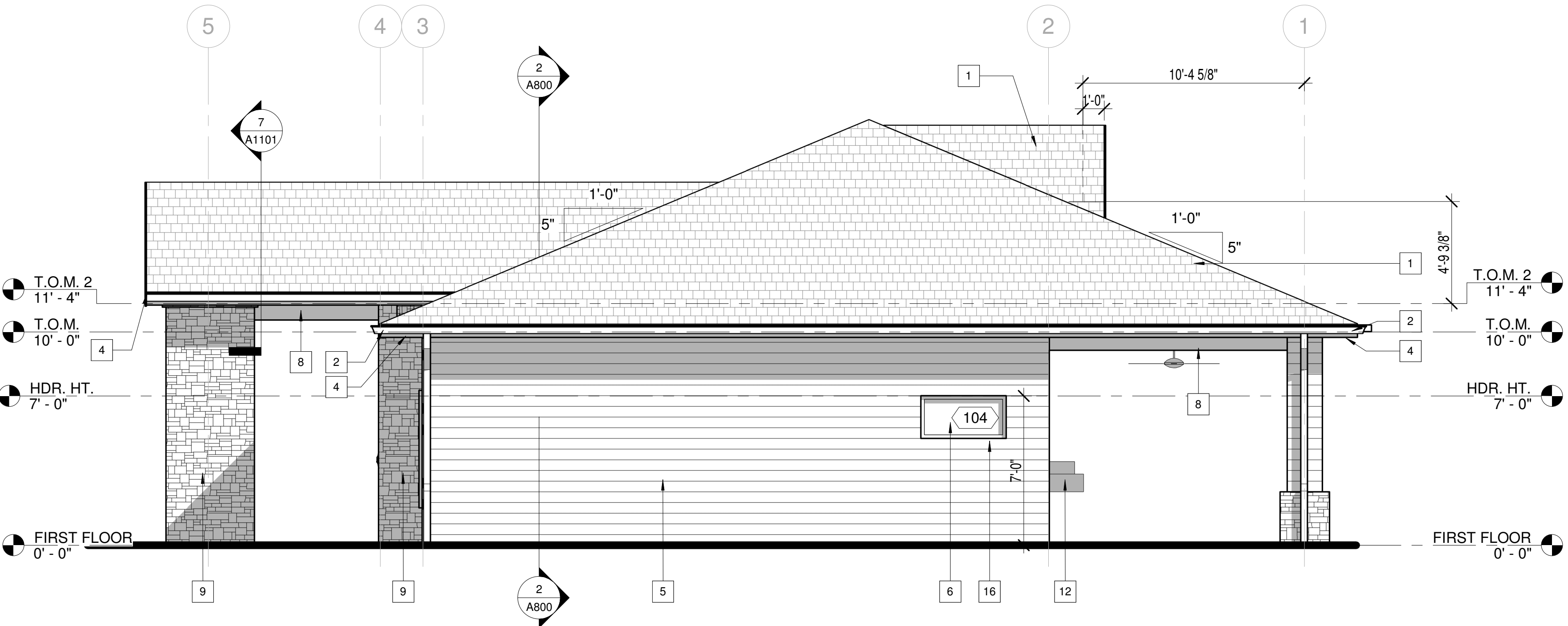
BUILDING ELEVATIONS

Project No:
25-01934
Sheet No:
A700

SITE PLAN SUBMITTAL ONLY



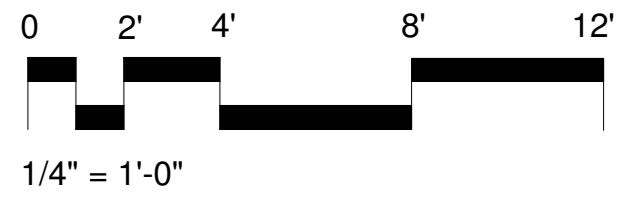
1 BUILDING ELEVATION - NORTH
1/4" = 1'-0"




2 BUILDING ELEVATION - EAST
1/4" = 1'-0"

- # KEYNOTES
- 1 ARCH. SHINGLES, ON ROOFING UNDERLAYMENT ON STRUCT. SHEATHING, ON PRE. ENG. WD. TRUSSES
 - 2 GUTTER SYSTEM, 5" MIN.
 - 3 DOWNSPOUT, 4" MIN. TERMINATE ON SPLASH BLOCK
 - 4 2X P.T. WOOD FASCIA BD.
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 - 6 ALUMINUM WINDOW, REFER TO WINDOW SCHEDULE
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 - 19 FLASHING

Exterior Finishes	
Stucco texture and color	Stucco: Accessible Beige SW7036, Finish (Smooth Cementous)
Exterior Paint	Ceiling: Whitetail SW7103 Doors/Door frames: Granite Peak SW6250 Storage Rooms: Accessible Beige SW7036 Exterior Paint (Hardie): Cadet SW9143 Hardie Trim and Stucco Bands: Snowbound SW7004
Gutters & Downspouts	White 30
Stone Veneer/Mortar	Nappenee Laytile from J&N Stone
Doors/Frames/Hardware	Doors – Granite Peak SW6250 Frames – Granite Peak SW6250 Hardware: Per Drawings Finish- Brushed Alum
Siding & Trim	Hardie siding – Color – Cadet SW9143 Hardie Trim and Stucco bands – Snowbound SW7004
Roofing	Shingle Roof: Certainteed Weathered Wood Metal Roof: 24ga Black snaplock metal roof
Eaves, Flashing & Soffit, Drip Edge	White
Fence & Gate Color	Powder Coated Black
Board & Batten Ceilings	Color – Whitetail SW7103
Toilet Partitions	Pebble 959
Flooring	Resufloor 3561V Epoxy Deco Flake 1/4" Velvet Feather
Hardscape/Other Finishes	
Fences & Gates	PVC pool fence color - White
Pool Finishes: Tiles/Surface	Pool Tile – NPT - Terrasini Blue Step Edge tile – LUV Tile-2685 Sapphire Blue Interior/Step Edge Finish – PMM Marquis Series- 050462 Pool Quartz Coping – Buff White Zero Entry Grate – Buff White
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Playground	Color Scheme – Creamsicle RSP Color – Chocolate & Latte
Sidewalks Concrete Finish	Broom Finish



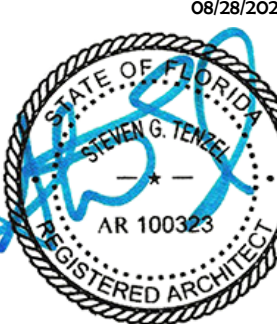


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HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

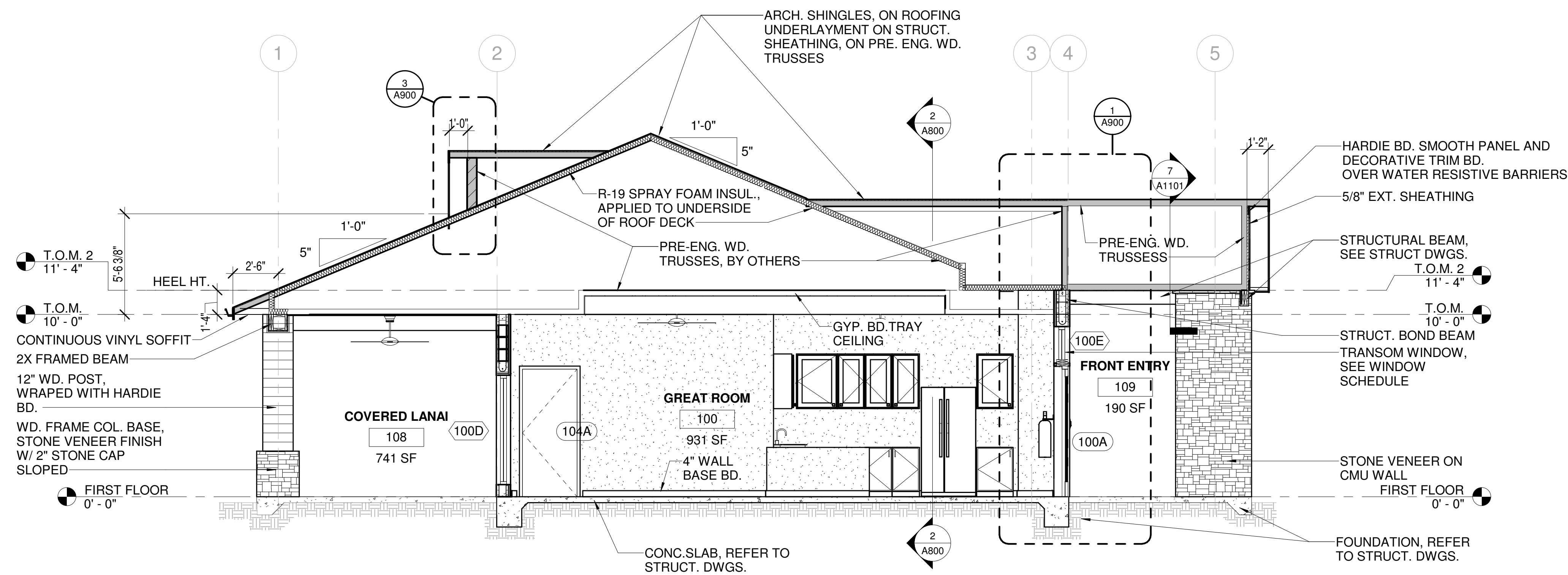
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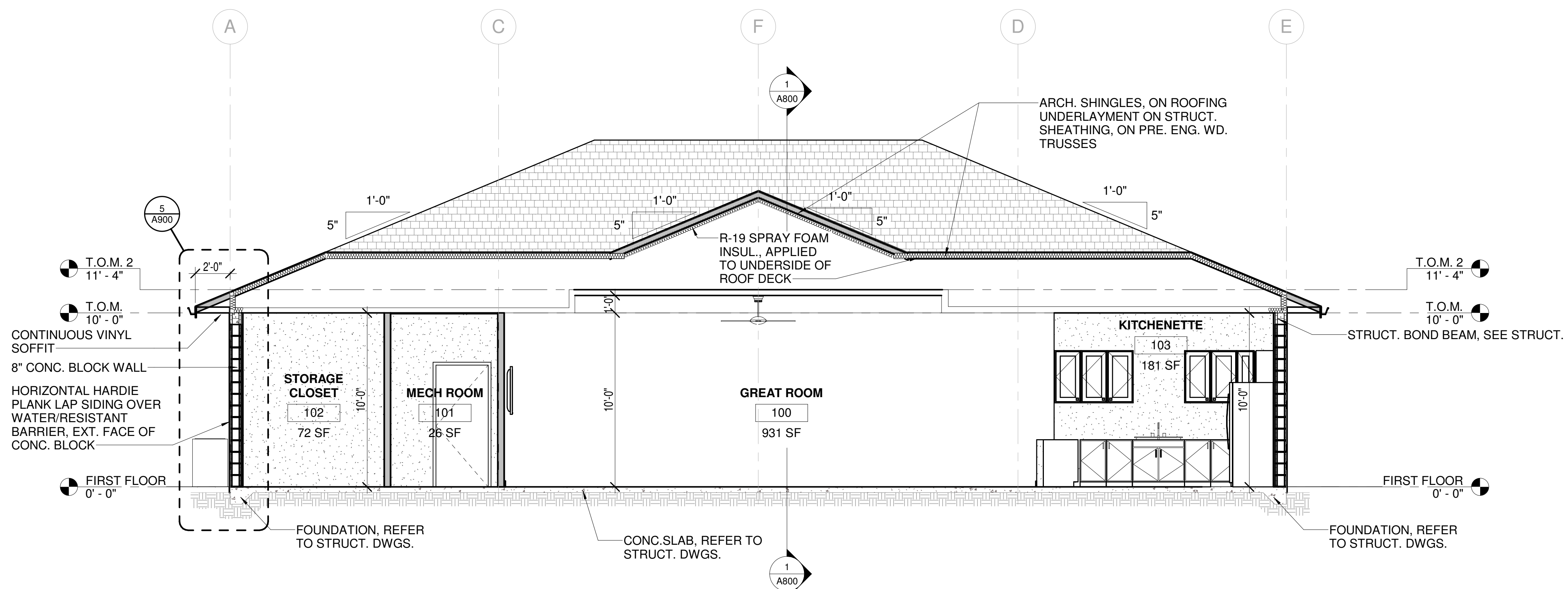
BUILDING ELEVATIONS

Project No:
25-01934
Sheet No:
A701

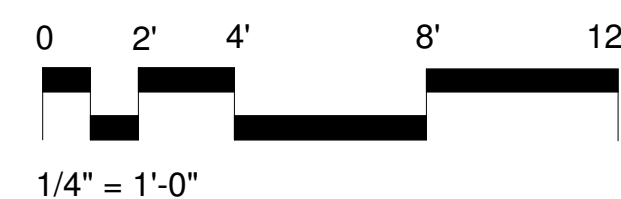
SITE PLAN SUBMITTAL ONLY



1 BUILDING SECTION 1
1/4" = 1'-0"



2 BUILDING SECTION 2
1/4" = 1'-0"



SITE PLAN SUBMITTAL ONLY



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HILLSIDE GROVES AMENITY

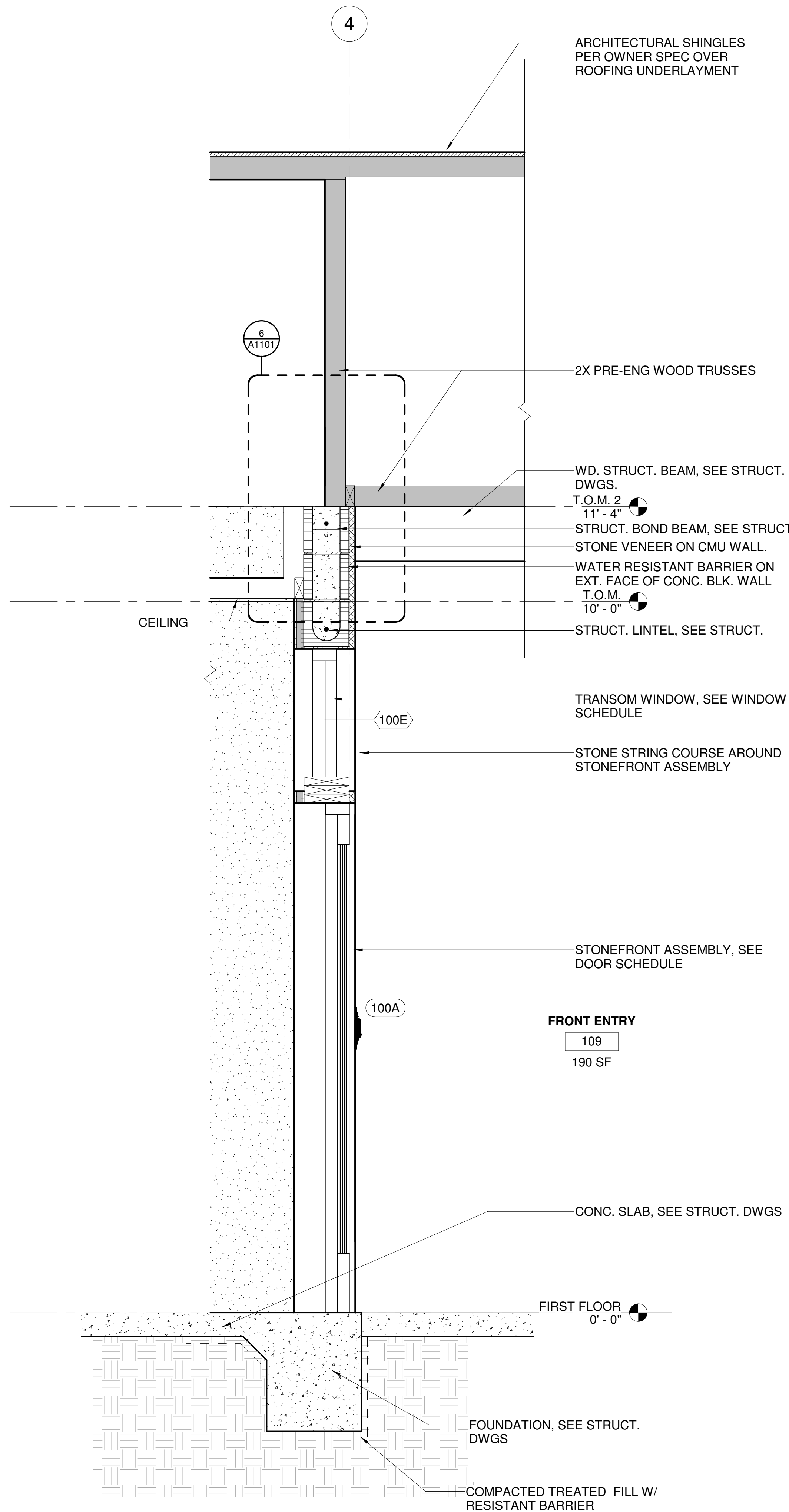
HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE
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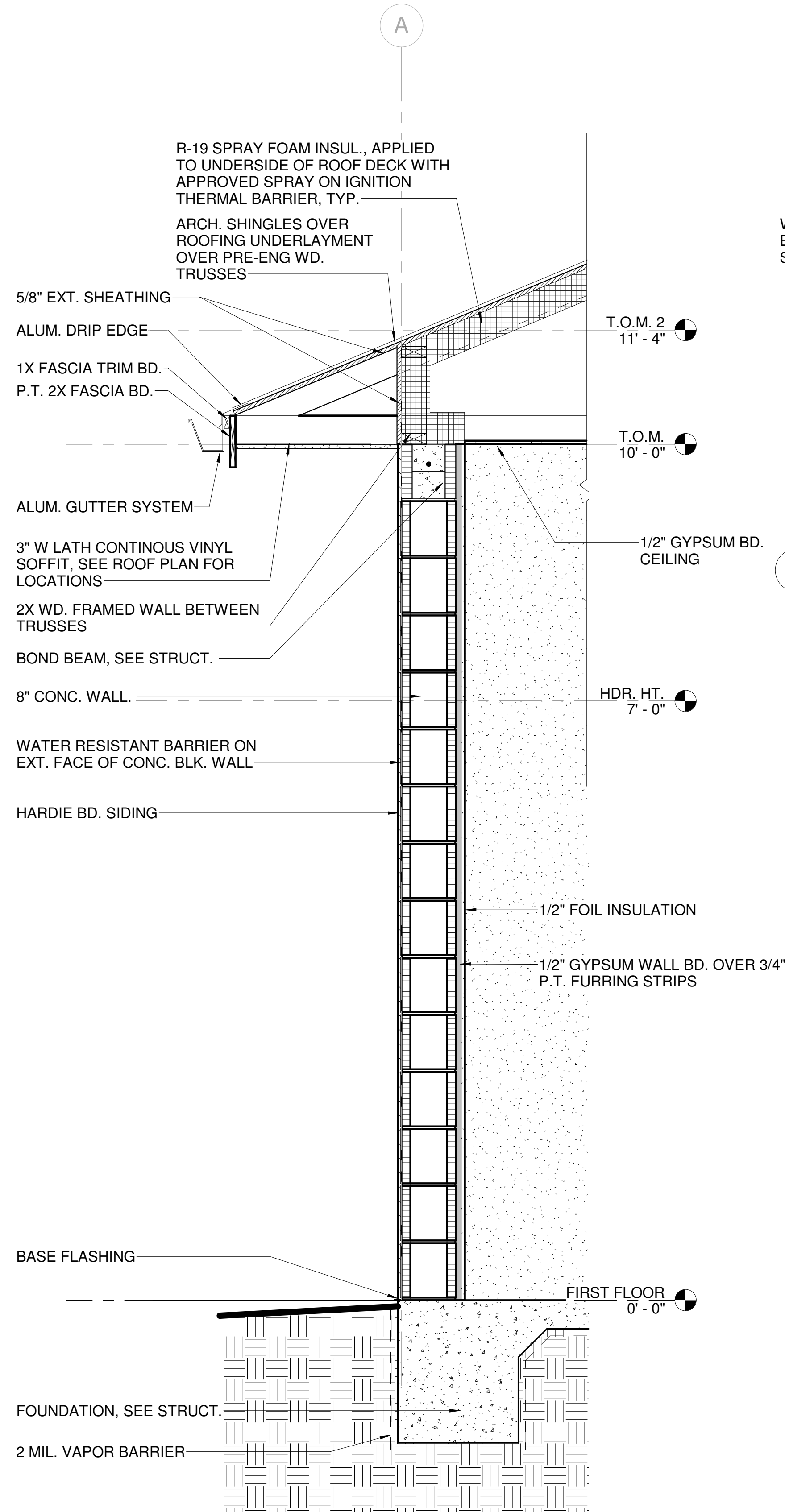
BUILDING SECTIONS

Project No:
25-01934

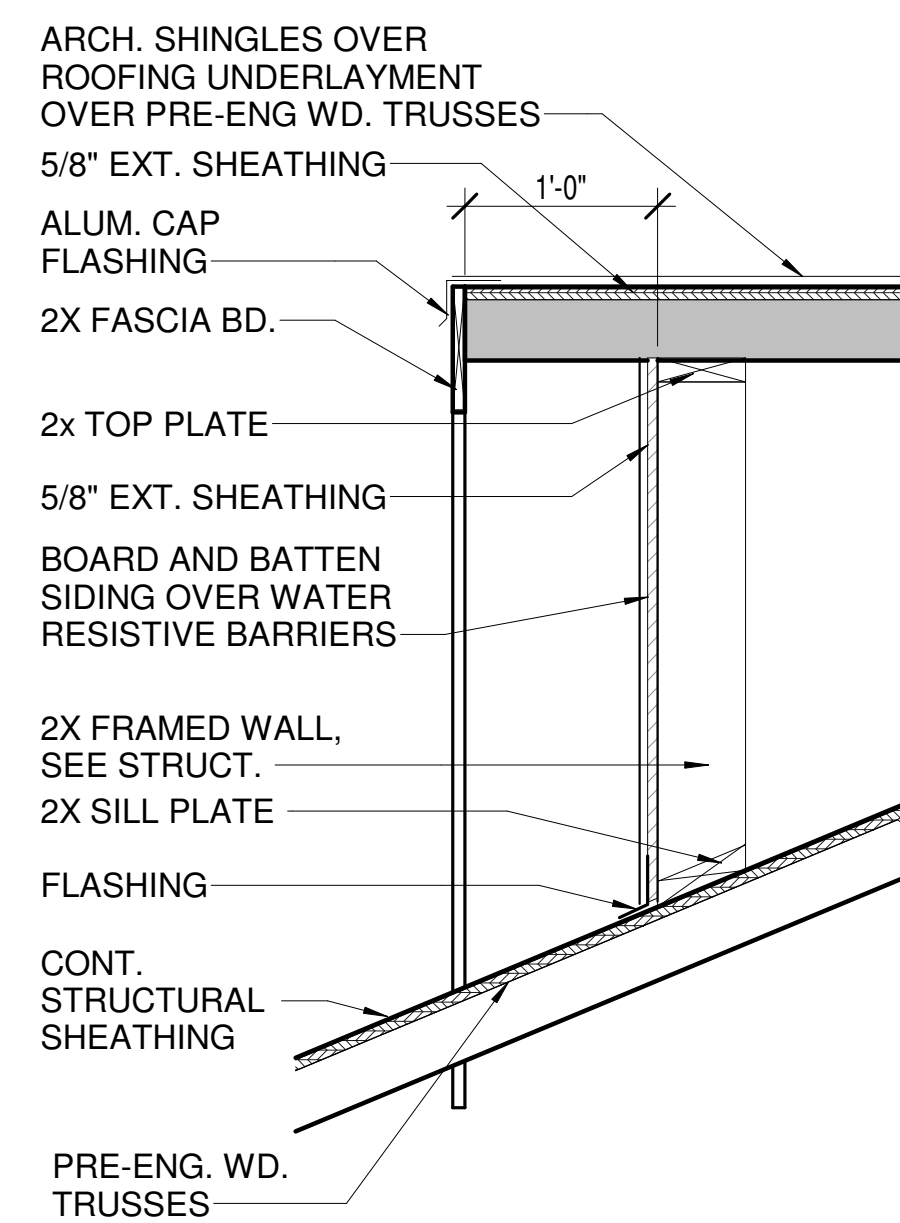
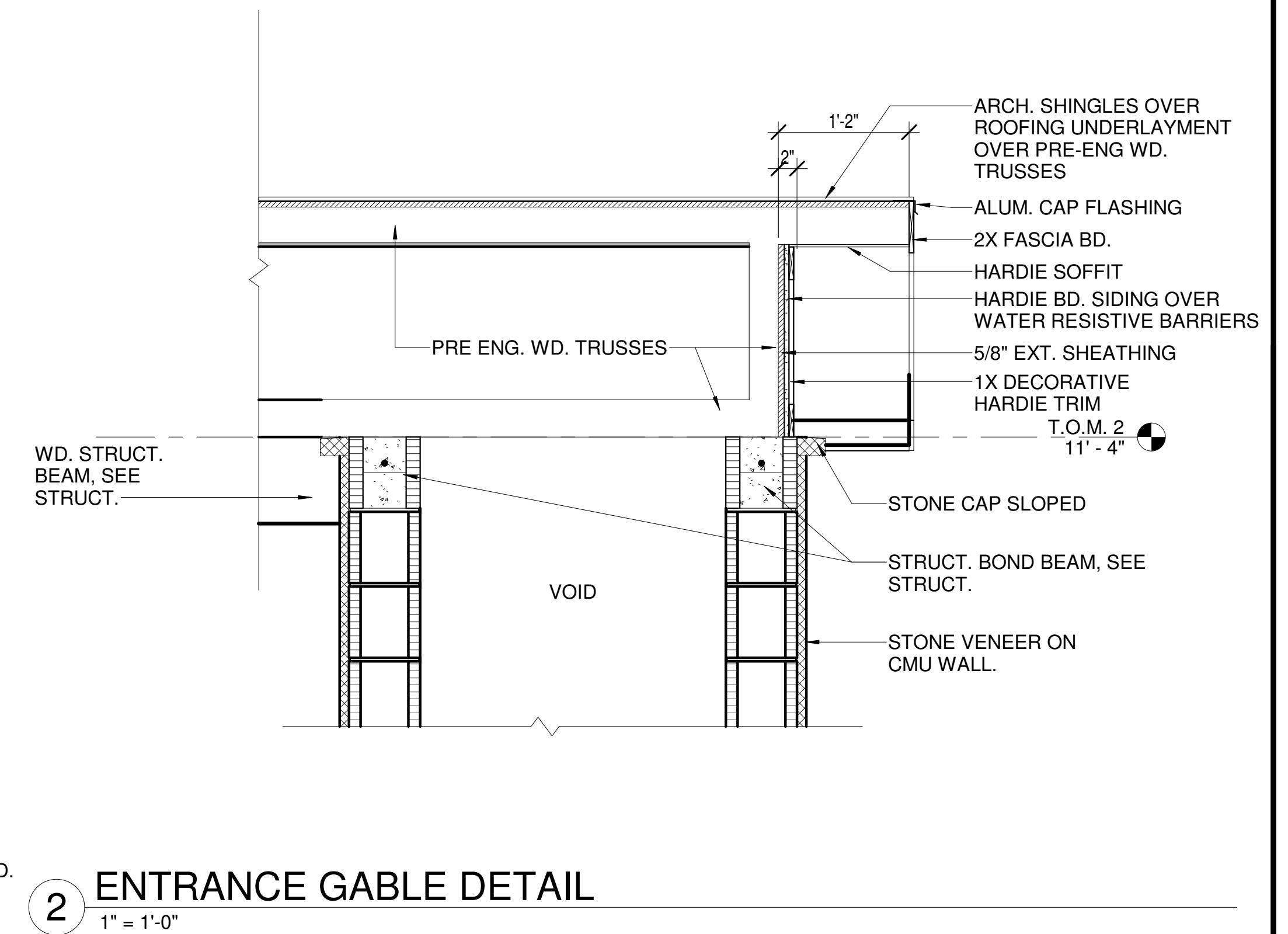
Sheet No:
A800



1 WALL SECTION
1" = 1'-0"



2 WALL SECTION
1" = 1'-0"



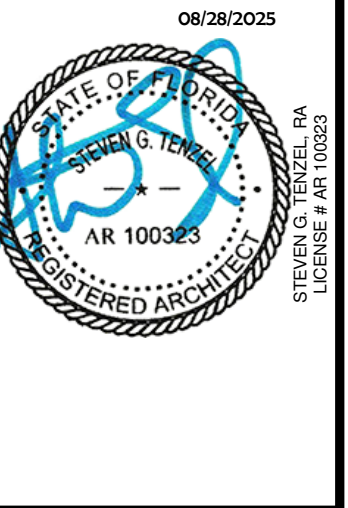
3 WALL SECTION
1" = 1'-0"

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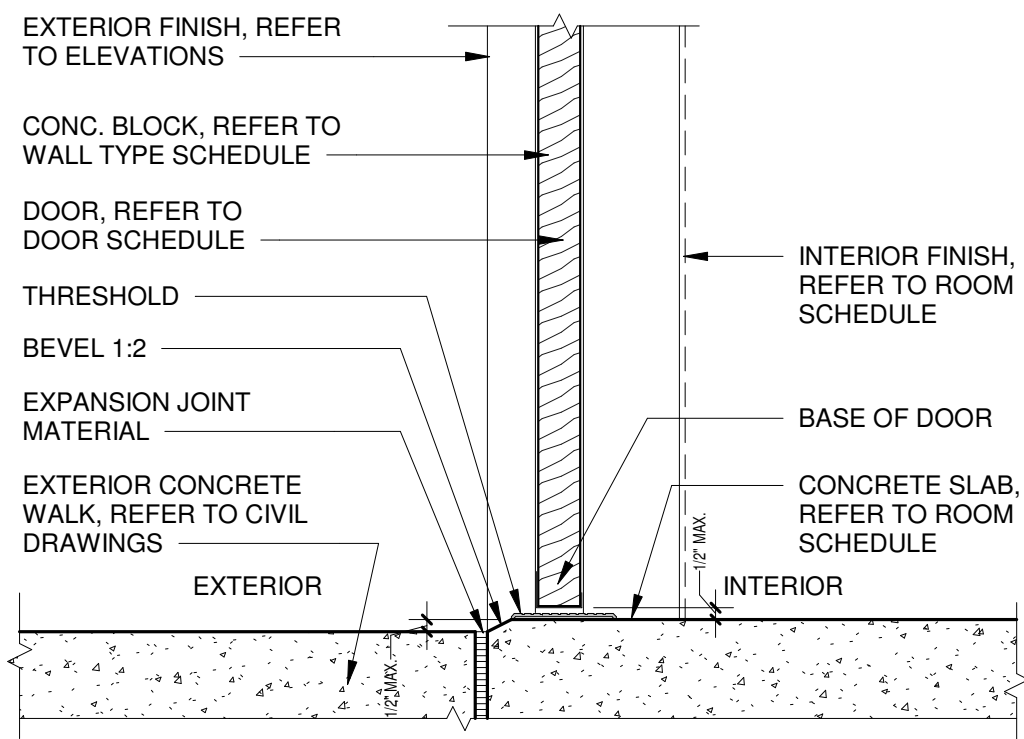
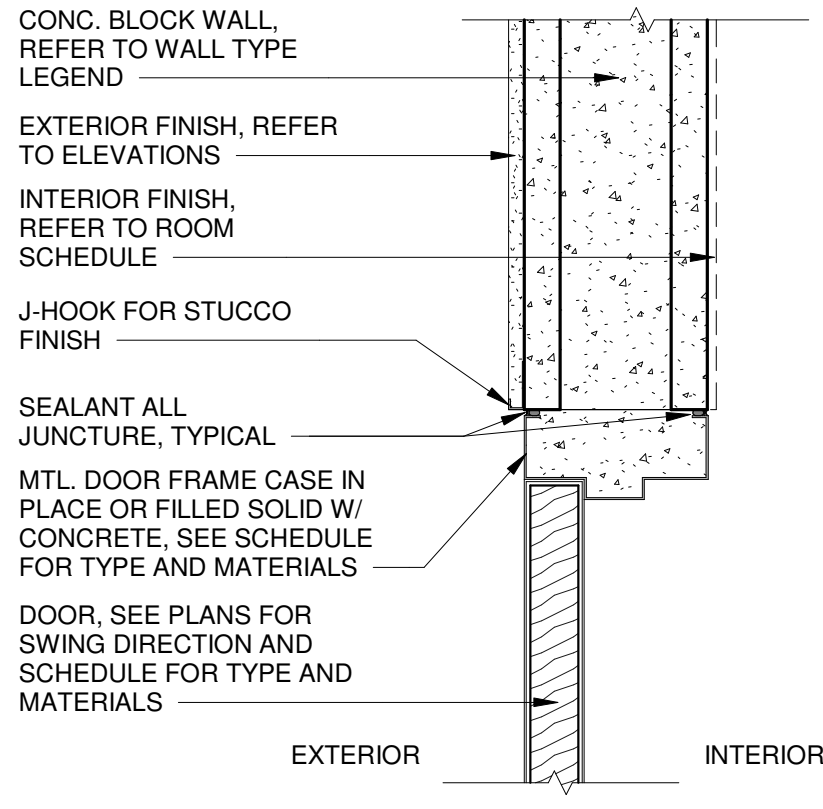
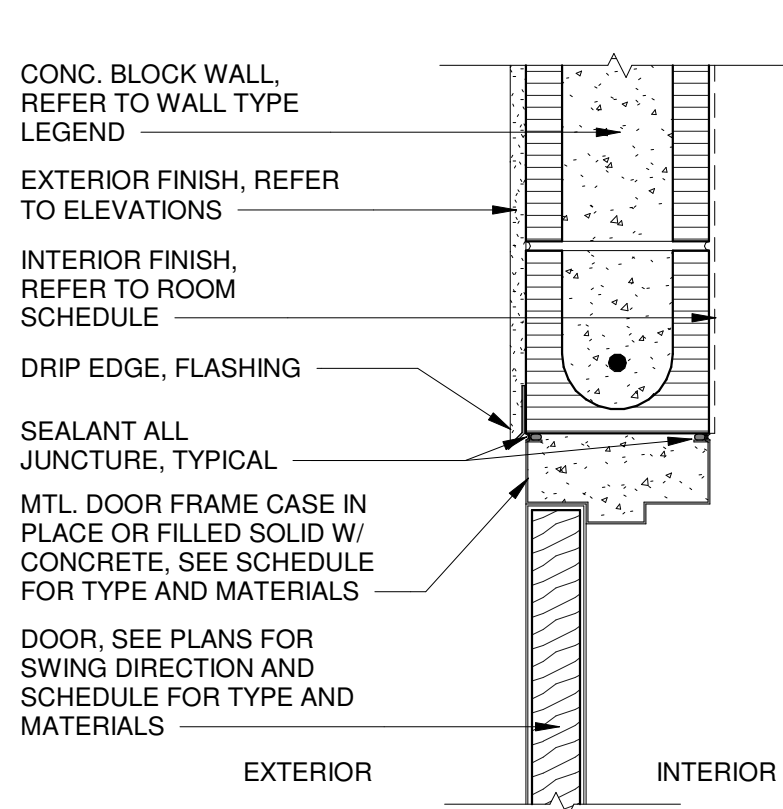
HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE
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WALL SECTIONS

Project No:
25-01934
Sheet No:
A900

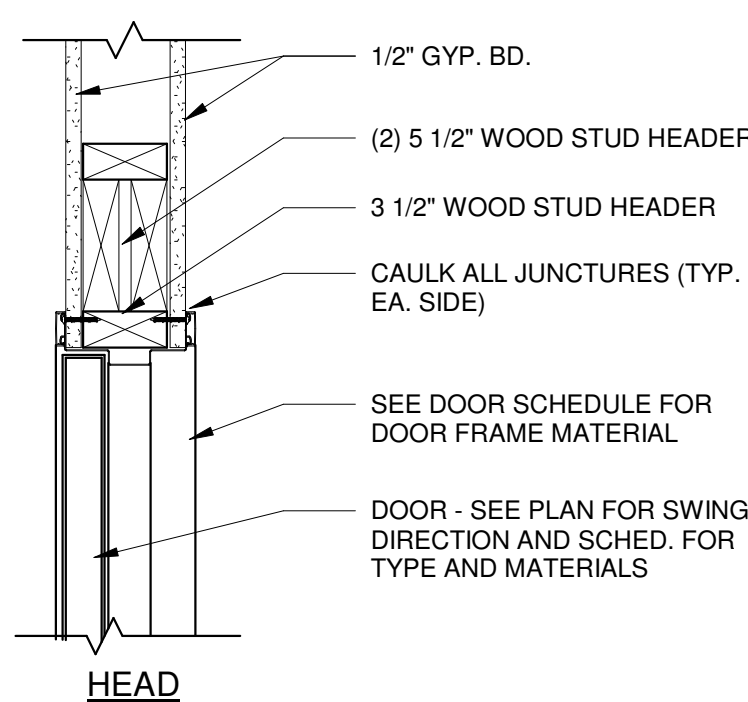


GENERAL NOTES

1. ALL EXTERIOR DOORS TO MEET WIND LOAD CRITERIA
2. ALL GROUND FLOOR UNIT HARDWARE @ ENTRY DOORS SHALL MEET ALL CODES, LAWS AND GUIDELINES FOR HANDICAP ACCESSIBILITY
3. THRESHOLDS AT EXTERIOR DOORS, INCLUDING SLIDING GLASS DOOR TRACKS, ARE NO HIGHER THAN 1/2 INCH. THRESHOLDS AND CHANGES IN LEVEL AT THESE LOCATIONS ARE BEVELED WITH SLOPES NO GREATER THAN 1:12
4. FRAMES ARE TYPICALLY WRAPAROUND; SET EXTERIOR FRAMES AS DETAILED
5. ALL GLASS LIGHTS IN DOORS AND DOORS AND FRAMES SHALL BE TEMPERED UNLESS NOTED AS LABELED; ALL GLASS LIGHTS IN LABELED DOORS AND FRAMES SHALL BE CLEAR FIREGLASS 20 BY TGP OR EQUAL
6. ALL EXT. FRAMES SHALL BE GROUTED FULL
7. ALL DOORS 1 3/4" THICK; ALL FRAMES TO HAVE 5/8" X 1 3/4" RABBETS EACH SIDE, VARY STOP WIDTHS TO ACCOMMODATE CLEAR THROAT DIMENSIONS INDICATED.
8. ALL DOOR AND FRAME LABELS SHALL BE METAL (RIVET OR SCREW ATTACHED), STICK-ON LABELS NOT ACCEPTABLE; PROTECT LABELS FROM BOTH PRIMERS AND FINISH PAINTING, LABELS SHALL BE BRIGHT EMBOSSED METAL PER NFPA 80
9. THRESHOLDS SHALL BE ALUMINUM @ EXTERIOR, INCLUDE TRANSITION STRIPS, CONTINUE FLOOR UNDER DOOR

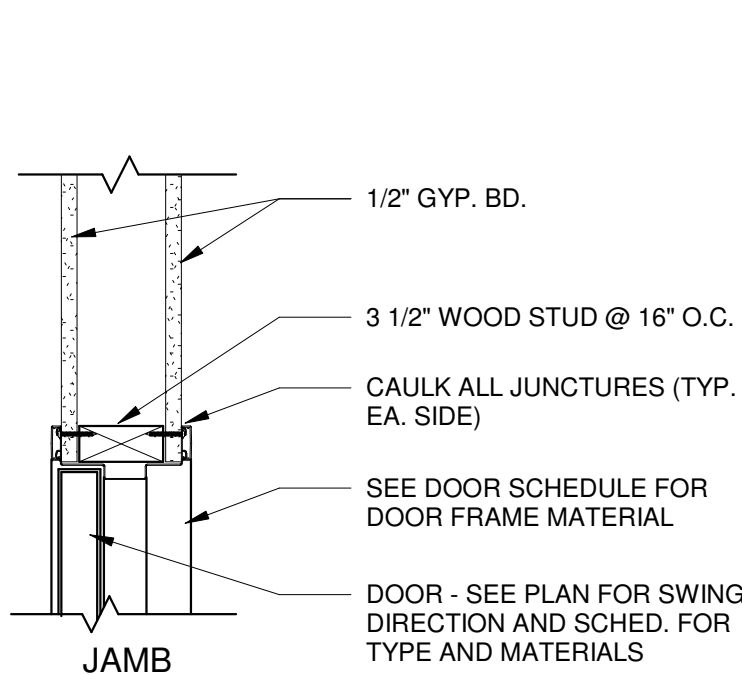
1 DETAIL - DOOR HEAD @ CONCRETE

1 1/2" = 1'-0"



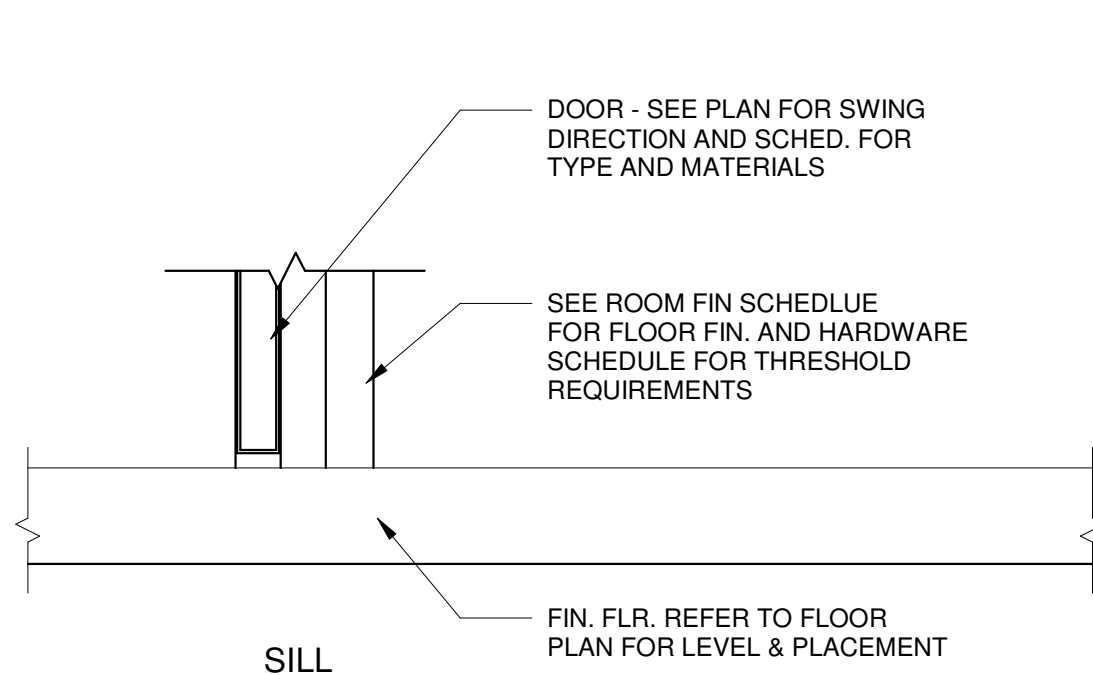
2 DETAIL - DOOR JAMB @ CONCRETE

1 1/2" = 1'-0"



3 DETAIL - DOOR SILL @ CONCRETE

1 1/2" = 1'-0"



4 DETAIL - DOOR HEAD WOOD STUD

1 1/2" = 1'-0"

5 DETAIL - DOOR JAMB WOOD STUD

1 1/2" = 1'-0"

6 DETAIL - DOOR SILL WOOD STUD

1 1/2" = 1'-0"

DOOR SCHEDULE

DOOR MARK	ROOM NUMBER	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	DOOR SIZE		DETAIL REFERENCES			COMMENTS
						WIDTH	HEIGHT	SILL DETAIL REF.	JAMB DETAIL REF.	HEAD DETAIL REF.	
100A	100	B	METAL	ALUM	H1	6' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	ACCESS CONTROL, WITH PANIC HARDWARE
100B	100	B	METAL	ALUM	H1	6' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	ACCESS CONTROL, WITH PANIC HARDWARE
100C	100	B	METAL	ALUM	H1	6' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	ACCESS CONTROL, WITH PANIC HARDWARE
101	101	C	WOOD	WOOD	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	
102	102	C	WOOD	WOOD	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	
104A	104	C	METAL	H.M	H2	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	
104B	104	C	METAL	H.M	H2	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	
105	105	C	METAL	H.M	H2	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	
106A	106	A	METAL	H.M	H2	3' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	
106B	106	C	METAL	H.M	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	
107	107	C	METAL	H.M	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000	

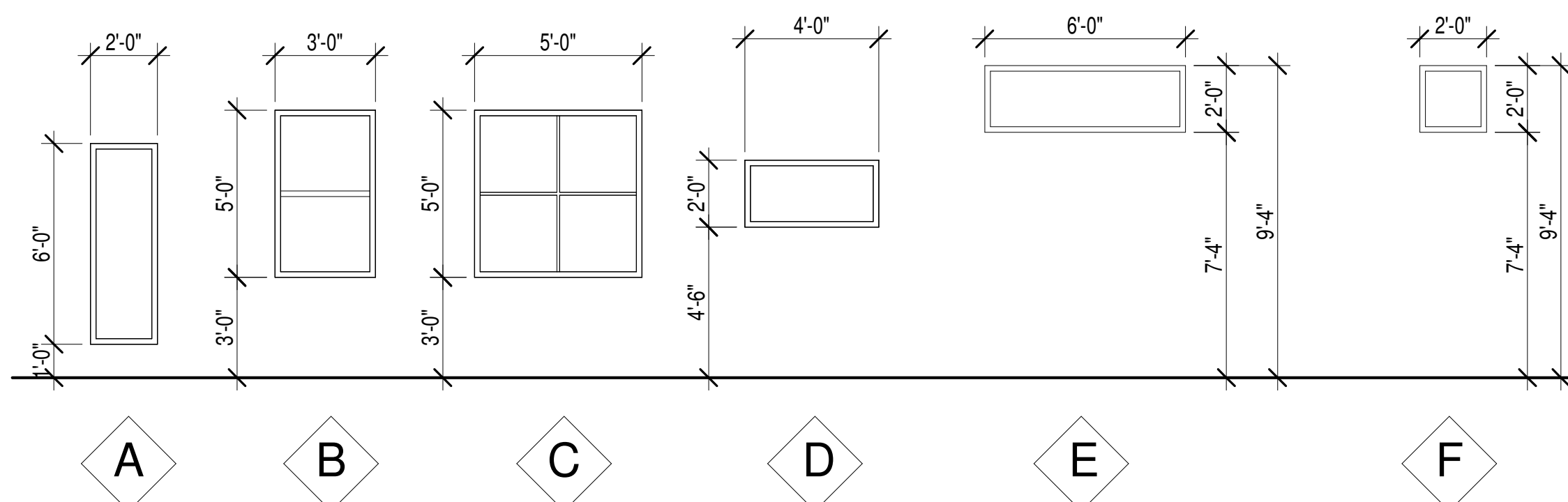
HARDWARE TYPE KEY

SET	PANIC	LOCKSET	PUSH PULL	DEAD BOLT	DESCRIPTION	LOCATIONS	INSIDE	OUTSIDE
H1			YES	YES	PANIC INSIDE PULL HANDLE OUTSIDE	EXTERIOR MAINS	Ⓜ PANIC BAR	KEY LOCK OR CARD READER WITH HANDLE
H2				YES	ACCESSIBLE LEVER W/ KEY DEAD BOLT LOCK OUTSIDE	UTILITY ROOMS & RESTROOMS	THUMB LOCK, LEVER	KEY LOCK, OR CARD READER LEVER
H3		YES			ACCESSIBLE LEVER W/ KEY LOCK OUTSIDE LEVERLOCK INSIDE	LOCKED STORAGE/UTILITY ROOMS	THUMB LOCK, LEVER	KEY LOCK, LEVER

NOTES: ALL EXTERIOR DOORS SHALL BE KEYED THE SAME BASED ON ONE MASTER KEY SET.
HARDWARE IS GIVEN AS BASIS OF DESIGN FOR OPERATION AND FUNCTIONS ONLY. REFER TO 'ID' FOR SPECS AND FINISHES.

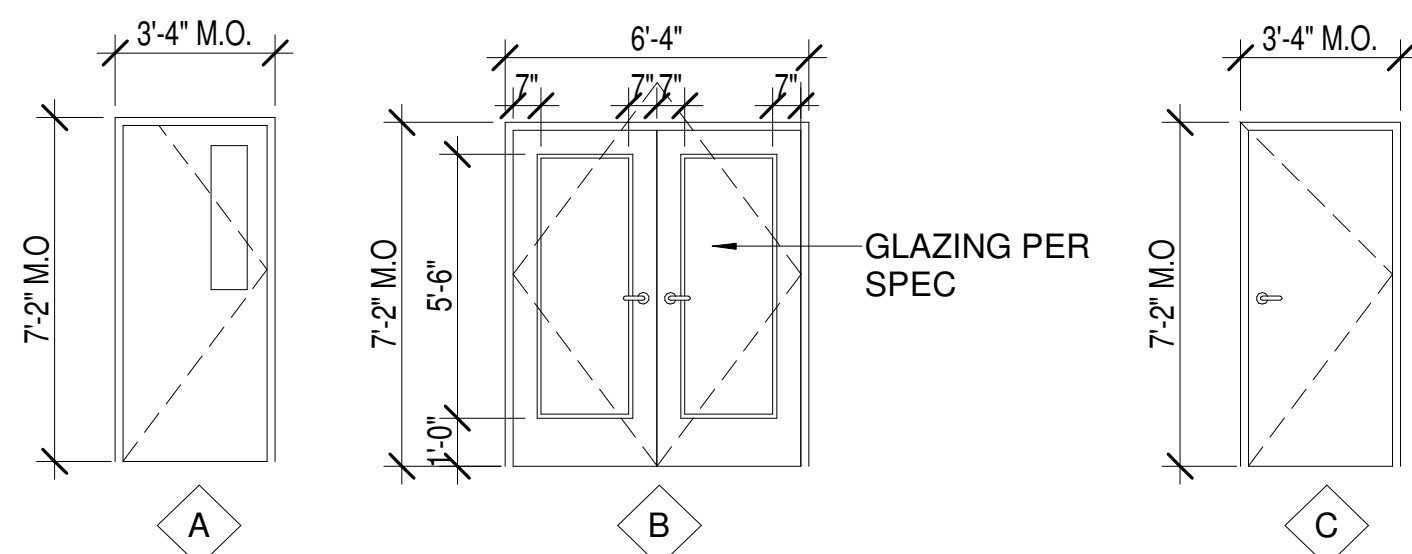
WINDOW SCHEDULE

WINDOW NUMBER	WINDOW TYPE	FRAME TYPE	SIZE BREAKDOWN		DETAIL REFERENCES			COMMENTS
			WIDTH	HEIGHT	HEAD DETAIL REF.	JAMB DETAIL REF.	SILL DETAIL REF.	
100A	A	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000	
100B	A	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000	
100C	A	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000	
100D	A	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000	
100E	E	ALUM	6' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	
100F	F	ALUM	2' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	
100G	F	ALUM	2' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	
101	B	ALUM	3' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000	
102	B	ALUM	3' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000	
103A	C	ALUM	5' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000	
103B	C	ALUM	5' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000	
104	D	ALUM	4' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	PRIVACY FILMS
105	D	ALUM	4' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	PRIVACY FILMS



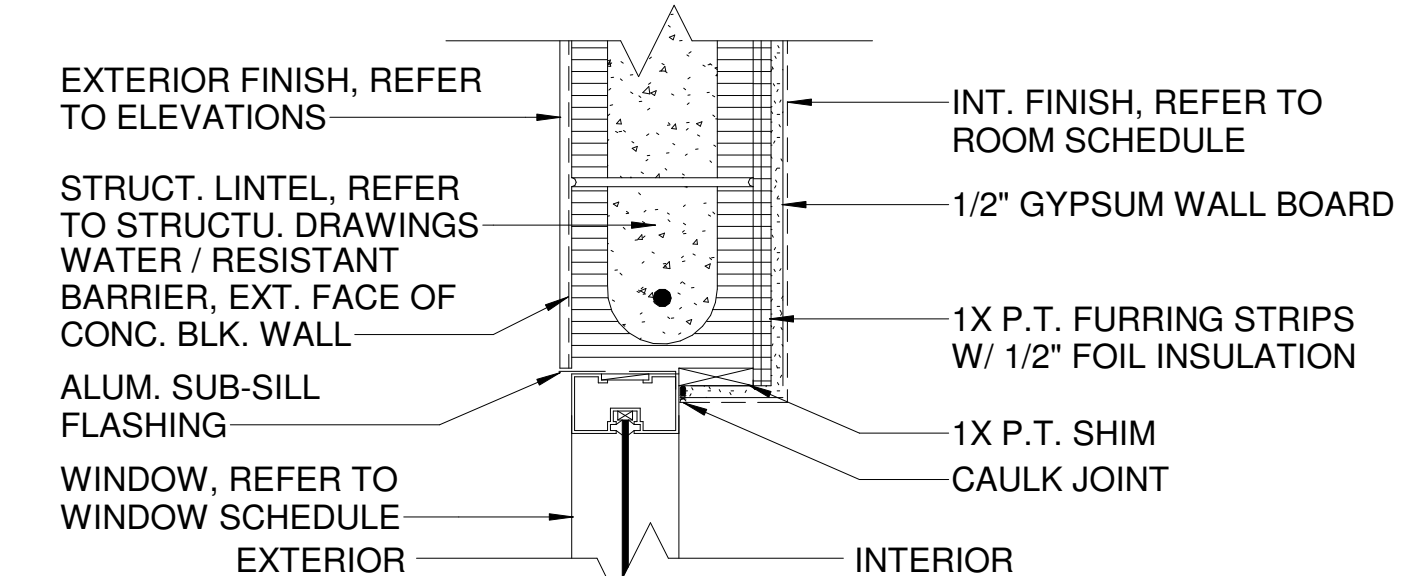
WINDOW TYPES

SCALE: 1/4" = 1'-0"



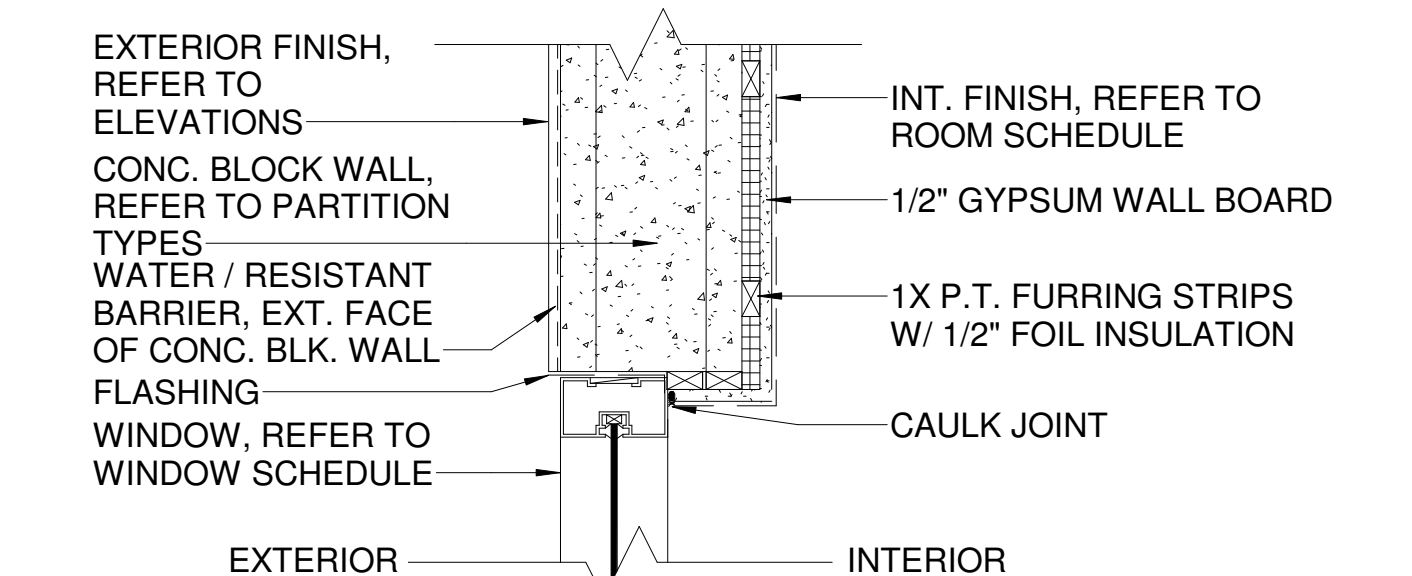
DOOR LEGEND

SCALE: 1/4" = 1'-0"



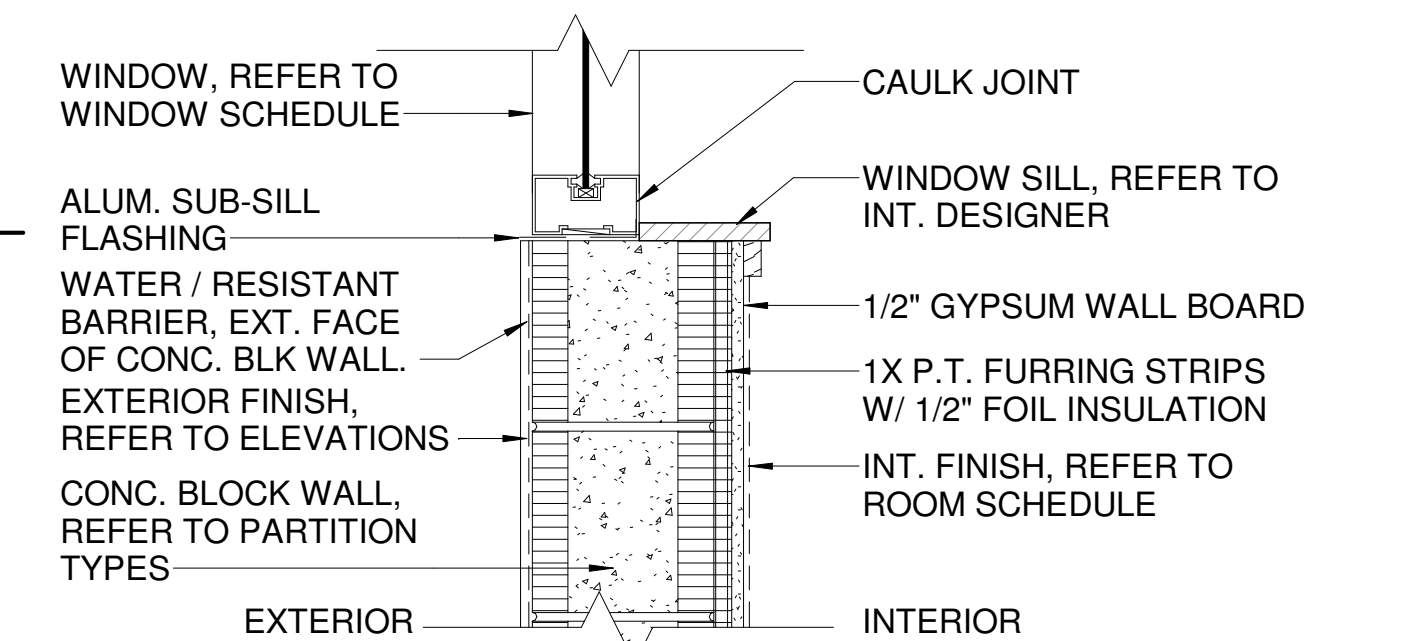
7 DETAIL - WNDW. HEAD

1 1/2" = 1'-0"



8 DETAIL - WNDW. JAMB

1 1/2" = 1'-0"



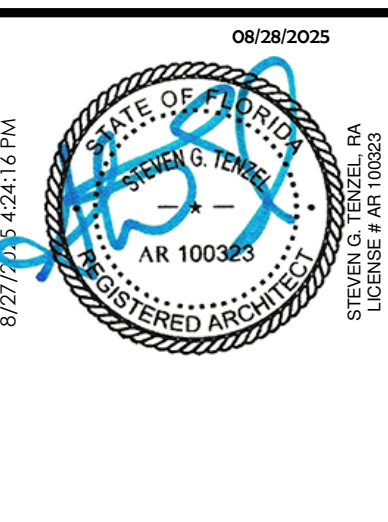
9 DETAIL - WNDW. SILL

1 1/2" = 1'-0"



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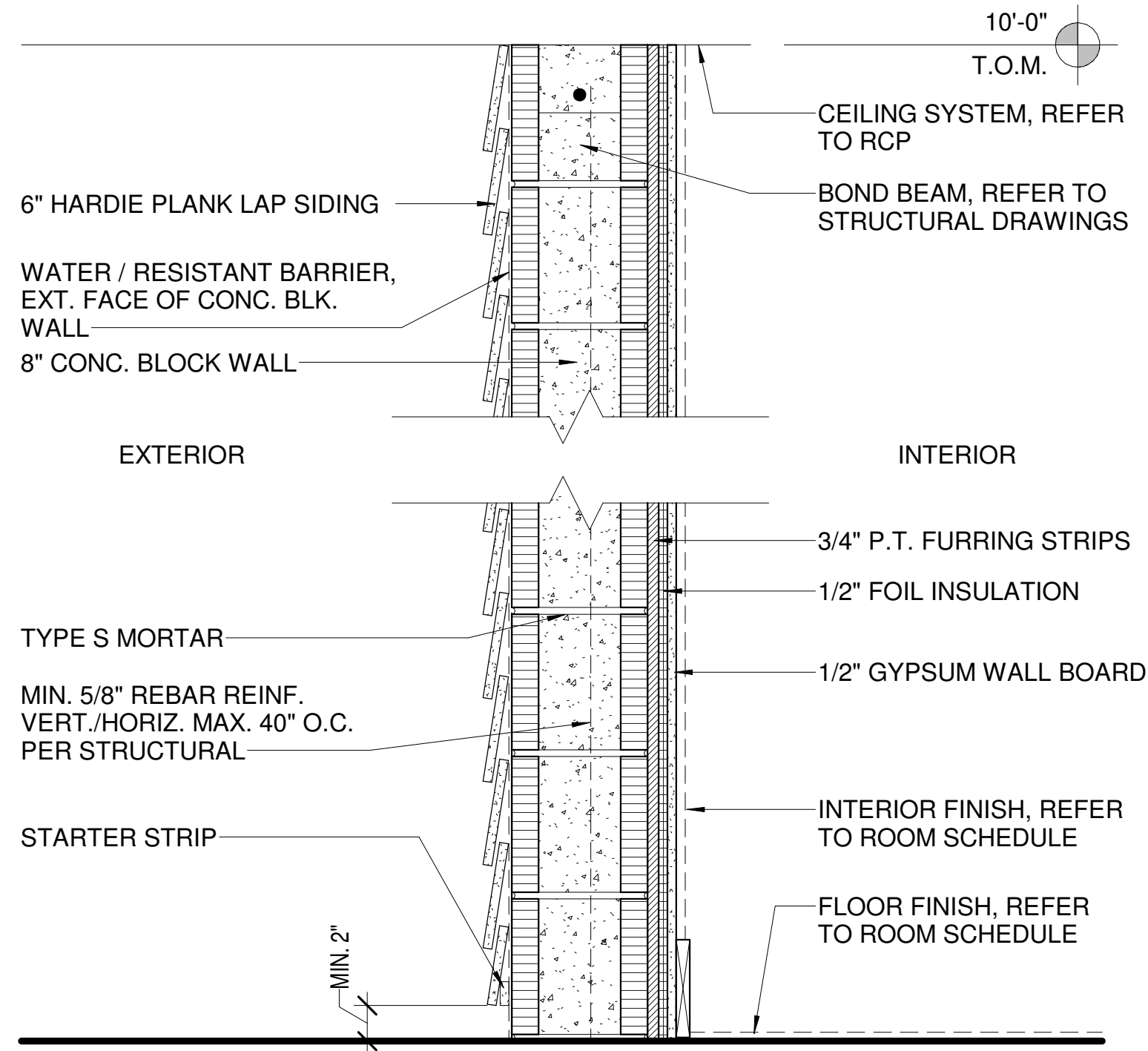
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HILLSIDE GROVES AMENITY

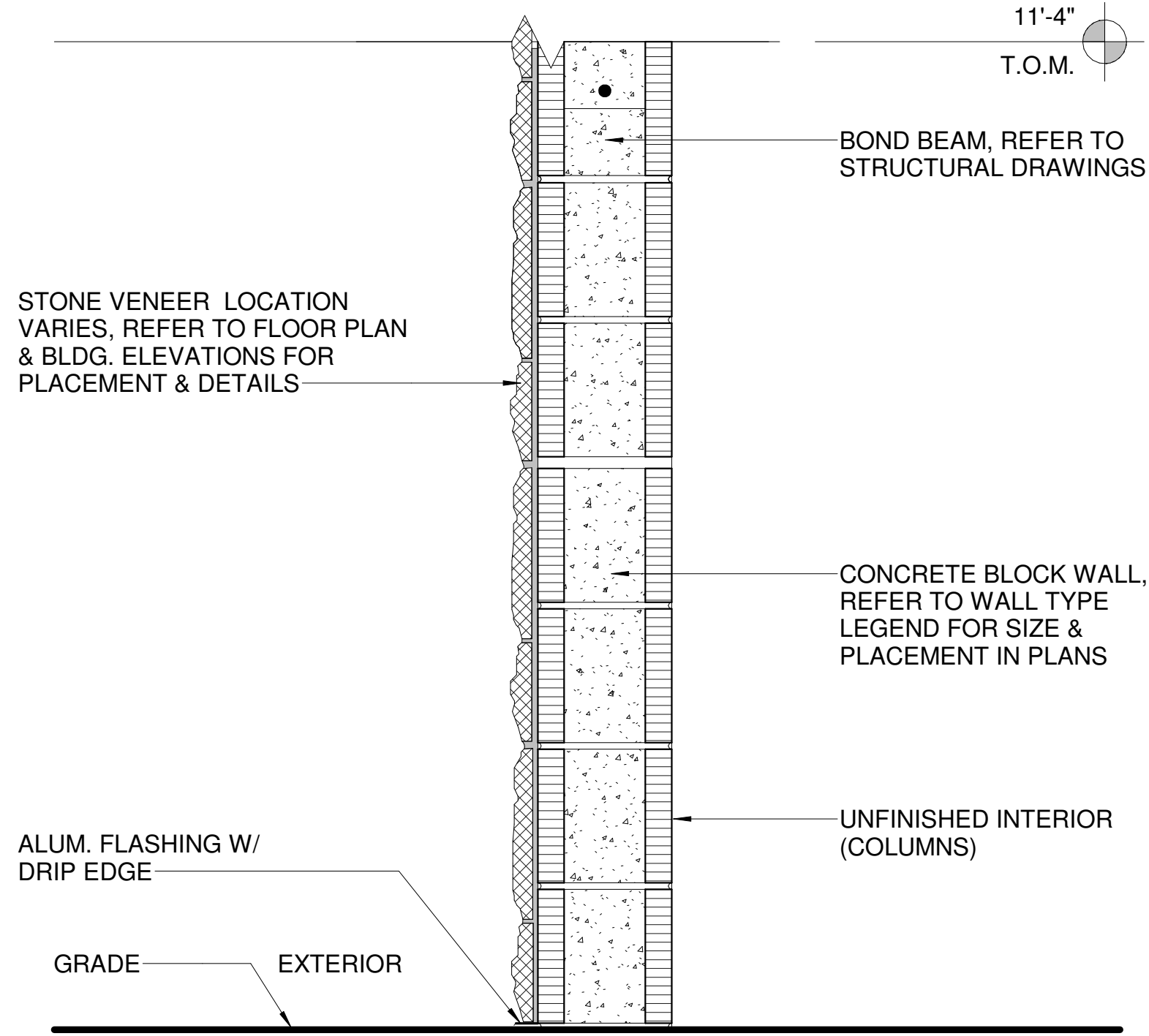
HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE

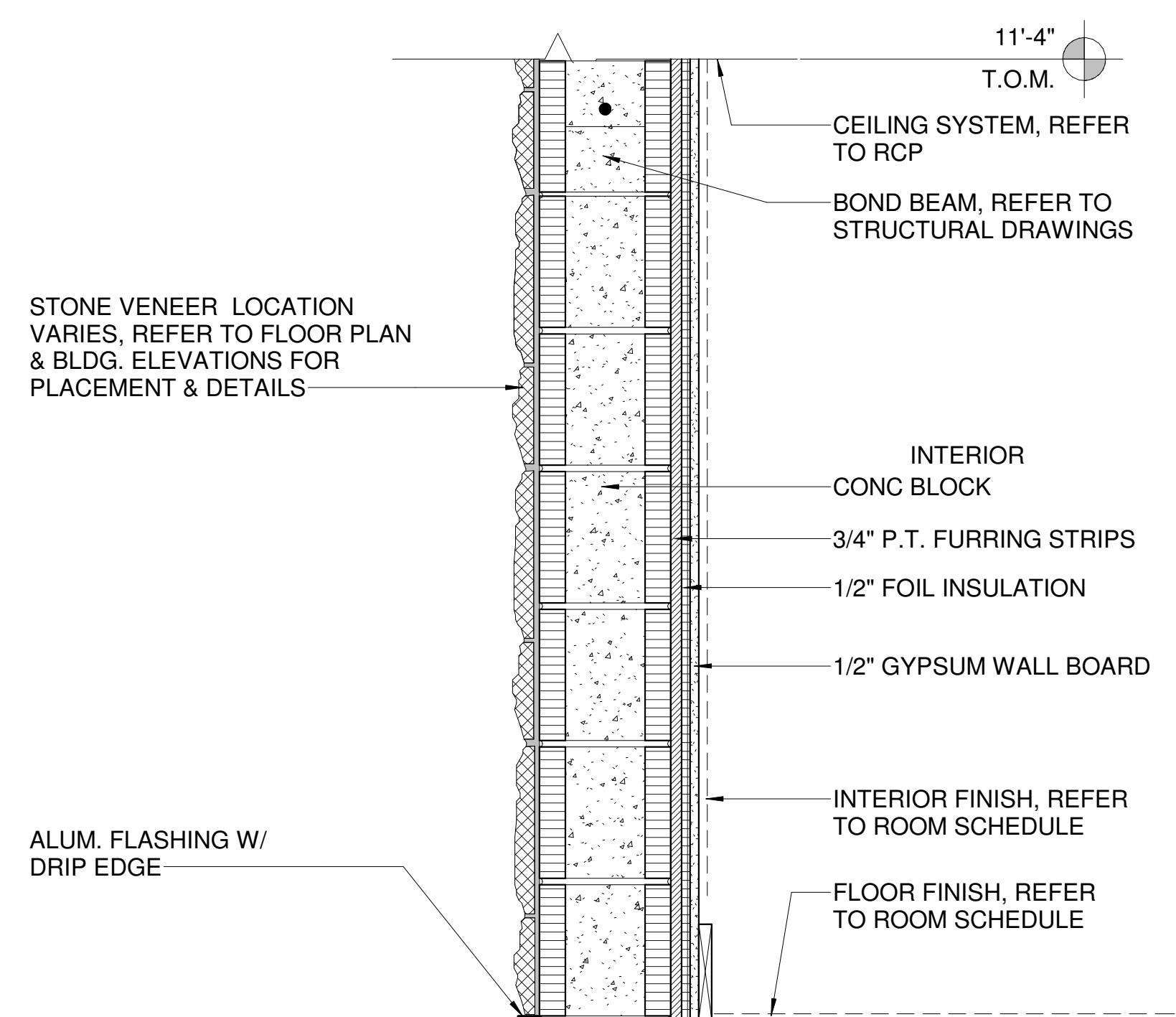
DOOR & WINDOW SCHEDULES & DETAILS
Project No: 25-01934
Sheet No: A1000



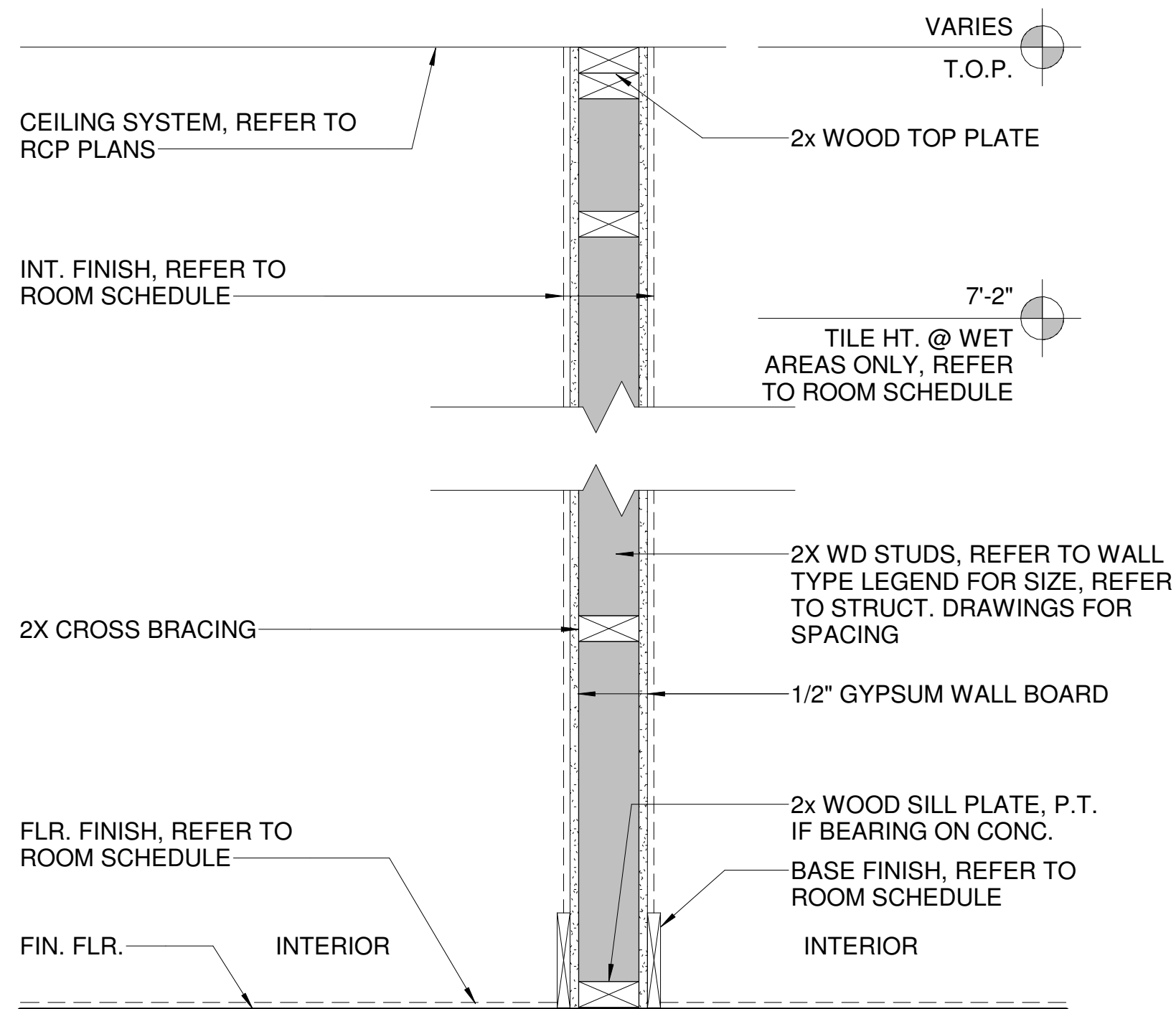
1 P-1 PARTITION TYPE - EXT. CONC. BLOCK WALL & SIDING
1 1/2" = 1'-0"



2 P-3 PARTITION TYPE - EXT. CONC. BLOCK & STONE
1 1/2" = 1'-0"



3 P-4 PARTITION TYPE - EXT. CONC. BLOCK & STONE
1 1/2" = 1'-0"



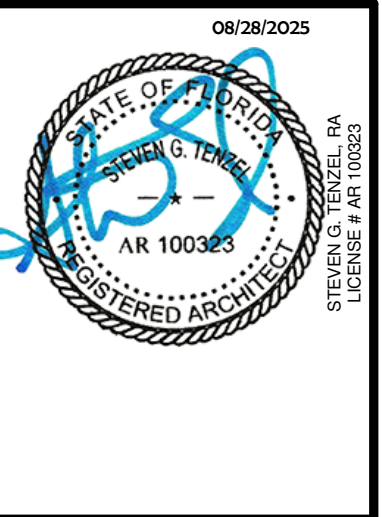
4 P-2 PARTITION TYPE - WD FRAME WALL (NR/NLB)
1 1/2" = 1'-0"

SITE PLAN SUBMITTAL ONLY



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HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA

Revision Schedule		
NO	DESCRIPTION	DATE

WALL PARTITION TYPES
Project No:
25-01934
Sheet No:
A1100



2'-0"

PRE-ENG WD. TRUSSES

5/8" EXT. SHEATHING

P.T. 2X FASCIA BD.

1X FASCIA TRIM BD.

ALUM. DRIP EDGE

ALUM. GUTTER SYSTEM

3" W LATH CONTINUOUS VINYL SOFFIT VENT, SEE ROOF PLAN FOR LOCATIONS

WD. STRUCT. BEAM, SEE STRUCT. DWGS

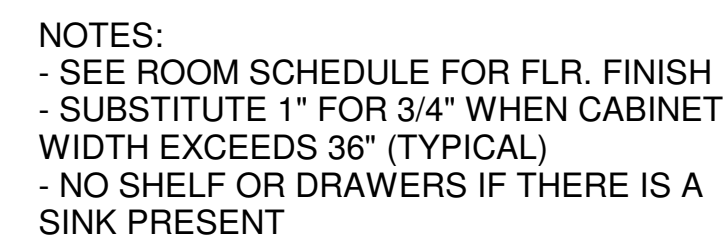
HARDIE SMOOTH PANEL

COLUMN, BEYOND

HEEL HT.

1'-4"

T.



5

