# HILLSIDE GROVES AMENITY

HOWEY-IN-THE-HILLS, FLORIDA



#### **CONTACT INFORMATION:**

PROJECT LOCATION-

SCALE: NTS

**VICINITY MAP** 



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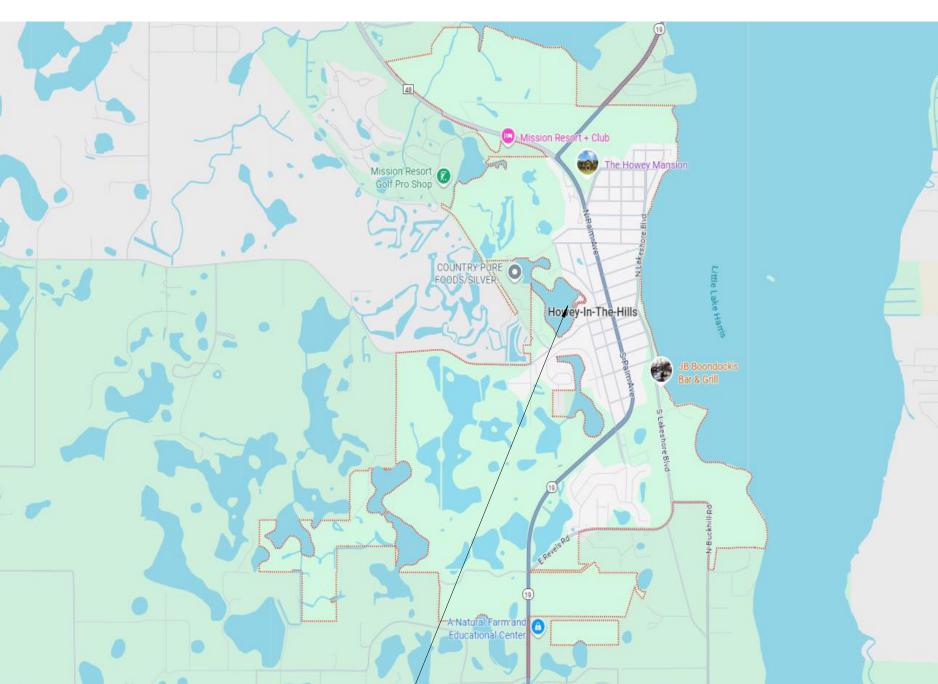


MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: MIGRE ENGINEERING LLC 760 FLORIDA CENTRAL PARKWAY Engineers LLC LONGWOOD, FL 32750

ENGINEER: GREG H. KLEBANOFF, PE DIRECTOR OF MECHANICAL ENGINEERING TEL: (407) 636-7999 x128



<u>CIVIL ENGINEER:</u> GREGORY WITHERSPOON, PLA, AICP KIMLEY-HORN 200 SOUTH ORANGE AVE. SUITE 600 ORLANDO, FL. 32801 DIRECT: (407) 849-2713



GROSS AREA TA	BULATION
AREA NAME	SQUARE FT.
CLUBHOUSE	1829 SF
COVERED LANAI - NON AC	789 SF
FRONT ENTRY - NON AC	207 SF
TOTAL SQUARE FOOTAGE	2826 SF

	ATION QUARE FT.	OCCUPANCY CLASSIFICATION
	KOAIILI II	GROUP - A3 - ASSEMBL
	1829 SF	
	789 SF	CONSTRUCTION TYPE
	207 SF	001101110011011111
	2826 SF	NEW - TYPE VB - NON-SPRINKLED/UNPROTECTED
		JURISDICTION

DIGITAL SIGNED & SEALED

HOWEY-IN-THE-HILLS, FLORIDA

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### **APPLICABLE CODES:**

FLORIDA BUILDING CODE FLORIDA PLUMBING CODE FLORIDA MECHANICAL CODE FLORIDA FUEL GAS CODE NFPA 70 NATIONAL ELECTRIC CODE FLORIDA FIRE PREVENTION CODE

NFPA 1 AND NFPA 101 FLORIDA EDITION 2021 EDITION FLORIDA ACCESSIBILITY CODE EXISTING FLORIDA BUILDING CODE

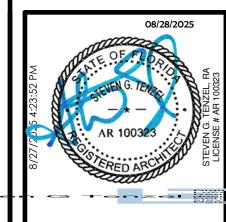
FLORIDA BUILDING CODE 2023 8th ED. 2020 NEC

2023 8th ED. & CURRENT ADOPTED CODES & STANDARD BY THE STATE FLORIDA

FLORIDA BUILDING CODE 2023 8TH ED. FLORIDA BUILDING CODE 2023 8TH ED.

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	ABBREVIATIO	DNS		LEGEND OF
&	AND	HGT. H.C.	HEIGHT HANDICAPPED ACCESSIBLE	SYMBOL
<u>/</u> @	ANGLE AT	HM.	HOLLOW METAL HORIZONTAL (LY)	
<u>(</u>	CENTERLINE CHANNEL	HB.	HOSE BIBB	
& ∠ @G-L   X ⊥ #	DIAMETER OR ROUND PERPENDICULAR OR STRUCTURAL TEE	HR. INCL.	HOUR INCLUDING	
# ADV	NUMBER OR POUND	INSUL. INT.	INSULATE (D) (ING) (TION) INTERIOR	
ABV. ACOUS./ACT	ABOVE ACOUSTICAL TILE	JB JC	JUNCTION BOX (ES) JANITORS CLOSET	ROOM NAME
ADJ. A/C	ADJUSTABLE AIR CONDITIONING	JCT.	JUNCTION	0000 SQ FT
A.F.F. ALT.	ABOVE FINISHED FLOOR ALTERNATE	JT. L.	JOINT LENGTH	302
AL. ALUM.	ALUMINUM ALUMINUM	LAM. LAV.	LAMINATE (D) LAVATORY	
A.S.T.M.	AMERICAN SOCIETY TESTING MATERIALS	LG. LDG.	LAMINATED GLASS LEADED GLASS	(100A)
A.I.S.C. A.I.A.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION AMERICAN INSTITUTE OF ARCHITECTS	LT.WT.	LIVE LOAD LIGHT WEIGHT	
AB. ANOD.	ANCHOR BOLT ANODIED	MANUF.	MANUFACTURE (ER)	(100A)
ARCH. A.R.	ARCHITECT(URAL) AS REQUIRED	MARB. MAS.	MARBLE MASONRY	
AUTO.	AUTOMATIC	M.O. MAX.	MASONRY OPENING MAXIMUM	<b>1</b>
A.N.S.I. AWWM.	AMERICAN NATIONAL STANDARDS INSTITUTE ALIGN WITH WINDOW MULLION	MG. MIN.	MIRROR GLASS MINIMUM	
BKSPL. BSMT.	BACK SPLASH BASEMENT	MR.	MOISTURE RESISTANT	<p-1>—</p-1>
BRG. BM.	BEARING BEAM	MTD. MTL.	MOUNTED METAL	\'\'
BTWN.	BETWEEN	MECH. MAT.	MECHANIC (AL) MATERIAL	CONC.
BIT. BLK.	BITUMINOUS BLOCK	MISC. NFPA	MISCELLANEOUS NATIONAL FIRE PROTECTION AGENCY	EL 2012"
BLKG. BD.	BLOCKING BOARD	N.	NORTH	TOP OF BEAM
BOT. BRK.	BOTTOM BRICK	NTS NEC	NOT TO SCALE NATIONAL ELECTRIC CODE	
BLDG.	BUILDING	NR NSF	NON FIRE RATED NATIONAL SANITATION FOUNDATION	2
BU. CO.	BUILT-UP CLEAN OUT	OSHA OC.	OCCUPATIONAL SAFETY AND HEALTH ADMIN. ON CENTER	5 1 3
CPT. C.B.	CARPET (ED) CATCH BASIN	OPG.	OPENING	A300/
CTR. CLG.	CENTER CEILING	OA. OD.	OVERALL OUTSIDE DIAMETER	4
C.F.C.I.	FURNISHED INSTALLED		OWNER FURNISHED OWNER INSTALLED OWNER FURNISHED CONTRACTOR INSTALLED	$\langle$ # $\rangle$
CEM. C.T.	CEMENT CERAMIC TILE	O.H. OWG.	OPPOSITE HAND ONE WAY GLASS	$\wedge$
CHAM. CHN LNK	CHAMFER CHAIN LINK	PNT	PAINT	#
C.I. C.I.P.	CAST IRON CAST IN PLACE	PTD. PL	PAPER TOWEL DISPENSER PROPERTY LINE	
CIR.	CIRCLE	PLAM PLYWD	PLASTIC LAMINATE PLYWOOD	<b>/#</b>
CIRCUM. CLR.	CIRCUMFERENCE CLEARANCE	P/CF P/LF	POUND PER CUBIC FOOT POUNDS PER LINEAR FOOT	
COL. CONC.	COLUMN CONCRETE	P/SF	POUNDS PER SQUARE FOOT	A300
CMU CONST.	CONCRETE MASONRY UNIT CONSTRUCTION	PSI PT.	POUNDS PER SQUARE INCH POINT	
CONTR. CONT.	CONTRACTOR CONTINUOUS OR CONTINUE	P.T. R	PRESSURE TREATED FIRE RATED	
CJT	CONTROL JOINT	RAD. RE:	RADIUS REFERENCE OR SEE	
CTPG CTR	CLEAR TEMPERED PLATE GLASS COUNTER	REF. REINF.	REFERENCE REINFORCING	44 44 44 44 44 44
CW DCD	COLD WATER CASE DRAIN		REQUIRED REVISION (S) (REVISED)	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4
D.F. DTL DIA	DRINKING WATER FOUNTAIN DETAIL	RO	ROUGH OPENING	A STATE OF THE STA
DIA DIM	DIAMETER DIMENSION	R/W SCH.	RIGHT OF WAY SCHEDULE	
DS DWG	DOWN SPOUT DRAWING	SHT. SC.	SHEET SOLID CORE	
DL.	DOWN LEADER	S.	SOUTH	
DN EA. E	DOWN EAST	SPEC. S.S.	SPECIFICATION (S) STAINLESS STEEL	
E E.H.D.	EACH ELECTRIC HAND DRYER	S/S	SANITARY SEWER	
ELEC EL	ELECTRIC ELEVATION	SPG STD	SPANDRELITE PANEL GLASS STANDARD	
ELEV	ELEVATION	STL. STOR	STEEL STORAGE	
EQ. E.W.	EQUAL EACH WAY	STRUCT	STRUCTURE (AL) SUSPENDED	
E.W.C. E.W.H.	ELECTRIC WATER COOLER ELECTRIC WATER HEATER	T & B	TOP AND BOTTOM	A300/ \A300/
EXH. EJJT/E.J.	EXHAUST EXPANSION JOINT		TO MATCH TO MATCH EXISTING	
EXP.	EXPOSED	T.O.C. TOH.	TOP OF CONCRETE TOTAL DYNAMIC HEAD	
EXIST.EXTG. EXT.	EXISTING EXTERIOR	T.O.M.	TOP OF MASONRY TOP OF ROOF PERIMETER	A300
FA FE.	FIRE ALARM FIRE EXTINGUISHER	T.O.R.D.	TOP OF ROOF DECK	
F. CLG/ FIN. CEIL.	FINISH CEILING	TTPG	TOP OF WALL TINTED TEMPERED PLATE GLASS	
F.F./FIN. FL. FIN.	FINISH FLOOR FINISH (ED)	TEL.	TOP OF FOUNDATION TELEPHONE	A300
FLASH.	FLASHING	TV. T & G	TELEVISION TONGUE AND GROOVE	
FLR. FLUOR	FLOOR (ING) FLUORESCENT	TYP.	TYPICAL UNLESS NOTED OTHERWISE	GENERAL NOT
FOC. FOF.	FACE OF CONCRETE FACE OF FINISH	V.B.	VAPOR BARRIER	1. THE CONTRACTOR SHALL VISIT THE S THOROUGHLY FAMILIARIZE HIMSELF WIT
FOFM FOS	FACE OF FINISHED MASONRY FACE OF STUDS	VERT. VCT.	VERTICAL VINYL COMPOSITION TILE	AND WORK REQUIRED TO PERFORM THE DIMENSIONS BY CALCULATION, . IF DIME
F.O.SH.	FACE OF SHEATHING	VP VTR.	VENEER PLASTER VENT THRU ROOF	SHALL REQUEST CLARIFICATION FROM ARCHITECT PRIOR TO CONTINUING CON
F.O.S.M. FTG.	FACE OF STRUCTURAL MASONRY FOOTING	W/ W.	WITH WIDTH OR WEST	2. THIS BUILDING HAS BEEN DESIGNED II 2023 FLORIDA BUILDING CODE.
FT. GALV.	FOOT GALVANIZED	WC.	WATER CLOSET	<ul><li>3. ALL DIMENSION ARE TAKEN FROM FA</li><li>OTHERWISE.</li><li>4. ALL CONDUIT, PIPING, AND DUCTWO</li></ul>
G.I. GD.	GALVANIZED IRON GRADE (GRADING)	WNDW	WATER HEATER WINDOW	FLOOR, CEILING OR WALL SHALL HAV THE SPECIFIC APPLICATION.
GEN.	GENERAL	WO WD	WITHOUT WOOD	5. ALL MECHANICAL AND ELECTRICAL E ARCHITECTURAL OR CIVIL DRAWINGS.
GYP./GWB H OR HT.	GYPSUM WALL BOARD HEIGHT	WG	WIRE GLASS	6. ALL LUMBER IN CONTACT WITH THE SOR REQUIRED SHALL BE PRESSURE PR
<b>= L</b> 1111/1		WT.	WEIGHT	7 ALL EXTERIOR STEEL STUD CONSTR
HDW. HDR. HVAC.	HARDWARE HEADER HEATING/VENTILATING/AC	WT. WP. WWF.	WATER PROOFING WELDED WIRE FABRIC	7. ALL EXTERIOR STEEL STUD CONSTR MAXIMUM SPACING OF 24" O.C. ALL INTE MINIMUM 25 GAGE WITH A MAXIMUM SPA

#### LEGEND OF SYMBOLS PROJECT REQUIREMENTS & COMPLIANCE

DESCRIPTION CODE REQUIREMENTS: IT IS THE INTENT THAT ALL WORK SHALL CONFORM TO THE ADOPTED CODES, STANDARDS AND RULES OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION **NORTH ARROW** 

2. ALL WORK SHALL CONFORM WITH DRAWINGS AND SPECIFICATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF ALL THE FOLLOWING WHERE APPLICABLE: A. GOVERNING MUNICIPAL REGULATORY AGENCIES B. LOCAL, STATE AND FEDERAL CODES

#### APPLICABLE CODES:

FLORIDA BUILDING CODE FLORIDA PLUMBING CODE FLORIDA MECHANICAL CODE FLORIDA FUEL GAS CODE NFPA 70 NATIONAL ELECTRIC CODE FLORIDA FIRE PREVENTION CODE

FLORIDA BUILDING CODE 2023 8th ED. FLORIDA BUILDING CODE 2023 8th ED. 2020 NEC

NFPA 1 AND NFPA 101 FLORIDA EDITION 2021 EDITION FLORIDA ACCESSIBILITY CODE

FLORIDA BUILDING CODE 2023 8th ED. FLORIDA BUILDING CODE 2023 8th ED. 2023 8th ED. & CURRENT ADOPTED CODES & STANDARD BY THE STATE FLORIDA FLORIDA BUILDING CODE 2023 8TH ED.

EXISTING FLORIDA BUILDING CODE FLORIDA BUILDING CODE 2023 8TH ED. 3. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE SOILS REPORT. OBTAIN FROM THE OWNER THE CURRENT COPY OF THE SOILS

INVESTIGATION REPORT IF NECESSARY. 4.ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES BY THE GENERAL CONTRACTOR AND ALL AREAS SHALL BE LEFT IN A CLEAN CONDITION AT ALL TIMES DURING

CONSTRUCTION 5. IT IS UNDERSTOOD THAT ALL INTENDED WORK IS SUBJECT TO REVIEW AND INTERPRETATION BY THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION. IN NO CASE SHALL WORK BE PERFORMED WITHOUT THE REVIEW AND WRITTEN APPROVAL OF

6. ALL TRADES SHALL BE RESPONSIBLE FOR ALL FEES RELATED TO THE ISSUE OF TRADE-SPECIFIC PERMITS, INSPECTIONS AND CERTIFICATES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK. AND THE OCCUPANCY OF THE WORK 7. EXISTING CONDITIONS: THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND FIELD-COORDINATE THE CORRECTIVE ACTION AS REQUIRED. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER OF ALL CONFLICTS AND DISCREPANCIES THAT AFFECT THE WORK PRIOR TO PROCEEDING WITH SAID WORK. 8. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS WILL GOVERN. LARGE-SCALE DRAWINGS SHALL GOVERN OVER SMALLER-SCALED DRAWINGS. CONTACT ARCHITECT/DESIGNER TO CONFIRM ALL DISCREPANCIES.

9. THE ARCHITECT/DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR WORK PERFORMED NOT IN ACCORDANCE WITH THESE DOCUMENTS NOR FOR MISINTERPRETATION OF THE DRAWINGS, NOR FOR UNSATISFACTORY WORK BY CONTRACTOR

10. CONFIRM ALL DIMENSIONS WITH PLANS AND IN FIELD PRIOR TO FABRICATION AND/OR CONSTRUCTION

11. ALL ELECTRICAL AND MECHANICAL INFORMATION CONTAINED IN THESE DRAWINGS IS SOLELY FOR THE PURPOSE OF COORDINATION OF THE ARCHITECT/DESIGNER'S WORK.

#### TERMITE PROTECTION NOTES

PER FLORIDA BUILDING CODE 2023 8TH EDITION SOIL CHEMICAL BARRIER METHOD

1. "A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR WATER HEATER OR ELECTRICAL PANEL. 2. "CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM

**BUILDING SIDE WALLS."** 3. "IRRIGATION / SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL

NOT BE INSTALLED WITHIN 1'-0" OF BUILDING SIDE WALLS.' 4. "TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES." EXCEPTION: PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.

5. "INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE."

6. "SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.

7. "BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS. ETC.. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT."

8. "MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAIN FALL DILUTION. IF RAIN FALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREAT AS

9. "CONCRETE OVERPOUR AND MORTAR ALONG FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.'

10. "SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS." 11. "AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER

CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE CHEMICAL BARRIER IS APPLIED, SHALL BE RETREATED." 12. "ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT." 13. "A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BE FOR CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: 'THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS OF THE FLORIDA BUILDING DEPARTMENT OF AGRICULTURE AND CUSTOMER SERVICES."

14. "AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.' 15. "NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING."

#### PROJECT NOTES

1. THE SPECIFICATION, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED HEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT WRITTEN CONSENT. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO BEGINNING WORK. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

3. THE PLANS SHOW THE LOCATION OF ALL FIXTURES AND EQUIPMENT AND ARE INTENDED TO CONVEY THE GENERAL INTENT OF THE WORK IN SCOPE AND LAYOUT. THEY ARE NOT INTENDED TO SHOW IN MINUTE DETAIL EVERY AND ALL ACCESSORIES INTENDED FOR THE PURPOSE OF EXECUTION OF THE WORK, BUT IS UNDERSTOOD THAT SUCH DETAILS ARE PART OF THIS WORK.

4. NO WORK IS TO BE INSTALLED PRIOR TO THE SUBMISSION AND APPROVAL OF APPROPRIATE AND REQUIRED SHOP DRAWINGS, SAMPLES, ETC. AS DESCRIBED IN THE CONTRACT DOCUMENTS.

5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND FINISHED PRODUCT. ANY ITEMS NOT SPECIFIED, OR IDENTIFIED, BUT REQUIRED TO COMPLETE AN ASSEMBLY, SYSTEM, ETC. SHALL BE CONSIDERED PART OF THIS CONTRACT 6. THE CONTRACTORS SHALL COORDINATE AND ASSURE THEMSELVES THAT ALL ITEMS OF WORK WILL FIT AND FUNCTION IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS AND THAT INDIVIDUAL PIECES OF THE SAME AND DIFFERENT SYSTEMS WILL PROPERLY FUNCTION IN CONFORMANCE WITH THE MANUFACTURER AND INDUSTRY STANDARD REQUIREMENTS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE, INSIDE OR OUTSIDE THE LIMIT OF WORK DUE TO OPERATIONS. THE CONTRACTOR SHALL RESTORE ALL DAMAGED AREAS OR ITEMS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY PROTECTION AS REQUIRED TO PROPERLY SECURE THE BUILDING FROM INTRUDERS. ANIMALS. AND THE ELEMENTS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING MATERIAL OR SYSTEM INTEGRATED WITH SCOPE OF WORK FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND OBJECTIVES OF THIS PROJECT. ALL CLEARANCES AND CONFLICTS OF ANY AND ALL CONSTRUCTION; FRAMING/ MECHANICAL/ PLUMBING/ ELECTRICAL/ ETC REQUIRED SHALL BE ADJUSTED FOR PROPER FIT, ACCESSIBILITY AND FUNCTION. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES NOT IDENTIFIED, INDICATED OR DESCRIBED IN THE DRAWINGS. INDIVIDUAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE CONFORMANCE OF THEIR DESIGN AND EXECUTION TO ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES AND ORDINANCES, ZONING BYLAWS AND GOVERNING AGENCIES AS WELL AS OSHA, NFPA AND THE HEALTH ACTS. THE CONTRACTOR SHALL COORDINATE ALL N.I.C., OWNER SUPPLIED, AND FURNISHED ITEMS AS REQUIRED.

10. THE CONTRACTOR SHALL WORK IN A CLEAN, ORGANIZED, AND PROFESSIONAL MANNER AND SHALL BE RESPONSIBLE FOR MAINTAINING THE SAFETY AND SECURITY OF THE SITE DURING CONSTRUCTION.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF TRASH FROM THE SITE. ON A WEEKLY BASIS. AT A MINIMUM. AND MAINTAIN A SAFE AND ORDERLY CONDITION

MATERIALS SPECIFIED ARE FOR CONFIGURATION, QUALITY, AND PERFORMANCE. DEMONSTRATED EQUALS WILL BE AMENABLE AND ACCEPTABLE WITH OWNER'S WRITTEN APPROVAL (UNLESS OTHERWISE NOTED IN CONTRACT DOCUMENTS.

13. COORDINATE ALL DIMENSIONS OR EQUIPMENT AND BUILT IN ITEMS WITH FINAL PLACEMENT LOCATIONS AS-BUILT CONDITIONS.

14. ALL MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RELATED TRADE PRACTICES OR STANDARDS. THE PREPARATIONS AND MODIFICATIONS OF UNDERLYING CONDITIONS SHALL BE COMPLETE AND READY FOR THE NEXT TRADE OR PRODUCT. ALL WORK SHALL BE IN CONFORMANCE WITH GOOD TRADE PRACTICE AND PERFORMED BY SKILLED WORKERS, TRAINED IN THE INSTALLATION OF THE PRODUCT BEING INSTALLED. WORK NOT CONFORMING TO THESE REQUIREMENTS SHALL BE CAUSE FOR REJECTION. SATISFACTORY REMEDIES MAY INVOLVE COMPLETE REMOVAL AND REPLACEMENT OF DEFECTIVE WORK OR MATERIAL AT THE CONTRACTORS EXPENSE

15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED DRAWINGS, CALCULATIONS AND DIAGRAMS FOR PLUMBING, MECHANICAL AND ELECTRICAL PERMITS AND TO INSTALL REQUIRED COMPONENTS TO MEET ALL APPLICABLE CODES. 16. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED DRAWINGS. CALCULATIONS, DIAGRAMS AND CERTIFICATION FOR CONTRACTOR SUPPLIED SYSTEMS FOR REQUIRED PERMITTING AND AS REQUIRED TO MEET ALL APPLICABLE CODES. 17. IN THE EVENT OF A CONFLICT WITH ITEMS OR SYSTEMS SPECIFIED OR DETAILED IN MORE THAN ONE LOCATION, THE CONTRACTOR SHALL PROVIDE THE MORE EXPENSIVE OR HIGHER QUALITY ITEM AT NO COST TO THE OWNER.

18. THE CONTRACTOR IS ADVISED THAT THE OWNER AND OTHER CONTRACTORS MAY BE PERFORMING WORK DURING THE PERFORMANCE OF HIS WORK. COMPLETE COOPERATION AND COORDINATION IS REQUIRED.

19. ANY CONTRACTOR, SUBCONTRACTOR, INDIVIDUAL, COMPANY, OR THEIR DESIGNEES PERFORMING WORK OR SERVICES FOR THIS PROJECT, BE IT FOR MATERIALS, LABOR OR BOTH SHALL BE RESPONSIBLE FOR THE DETAILED EXAMINATION OF EXISTING CONDITIONS AT THE SITE. AS INDICATED IN DRAWINGS, OR IN OTHER INFORMATION AVAILABLE FROM A PUBLIC AGENCY OR UTILITY COMPANY. NO CONSIDERATION SHALL BE GIVEN FOR CLAIMS MADE AS A RESULT OF FAILURE TO UNDERSTAND, IDENTIFY OR ESTABLISH EXISTING CONDITIONS. ANY DAMAGE TO EXISTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REPAIRED AT HIS OWN EXPENSE 20. THE CONTRACTOR SHALL SUPPLY ALL ITEMS IDENTIFIED TO BE PROVIDED IN THE SPECIFICATIONS OR THE DRAWING INDEPENDENT OF BEING INDICATED WITHIN THE OTHER.

21. CONTRACTOR TO PROVIDE 'UTILIGUARD SYSTEM' ENERGY MANAGEMENT SYSTEMS OR APPROVED EQUAL ON ALL ELECTRICAL POWER PANELS FOR ENERGY/GREEN SYSTEMS.

#### **GENERAL NOTES**

**ROOM NAME & NUMBER** 

SEE FINISH SCHEDULE

DOOR NUMBER - SEE

WINDOW NUMBER - SEE

WINDOW SCHEDULE

**PARTITION TYPE - SEE** 

FLOOR FINISH TAG

**ELEVATION MARK** 

INTERIOR ELEVATION

PLAN NOTE NUMBER

LOUVER MARK

**REVISION MARK** 

DETAIL MARK

INSULATION

CONCRETE

G.W.B.

MARK

BRICK / BLOCK ELEV.

STUCCO, PLASTER OR

GRADE / EARTH

**BUILDING SECTION** 

WALL SECTION MARK

DETAIL MARK

MARK

COLUMN GRID

REFERENCE

SHEET A000

DOOR SCHEDULE

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO PREPARATION OF HIS BID AND HOROUGHLY FAMILIARIZE HIMSELF WITH CONDITIONS OF THE CONSTRUCTION AREA ND WORK REQUIRED TO PERFORM THE WORK OF THIS CONTRACT. OBTAIN IMENSIONS BY CALCULATION, . IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR HALL REQUEST CLARIFICATION FROM THE <u>DO NOT SCALE THE DRAWINGS</u>

RCHITECT PRIOR TO CONTINUING CONSTRUCTION OF THE AREA IN QUESTION. THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1606 OF THE 023 FLORIDA BUILDING CODE. ALL DIMENSION ARE TAKEN FROM FACE OF MASONRY OR STUD UNLESS NOTED

ALL CONDUIT, PIPING, AND DUCTWORK PENETRATING ANY RATED ASSEMBLY; LOOR, CEILING OR WALL SHALL HAVE AN APPROVED FIRE RATED ASSEMBLY FOR HE SPECIFIC APPLICATION. ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE LOCATED ON SITE PER

R REQUIRED SHALL BE PRESSURE PRESERVATIVE TREATED. ALL EXTERIOR STEEL STUD CONSTRUCTION SHALL BE MINIMUM 20 GAGE WITH A IAXIMUM SPACING OF 24" O.C. ALL INTERIOR STEEL STUD CONSTRUCTION SHALL BE IINIMUM 25 GAGE WITH A MAXIMUM SPACING OF 24" O.C. WITH NO EXCEPTION

8. AT ALL PERIMETER STOREFRONT WINDOW FRAMING PROVIDE CLOSED END FLAT POCKET FILLER.

9. AT ALL PERIMETER STOREFRONT FRAME ASSEMBLIES PROVIDE MIN. |" SHIM. STOREFRONT TO BE CLEANED OF ALL FOREIGN DEBRIS, I.E. STUCCO, PRIOR TO SEALANT APPLICATION

10. HIGH PERFORMANCE STOREFRONT WINDOW SILL TO BE EXTRUDED ALUMINUM WITH CLOSED END PAN. 11. SEE FLOOR PLANS AND REFLECTED CEILING PLANS FOR SPECIFIC ELEVATIONS AND DETAILS.

12. INSTALL THRESHOLDS AT ALL EXTERIOR DOORS, AT FIRE RATED DOORS, AND DOORS BETWEEN AIR CONDITIONED & NON AIR CONDITIONED SPACES AND WHERE MATERIALS CHANGE ON EITHER SIDE. 13. ALL SOFFIT SYSTEMS, ROOF SYSTEMS AND WINDOW SYSTEMS TO MEET ALL

UPLIFT AND SHAPE CRITERIA AS REQUIRED BY CODES.

14. SPECIFICATIONS AND REQUIREMENTS INDICATED ON STRUCTURAL, MECHANICAL, ALL LUMBER IN CONTACT WITH THE SOIL, CONCRETE, MASONRY, OR AS INDICATED PLUMBING AND ELECTRICAL DRAWINGS ARE CONSIDERED MINIMUM ACCEPTABLE CRITERIA AND MAY BE SUPERCEDED BY MORE STRINGENT CRITERIA REQUIRED AS PART OF ARCHITECTURAL DOCUMENTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR ANY POSSIBLE CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCING THE SPECIFIC WORK.

15. CONTRACTOR TO COORDINATE AND VERIFY ALL EXTERIOR WALL CONTROL AND EXPANSION JOINTS PRIOR TO THE COMMENCEMENT OF SPECIFIC WORK.

16. ALL GLASS TO BE TEMPERED PER CODE ADJACENT TO DOORS, ETC.

20. PROVIDE CORNER BEADS @ ALL STUCCO & DRYWALL RETURNS.

NOTED OTHERWISE

17. PROVIDE DURAROCK TILE BACKER BOARD @ ALL LOCATIONS SCHEDULED FOR TILE FINISH

18. PROVIDE VINYL BASE @ ALL WALLS UNLESS OTHERWISE SPECIFIED/NOTED. 19. PROVIDE CASING BEADS @ ALL STUCCO AND DRYWALL TRANSITIONS TO DIFFERENT MATERIAL. PROVIDE SEALANT JOINT W/ BACKER ROD OR BOND BREAK. TYPICAL UNLESS NOTED OTHERWISE.

21. EXTEND ALL NON BEARING WALLS TO 4" ABOVE FINISH CEILING UNLESS NOTED OTHERWISE 22. PROVIDE CONTROL JOINTS BETWEEN DIFFERENT CONSTRUCTION TYPES. I.E. METAL FRAMING AND C.I.P. OR C.M.U.

CONSTRUCTION. 23. ALL FINISHES SHALL BE PROTECTED WHERE INDICATED AS FINAL FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS TO PRODUCE A UNIFORM FINISH. 24. PROVIDE STEEL TROWEL FINISH AT ALL BEAM DETAILS, WINDOW SILLS AND UPPER ROOF AND COLUMN CAPS UNLESS

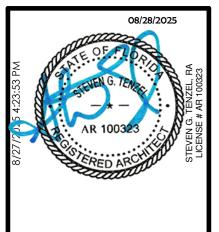
25. EXTERIOR PAINT - 2 COLOR LOCATIONS - TO BE DETERMINED BY ARCHITECT/OWNER. 26. ARCHITECT SHALL BE INDEMNIFIED, HELD HARMLESS FOR ANY HURT, LOSS, OR DAMAGE DUE TO ANY AND ALL OWNER FINISH SELECTIONS.



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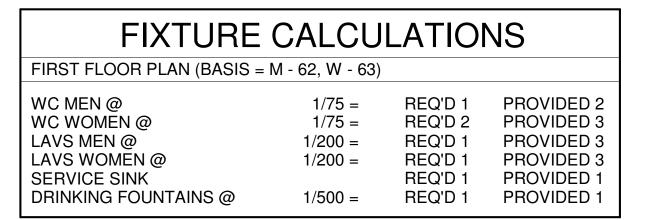
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ABBREVIATIONS. .EGENDS, & NOTES 25-01934



#### FIXTURE CALCULATIONS - POOL

TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE

SIZE OF POOL (SF)	MEN'S RESTROOM			WOMEN'S RESTROO	
SIZE OF FOOL (SF)	URINALS	WC	LAVATORY	WC	LAVATOR
3,333 SF	1	2	3	3	3

TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE						
MEN'S RESTROC	OMS	WOMEN'S RESTR	ROOMS			
WC LAVATORY		WC	LAVATORY			
1 per 2,500 for the first 10,000, 1 per 5,000 for the remainder exceeding 10,000	1 per 5,000 for the first 10,000, 1 per 10,000 for the remainder exceeding 10,000	1 per 1,250 for the first 10,000, 1 per 2,500 for the remainder exceeding 10,000	1 per 5,000 for the first 10,000, 1 per 10,000 for the remainder exceeding 10,000			

107

STORAGE

CLOSET

102

72 SF

105

**VESTIBULE** 

106

MECH ROOM

101

TRAVEL DISTANCE

**GREAT ROOM** 

100

931 SF

33' - 5"

TRAVEL DISTANCE

ROOM OCCUPANCY SCHEDULE						
ROOM NUMBER	ROOM NAME	OCCUPANCY CLASSIFACTION	GROSS ROOM AREA	OCCUPANT LOAD FACTOR	OCCUPANCY LOAD CALCULATED	REQUIRED EGRESS WIDTH
100	GREAT ROOM	ASSEMBLY (NON-FIXED SEATS)	931 SF	15 SF NET	62 PPL	12.4"
101	MECH ROOM	NO OCCUPANCY	26 SF			
102	STORAGE CLOSET	STORAGE	72 SF	300 SF GROSS	1 PPL	0.2"
103	KITCHENETTE	ASSEMBLY (NON-FIXED SEATS)	180 SF	15 SF NET	12 PPL	2.4"
104	MEN'S RESTROOM	NO OCCUPANCY	171 SF			
105	WOMEN'S RESTROOM	NO OCCUPANCY	191 SF			
106	VESTIBULE	CIRCULATION				
107	JANITOR	NO OCCUPANCY	45 SF			
108	COVERED LANAI	ASSEMBLY (NON-FIXED SEATS)	741 SF	15 SF	50 PPL	10"
109	FRONT ENTRY	CIRCULATION				
				TOTALS:	125 PPL	25.0"
NOTES:				TOTAL	ECDECC DDOVIDED.	000"

TOTAL EGRESS PROVIDED: 288" SCHEDULE COMPLIES WITH FBC 2023 8TH EDITION TABLE 1004.5 FBC 8TH ED. 2023 CH. 10 SECTION 1005.3.1 - REQUIRED EGRESS WIDTH IN INCHES FOR STAIRWAYS SHALL PROVIDE A MIN. OF .3" PER OCCUPANT, OCCUPANT FACTOR MAY BE REDUCED TO .2" IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM FBC 8TH ED. 2023 CH. 10 SECTION 1005.3.2 - REQUIRED EGRESS WIDTH IN INCHES FOR OTHER EGRESS COMPONENTS SHALL PROVIDE A MIN. OF .2" PER OCCUPANT.

OCCUPANT FACTOR MAY BE REDUCED TO .15" IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUPANT LOAD OF 100 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH A LATCH OR LOCK ONLY IF THE LATCH OR LOCK IS PANIC HARDWARE OR FIRE EXIT HARDWARE AS PER NFPA 101.12.2.2.2.3

RESTROOM

104

**KITCHENETTE** 

103

181 SF

∑ 172 SF

FBC 8TH ED. 2023 CH. 10 TABLE 1006.2.1 - AN ASSEMBLY OCCUPANCY OF 49 PPL OR LESS MAY UTILIZE A SINGLE MEANS OF EGRESS, HOWEVER WITH 50 OR MORE, TWO MEANS OF EGRESS SHALL BE REQUIRED W/ NECESSARY SEPARATION & DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE

FBC 8TH ED. 2023 CH. 10 SECTION 1004.7 OUTDOOR AREAS

**COVERED LANAI** 

108

741 SF

TRAVEL DISTANCE

28' - 4"

TRAVEL DISTANCE

30' - 8"

TRAVEL DISTANCE

37' - 1"

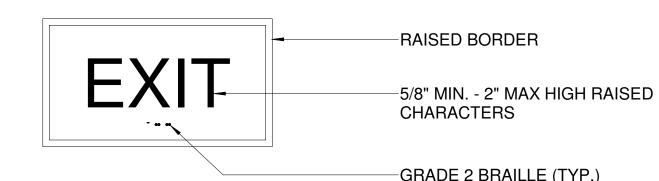
TRAVEL DISTANCE

FRONT ENTRY

109

190 SF

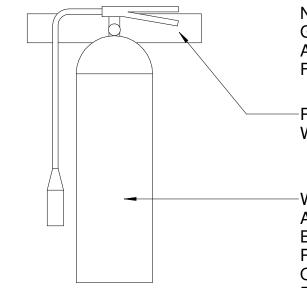
LEGEND SYMBOL DISTRIBUTION NOTES PATH OF TRAVEL FIRE EXTINGUISHER - G.C. TO COORDINATE FINAL LOCATION WITH FIRE MARSHAL EXIT LIGHT SIGN, REF. ELECTRICAL EMERGENCY LIGHTING CEILING PACK, REF. ELECTRICAL



SIGNS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 101, SECT 7.10.1.3 AND ICC/ANSI A117.1, SECT 703.3-703.4

1. ALL COPY AND GRAPHICS SHALL BE RAISED 1/32" 2. LETTER FORM SHALL BE SANS SERIF

#### EXIT DOOR IDENTIFICATION DETAIL SCALE: NTS



GC TO COORD. TYPE AND LOCATION OF ALL FIRE EXTINGUISHERS WITH LOCAL FIRE CHIEF PRIOR TO INSTALLATION

PROVIDE WALL BLOCKING SUPPORT WHERE REQUIRED

-WALL MOUNTED EXTINGUISHER AMEREX MODEL #2160 WITH MOUNTING BRACKET LOCATED IN KITCHEN, IN PUBLIC AREAS PROVIDE AS INDICATED ON PLANS LB-4A60BC FIRE EXTINGUISHERS WITH MOUNTING BRACKET (COORDINATE LOCATIONS WITH FIRE MARSHAL)

FIRE EXTINGUISHER DETAIL SCALE: NTS

# DETAIL - FIRE EXTINGUISHER-EXIT SIGNAGE 1/4" = 1'-0"

#### # KEY NOTES

- DOOR EXIT REQUIRES PANIC HARDWARE AS PER NFPA 101:12.2.2.2.3
- HI-LOW DRINKING FOUNTAIN, REFER TO MEP DRAWINGS, REFER TO DETAIL 8/A102
- 3 SERVICE SINK, REFER TO MEP DRAWINGS
- 4 WATER HEATER
- 5 FIRE EXTINGUISHER, REFER TO DETAIL 2/A100
- 6 30"x48" CLEAR FLOOR SPACE
- 7 60" DIA.CLEAR FLOOR SPACE
- 8 56"x60" CLEAR FLOOR SPACE
- 9 34" MAX. HT. ADA COUNTERTOP
- 10 KNOX BOX INSTALLED AT FRONT ENTRANCE AT 6FT A.F.F.





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LIFE SAFETY PLAN

25-01934 A100

## FIXTURE CALCULATIONS

FIRST FLOOR PLAN (BASIS = M - 62, W - 63)							
WC MEN @ WC WOMEN @ LAVS MEN @ LAVS WOMEN @ SERVICE SINK	1/75 = 1/75 = 1/200 = 1/200 =	REQ'D 1 REQ'D 2 REQ'D 1 REQ'D 1 REQ'D 1	PROVIDED 2 PROVIDED 3 PROVIDED 3 PROVIDED 3 PROVIDED 1				
DRINKING FOUNTAINS @	1/500 =	REQ'D 1	PROVIDED 1				

## FIXTURE CALCULATIONS - POOL

TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTUR	E COUNT
PER SQUARE FOOT OF POOL SERVICE	

	SIZE OF POOL (SF)	MEN'S RESTROOM			WOMEN'S RESTRO		
		URINALS	WC	LAVATORY	WC	LAVATOR	
	3,333 SF	1	2	3	3	3	

## TABLE 403.6 PUBLIC SWIMMING POOL - REQUIRED FIXTURE COUNT PER SQUARE FOOT OF POOL SERVICE

MEN'S RESTROOI	MS	WOMEN'S RESTR	ROOMS

WC	LAVATORY	WC	LAVATORY
1 per 2,500 for the first 10,000, 1 per	1 per 5,000 for the first 10,000, 1 per	1 per 1,250 for the first 10,000, 1 per	1 per 5,000 for the first 10,000, 1 per
5,000 for the remainder exceeding	10,000 for the remainder exceeding	2,500 for the remainder exceeding	10,000 for the remainder exceeding
10.000	10.000	10.000	10.000

#### **GENERAL NOTES**

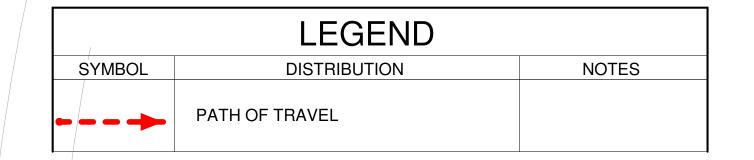
1. THIS SITE PLAN IS PRESENTED FOR INFORMATION PURPOSES OF BUILDING LOCATION ONLY AND SHALL NOT BE VIEWED AS A SURVEY, LANDSCAPE SITE PLAN, IRRIGATION PLAN, PAVING PLAN, GRADING PLAN, DRAINAGE PLAN, OR UTILITY/CIVIL ENGINEERED PLAN

2. ALL BOUNDARY, SETBACK, EASEMENT, UTILITY, AND PERMANENT OBJECT INFORMATION AS SHOWN WAS SUPPLIED TO TOTAL SOLUTIONS GROUP VIA A SURVEY FURNISHED BY A LICENSED SURVEYOR

3. IF A LANDSCAPE SITE PLAN, IRRIGATION PLAN, PAVING PLAN, GRADING PLAN, DRAINAGE PLAN, OR UTILITY/CIVIL ENGINEERED PLAN IS REQUIRED, IT SHALL BE PROVIDED BY OTHERS AS A SEPARATE ATTACHMENT TO THE PERMIT PLAN SET PACKAGE SUBMITTED

4. DIMENSIONS AS SHOWN ARE FROM THE BUILDING CORNERS TO THEIR RESPECTIVE PERPENDICULAR LOCATIONS ALONG THE BOUNDARY LINES

5. PROPOSED FENCES AND/OR GATES ARE PROVIDED AND SUBMITTED BY OTHERS



#### # KEY NOTES

- 1 PERIMETER FENCE @ MIN. 60" ABV. FINISH DECK
- 2 SELF CLOSING SELF LATCHING GATE @ 60" A.F.F. BY OTHERS
- 3 PROPOSED POOL EQUIP. LOCATION

AMENITY CENTER, REFER TO A100 FOR LIFE SAFETY PLAN TRAVEL DISTANCES

\_\_\_\_2

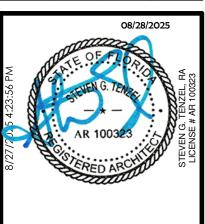
177' - 6"
TRAVEL DISTANCE

5,553 SF

3,333 SF

POOL





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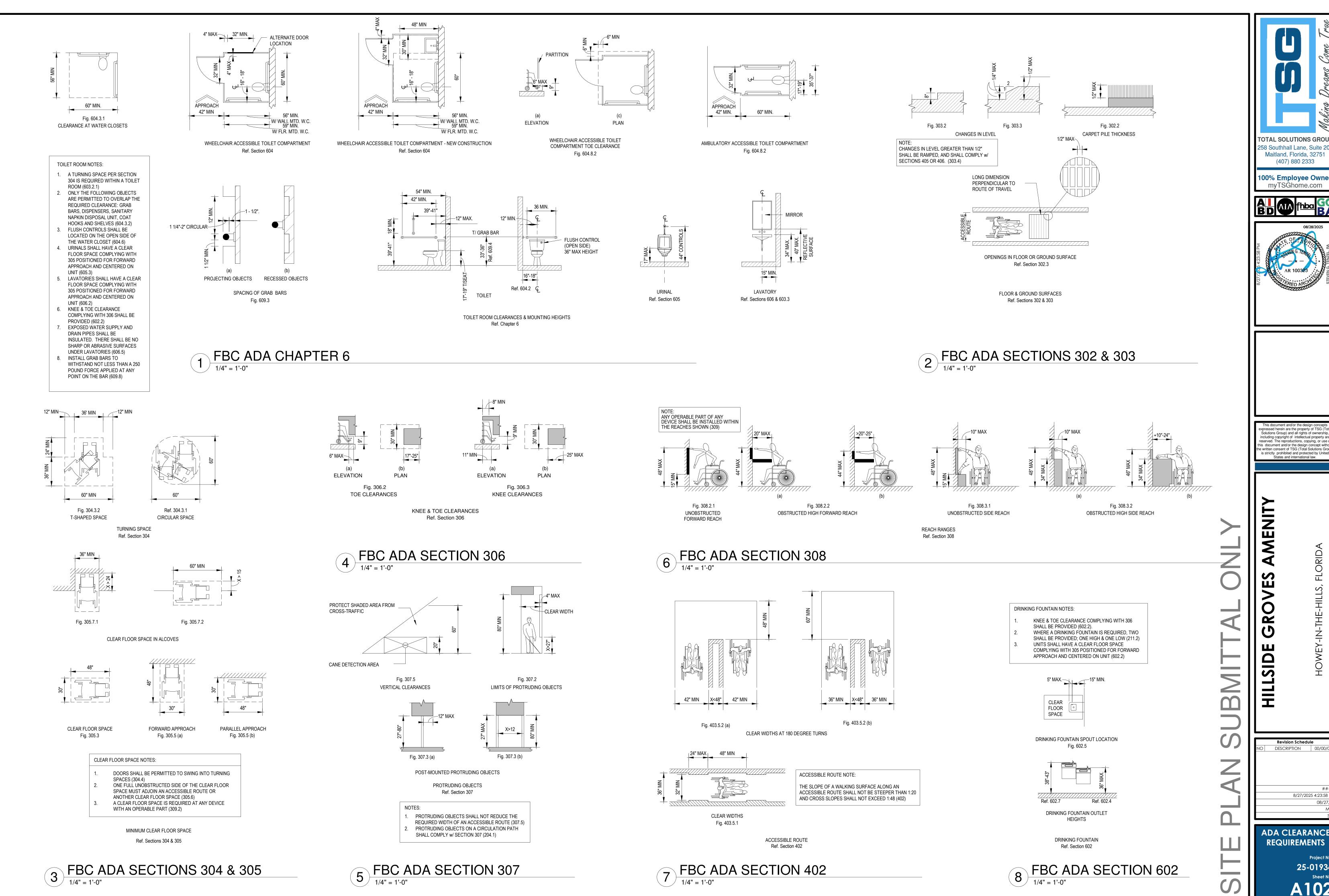
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LIFE SAFETY SITE
PLAN

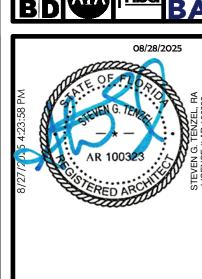
Project No:
25-01934

A101





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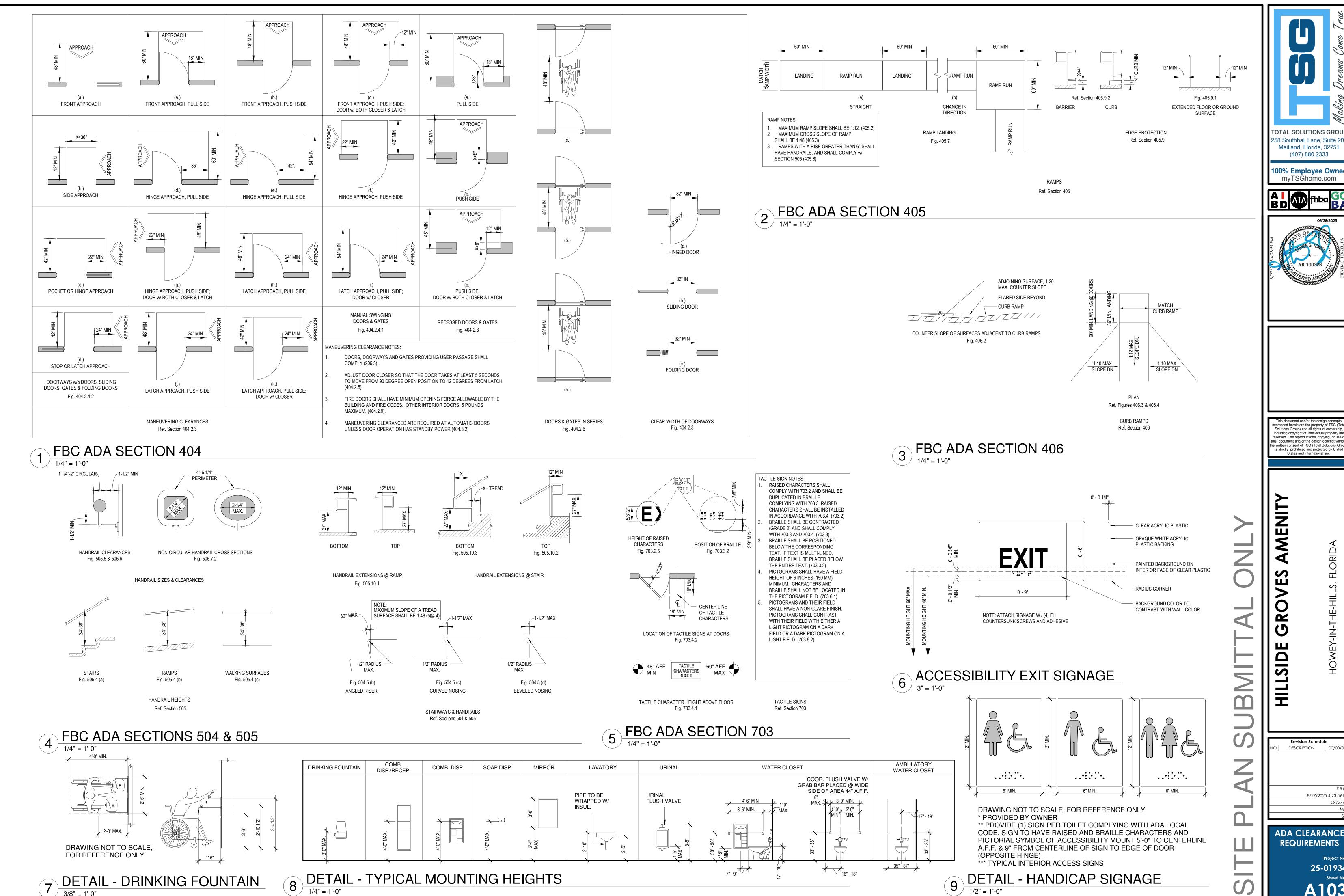
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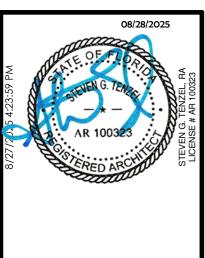
**ADA CLEARANCE REQUIREMENTS** 25-01934

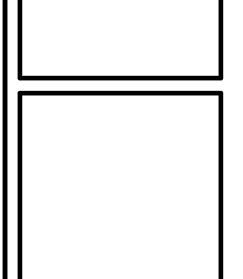
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25-01934

FIGURE 607.2 CLEARANCE FOR BATHTUBS

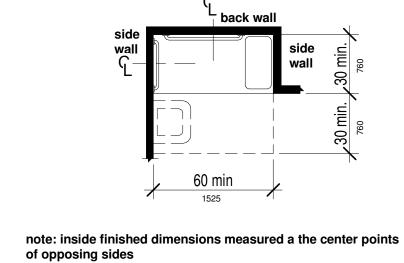


FIGURE 608.2.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

note: inside finished dimensions measured a the center

FIGURE 608.2.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

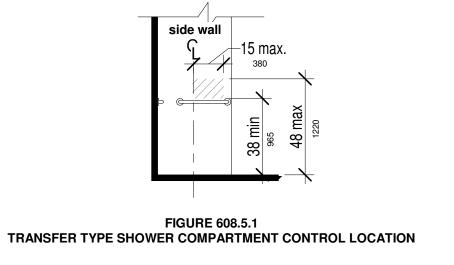


FIGURE 608.3.1 GRAB BARS FOR TRANSFER TYPE SHOWERS

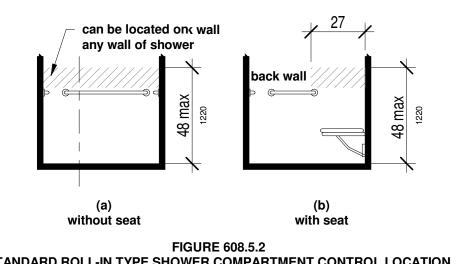
FIGURE 608.3.2 GRAB BARS FOR STANDARD ROLL-IN TYPE SHOWERS

8 FBC ADA SECTION 608.3.1

without seat

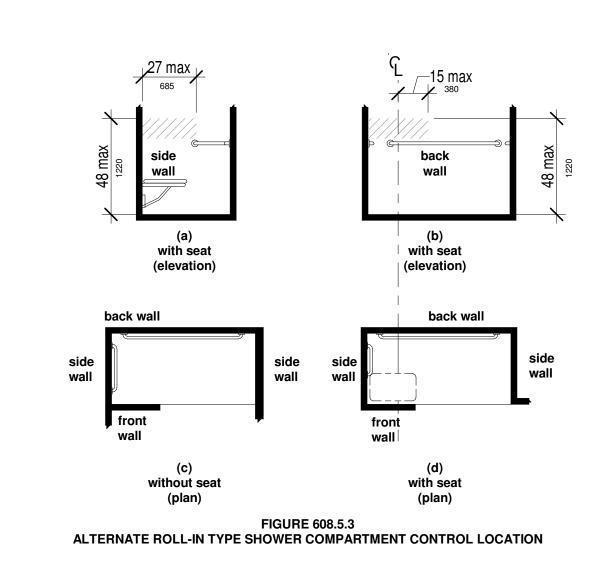


11 FBC ADA SECTION 608.5.1



STANDARD ROLL-IN TYPE SHOWER COMPARTMENT CONTROL LOCATION

7 FBC ADA SECTION 608.2.3 12 FBC ADA SECTION 608.5.2



13 FBC ADA SECTION 608.5.3



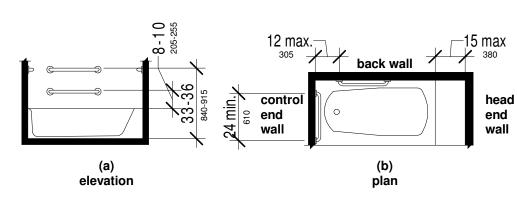
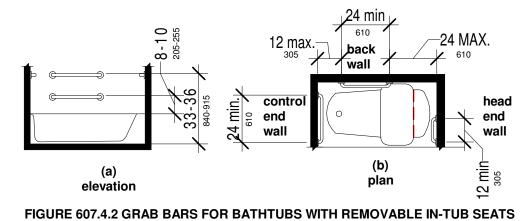


FIGURE 607.4.2 GRAB BARS FOR BATHTUBS WITH PERMANENT SEATS





3 FBC ADA SECTION 607.4.2

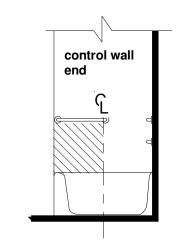


FIGURE 607.5 BATHTUB CONTROL LOCATION



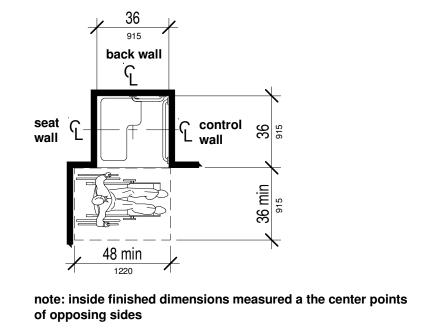
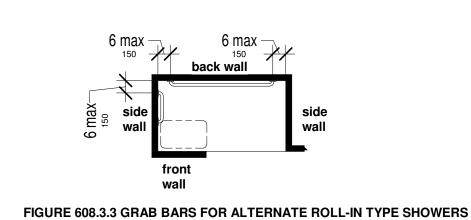


FIGURE 608.2.1 TRANSFER TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

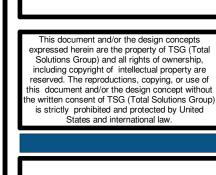
5 FBC ADA SECTION 608.2.1



9 FBC ADA SECTION 608.3.2

10 FBC ADA SECTION 608.3.3



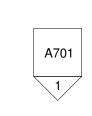


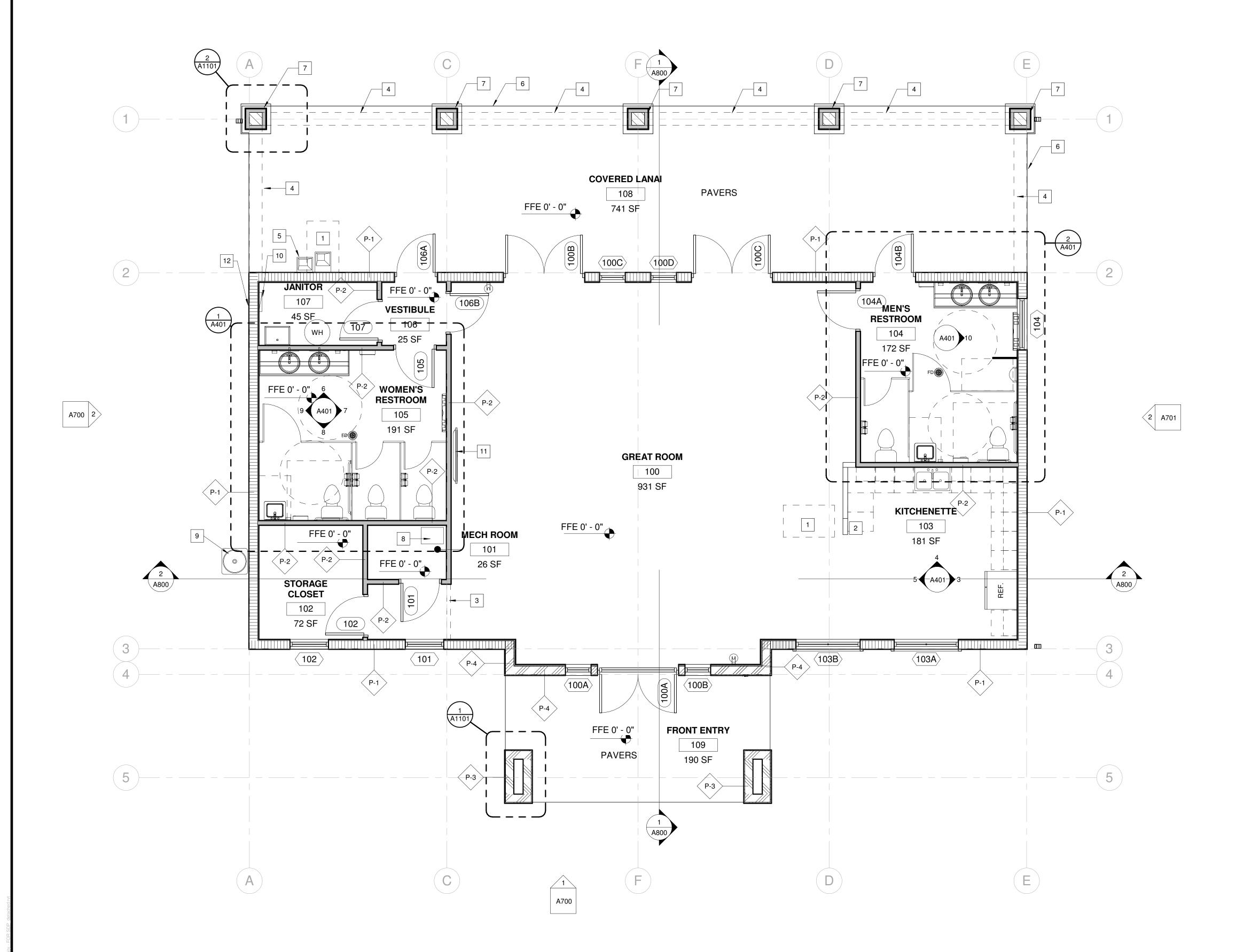
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<b>GROSS AREA TAI</b>	BULATION
AREA NAME	SQUARE FT.
CLUBHOUSE	1829 SF
COVERED LANAI - NON AC	789 SF
FRONT ENTRY - NON AC	207 SF
TOTAL SQUARE FOOTAGE	2826 SF

WAL	L TYPE LEGEND
	8" CONCRETE BLOCK, AT 10'-0" HT
	8" CONCRETE BLOCK, AT 11'-4" HT
	2x 4 WOOD FRAMED WALL

#### # KEYNOTES

- 30X48 ADA. CLR. FLOOR SPACE
- 2 34" MAX. HT. ADA COUNTERTOP

- 7 12X12 CMU COL., HARDIE BD. FINISH, WD. FRAMED BASE FINISH WITH STONE VENEER

- 11 WALL MOUNTED TV, MOUNTING HT. 5'-6" TO CENTER.
- 12 ELECTRICAL METER CAN LOCATION W/ DISCONNECT

- 3 HEADER, REFER TO RCP
- WOOD FRAME BEAM, SEE STRUCT. DWGS.
- 5 LO/HI ADA. WATER FOUNTAIN
- 6 CONC. FLOOR SLAB, TIE TO POOL DECK, SEE STRUCT. DWGS

- 8 AHU UNIT, REFER TO MECHANICAL DRAWINGS
- 9 A/C UNIT, REFER TO MECHANICAL DRAWINGS
- 10 ELECTRICAL PANEL, REFER TO ELECTRICAL DRAWINGS

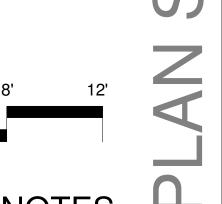
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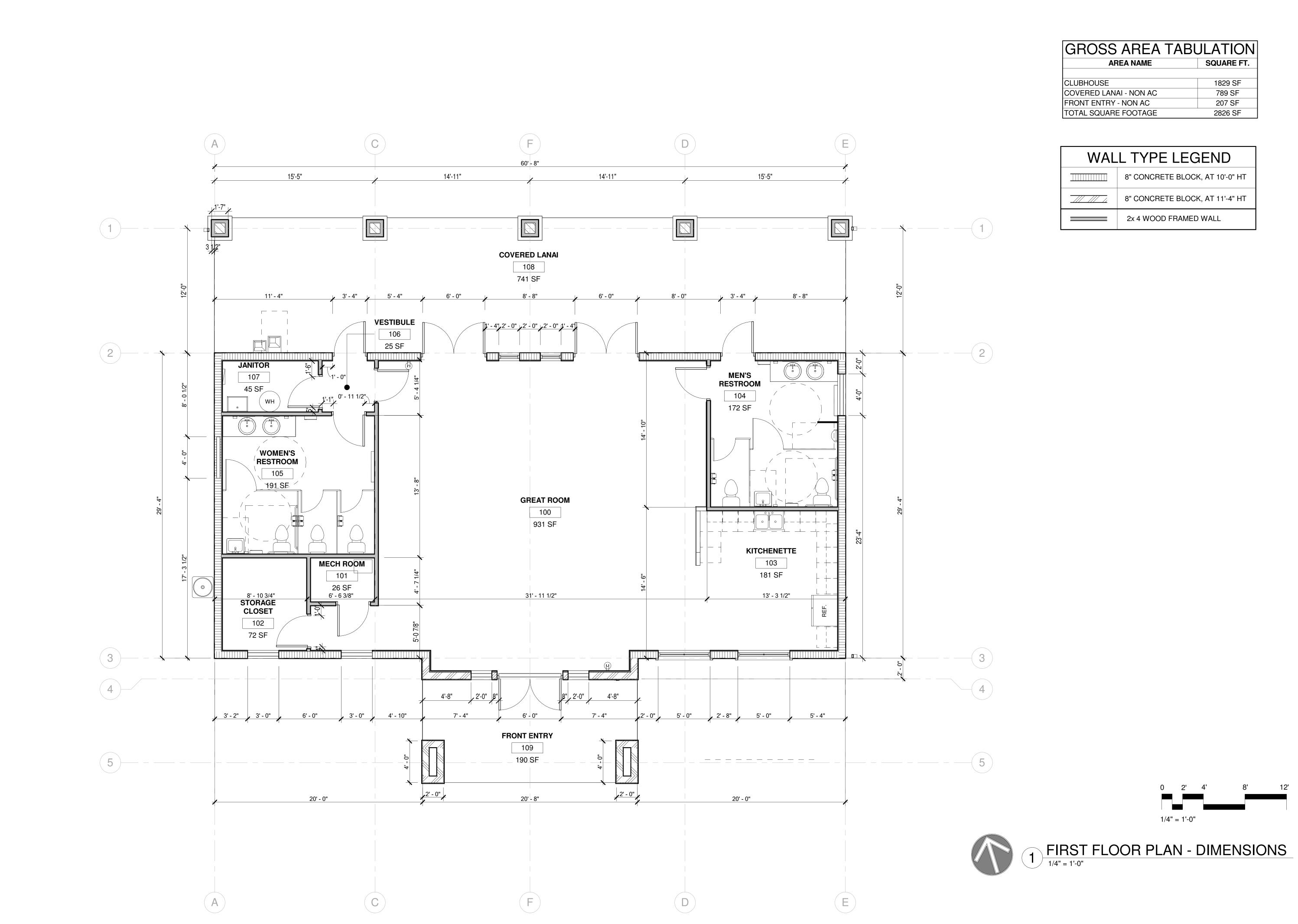


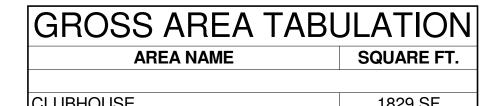


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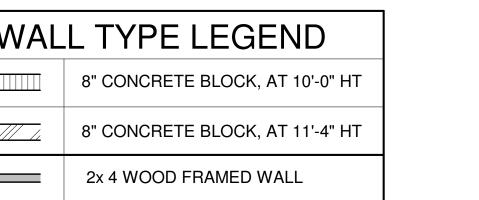






AREA NAME	SQUARE F1.		
CLUBHOUSE	1829 SF		
COVERED LANAI - NON AC	789 SF		
FRONT ENTRY - NON AC	207 SF		
TOTAL SQUARE FOOTAGE	2826 SF		

WALL TYPE LEGEND								
	8" CONCRETE BLOCK, AT 10'-0" HT							
	8" CONCRETE BLOCK, AT 11'-4" HT							
	2x 4 WOOD FRAMED WALL							



1/4" = 1'-0"



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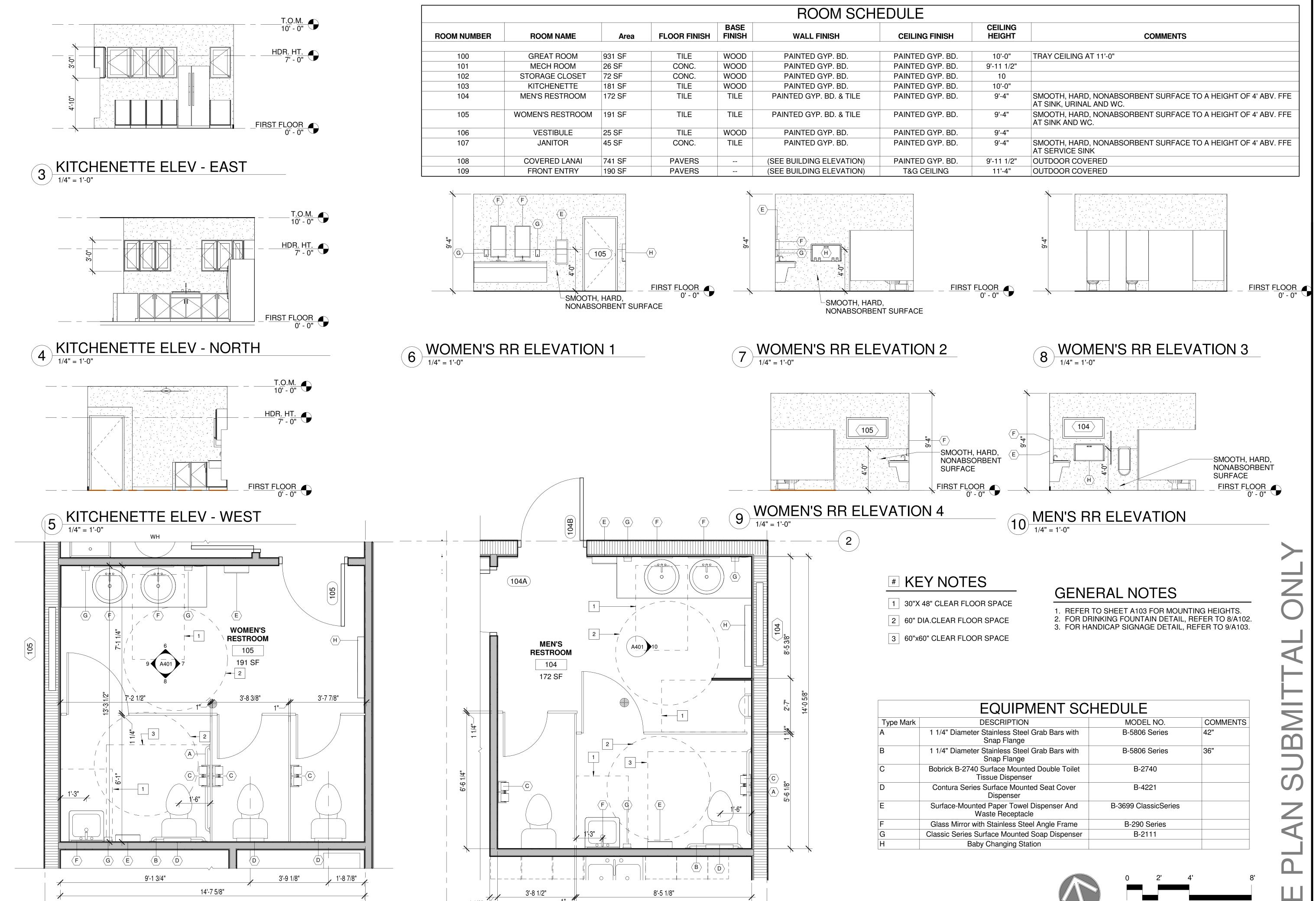
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FLOOR PLAN -DIMENSIONS 25-01934 Sheet No: **A302** 



ENLARGED MENS RR PLAN

ENLARGED WOMENS RR PLAN

TOTAL SOLUTIONS GROU

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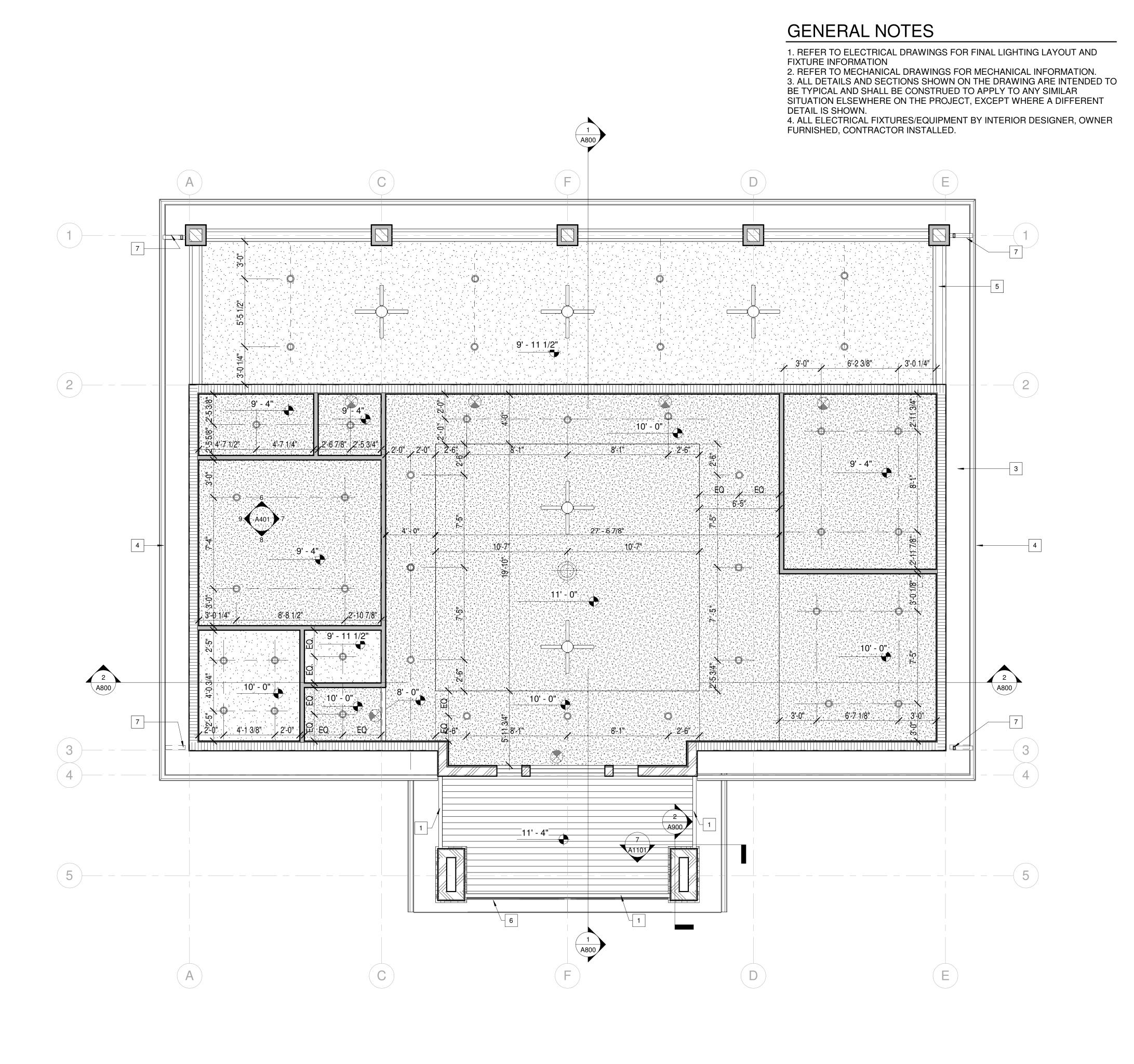
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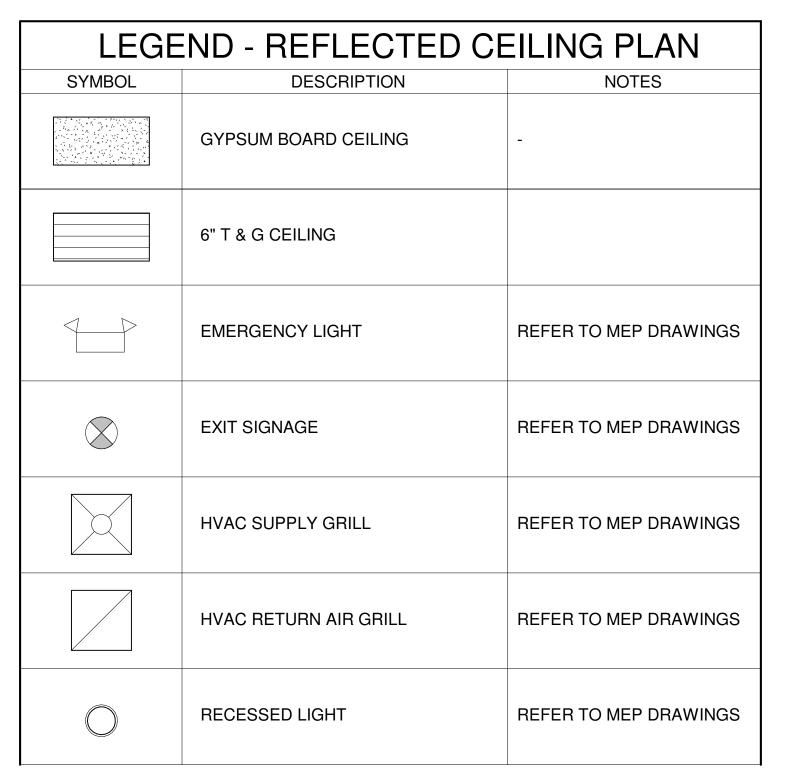
**AMENITY** G R HILLSIDE

DESCRIPTION 00/00/0

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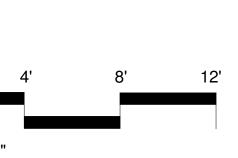


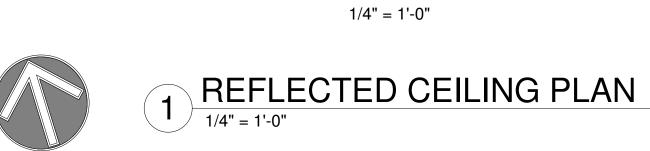
## # KEYNOTES

- WD STRUCT. BEAM, REFER TO STRUCT. DWGS.
- 2 NOT USED
- 3 CONTINUOUS VINYL SOFFIT
- GUTTER SYSTEM, 5" MIN
- 5 2X WD. FRAMED BEAM, SEE STRUCT. DWGS. W/ HARDIE BD. FINISH

7 DOWNSPOUT, MIN 4", TIE TO TERMINATE ON SPLASH BLOCK

6 WD. FRAMED GABLE END W/ HARDIE SMOOTH PANEL AND DECORATIVE HARDIE TRIM, SEE ELEVATION

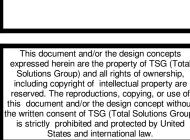








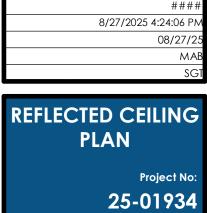




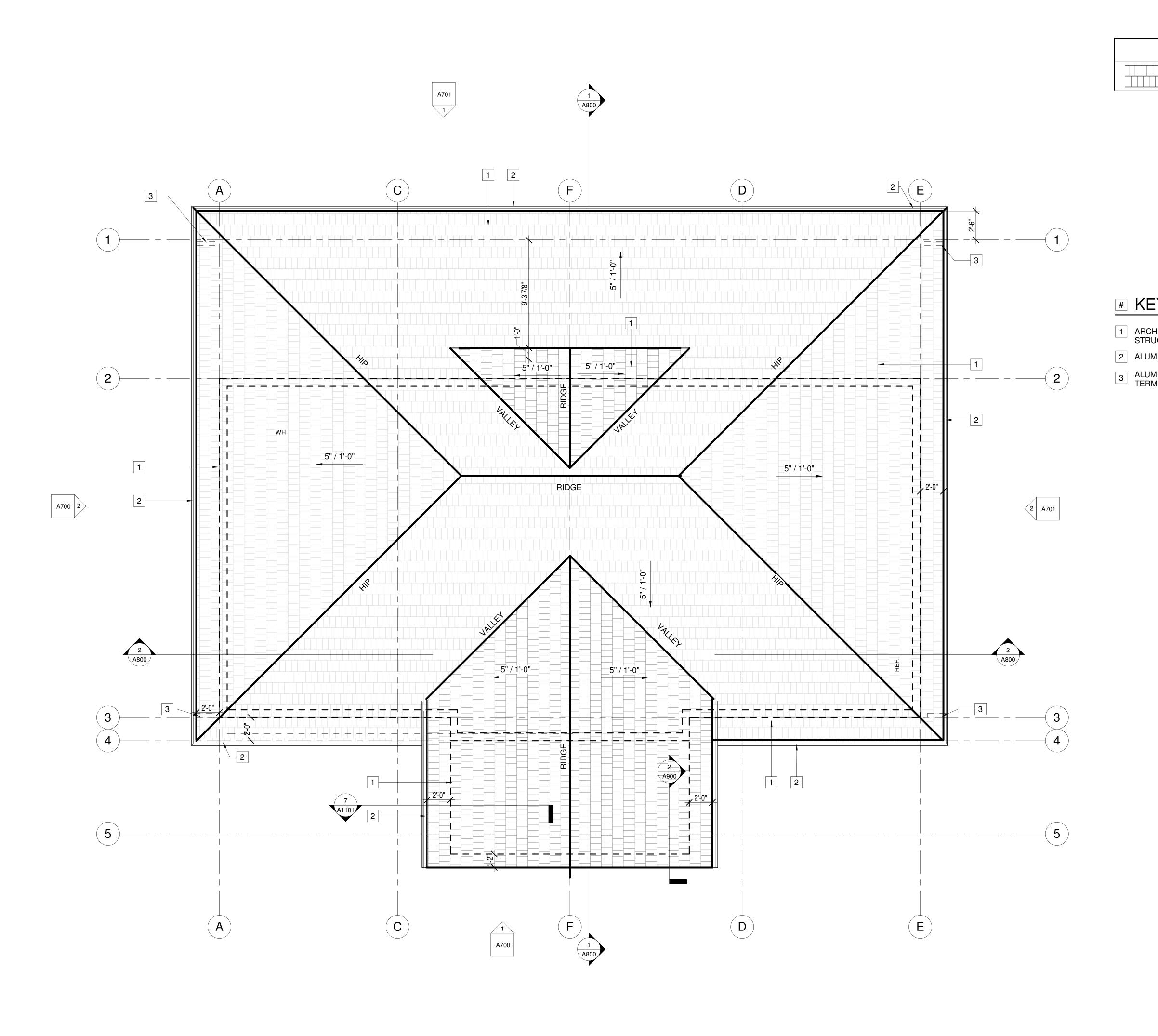
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AMENITY HILLSIDE

DESCRIPTION 00/00/0



A500



ROOF TYPE LEGEND

ARCH. SHINGLES

1 ROOF PLAN
1/4" = 1'-0"

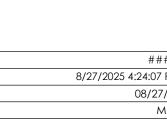
## # KEYNOTES

1 ARCH. SHINGLES, ON ROOFING UNDERLAYMENT ON STRUCT. SHEATHING, ON PRE. ENG. WD. TRUSSES



ALUMINUM DOWNSPOUT, 4" MIN. TERMINATE ON SPLASH BLOCKS.

Revision Schedule
DESCRIPTION 00/00/00







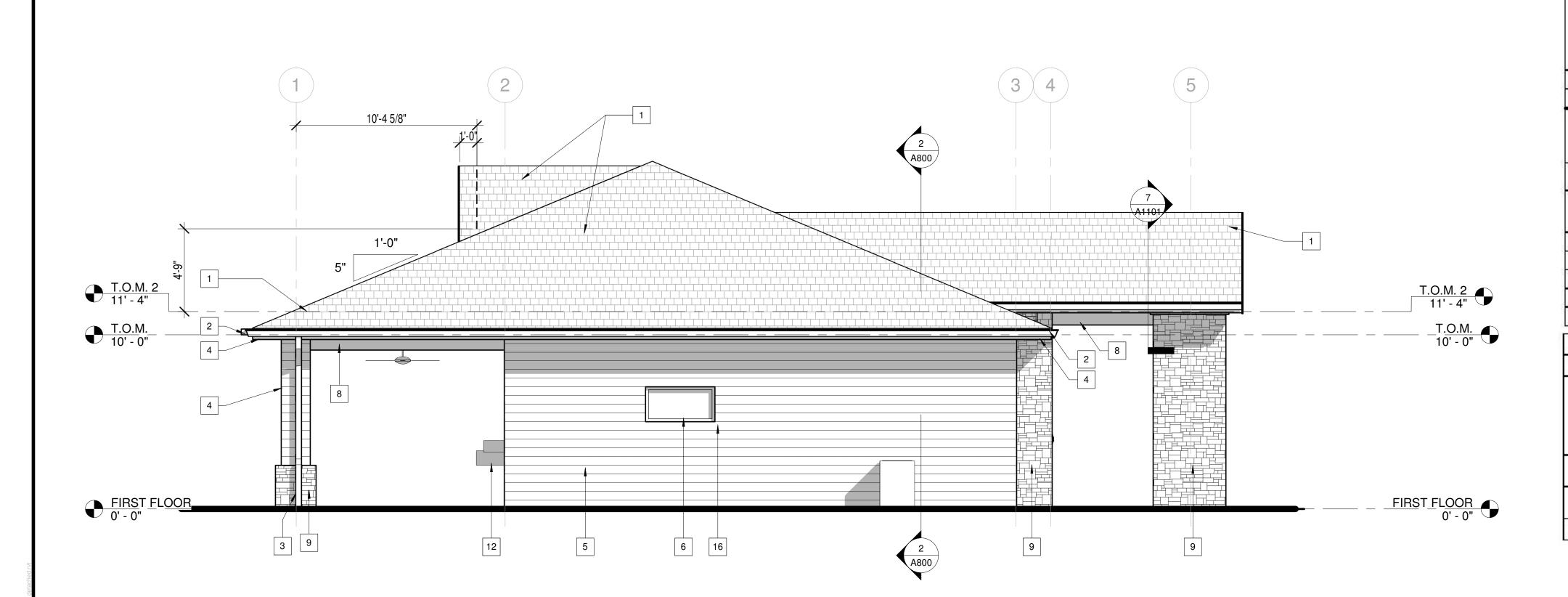
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1 BUILDING ELEVATION - SOUTH

1/4" = 1'-0"

2 BUILDING ELEVATION - WEST

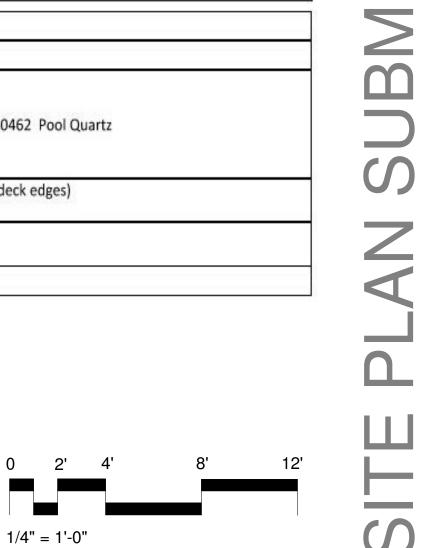


# KEYNOTES

- 9 STONE VENEER W/ STONE CAP SLOPED

- 19 FLASHING

	Exterior Finishes	
Stucco texture and color	Stucco: Accessible Beige SW7036, Finish (Smooth Cementous)	
Exterior Paint	Ceiling: Whitetail SW7103 Doors/Door frames: Granite Peak SW6250 Storage Rooms: Accessible Beige SW7036 Exterior Paint (Hardie): Cadet SW9143 Hardie Trim and Stucco Bands: Snowbound SW7004	
Gutters & Downspouts	White 30	
Stone Veneer/Mortar	Nappenee Laytile from J&N Stone	
Doors/Frames/Hardware	Doors – Granite Peak SW6250 Frames – Granite Peak SW6250 Hardware: Per Drawings Finish- Brushed Alum	
Siding & Trim	Hardie siding – Color – Cadet SW9143 Hardie Trim and Stucco bands – Snowbound SW7004	
Roofing	Shingle Roof: Certainteed Weathered Wood Metal Roof: 24ga Black snaplock metal roof	
aves, Flashing & Soffit, Drip Edge	White	
Fence & Gate Color	Powder Coated Black	
Board & Batten Ceilings	Color – Whitetail SW7103	
Toilet Partitions	Pebble 959	
Flooring	Resuflor 3561V Epoxy Deco Flake ¼" Velvet Feather	
	Hardscape/Other Finishes	
Fences & Gates	PVC pool fence color - White	
Pool Finishes: Tiles/Surface	Pool Tile – NPT - Terrasini Blue Step Edge tile – LUV Tile-2685 Sapphire Blue Interior/Step Edge Finish – PMM Marquis Series- 050462 Pool Quartz Coping – Buff White Zero Entry Grate – Buff White	
Pavers type & Color	Amaretto (12x12 with 4x8 Holland Stone Border at deck edges) Layout – block on block	
Playground	Color Scheme – Creamsicle RSP Color – Chocolate & Latte	
Sidewalks Concrete Finish	Broom Finish	





ARCH. SHINGLES, ON ROOFING UNDERLAYMENT ON STRUCT. SHEATHING, ON PRE. ENG. WD. TRUSSES

2 GUTTER SYSTEM, 5" MIN.

DOWNSPOUT, 4" MIN. TERMINATE ON SPLASH BLOCK

4 2X P.T. WOOD FASCIA BD.

5 HORIZONTAL HARDIE PLANK LAP SIDING, ON WATER RESISTANT BARRIERS

6 ALUMINUM WINDOW, REFER TO WINDOW SCHEDULE

Torefront entrance door, refer to door schedule

WD. STRUCTURAL BEAM, W/ HARDIE FINISH SEE STRUCT.

HEAVY TIMBER TRUSS, REFER TO STRUCT. DWGS.

11 METAL EXTERIOR DOOR, REFER TO DOOR SCHEDULE

12 HI/LO ADA WATER FOUNTAIN

13 HARDIE VERTICAL BOARD & BATTEN SIDING

14 1X6 HARDIE CORNER BD.

15 STONE STRINGCOURSE

16 HARDIE WINDOW AND DOOR TRIM BD.

17 HARDIE SMOOTH PANEL GABLE END

18 DECORATIVE HARDIE TRIM BOARD

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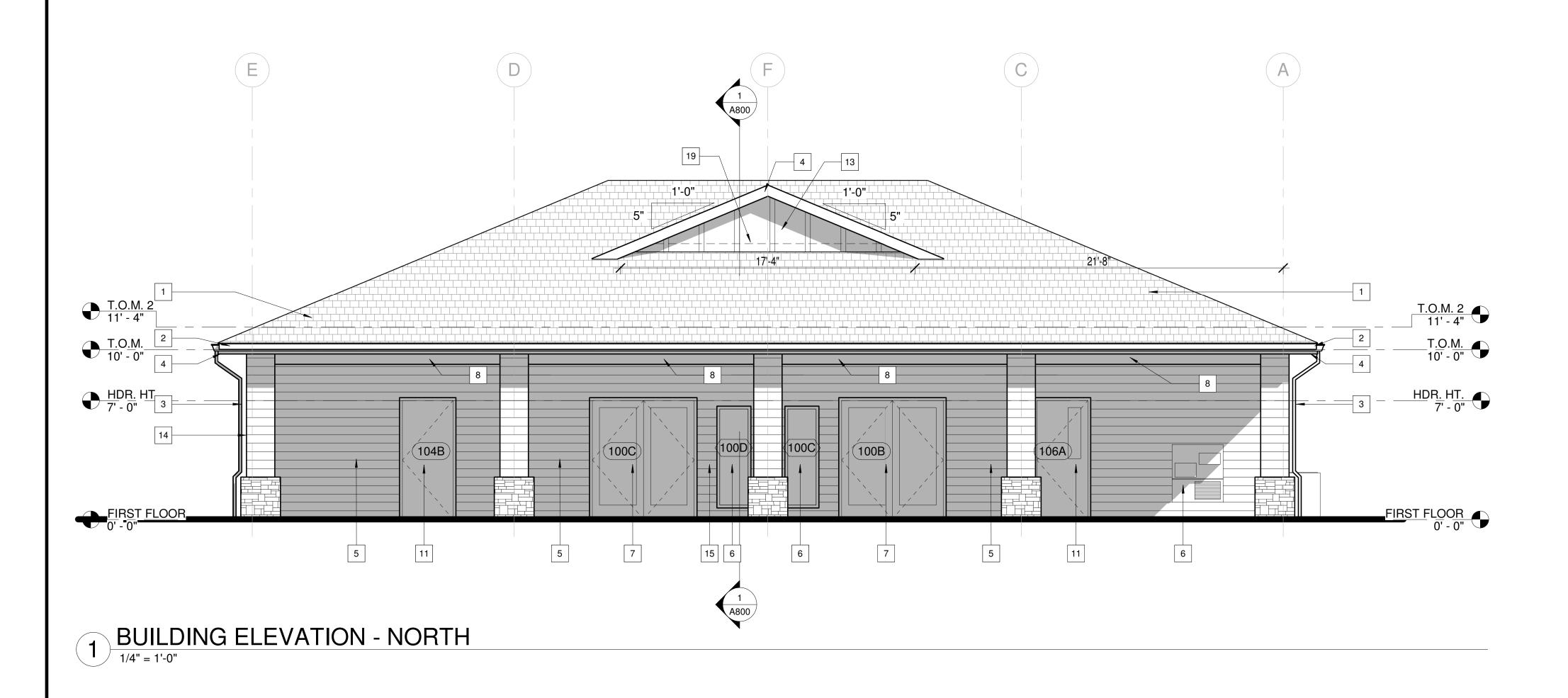
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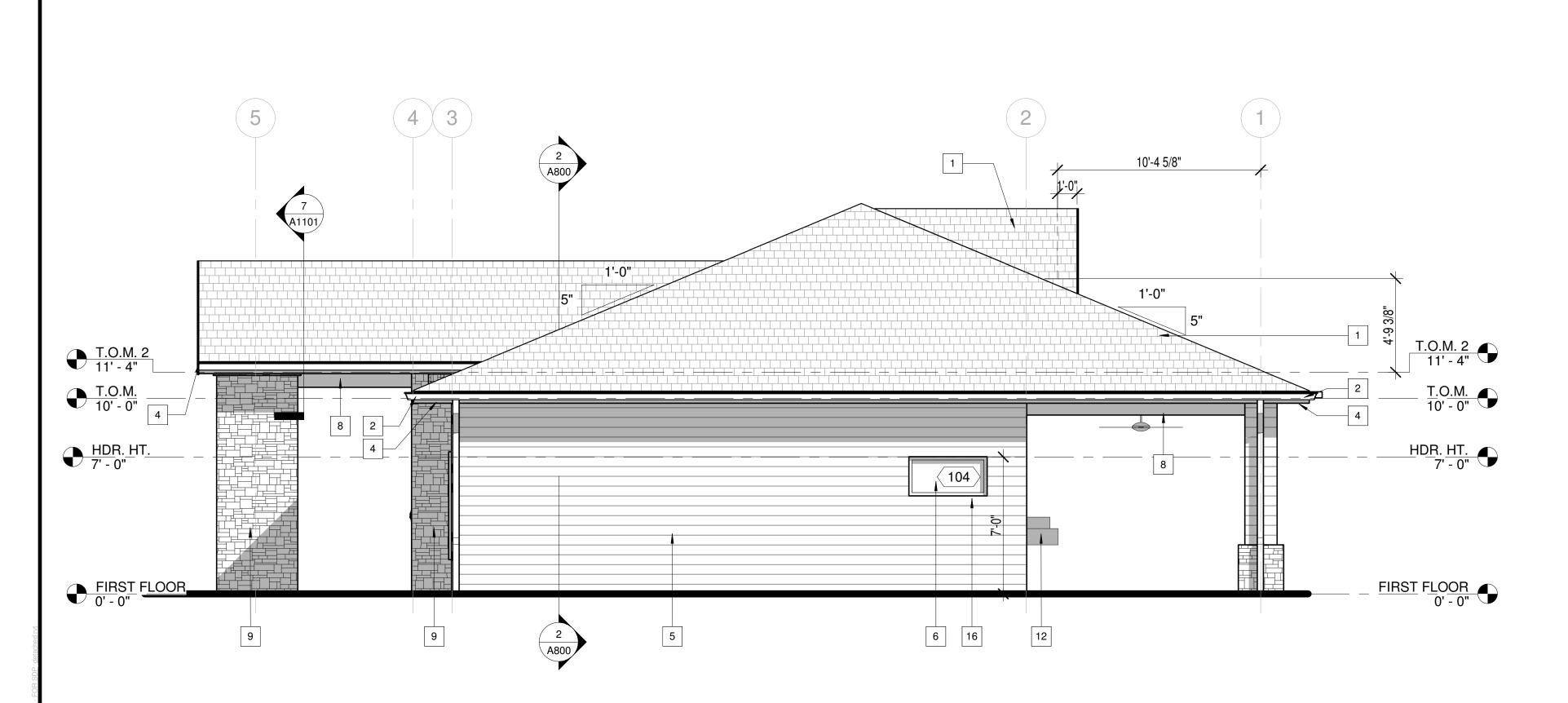
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**AMENITY** 

HILLSIDE

BUILDING **ELEVATIONS** 25-01934 A700





Stucco texture and color	Stucco: Accessible Beige SW7036, Finish (Smooth Cementous)	
Exterior Paint	Ceiling: Whitetail SW7103 Doors/Door frames: Granite Peak SW6250 Storage Rooms: Accessible Beige SW7036 Exterior Paint (Hardie): Cadet SW9143 Hardie Trim and Stucco Bands: Snowbound SW7004	
Gutters & Downspouts	White 30	
Stone Veneer/Mortar	Nappenee Laytile from J&N Stone	
Doors/Frames/Hardware	Doors – Granite Peak SW6250 Frames – Granite Peak SW6250 Hardware: Per Drawings Finish- Brushed Alum	
Siding & Trim	Hardie siding – Color – Cadet SW9143 Hardie Trim and Stucco bands – Snowbound SW7004	
Roofing	Shingle Roof: Certainteed Weathered Wood Metal Roof: 24ga Black snaplock metal roof	
Eaves, Flashing & Soffit, Drip Edge	White	
Fence & Gate Color	Powder Coated Black	
Board & Batten Ceilings	Color – Whitetail SW7103	
Toilet Partitions	Pebble 959	
Flooring	Resuflor 3561V Epoxy Deco Flake ¼" Velvet Feather	
	Hardscape/Other Finishes	
Fences & Gates	PVC pool fence color - White	
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Playground	Color Scheme – Creamsicle RSP Color – Chocolate & Latte	
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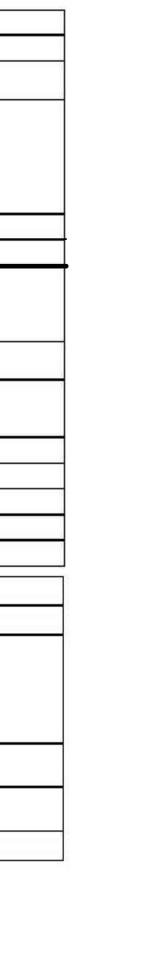
**Exterior Finishes** 

#### # KEYNOTES

- ARCH. SHINGLES, ON ROOFING UNDERLAYMENT ON STRUCT. SHEATHING, ON PRE. ENG. WD. TRUSSES
- 2 GUTTER SYSTEM, 5" MIN.
- DOWNSPOUT, 4" MIN. TERMINATE ON SPLASH BLOCK
- 4 2X P.T. WOOD FASCIA BD.
- 5 HORIZONTAL HARDIE PLANK LAP SIDING, ON WATER RESISTANT BARRIERS
- 6 ALUMINUM WINDOW, REFER TO WINDOW SCHEDULE
- 7 STOREFRONT ENTRANCE DOOR, REFER TO DOOR SCHEDULE
- WD. STRUCTURAL BEAM, W/ HARDIE FINISH SEE STRUCT.
- 9 STONE VENEER W/ STONE CAP SLOPED
- HEAVY TIMBER TRUSS, REFER TO STRUCT. DWGS.
- METAL EXTERIOR DOOR, REFER TO DOOR SCHEDULE
- 12 HI/LO ADA WATER FOUNTAIN
- 13 HARDIE VERTICAL BOARD & BATTEN SIDING
- 14 1X6 HARDIE CORNER BD.
- 15 STONE STRINGCOURSE
- 16 HARDIE WINDOW AND DOOR TRIM BD.
- 17 HARDIE SMOOTH PANEL GABLE END
- 18 DECORATIVE HARDIE TRIM BOARD

1/4" = 1'-0"

19 FLASHING





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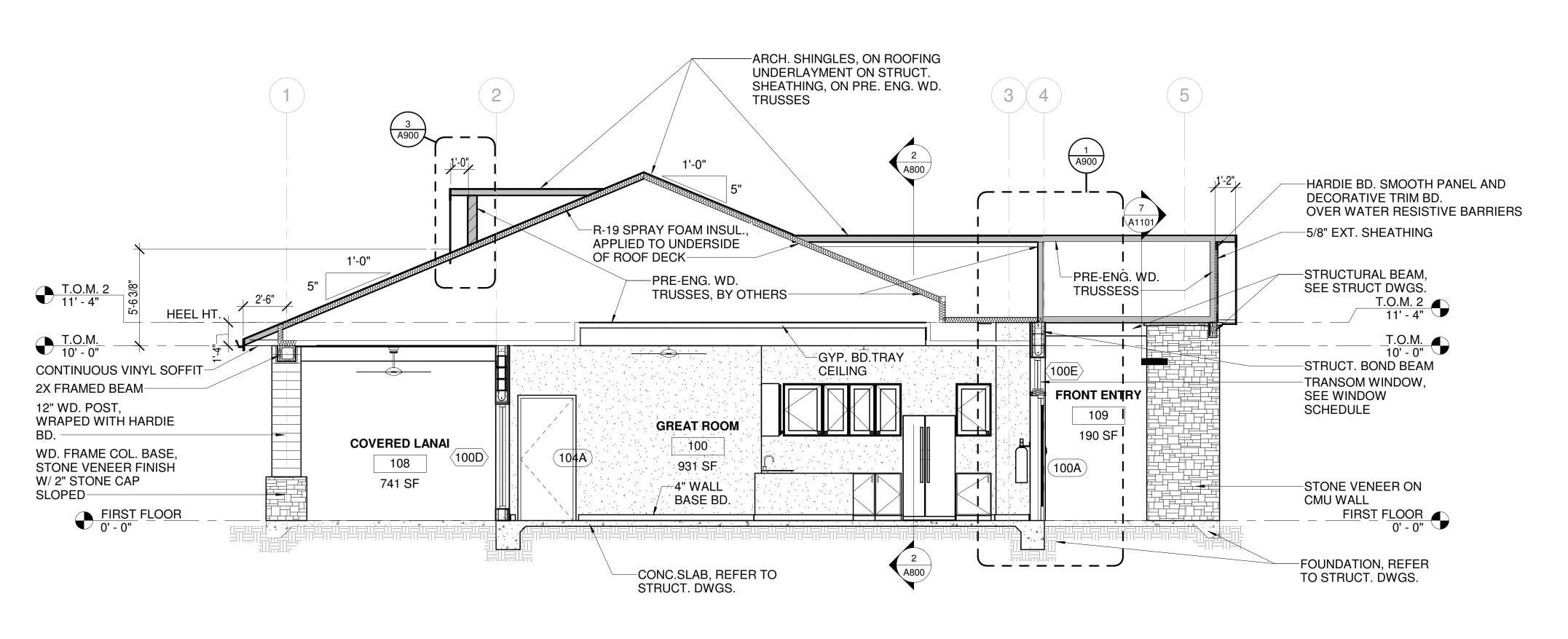
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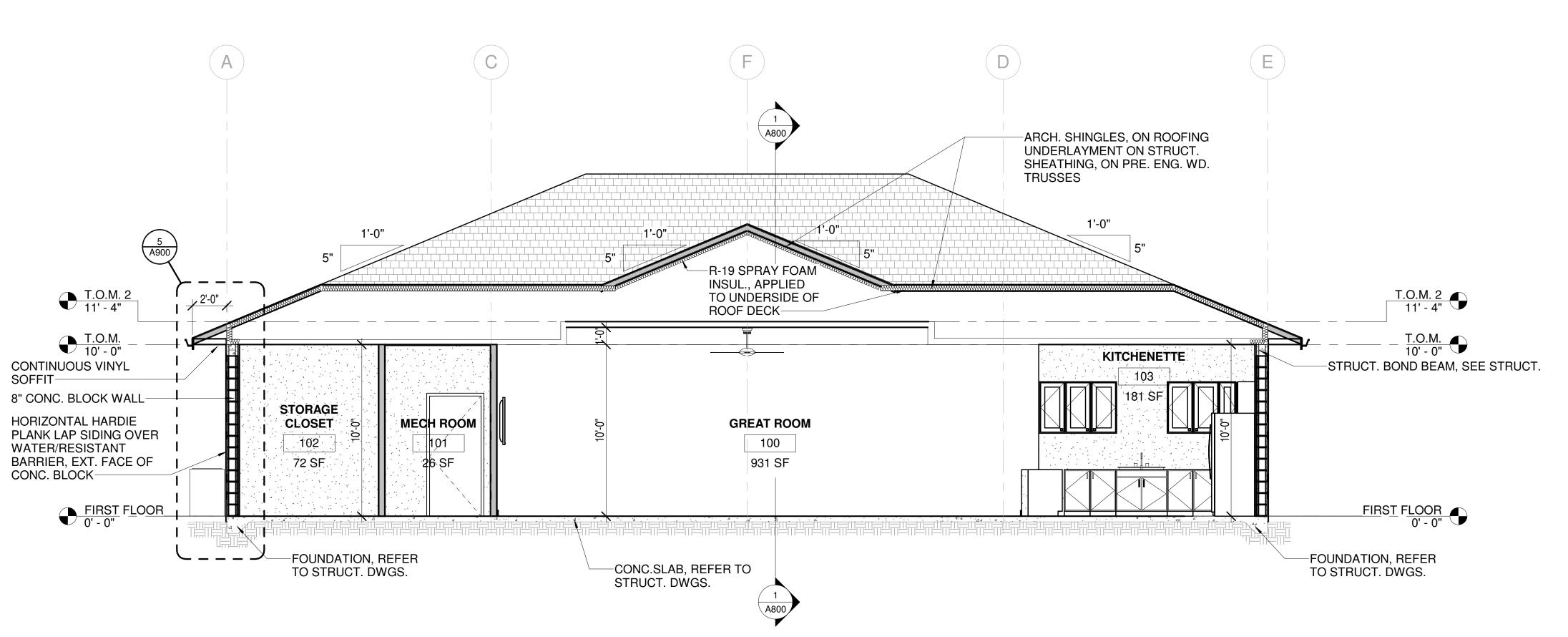
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8/27/2025 4:24:12









1/4" = 1'-0"



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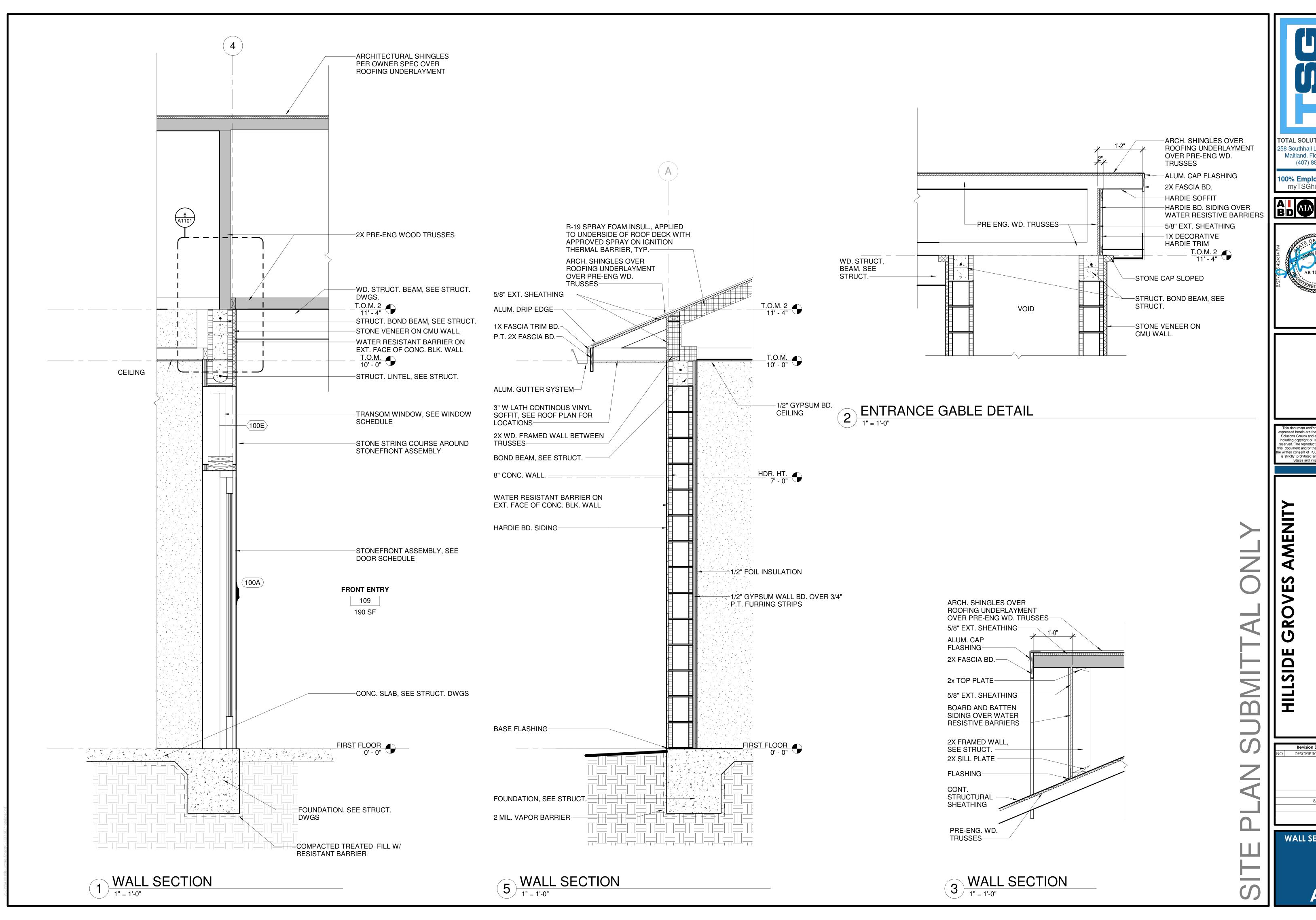
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BUILDING **SECTIONS** 25-01934

2 BUILDING SECTION 2

1/4" = 1'-0"



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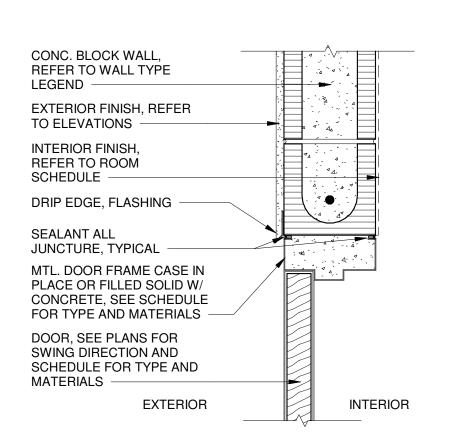
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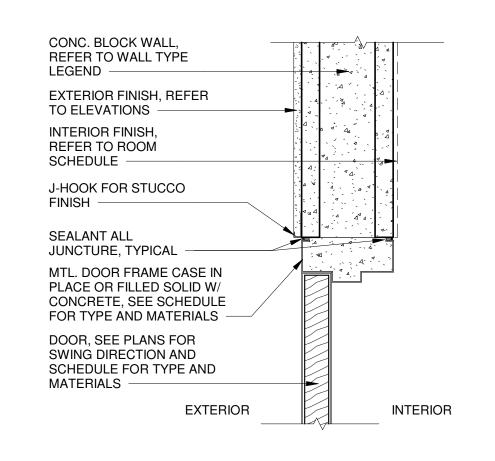


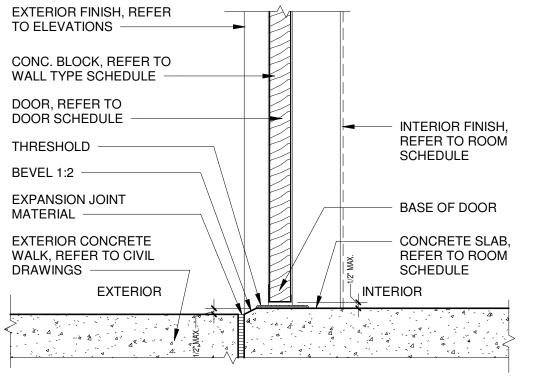
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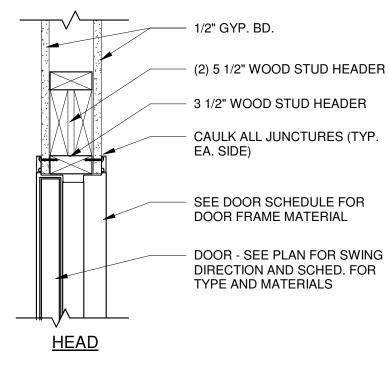
**WALL SECTIONS** 25-01934





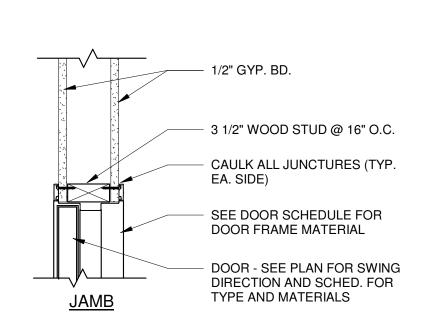


# 1 DETAIL - DOOR HEAD @ CONCRETE DETAIL - DOOR JAMB @ CONCRETE 1 1/2" = 1'-0" DETAIL - DOOR JAMB @ CONCRETE 1 1/2" = 1'-0"



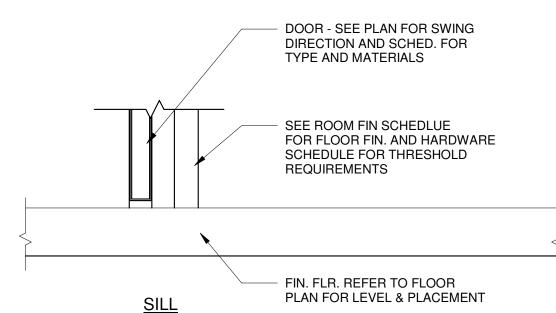
4 DETAIL - DOOR HEAD WOOD STUD

1 1/2" = 1'-0"

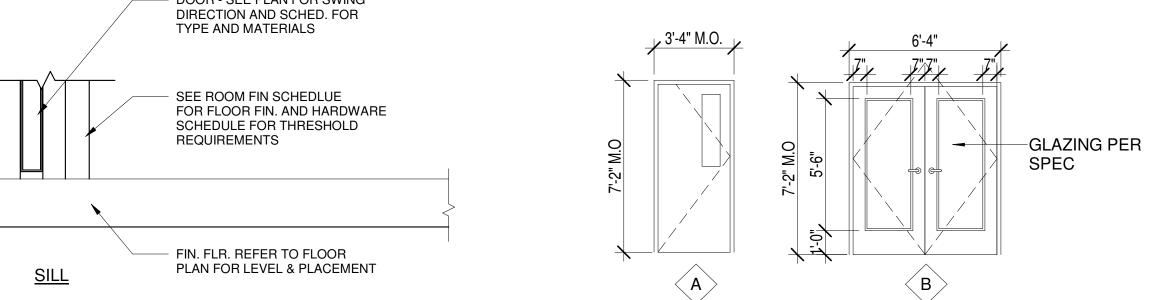


5 DETAIL - DOOR JAMB WOOD STUD

# 3 DETAIL - DOOR SILL @ CONCRETE 1 1/2" = 1'-0"



6 DETAIL - DOOR SILL WOOD STUD



## DOOR LEGEND

SCALE: 1/4" = 1'-0"

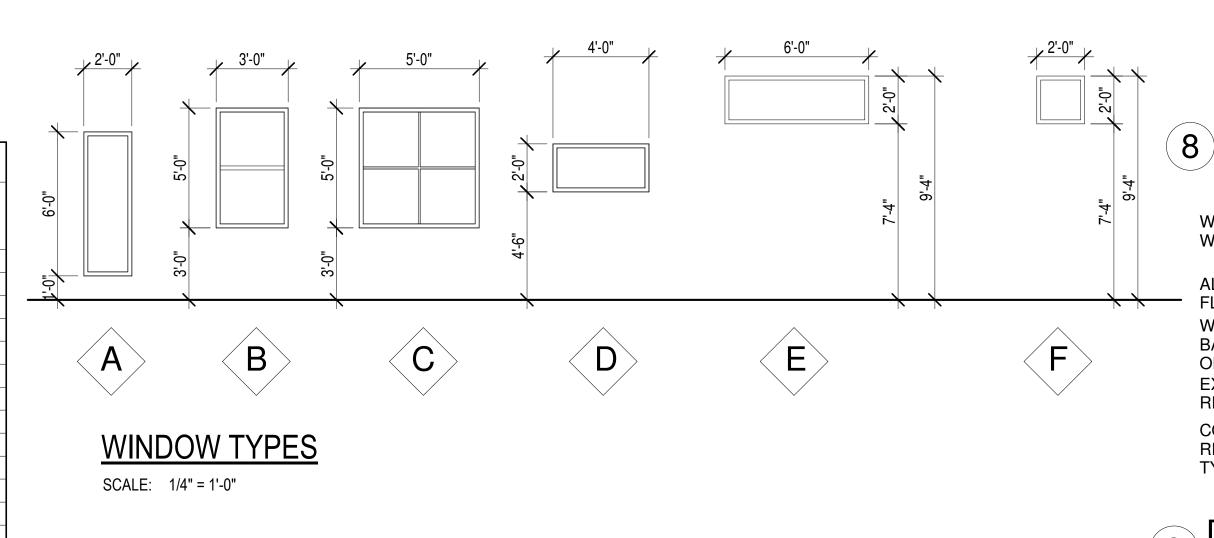
	DOOR SCHEDULE											
DOOR	ROOM	DOOR	DOOR	FRAME					JAMB DETAIL	HEAD		
MARK	NUMBER	TYPE	MATERIAL	MATERIAL	HARDWARE	WIDTH	HEIGHT	SILL DETAIL REF.	REF.	DETAIL REF.	COMMENTS	
100A	100	В	METAL	ALUM	H1	6' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	ACCESS CONTROL, WITH PANIC HARDWARE	
100B	100	В	METAL	ALUM	H1	6' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	ACCESS CONTROL, WITH PANIC HARDWARE	
100C	100	В	METAL	ALUM	H1	6' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000	ACCESS CONTROL, WITH PANIC HARDWARE	
101	101	С	WOOD	WOOD	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000		
102	102	С	WOOD	WOOD	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000		
104A	104	С	METAL	H.M	H2	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000		
104B	104	С	METAL	H.M	H2	3' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000		
105	105	С	METAL	H.M	H2	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000		
106A	106	Α	METAL	H.M	H2	3' - 0"	7' - 0"	3/A1000	2/A1000	1/A1000		
106B	106	С	METAL	H.M	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000		
107	107	С	METAL	H.M	H3	3' - 0"	7' - 0"	6/A1000	5/A1000	4/A1000		

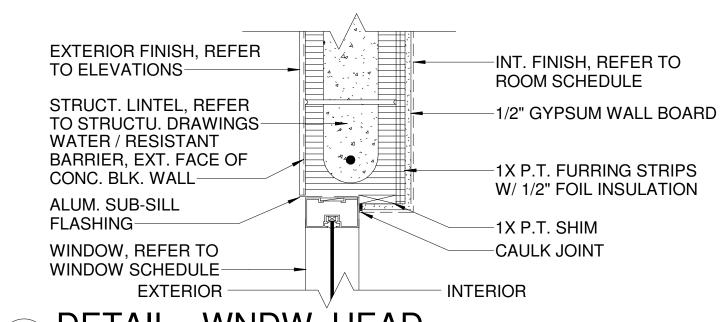
	HARDWARE TYPE KEY										
SET	PANIC	LOCKSET	PUSH PULL	DEAD BOLT	DESCRIPTION	LOCATIONS	INSIDE	OUTSIDE			
H1			YES	YES	PANEL INSIDE PULL HANDLE OUTSIDE	EXTERIOR MAINS	PANIC BAR	KEY LOCK OR © CARD READER WITH HANDLE			
H2				YES	ACCESSIBLE LEVER W/ KEY DEAD BOLT LOCK OUTSIDE	UTILITY ROOMS & RESTROOMS	THUMB (1) LOCK, (4) LEVER	KEY LOCK, OR CARD READER LEVER			
НЗ		YES			ACCESSIBLE LEVER W/ KEY LOCK OUTSIDE LEVERLOCK INSIDE	LOCKED STORAGE/UTILITY ROOMS	THUMB LOCK, (SEVER	KEY LOCK, LEVER			

NOTES: ALL EXTERIOR DOORS SHALL BE KEYED THE SAME BASED ON ONE MASTER KEY SET.

HARDWARE IS GIVEN AS BASIS OF DESIGN FOR OPERATION AND FUNCTIONS ONLY. REFER TO 'ID' FOR SPECS AND FINISHES.

WINDOW SCHEDULE											
WINDOW NUMBER	WINDOW TYPE			SILL DETAIL REF.	COMMENTS						
100A	Α	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000				
100B	Α	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000				
100C	Α	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000				
100D	Α	ALUM	2' - 0"	6' - 0"	7/A1000	8/A1000	9/A1000				
100E	E	ALUM	6' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000				
100F	F	ALUM	2' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000				
100G	F	ALUM	2' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000				
101	В	ALUM	3' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000				
102	В	ALUM	3' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000				
103A	С	ALUM	5' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000				
103B	С	ALUM	5' - 0"	5' - 0"	7/A1000	8/A1000	9/A1000				
104	D	ALUM	4' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	PRIVACY FILMS			
105	D	ALUM	4' - 0"	2' - 0"	7/A1000	8/A1000	9/A1000	PRIVACY FILMS			





**GENERAL NOTES** 

**EXTERIOR FRAMES AS DETAILED** 

EMBOSSED METAL PER NFPA 80

GREATER THAN 1:12

**EQUAL** 

INDICATED.

**UNDER DOOR** 

1. ALL EXTERIOR DOORS TO MEET WIND LOAD CRITERIA

2. ALL GROUND FLOOR UNIT HARDWARE @ ENTRY

3. THRESHOLDS AT EXTERIOR DOORS, INCLUDING

1/2 INCH, THRESHOLDS AND CHANGES IN LEVEL AT

THESE LOCATIONS ARE BEVELED WITH SLOPES NO

4. FRAMES ARE TYPICALLY WRAPAROUND; SET

6. ALL EXT. FRAMES SHALL BE GROUTED FULL

ACCOMMODATE CLEAR THROAT DIMENSIONS

5. ALL GLASS LIGHTS IN DOORS AND DOORS AND

FRAMES SHALL BE TEMPERED UNLESS NOTED AS

LABELED; ALL GLASS LIGHTS IN LABELED DOORS AND

7. ALL DOORS 1 3/4" THICK; ALL FRAMES TO HAVE 5/8" X

ACCEPTABLE; PROTECT LABELS FROM BOTH PRIMERS

 $(\mathsf{c})$ 

1 3/4" RABBETS EACH SIDE, VARY STOP WIDTHS TO

8. ALL DOOR AND FRAME LABELS SHALL BE METAL (RIVET OR SCREW ATTACHED), STICK-ON LABELS NOT

AND FINISH PAINTING, LABELS SHALL BE BRIGHT

9. THRESHOLDS SHALL BE ALUMINUM @ EXTERIOR INCLUDE TRANSITION STRIPS, CONTINUE FLOOR

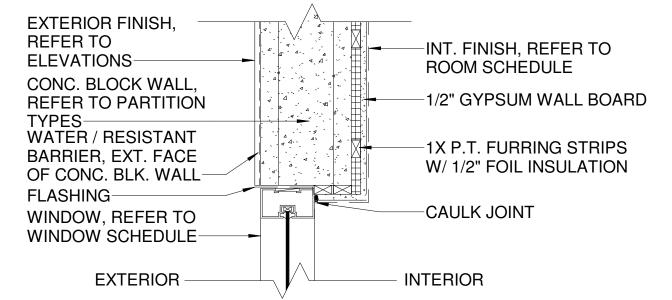
FRAMES SHALL BE CLEAR FIREGLASS 20 BY TGP OR

SLIDING GLASS DOOR TRACKS, ARE NO HIGHER THAN

DOORS SHALL MEET ALL CODES, LAWS AND

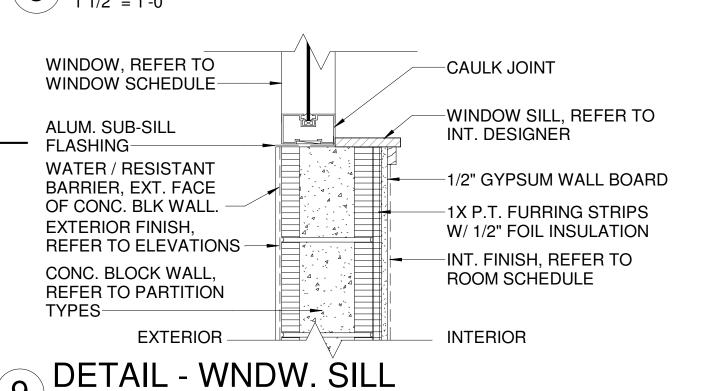
GUIDELINES FOR HANDICAP ACCESSIBILITY

## 7 <u>DL 1,</u> 1 1/2" = 1'-0" DETAIL - WNDW. HEAD

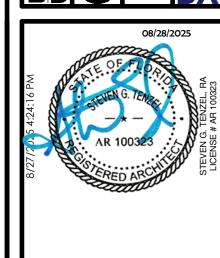


#### DETAIL - WNDW. JAMB 8) DL I AIL 1 1/2" = 1'-0"

<sup>/</sup> 1 1/2" = 1'-0"



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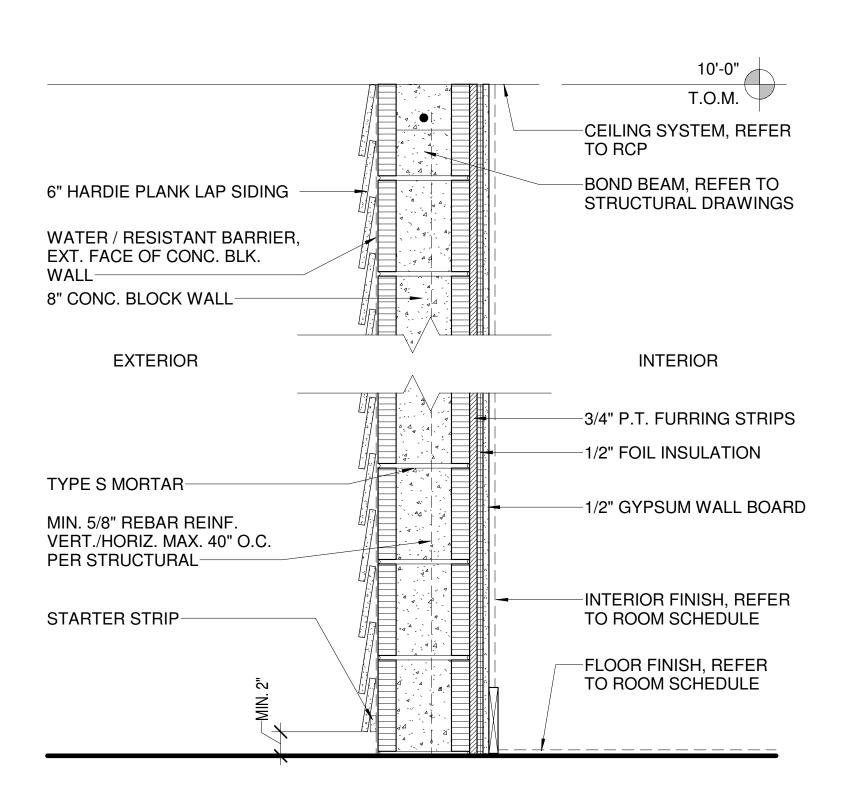
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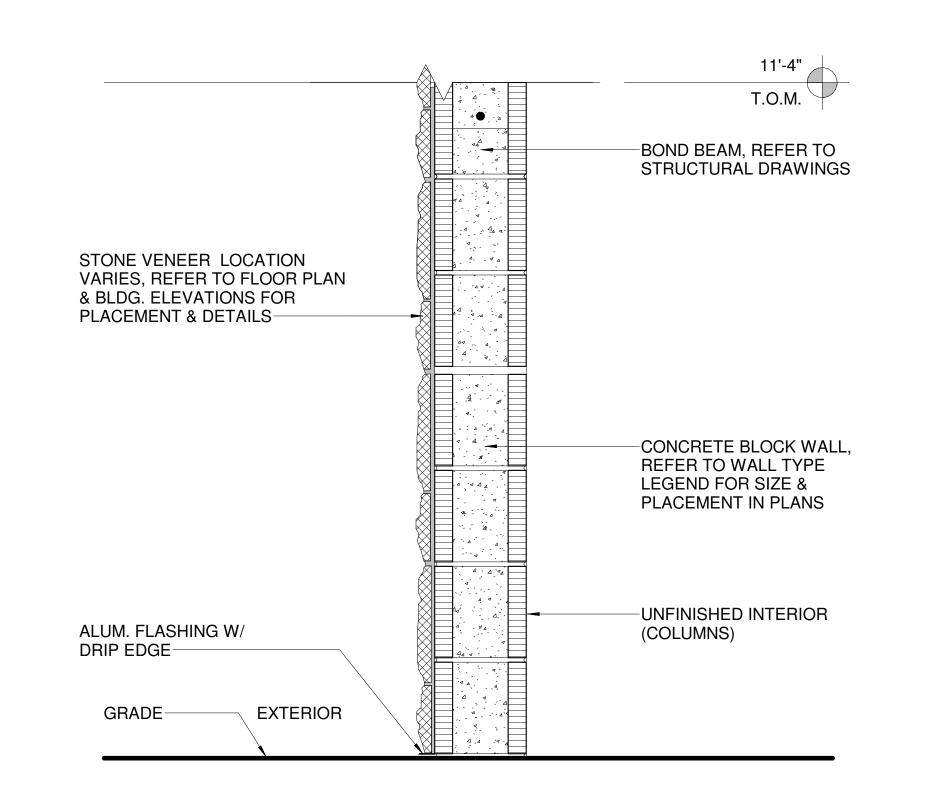
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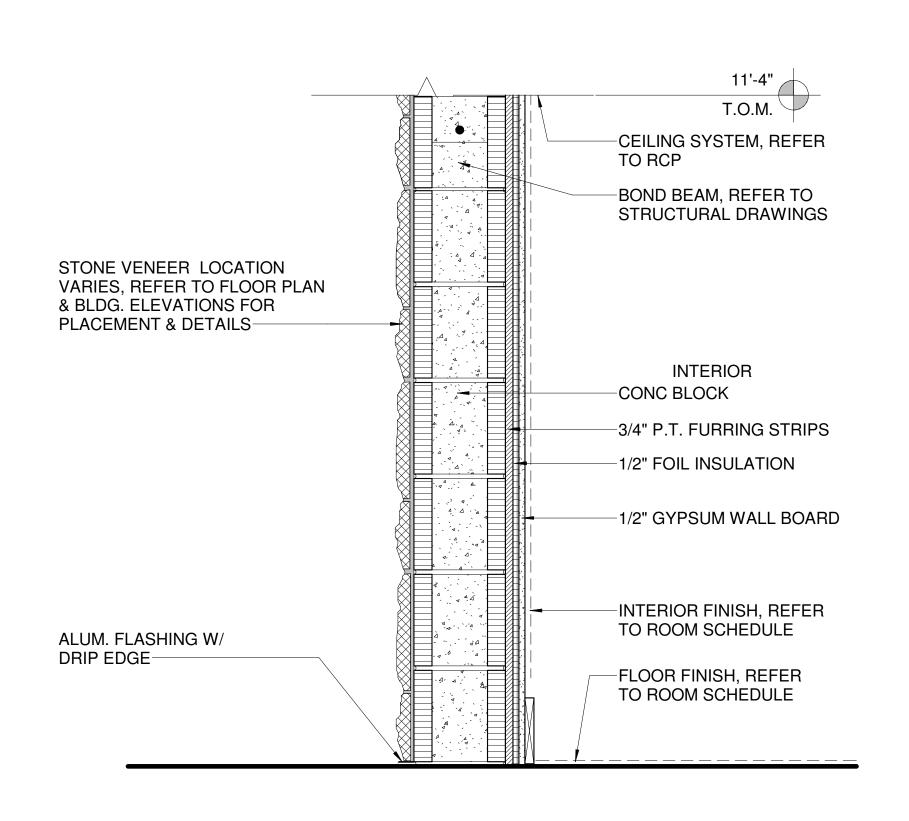
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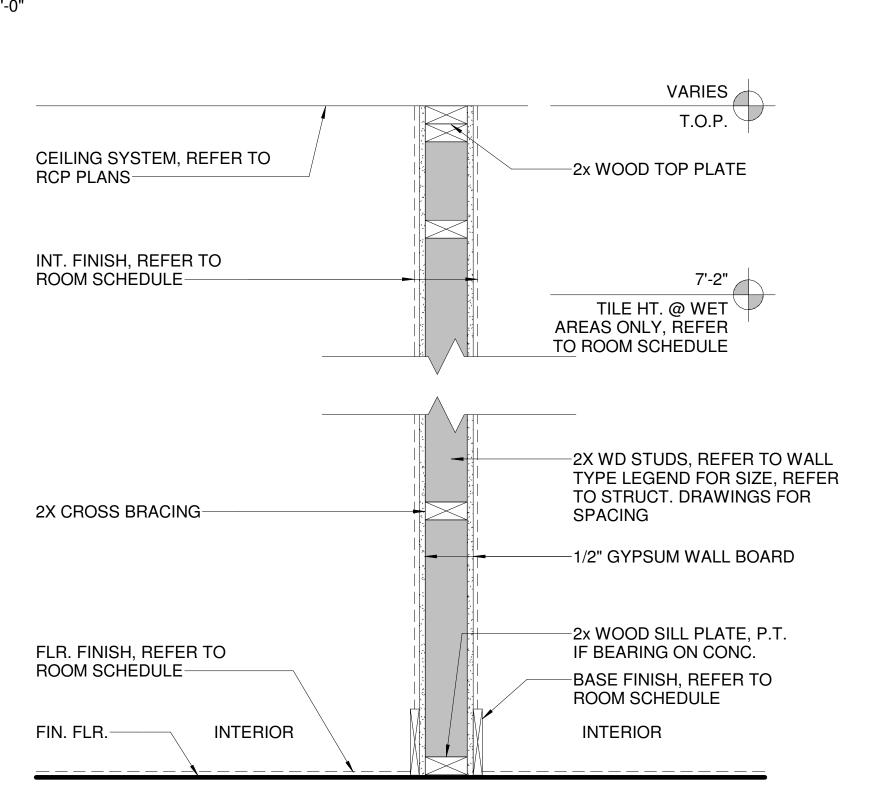
**DOOR & WINDOW SCHEDULES & DETAILS**Project 25-01934







P-1 PARTITION TYPE - EXT. CONC. BLOCK WALL & SIDING



P-3 PARTITION TYPE - EXT. CONC. BLOCK & STONE

P-4 PARTITION TYPE - EXT. CONC. BLOCK & STONE 1 1/2" = 1'-0"

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**AMENITY** 

VES

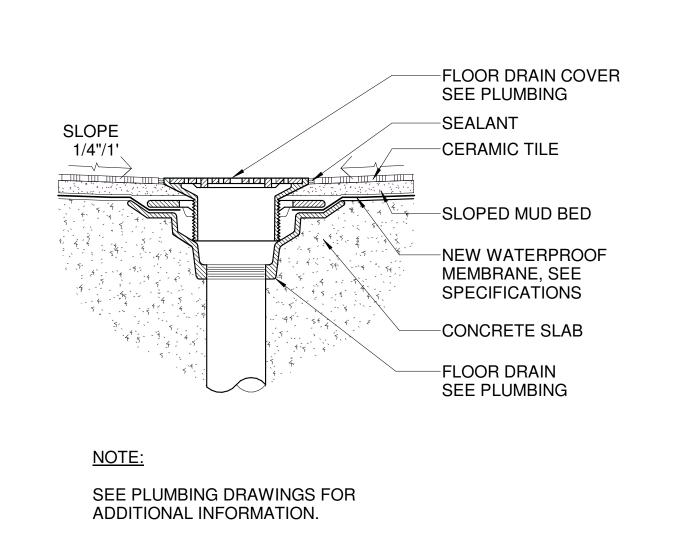
GRO

HILLSIDE

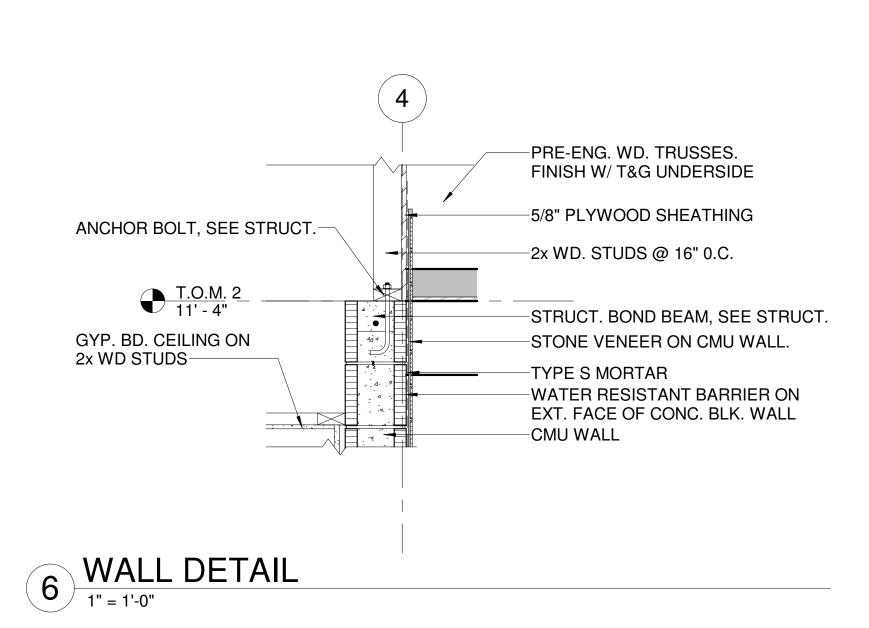
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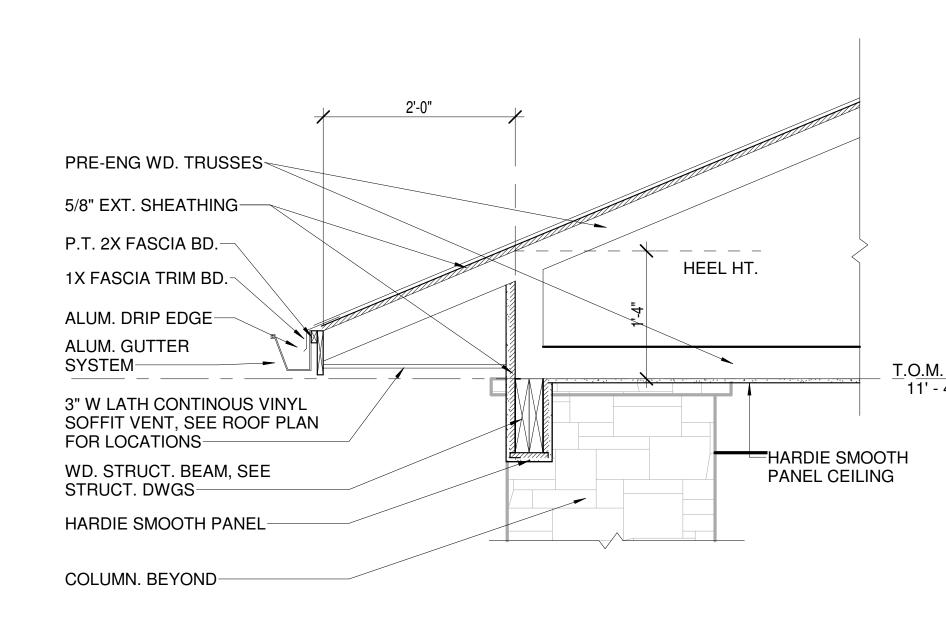
WALL PARTITION **TYPES** 25-01934 A1100

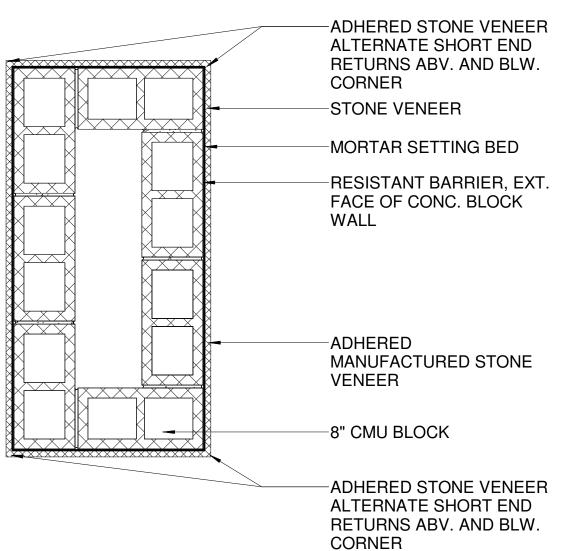




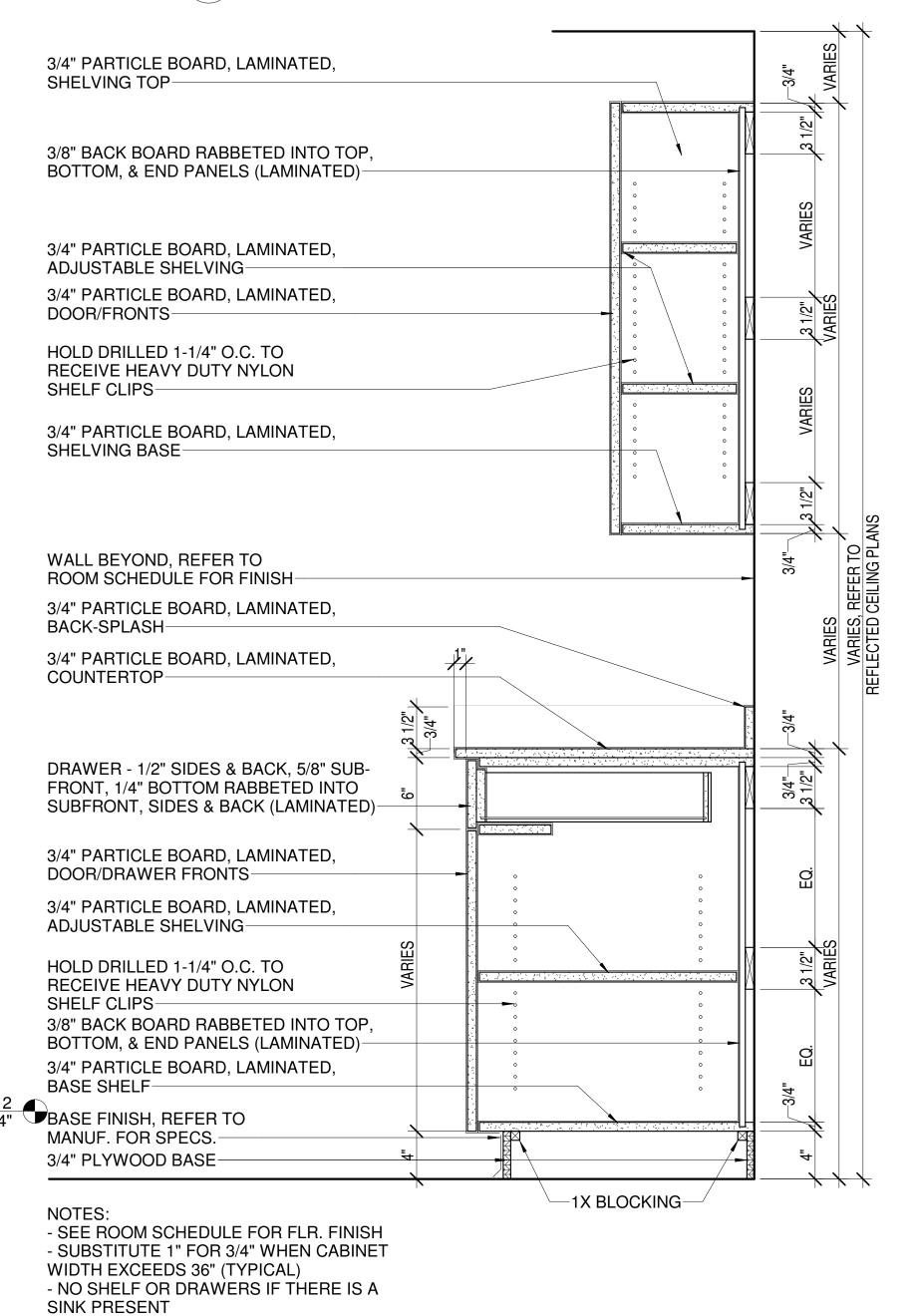
# 4 FLOOR DRAIN SECTION 3" = 1'-0"

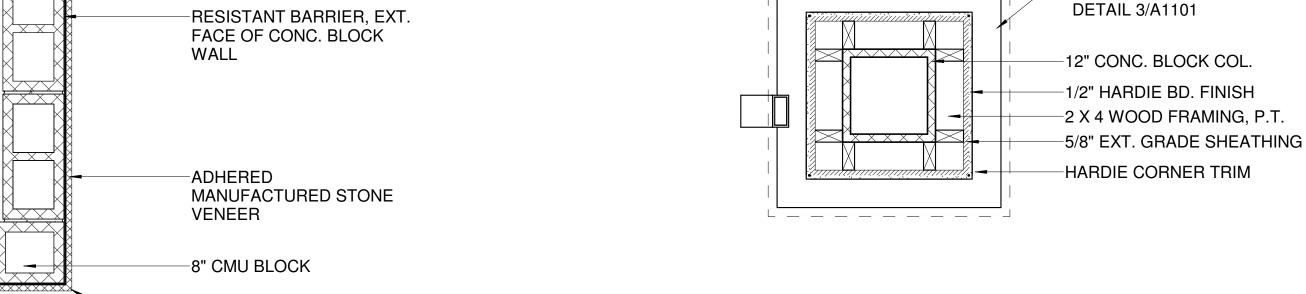


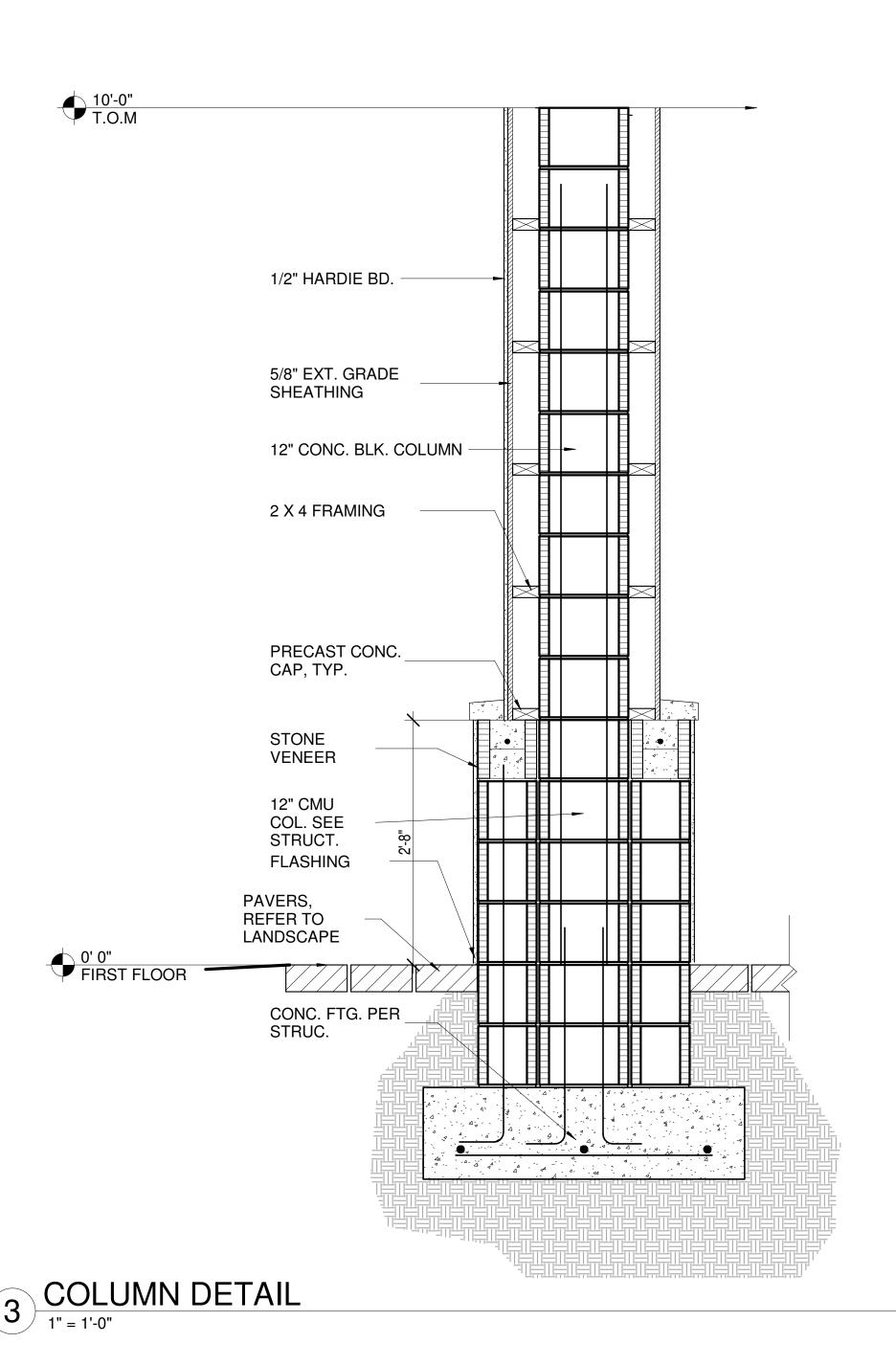




# TYP. ENLARGED COLUMN PLAN 1







2 TYP. ENLARGED COLUMN PLAN 2

STONE CAP ABV. SEE DETAIL

-WOOD FRAMED COL. BASE, SEE

3/A1101



DESCRIPTION 00/00/0 8/27/2025 4:24:17

**TOTAL SOLUTIONS GROU** 

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HILLSIDE

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**DETAILS** 25-01934

5 DETAIL - TYPICAL BASE & UPPER CABINETS

1 1/2" = 1'-0"