

FINAL CONSTRUCTIN PLANS FOR WHISPERING HEIGHTS

Howey-in-the-Hills, Florida

PROJECT DESCRIPTION (PROPOSED IMPROVEMENTS)

- CONSTRUCTION OF A NEW 156 LOT RESIDENTIAL SUBDIVISION WITH CONNECTION TO PUBLIC SEWER AND WATER

FLOOD CERTIFICATE:

- ZONE "X" & "AE" PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12069C0485E, dated:12/18/2012

BEARING BASIS

- THE COORDINATE AND BEARING STRUCTURE FOR THIS SURVEY IS BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83), 1990 ADJUSTMENT. HORIZONTAL CONTROL STATION UTILIZED WAS NATIONAL GEODETIC SURVEY (NGS) FIRST (1ST) ORDER CONTROL STATION "LC 06".

Description: Project Limits

A portion of Government Lots 5 and 6, in Section 36, Township 20 South, Range 25 East, Lake County, Florida,

more particularly described as follows:

Commence at the Southwest corner of the Southeast ¼ of Section 36, Township 20 South, Range 25 East, Lake County, Florida; thence coincident with the South Boundary of said Southeast ¼, S 89°50'08" E a distance of 32.76 feet to a point on the East Right-of-way Boundary of Buckhill Road per OSPREY HEIGHTS-PHASE 1A, as recorded in Plat Book 33, Page 66 of the public records of Lake County, Florida, said point being the POINT OF BEGINNING; thence departing said South Boundary, coincident with said East Right-of-way Boundary and the Northerly extension thereof, N 00°36'32" E a distance of 2184.33 feet; thence N 47°09'43" E a distance of 28.30 feet; thence N 31°02'11" E a distance of 24.81 feet; thence N 86°55'48" E a distance of 40.31 feet; thence N 55°05'08" E a distance of 38.19 feet; thence S 71°01'20" E a distance of 52.29 feet; thence N 64°09'46" E a distance of 61.62 feet; thence S 79°41'54" E a distance of 70.94 feet; thence N 60°39'33" E a distance of 110.96 feet; thence N 36°52'01" E a distance of 91.94 feet; thence N 13°52'52" W a distance of 29.71 feet; thence N 14°17'52" W a distance of 61.64 feet; thence N 08°23'22" E a distance of 30.93 feet; thence N 16°45'59" E a distance of 28.88 feet; thence S 86°22'27" E a distance of 91.79 feet; thence N 45°57'51" E a distance of 66.74 feet; thence S 55°54'12" E a distance of 29.18 feet; thence S 70°43'29" E a distance of 52.36 feet; thence N 89°10'11" E a distance of 183.00 feet; thence N 82°49'33" E a distance of 87.24 feet; thence N 69°29'41" E a distance of 52.88 feet; thence S 00°53'22" W a distance of 108.93 feet to a point coincident with a non-tangent curve concave to the Southwest, said curve having a radius of 46.00 feet, a delta angle of 38°39'48" and being subtended by a chord bearing S 56°23'48" E for a distance of 30.46 feet; thence coincident with the arc of said curve a distance of 31.04 feet; thence S 70°02'13" E a distance of 36.99 feet; thence N 66°26'02" E a distance of 104.12 feet; thence N 16°19'52" E a distance of 108.8 feet, more or less, to the waters edge of Little Lake Harris; thence Southerly coincident with the waters edge of Little Lake Harris to the Northeast corner of the lands described in Official Records Book 1775, Page 275 of the Public Records of Lake County, Florida; thence departing said waters edge, coincident with the North Boundary of said lands for the following five (5) courses: 1.) N 84°17'12" W a distance of 269.90 feet; 2.) thence N 88°21'36" W a distance of 293.43 feet; 3.) thence S 89°30'46" W a distance of 224.96 feet; 4.) thence S 84°47'04" W a distance of 179.68 feet; 5.) thence N 89°13'45" W a distance of 421.93 feet to a point on the West Boundary of said lands; thence departing said North Boundary, coincident with said West Boundary, S 09°31'29" W a distance of 636.42 feet to a point on the aforementioned South Boundary of the Southeast ¼ of said Section 36; thence coincident with said South Boundary, N 89°51'03" W a distance of 112.96 feet to the POINT OF BEGINNING.

Containing an area of 2651920.89 square feet, 60.880 acres more or less.

General Notes:

1. Stormwater Retention Areas to be Owned & Maintained by HOA.
2. All Streets are Private. Private Streets are in Tract 'D'
3. All signage shall comply with City Codes
4. Electrical Power will be provided by underground service.
5. All Recreation and Landscape Tracts shall be maintained by HOA.
6. All sidewalks not fronting single family lots and all sidewalk ramps shall be installed during road construction.
7. All extra recreational area improvements are shown for reference. Actual implementation is contingent upon results of a market study.
8. Based upon the results of market research to be done, the developer may elect to replace traditional telephone, cable, and internet services with a multi-purpose fiber optic service.
9. Construction Operating Hours 7:00 AM - 6:00 PM

Utility Contacts

Drinking Water
Howey-in-the-Hills
101 N Palm Ave
Howey-in-the-Hills, FL 34737
Ph (352) 324-2264

Sewage Disposal
Howey-in-the-Hills
101 N Palm Ave
Howey-in-the-Hills, FL 34737
Ph (352) 324-2264

Garbage Disposal
Howey-in-the-Hills
101 N Palm Ave
Howey-in-the-Hills, FL 34737
Ph (352) 324-2264

Fire Protection
Lake County Fire Rescue
315 W Main Street
Tavares, Florida 32778
Ph (352) 343-9458

Electric
Sumter Electric
330 S US Highway 301
Sumterville, Florida 33585
Ph (352) 357-5600

Gas
TECO Peoples Gas
600 W Robinson St
Orlando, FL 32801
Ph (407) 425-4662

Communications Options
Phone
Sprint
PO Box 770339
Winter Garden, Florida 34777
Ph (407) 814-5246
Fx (407) 814-5320

Cable
Spectrum
1670 E Highway 50 Suite D
Clermont, Florida 34711
Ph (352) 394-5541

Fiber Optic
Centurylink
33 N Main Street
Winter Garden, Florida
Ph (407) 814-5271

Civil Engineer:
Darcy Unroe PE
Unroe Engineering, Inc
PO Box 690942
Orlando, Florida 32869
Ph (407) 299-0650
Darcy@UnroeEngineering.com

Owner:
Whispering Hills Unified Land Trust
and its Beneficiaries:
Whispering Hills Florida, LLC &
Whispering Shores Florida, LLC &
Bredco Development Group, each
in its capacity as trustee
625 Waltham Road
Orlando, Florida 32809
Ph 407 855-1136
Contact Lawrence White

Surveyor:
SurvTech Solutions, Inc
10220 US Highway 92E
Tampa, Florida 33610
Ph (813) 621-4929
fx (813) 621-7194
Contact: David O'Brien Jr

Developer:
Red Jacket Development Group
625 Waltham Ave
Orlando, Florida 32809
Ph 407 855-1136
Ph 407 851-2226
Contact: Clay Frankel

Geotechnical Engineer:
Andreyev Engineering, Inc
1170 W Minneola Ave
Clermont, FL 34711
Ph 352-241-0508
Fx 352-241-0977

Environmentalist:
Modica and Associates, Inc
302 Mahawk Street
Clermont, Florida 34711
Ph 352-394-2000
Ph 352-394-1159
Contact: Jim Modica

Development Information

Gross Acreage	60.88 ac (2,651,933 sf)
Wetlands Area	1.25 ac (54,355 sf)
Net Acreage	59.63 Ac (2,597,578 sf)

Current Zoning	MDR-2
Future Land Use	Medium Density Residential

Maximum Density	4.0 DU/net acreage
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Proposed Lakefront	20 Lots
Proposed Pond Front	8 Lots
Proposed Standard	128 Lots
Total Number of Lots	156 Lots
Proposed Density	2.62 DU/Net Acre

Minimum Lot Area	9,000 sf
Minimum Lot Width	75' minimum

Code Min. Living Area	1,200 sf (Under Heat & Air) Plus 400 sf Min Garage
Developer intention	2,500 sf (average)
Maximum Height	35' feet (2.5 stories)
Max ISR	0.50

Minimum Setbacks	
Front:	25'
Rear:	25'
Side:	12.5'
Side Street:	12.5'

Phasing	Multi-Phase Project
Open Space	25% Required open space
Project Traffic	1,474 Avg daily trips
Projected School Age Population	156 units x 0.404 = 63 students
Stormwater Management	Provide Retention system per City & SJRWMD Regulations
100 yr Flood	Flood zone X & AE Per 12069C0485E, dated:12/18/2012
Projected Fire Flow	Final fire flow provided to site to be determined by final design of off-site water distribution system
Utilities	
Sewer:	Howey-in-the-Hills
Water:	Howey-in-the-Hills

Open Space Calculation	Required 25% of Gross land Area - 15.22 Ac
Provided Open Space	
Category	Area
Recreation Tracts	1.58 Ac
Stormwater Tract	9.18 Ac
Wetlands area	1.25 Ac
Open Space in ROW	2.55 Ac
Landscape Buffers	1.17 Ac
Common Open Space	15.73 Ac (25.8%)
Lot Open Space	18.92 Ac
Total Open Space	34.65 Ac (56.9%)

Impervious Areas	
Lots 37.84 Ac @ 50%	18.92 Ac
Roads (9,592 lf)	5.28 Ac
Entry Tract	0.27 Ac
Walks (5' Wide)	1.76 Ac
Total Impervious	26.23 Ac (43.1%)
Open Space	34.65 Ac (56.9%)
Total	60.88 Ac (100.0%)

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---	Boundary Survey	9/19/2022
---	Project Limits Survey	9/19/2022
---	Topographic Survey	9/19/2022

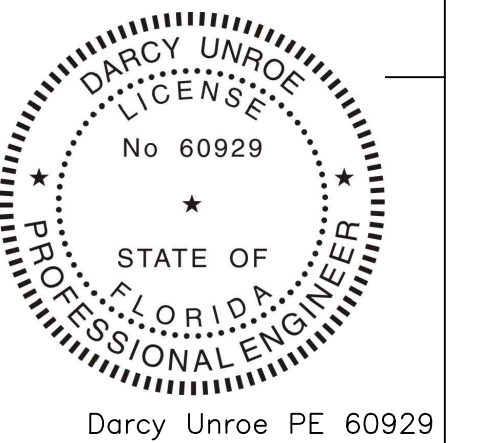


Unroe Engineering, Inc

Civil Engineering/Planning/Scientific Evaluation

PO Box 690942, Orlando, Florida 32869-0942

Business Authorization Number - EB 00006579 ph (407) 299-0650



COV

#	Date	Description

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 PO Box 690942, Orlando, FL 32869-0942
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Overall Subdivision Plan
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=130'	Scale
09-07-21	Date
WH2-C1	File
Dwg. No.	C1
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Legend

	- Catch Basin		- New Pavement
	- Mitered End Section		- New Concrete
	- Manhole		- Silt Fence
	- Cleanout		- Waterline
	- Hydrant		- Storm Sewer
			- Sanitary Sewer

Project Boundary Line/Curve Table

Curve Information: Field

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	TANGENT
C1	46.00'	31.04'	S 56°23'48" E	30.46'	38°39'48"	16.14'

Line Information: Field

LINE	BEARING	DISTANCE
L1	S 89°50'08" E	32.76'
L2	N 89°36'12" W	28.30'
L3	S 59°21'44" E	39.46'
L4	S 51°48'39" E	32.32'
L5	S 20°06'30" E	52.66'
L6	S 05°48'50" E	46.69'
L7	S 04°14'38" W	63.65'
L8	S 33°28'19" W	33.87'
L9	S 42°12'38" W	63.00'
L10	S 43°27'07" W	70.97'
L11	S 34°38'41" W	66.78'
L12	S 24°34'08" W	43.64'
L13	S 12°12'12" W	51.72'
L14	S 07°46'34" E	19.89'
L15	S 14°19'43" E	34.15'
L16	S 21°00'25" E	43.53'
L17	S 27°45'01" E	33.26'
L18	S 47°28'28" E	45.18'
L19	S 42°26'57" E	51.56'
L20	S 41°22'02" E	87.92'
L21	S 40°24'32" E	86.99'
L22	S 32°00'03" E	82.70'
L23	S 35°51'18" E	68.39'
L24	S 39°44'36" E	86.83'
L25	S 38°30'16" E	48.41'
L26	S 38°37'19" E	88.55'
L27	S 18°50'58" E	150.83'
L28	S 17°00'24" E	31.36'
L29	S 17°24'59" E	66.00'
L30	S 08°59'58" E	62.36'
L31	S 04°11'13" E	110.04'
L32	S 04°23'45" E	41.16'
L33	S 04°33'28" W	36.78'
L34	S 14°23'11" W	7.18'
L35	S 20°10'10" W	13.99'
L36	S 17°31'58" W	50.58'
L37	S 22°56'32" W	68.25'
L38	S 22°36'43" W	91.03'
L39	S 11°13'03" W	51.32'

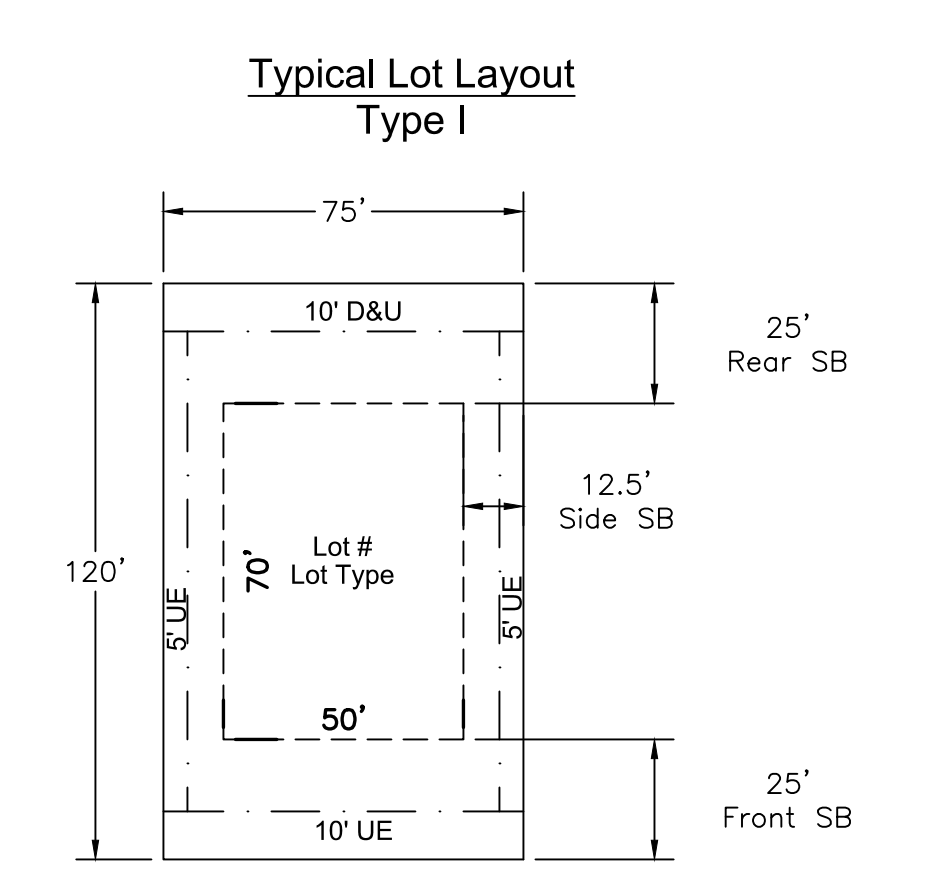
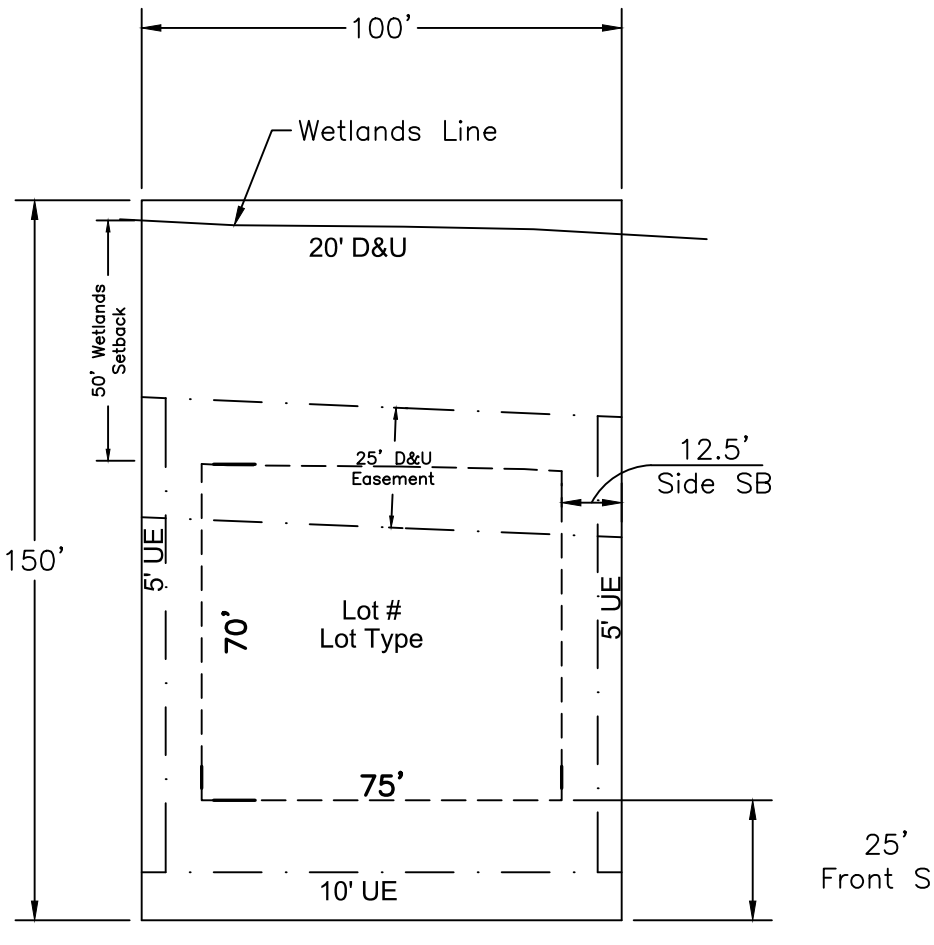
Lot Characteristic Table

Lot	Frontage	Depth	Area (ac)	Building Envelope			
1	80.9	102.4	0.2	60x33			
2	80.4	114.9	0.21	60x66			
3	79.2	120.5	0.21	55x70			
4	85	121.2	0.24	60x70			
5	75	121.1	0.21	50x70			
6	75	121.1	0.21	50x70			
7	75	121	0.21	55x70			
8	75	120.8	0.21	50x70			
9	75	120.8	0.21	50x70			
11	75	120.7	0.21	50x70			
12	75	120.6	0.21	50x70			
13	75	120.5	0.21	50x70			
14	75	120.5	0.21	50x70			
15	75	120.4	0.21	50x70			
16	75	120.3	0.21	50x70			
17	75	120.2	0.21	50x70			
18	75	120.1	0.21	50x70			
19	75	120.1	0.21	50x70			
20	85.8	120.1	0.23	60x70			
21	75.2	120.9	0.23	50x70			
22	75.2	121.1	0.21	50x70			
23	75	120.1	0.21	50x70			
24	75	120.1	0.21	50x70			
25	94.2	120	0.22	50x58			
26	75	120	0.21	50x70			
27	76.1	120.7	0.21	50x70			
28	74.9	120	0.25	50x70			
29	73.7	120	0.27	50x70			
30	82.4	125	0.29	50x85			
31	75	125	0.23	50x85			
32	75	125	0.23	50x85			
33	75	125	0.23	50x85			
34	75	125	0.23	50x85			
35	75	125	0.23	50x85			
36	75	125	0.23	50x85			
37	75	125	0.23	50x85			
38	75	125	0.23	50x85			
39	75	125	0.23	50x85			
40	75	125	0.23	50x85			
41	93.5	125	0.25	50x85			
42	86.1	125	0.23	45x70			
43	86.1	125	0.23	45x70			
44	86.1	125	0.23	45x70			
45	77.9	125	0.24	50x85			
46	78.6	125	0.24	50x85			
47	68.5	125	0.23	45x85			
48	75	125	0.24	50x85			
49	60	125	0.24	45x70			
50	60	125	0.24	45x70			
51	60	125	0.25	45x70			
52	75	125	0.23	50x85			
53	75	125	0.23	50x85			
54	75	125	0.23	50x85			
55	75	125	0.23	50x85			
56	75	125	0.23	50x85			
57	75	125	0.23	50x85			
58	75	125	0.23	50x85			
59	75	125	0.23	50x85			
Subtotal	4,454(PI)	13,128	Ac	Subtotal	4,582(PI)	12,841	Ac

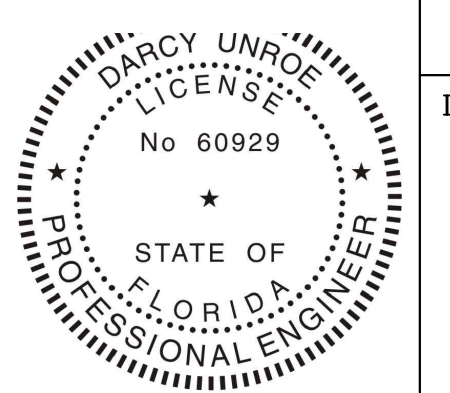
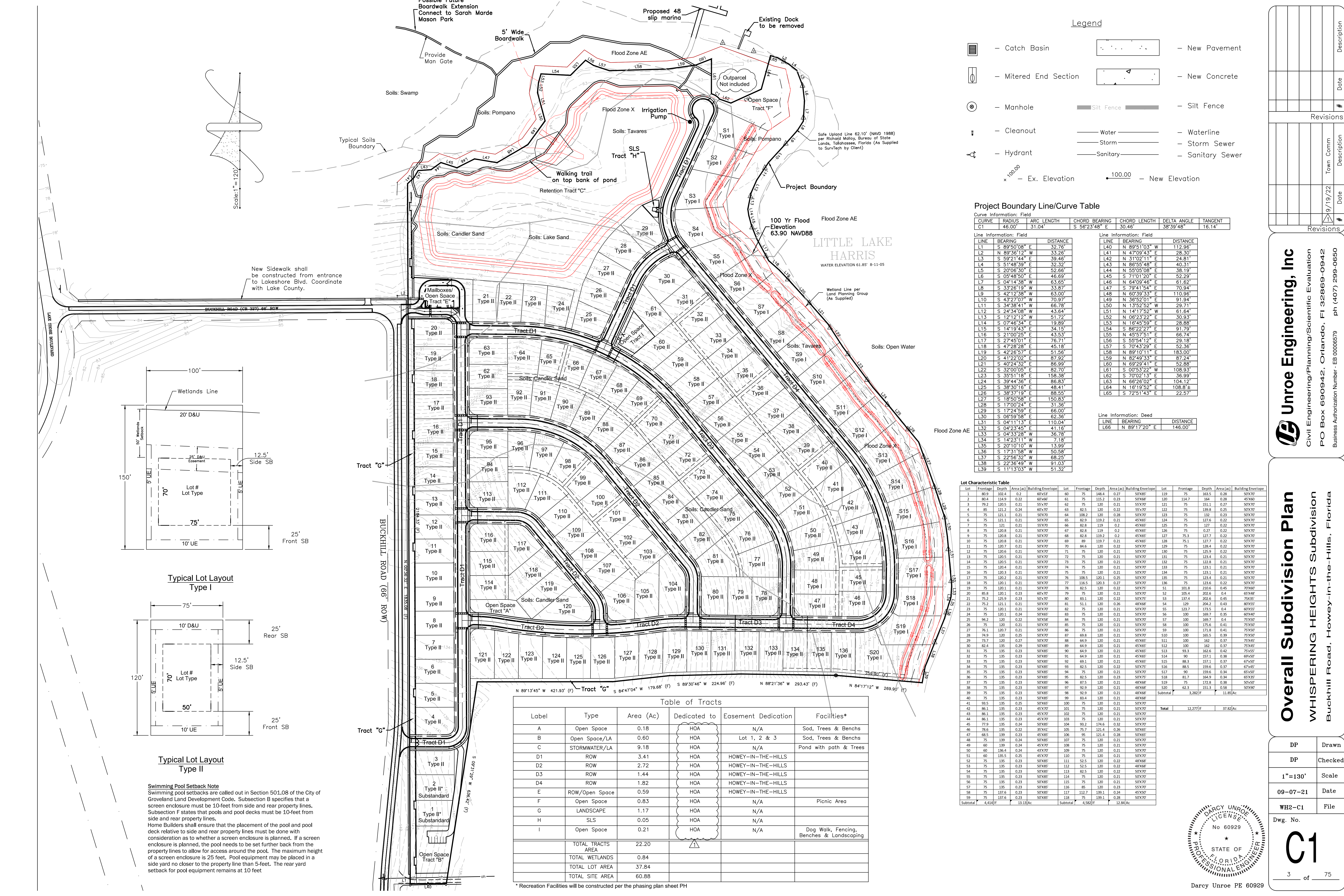
Table of Tracts

Label	Type	Area (Ac)	Dedicated to	Easement Dedication	Facilities*
A	Open Space	0.18	HOA	N/A	Sod, Trees & Benches
B	Open Space/LA	0.60	HOA	Lot 1, 2 & 3	Sod, Trees & Benches
C	STORMWATER/LA	9.18	HOA	N/A	Pond with path & Trees
D1	ROW	3.41	HOA	HOWEY-IN-THE-HILLS	
D2	ROW	2.72	HOA	HOWEY-IN-THE-HILLS	
D3	ROW	1.44	HOA	HOWEY-IN-THE-HILLS	
D4	ROW	1.82	HOA	HOWEY-IN-THE-HILLS	
E	ROW/Open Space	0.59	HOA	HOWEY-IN-THE-HILLS	
F	Open Space	0.83	HOA	N/A	Picnic Area
G	LANDSCAPE AREA	1.17	HOA	N/A	
H	SLS	0.05	HOA	N/A	
I	Open Space	0.21	HOA	N/A	Dog Walk, Fencing, Benches & Landscaping
TOTAL TRACTS AREA		22.20			
TOTAL WETLANDS AREA		0.84			
TOTAL LOT AREA		37.84			
TOTAL SITE AREA		60.88			

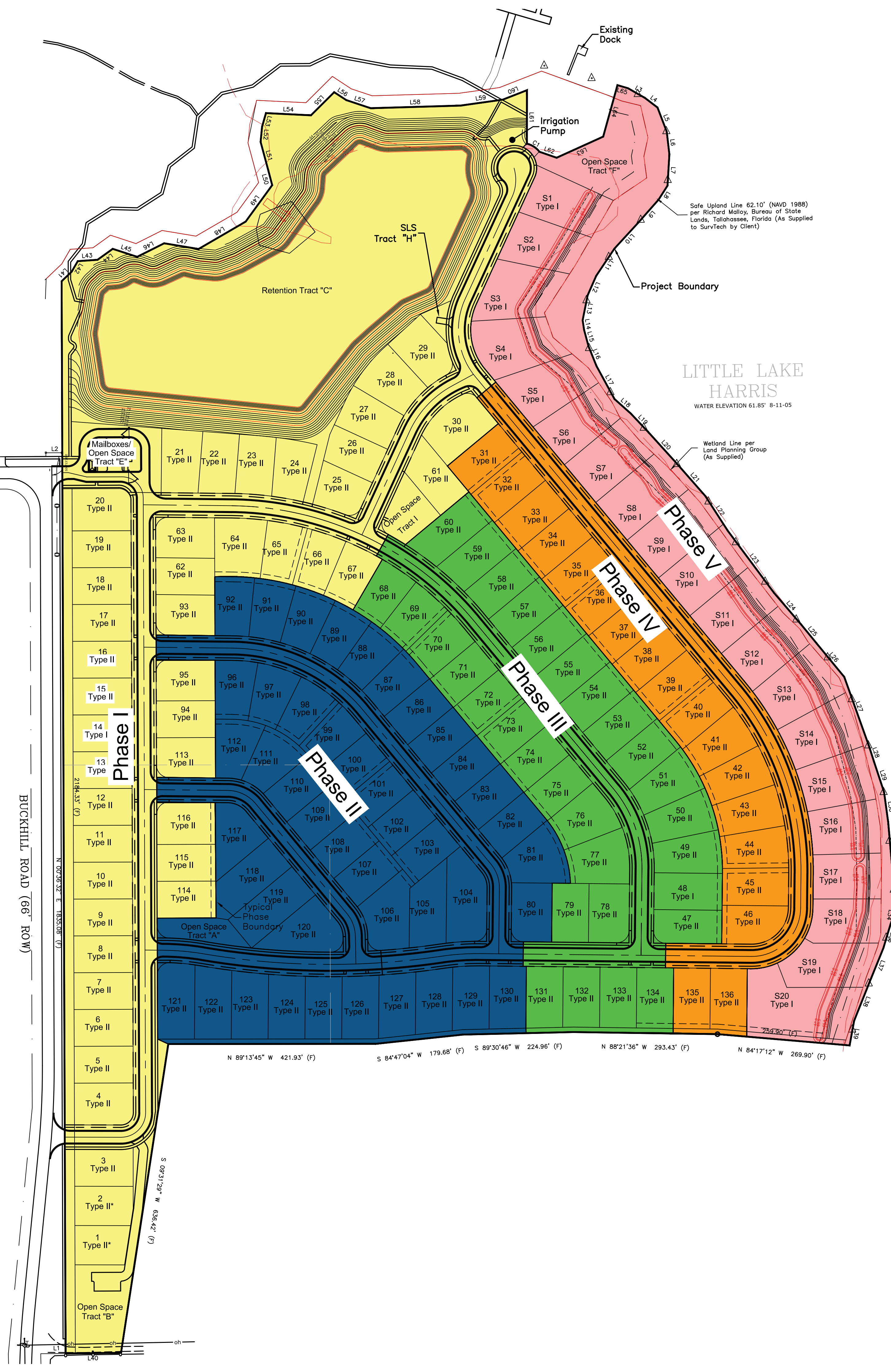
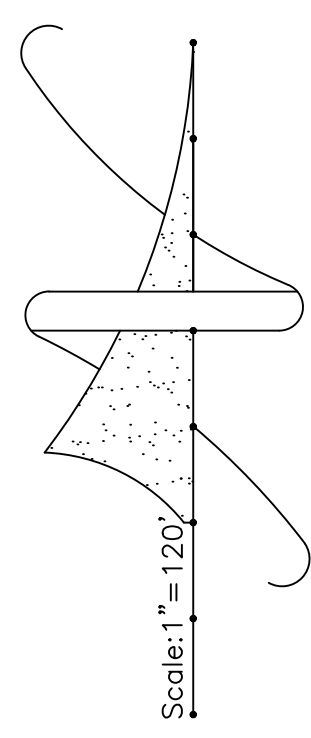
* Recreation Facilities will be constructed per the phasing plan sheet PH



Swimming Pool Setback Note
 Swimming pool setbacks are called out in Section 501.08 of the City of Groveland Land Development Code. Subsection B specifies that a screen enclosure must be 10-feet from side and rear property lines. Subsection F states that pools and pool decks must be 10-feet from side and rear property lines.
 Home Builders shall ensure that the placement of the pool and pool deck relative to side and rear property lines must be done with consideration as to whether a screen enclosure is planned. If a screen enclosure is planned, the pool needs to be set further back from the property lines to allow for access around the pool. The maximum height of a screen enclosure is 25 feet. Pool equipment may be placed in a side yard no closer to the property line than 5-feet. The rear yard setback for pool equipment remains at 10 feet



Darcy Unroe PE 60929



Phase Hatching

- Phase I
- Phase II
- Phase III
- Phase IV
- Phase V

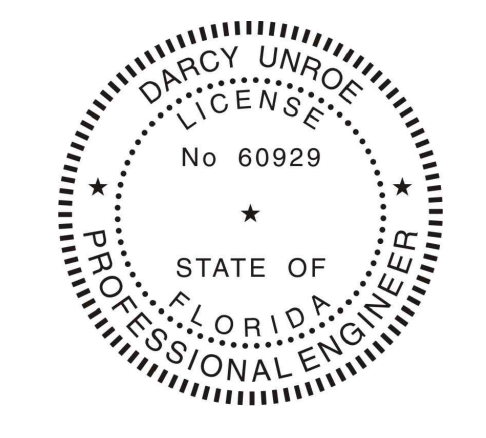
Note: Phasing refers to infrastructure construction and platting of lots/roads in individual phases.

Revisions			
#	Date	Description	

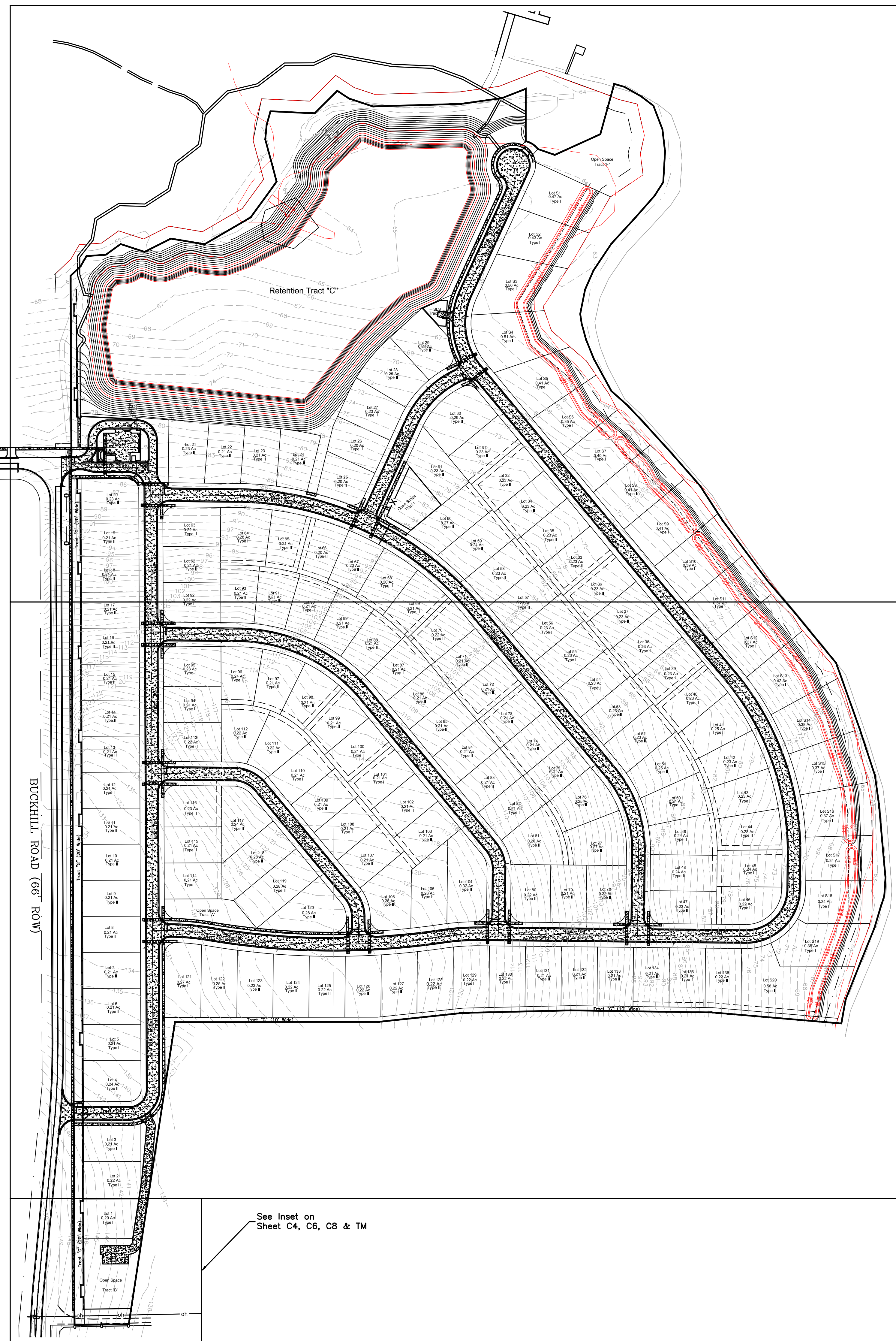
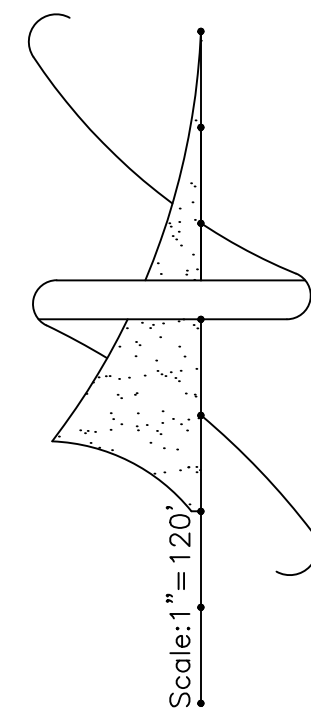
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Construction Phasing Plan
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=120'	Scale
09-07-21	Date
WH2-C2	File
Dwg. No.	C2
	4 of 75



Darcy Unroe PE 60929



See Sheet C3, C5, C7 & TM1

See Sheet C4, C6, C8 & TM2

See Inset on Sheet C4, C6, C8 & TM

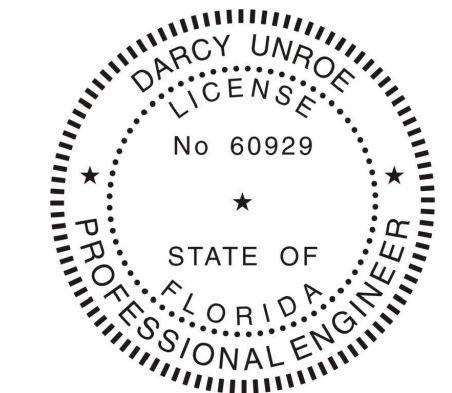
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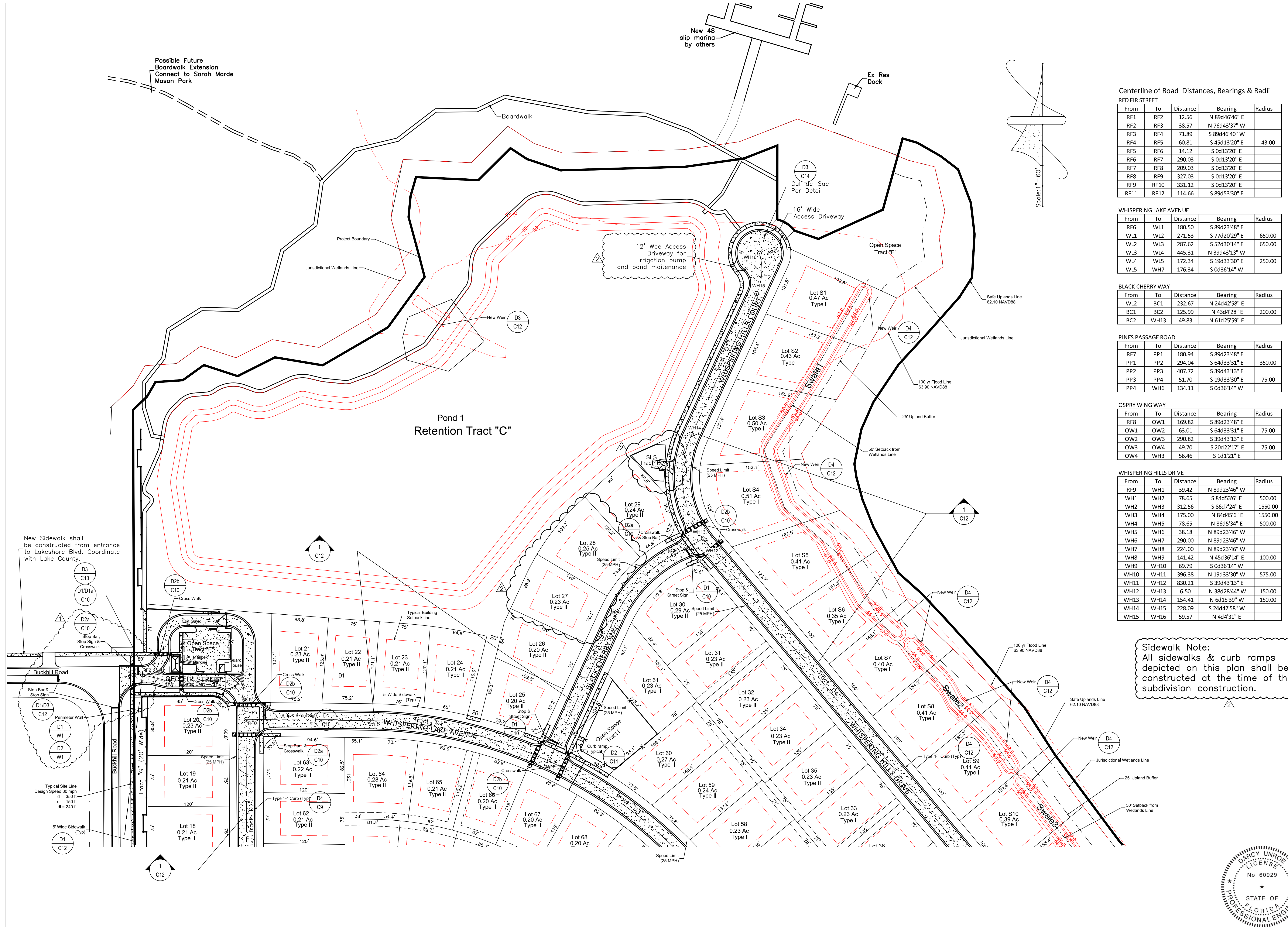
Subdivision Key Plan
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=130'	Scale
09-07-21	Date
WH2-C3	File
Dwg. No.	

C3
 5 of 75



Darcy Unroe PE 60929



CENTERLINE OF ROAD DISTANCES, BEARINGS & RADII

RED FIR STREET

From	To	Distance	Bearing	Radius
RF1	RF2	12.56	N 89d46'46" E	
RF2	RF3	38.57	N 76d43'37" W	
RF3	RF4	71.89	S 89d46'40" W	
RF4	RF5	60.81	S 45d13'20" E	43.00
RF5	RF6	14.12	S 0d13'20" E	
RF6	RF7	290.03	S 0d13'20" E	
RF7	RF8	209.03	S 0d13'20" E	
RF8	RF9	327.03	S 0d13'20" E	
RF9	RF10	331.12	S 0d13'20" E	
RF11	RF12	114.66	S 89d53'30" E	

WHISPERING LAKE AVENUE

From	To	Distance	Bearing	Radius
RF6	WL1	180.50	S 89d23'48" E	
WL1	WL2	271.53	S 77d20'29" E	650.00
WL2	WL3	287.62	S 52d30'14" E	650.00
WL3	WL4	445.31	N 39d43'13" W	
WL4	WL5	172.34	S 19d33'30" E	250.00
WL5	WH7	176.34	S 0d36'14" W	

BLACK CHERRY WAY

From	To	Distance	Bearing	Radius
WL2	BC1	232.67	N 24d42'58" E	
BC1	BC2	125.99	N 43d4'28" E	200.00
BC2	WH13	49.83	N 61d25'59" E	

PINES PASSAGE ROAD

From	To	Distance	Bearing	Radius
RF7	PP1	180.94	S 89d23'48" E	
PP1	PP2	294.04	S 64d33'31" E	350.00
PP2	PP3	407.72	S 39d43'13" E	
PP3	PP4	51.70	S 19d33'30" E	75.00
PP4	WH6	134.11	S 0d36'14" W	

OSPRY WING WAY

From	To	Distance	Bearing	Radius
RF8	OW1	169.82	S 89d23'48" E	
OW1	OW2	63.01	S 64d33'31" E	75.00
OW2	OW3	290.82	S 39d43'13" E	
OW3	OW4	49.70	S 20d22'17" E	75.00
OW4	WH3	56.46	S 1d12'1" E	

WHISPERING HILLS DRIVE

From	To	Distance	Bearing	Radius
RF9	WH1	39.42	N 89d23'46" W	
WH1	WH2	78.65	S 84d53'6" E	500.00
WH2	WH3	312.56	S 86d7'24" E	1550.00
WH3	WH4	175.00	N 84d45'6" E	1550.00
WH4	WH5	78.65	N 86d5'34" E	500.00
WH5	WH6	38.18	N 89d23'46" W	
WH6	WH7	290.00	N 89d23'46" W	
WH7	WH8	224.00	N 89d23'46" W	
WH8	WH9	141.42	N 45d36'14" E	100.00
WH9	WH10	69.79	S 0d36'14" W	
WH10	WH11	396.38	N 19d33'30" W	575.00
WH11	WH12	830.21	S 39d43'13" E	
WH12	WH13	6.50	N 38d28'44" W	150.00
WH13	WH14	154.41	N 6d15'39" W	150.00
WH14	WH15	228.09	S 24d42'58" W	
WH15	WH16	59.57	N 4d43'1" E	

Sidewalk Note:
All sidewalks & curb ramps depicted on this plan shall be constructed at the time of the subdivision construction.

Revisions

#	Date	Description

Revisions

#	Date	Description

Unroe Engineering, Inc
Civil Engineering/Planning/Scientific Evaluation
PO Box 690942, Orlando, FL 32869-0942
Business Authorization Number: EB 0006579 ph (407) 299-0650

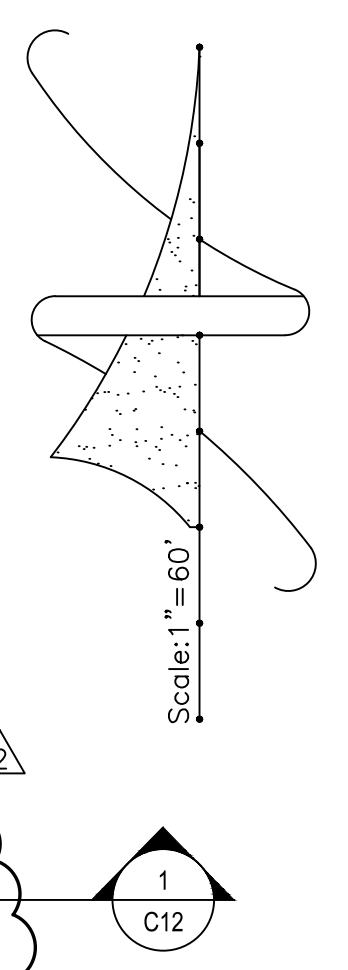
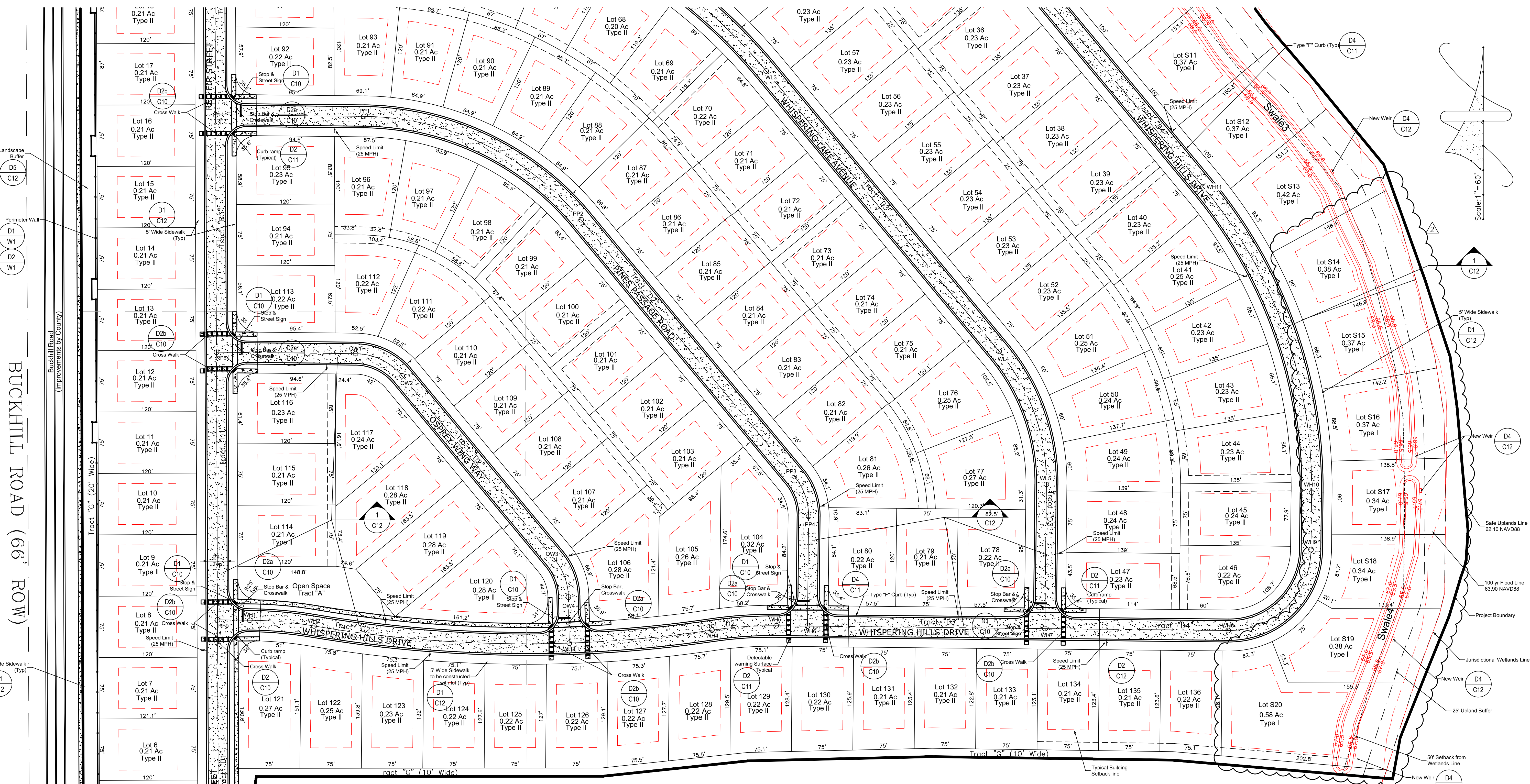
Subdivision Layout Plan - North
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C4	File

Dwg. No. **C4**
6 of 75



Darcy Unroe PE 60929



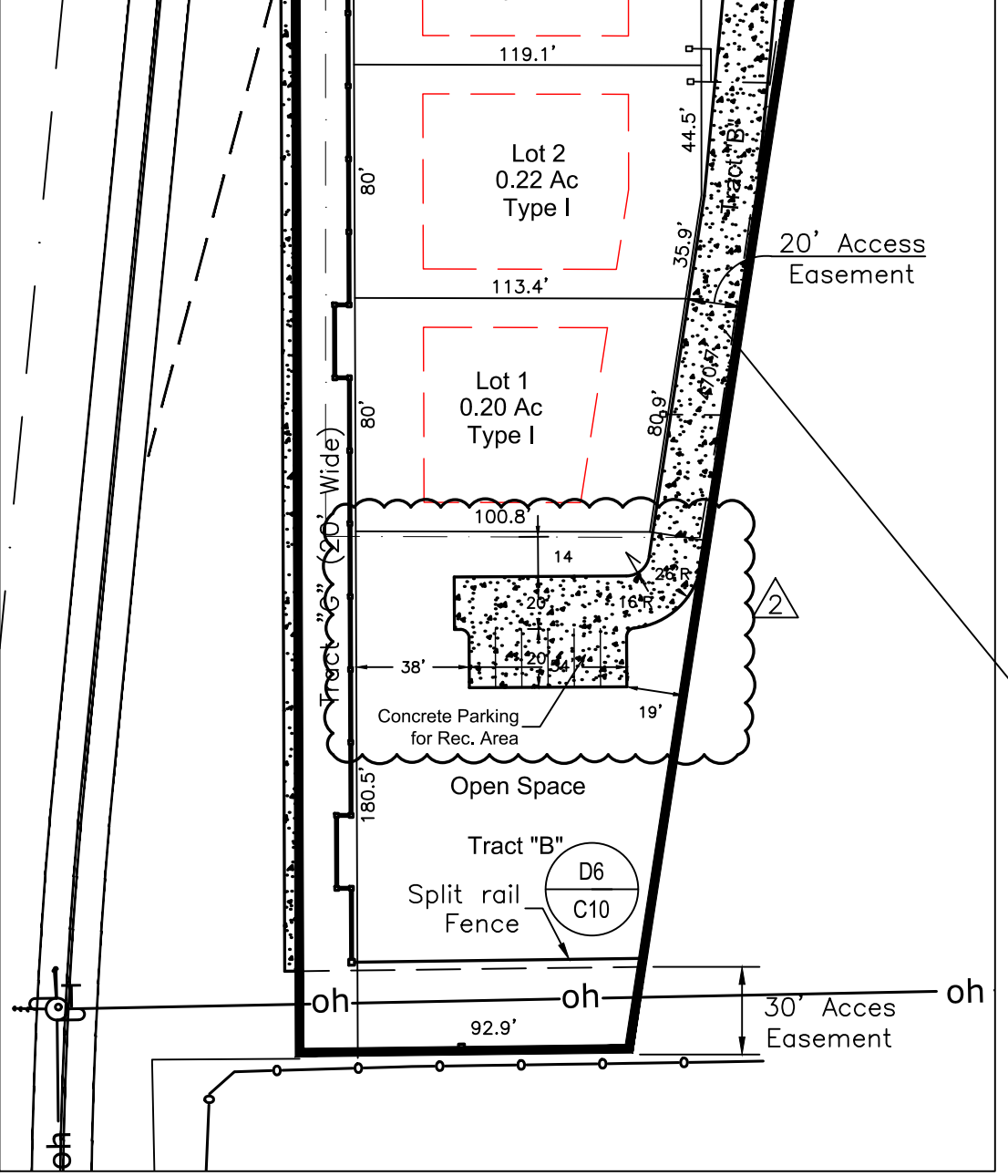
#	Date	Description

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
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Subdivision Layout Plan - South
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C5	File
Dwg. No.	C5
7	of 75

Sidewalk Note:
 All sidewalks & curb ramps depicted on this plan shall be constructed at the time of the subdivision construction.



Centerline of Road Distances, Bearings & Radii

RED FIR STREET

From	To	Distance	Bearing	Radius
RF1	RF2	12.56	N 89d46'46" E	
RF2	RF3	38.57	N 76d43'37" W	
RF3	RF4	71.89	S 89d46'40" W	
RF4	RF5	60.81	S 45d13'20" E	43.00
RF5	RF6	14.12	S 0d13'20" E	
RF6	RF7	290.03	S 0d13'20" E	
RF7	RF8	209.03	S 0d13'20" E	
RF8	RF9	327.03	S 0d13'20" E	
RF9	RF10	331.12	S 0d13'20" E	
RF11	RF12	114.66	S 89d53'30" E	

PINES PASSAGE ROAD

From	To	Distance	Bearing	Radius
PP1	PP2	180.94	S 89d23'48" E	
PP1	PP2	294.04	S 64d33'31" E	350.00
PP2	PP3	407.72	S 39d43'13" E	
PP3	PP4	51.70	S 19d33'30" E	75.00
PP4	WH6	134.11	S 0d36'14" W	

OSPREY WING WAY

From	To	Distance	Bearing	Radius
OW1	OW2	169.82	S 89d23'48" E	
OW1	OW2	63.01	S 64d33'31" E	75.00
OW2	OW3	290.82	S 39d43'13" E	
OW3	OW4	49.70	S 20d22'17" E	75.00
OW4	WH3	56.46	S 1d12'21" E	

WHISPERING LAKE AVENUE

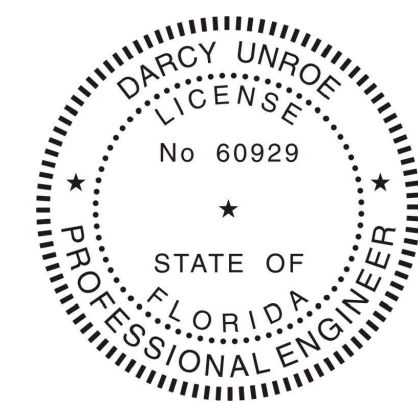
From	To	Distance	Bearing	Radius
WL1	WL2	180.50	S 89d23'48" E	
WL1	WL2	271.53	S 77d20'29" E	650.00
WL2	WL3	287.62	S 52d30'14" E	650.00
WL3	WL4	445.31	N 39d43'13" W	
WL4	WL5	172.34	S 19d33'30" E	250.00
WL5	WH7	176.34	S 0d36'14" W	

WHISPERING HILLS DRIVE

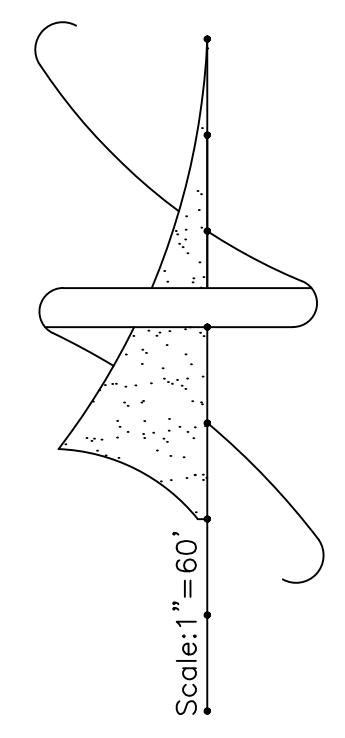
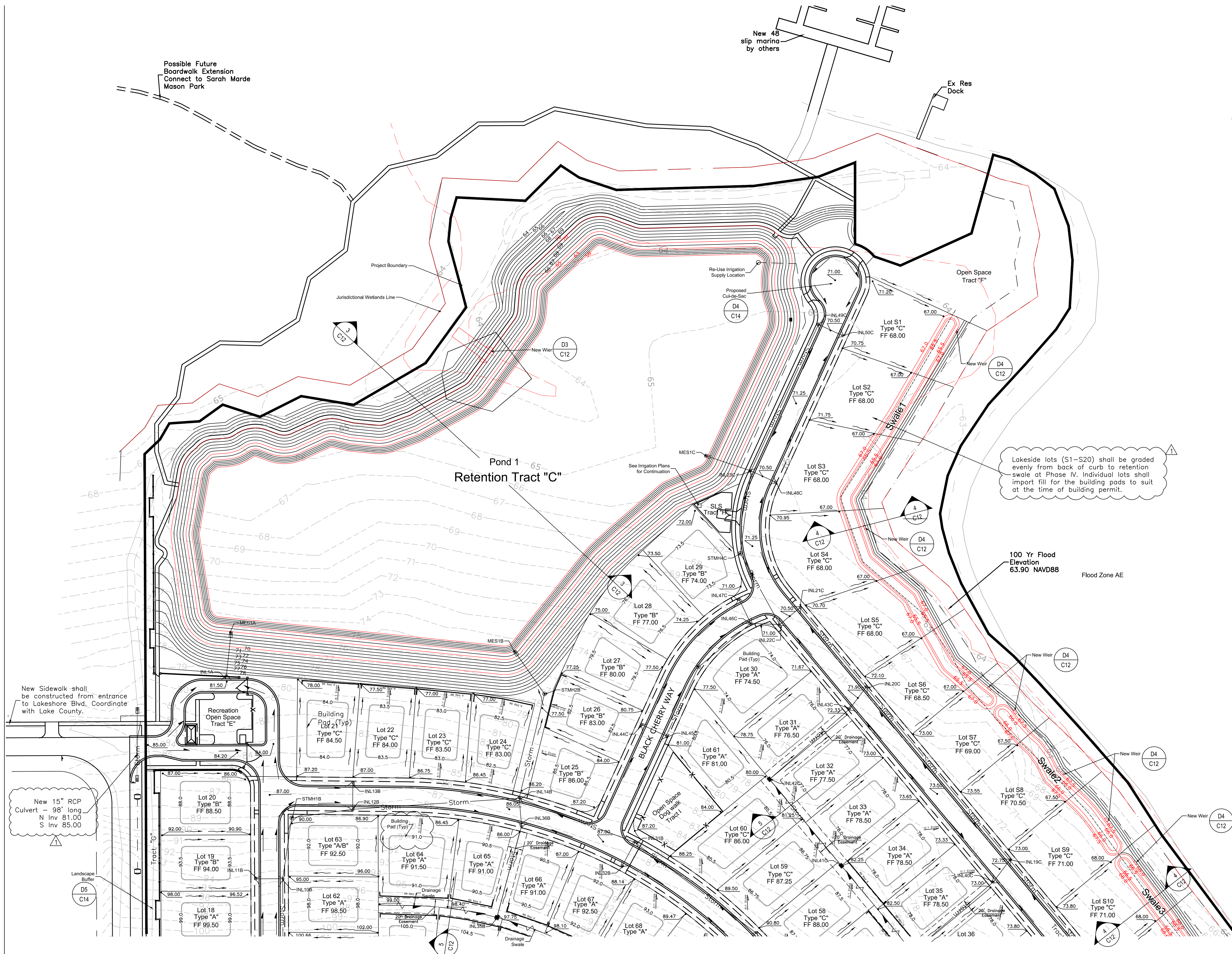
From	To	Distance	Bearing	Radius
WH1	WH2	39.42	N 89d23'46" W	
WH1	WH2	78.65	S 84d53'6" E	500.00
WH2	WH3	312.56	S 86d7'24" E	1550.00
WH3	WH4	175.00	N 84d45'6" E	1550.00
WH4	WH5	78.65	N 86d53'44" E	500.00
WH5	WH6	38.18	N 89d23'46" W	
WH6	WH7	290.00	N 89d23'46" W	
WH7	WH8	224.00	N 89d23'46" W	
WH8	WH9	141.42	N 45d36'14" E	100.00
WH9	WH10	69.79	S 0d36'14" W	
WH10	WH11	396.38	N 19d33'30" W	575.00
WH11	WH12	830.21	S 39d43'13" E	
WH12	WH13	6.50	N 38d28'44" W	150.00
WH13	WH14	154.41	N 6d15'39" W	150.00
WH14	WH15	228.09	S 24d42'58" W	
WH15	WH16	59.57	N 4d43'31" E	

BLACK CHERRY WAY

From	To	Distance	Bearing	Radius
BC1	BC2	232.67	N 24d42'58" E	
BC1	BC2	125.99	N 43d42'28" E	200.00
BC2	WH13	49.83	N 61d25'59" E	



Darcy Unroe PE 60929



#	Date	Description

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number - EB 00066579 ph (407) 299-0650

Subdivision Grading Plan - South
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

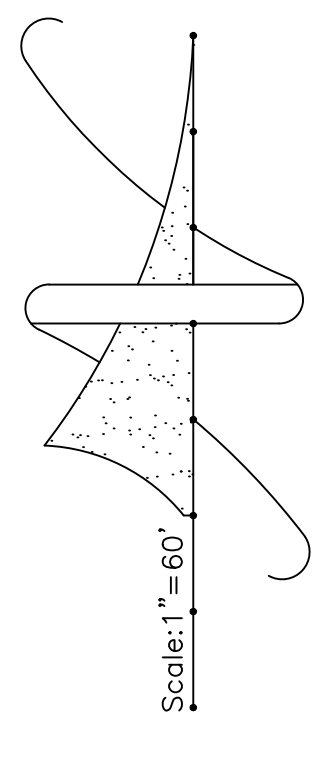
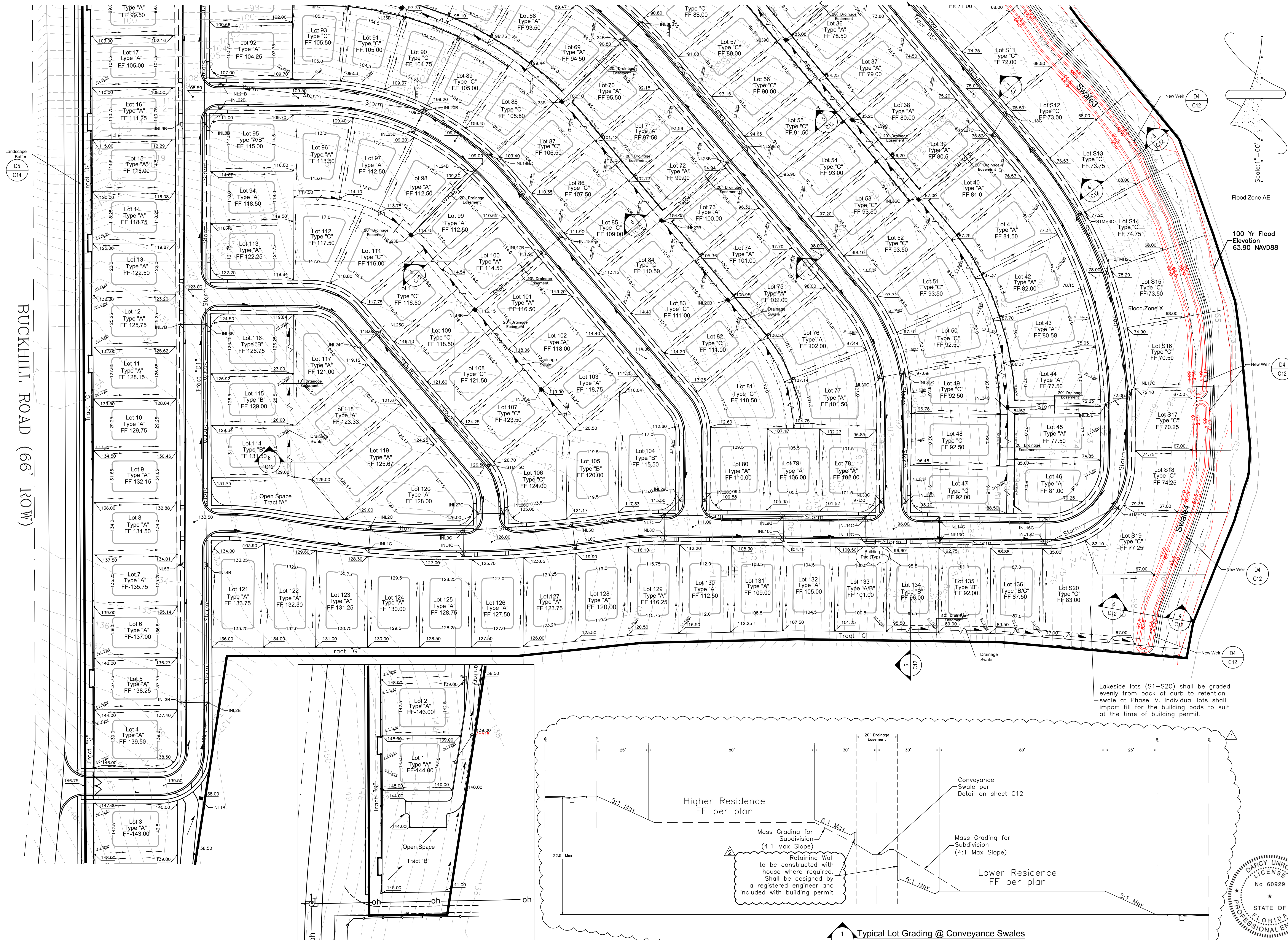
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09-07-21	Date
WH2-C6	File
Dwg. No.	

C6
 8 of 75



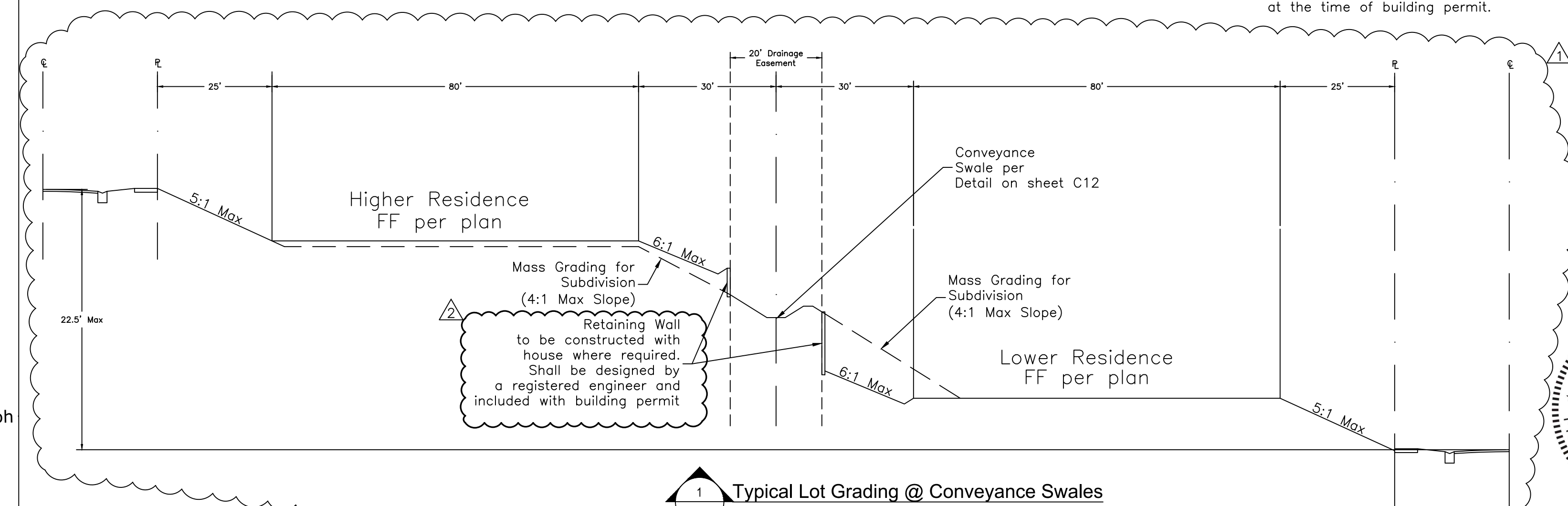
Darcy Unroe PE 60929

BUCKHILL ROAD (66' ROW)



Flood Zone AE
100 Yr Flood Elevation: 63.90 NAVD88

Lakeside lots (S1-S20) shall be graded evenly from back of curb to retention swale at Phase IV. Individual lots shall import fill for the building pads to suit at the time of building permit.



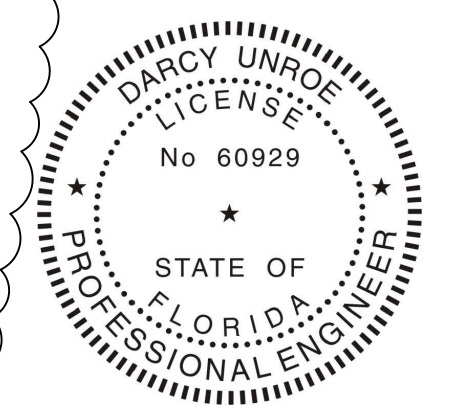
1 Typical Lot Grading @ Conveyance Swales

#	Date	Description
1	12/9/22	Town Comm
2	9/19/22	Town Comm

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number: EB 0006579 ph (407) 299-0650

Subdivision Grading Plan - South
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

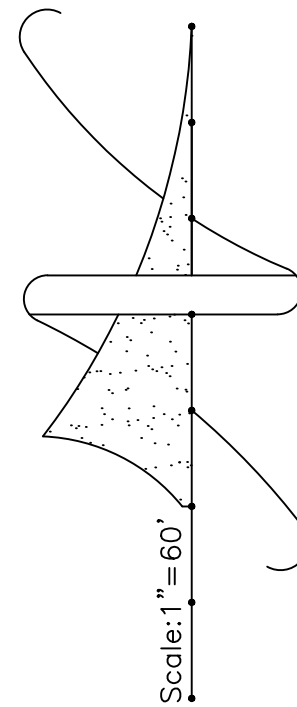
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09-07-21	Date
WH2-C7	File
Dwg. No.	



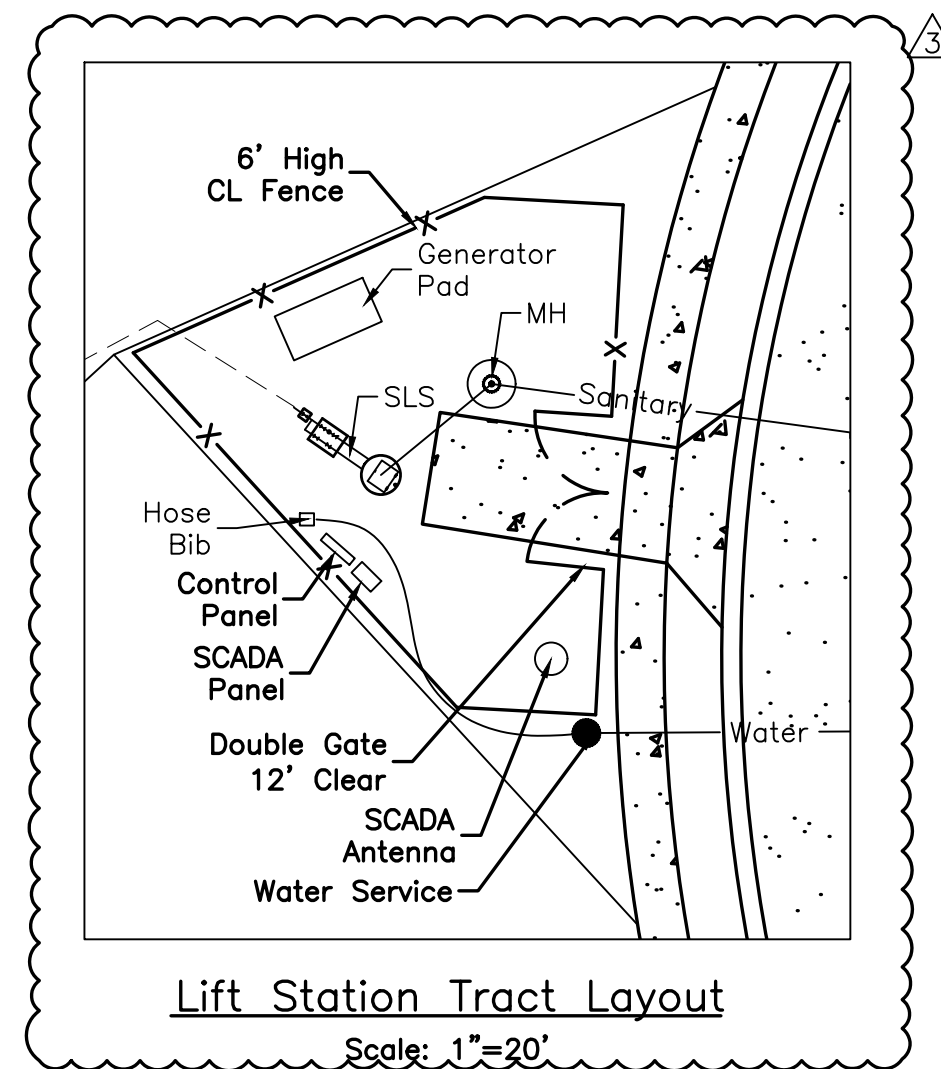
C7
9 of 75

Possible Future Boardwalk Extension Connect to Sarah Marde Mason Park

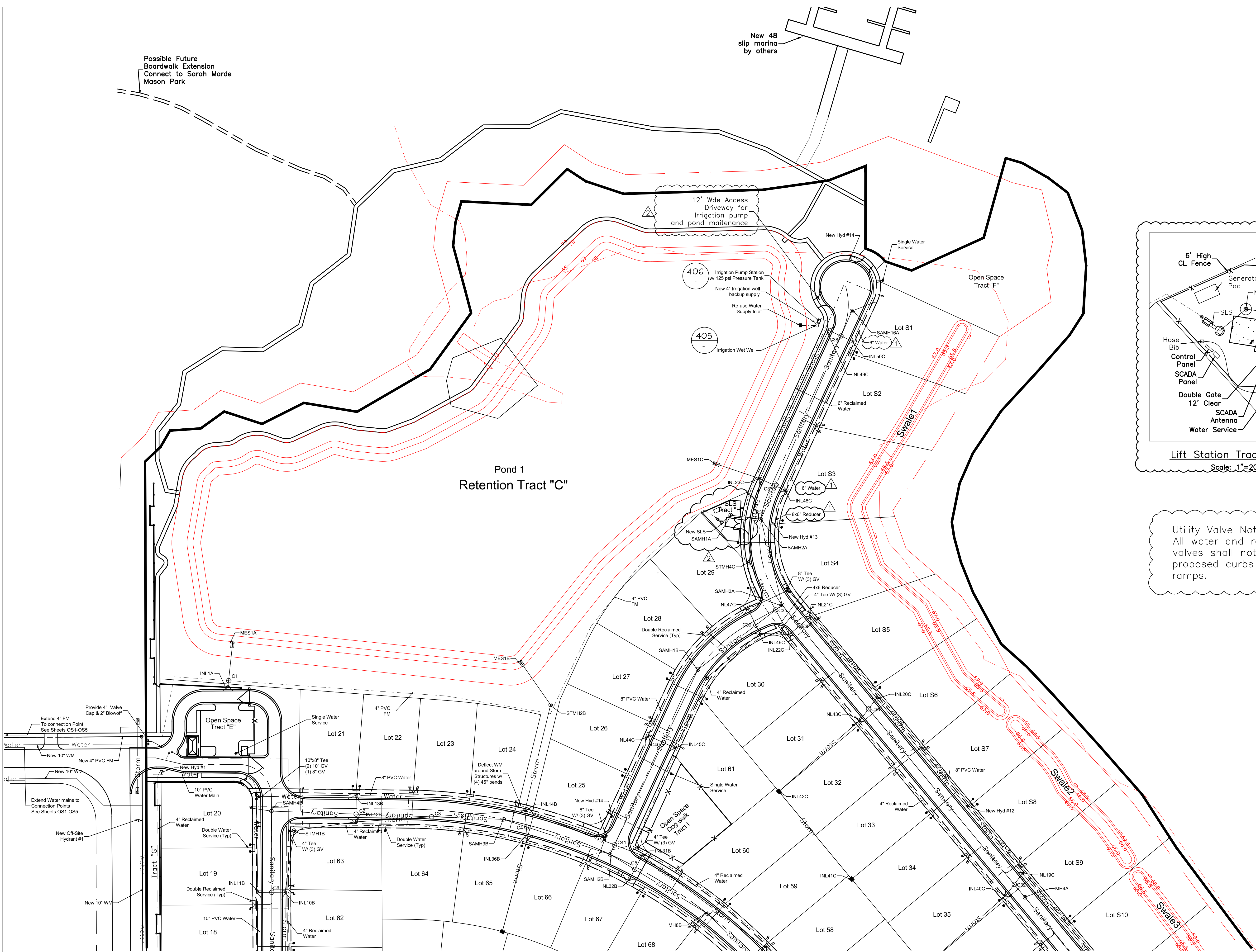
New 48 slip marina by others



Pond 1 Retention Tract "C"



Utility Valve Note:
All water and reclaimed valves shall not be set within proposed curbs or curb ramps.



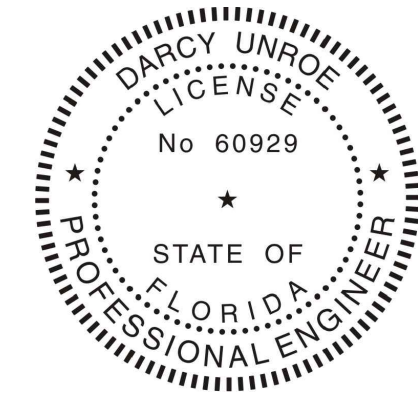
#	Date	Description
1	5/3/23	Town Comm
2	12/8/22	Town Comm
3	9/19/22	Town Comm

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number - EB 0006579 ph (407) 299-0650

Subdivision Utility Plan - North
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

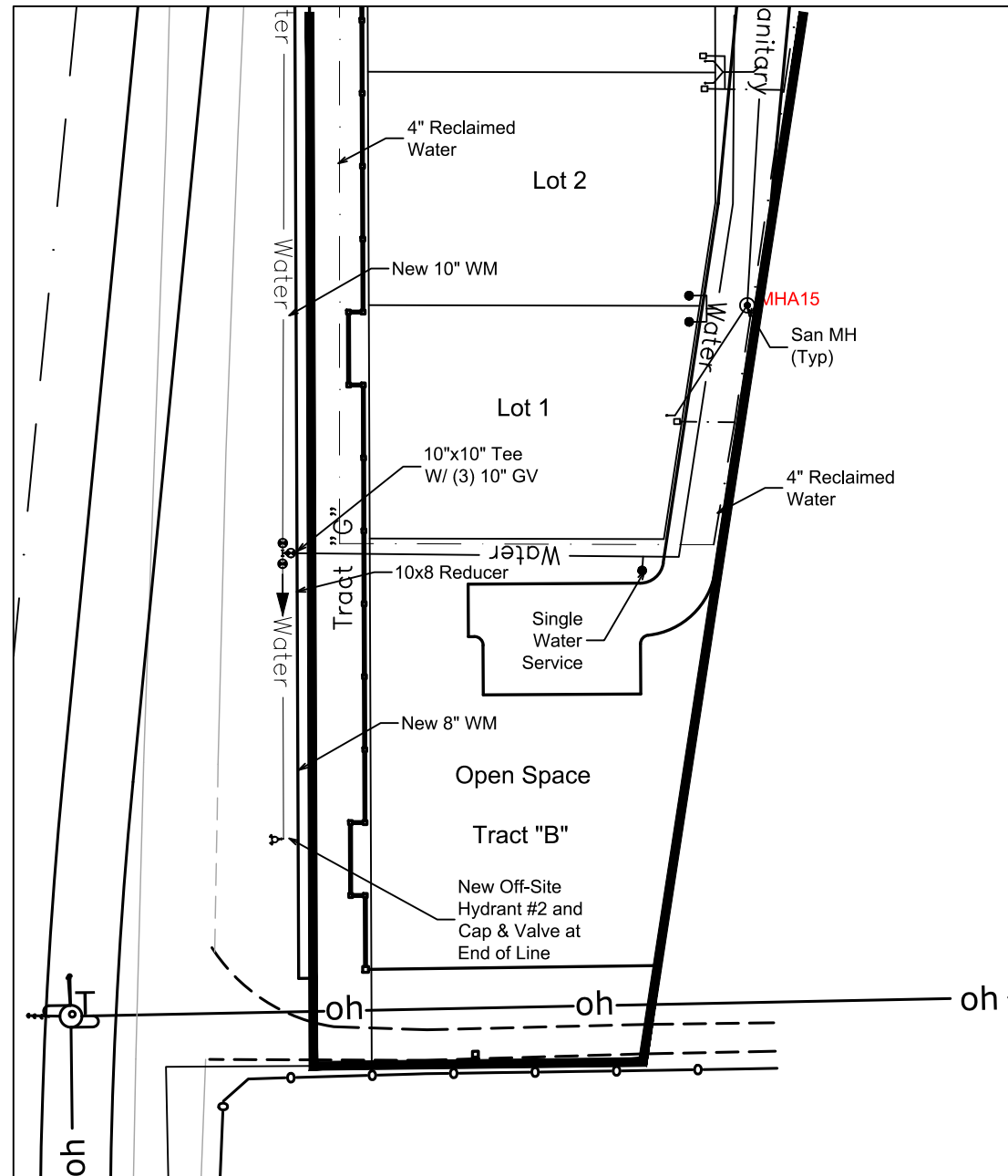
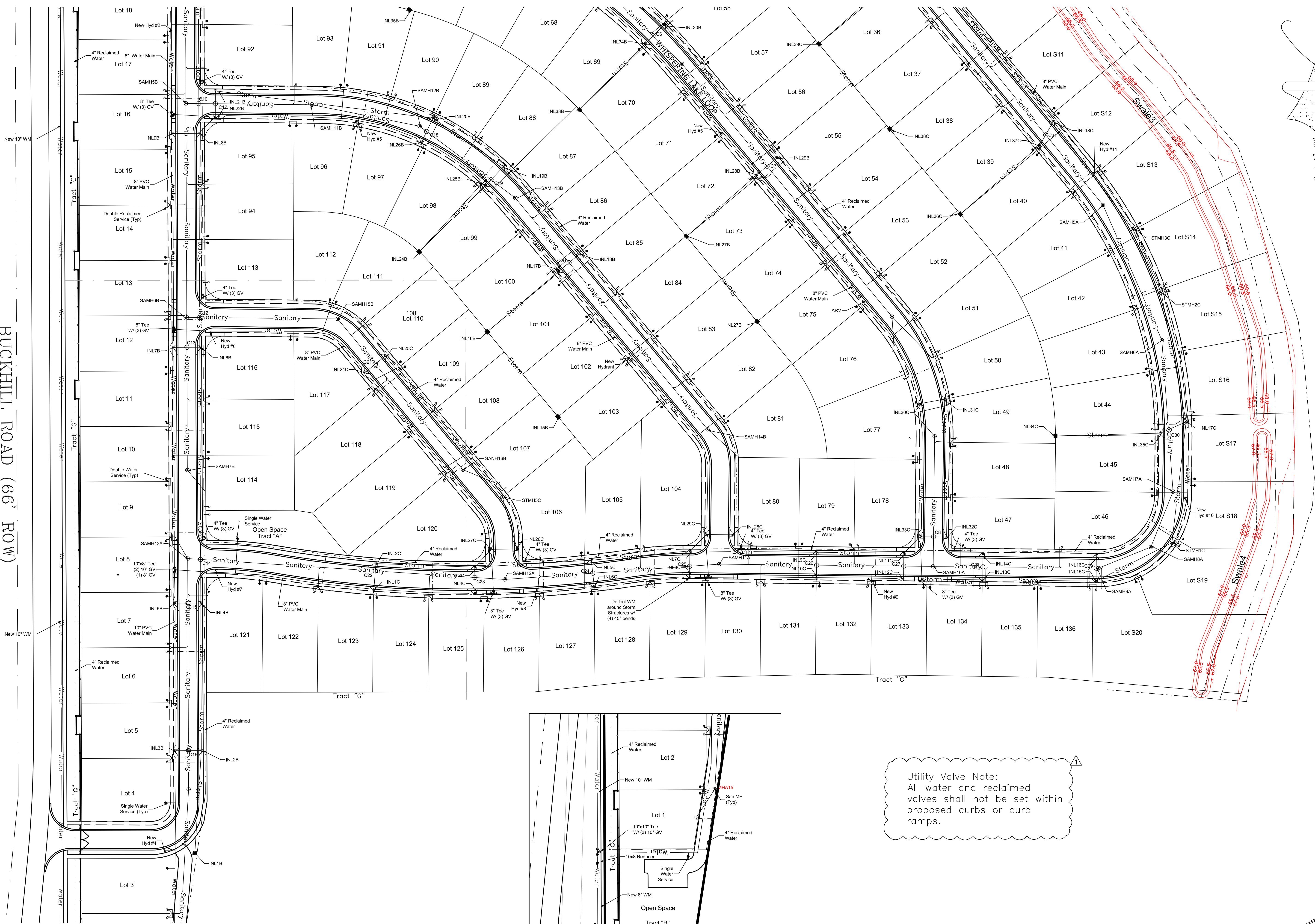
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DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C8	File

Dwg. No. **C8**
 10 of 75



Darcy Unroe PE 60929

BUCKHILL ROAD (66' ROW)



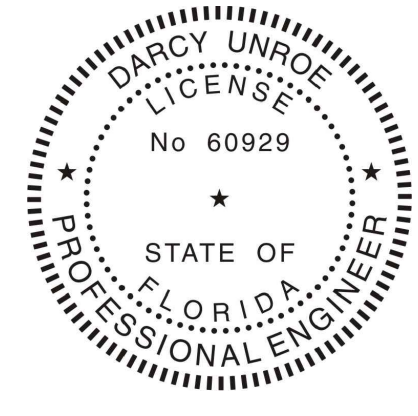
Utility Valve Note:
All water and reclaimed valves shall not be set within proposed curbs or curb ramps.

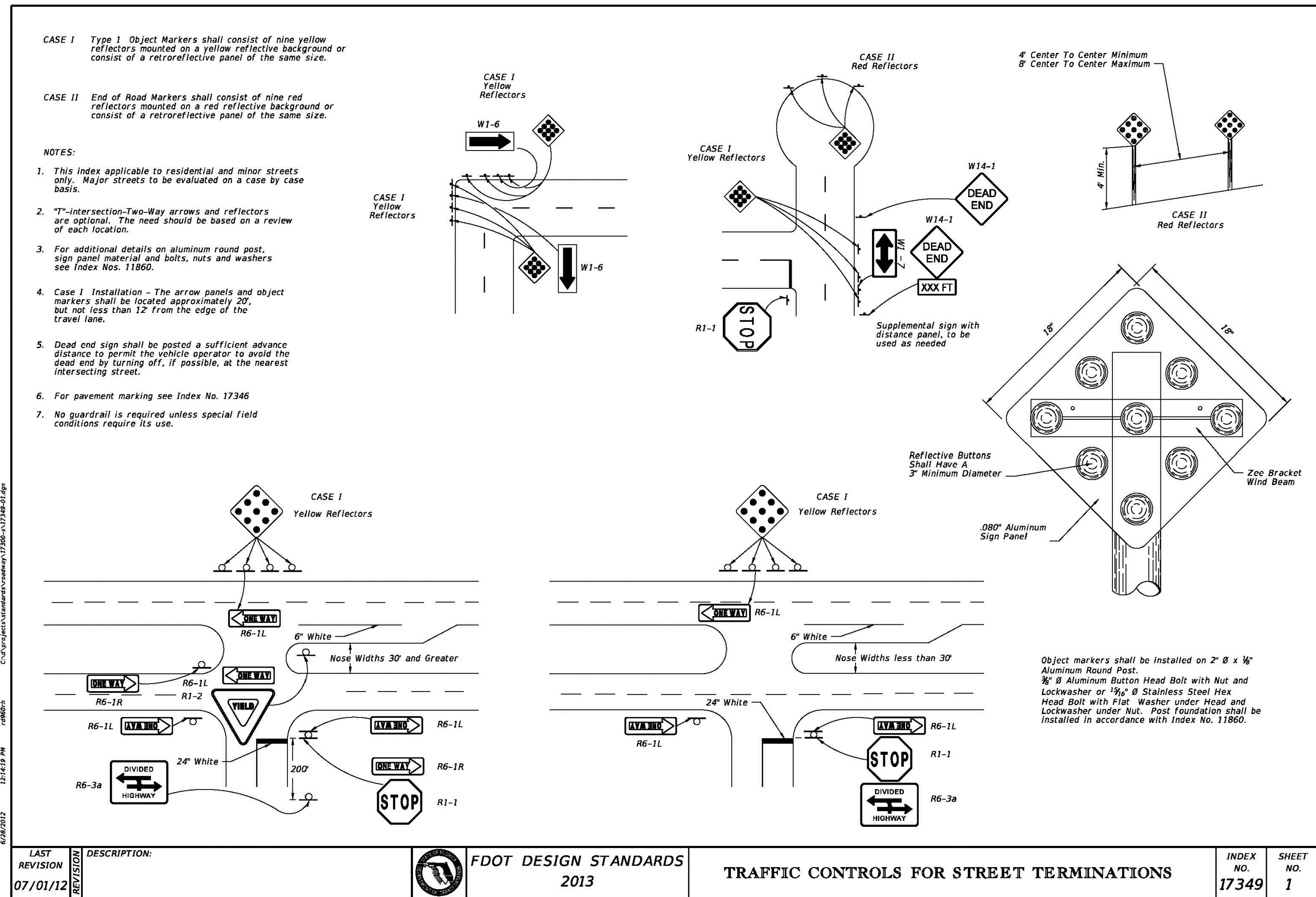
#	Date	Description

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number - EB 00066579 ph (407) 299-0650

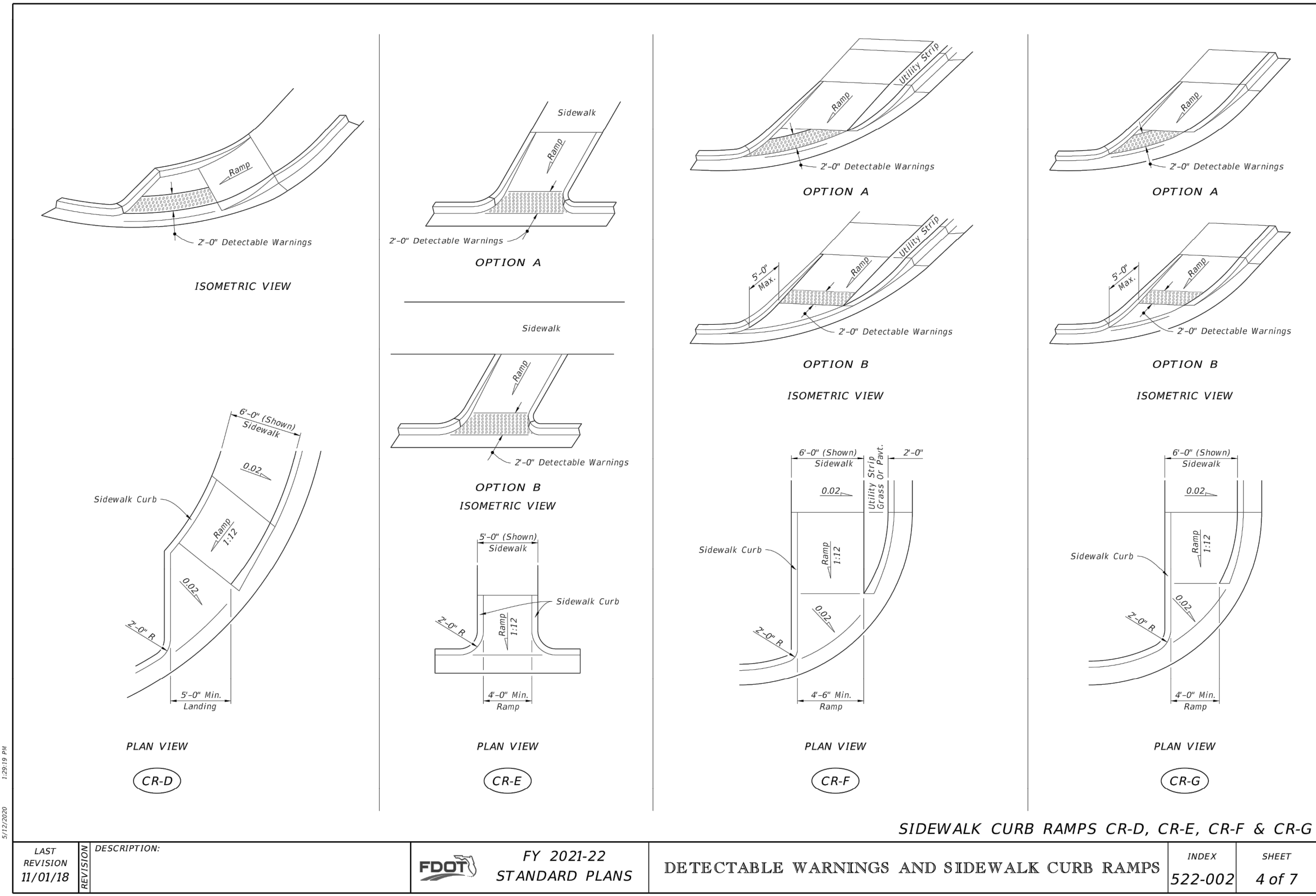
Subdivision Utility Plan - South
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

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09-07-21	Date
WH2-C9	File
Dwg. No.	

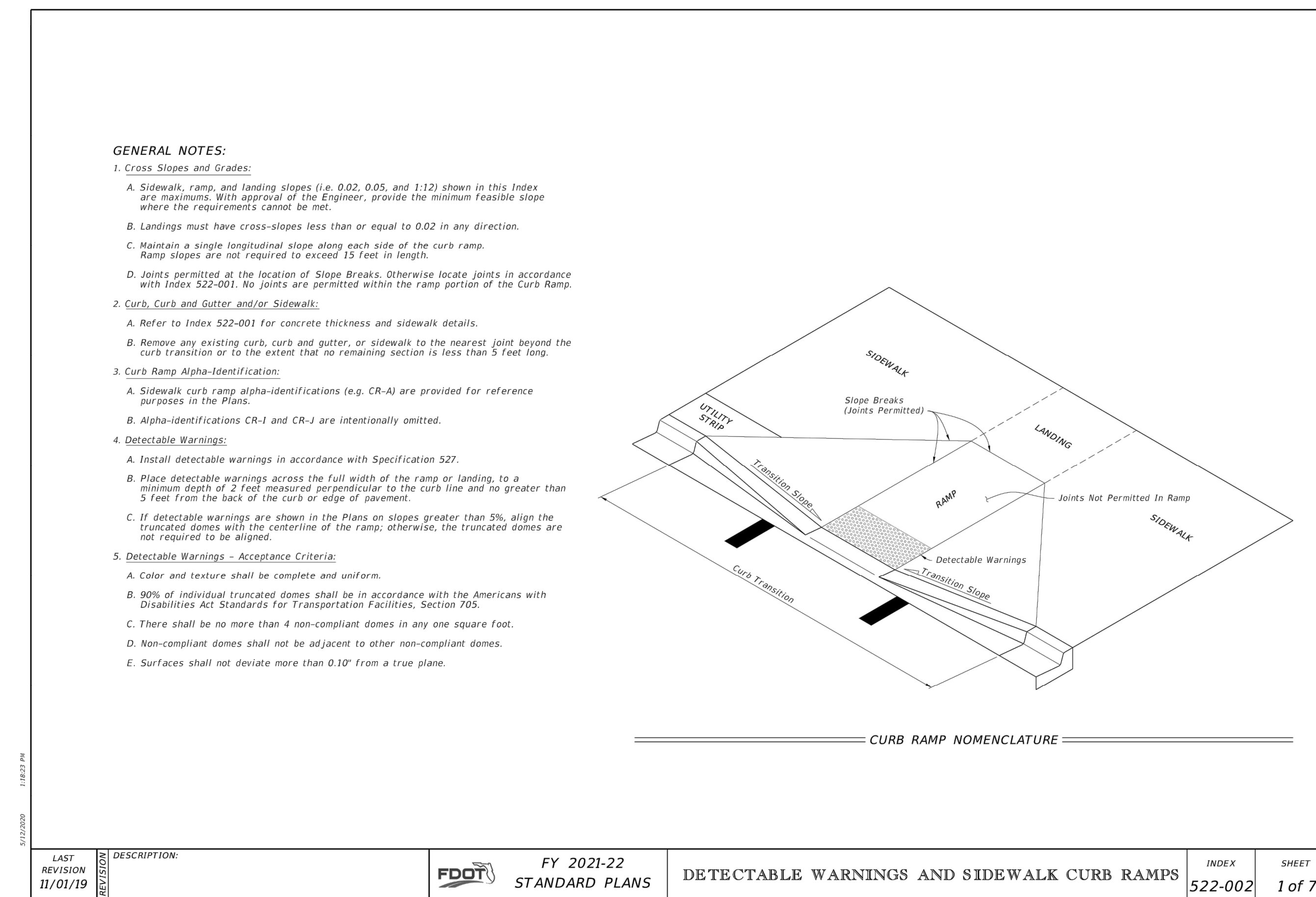




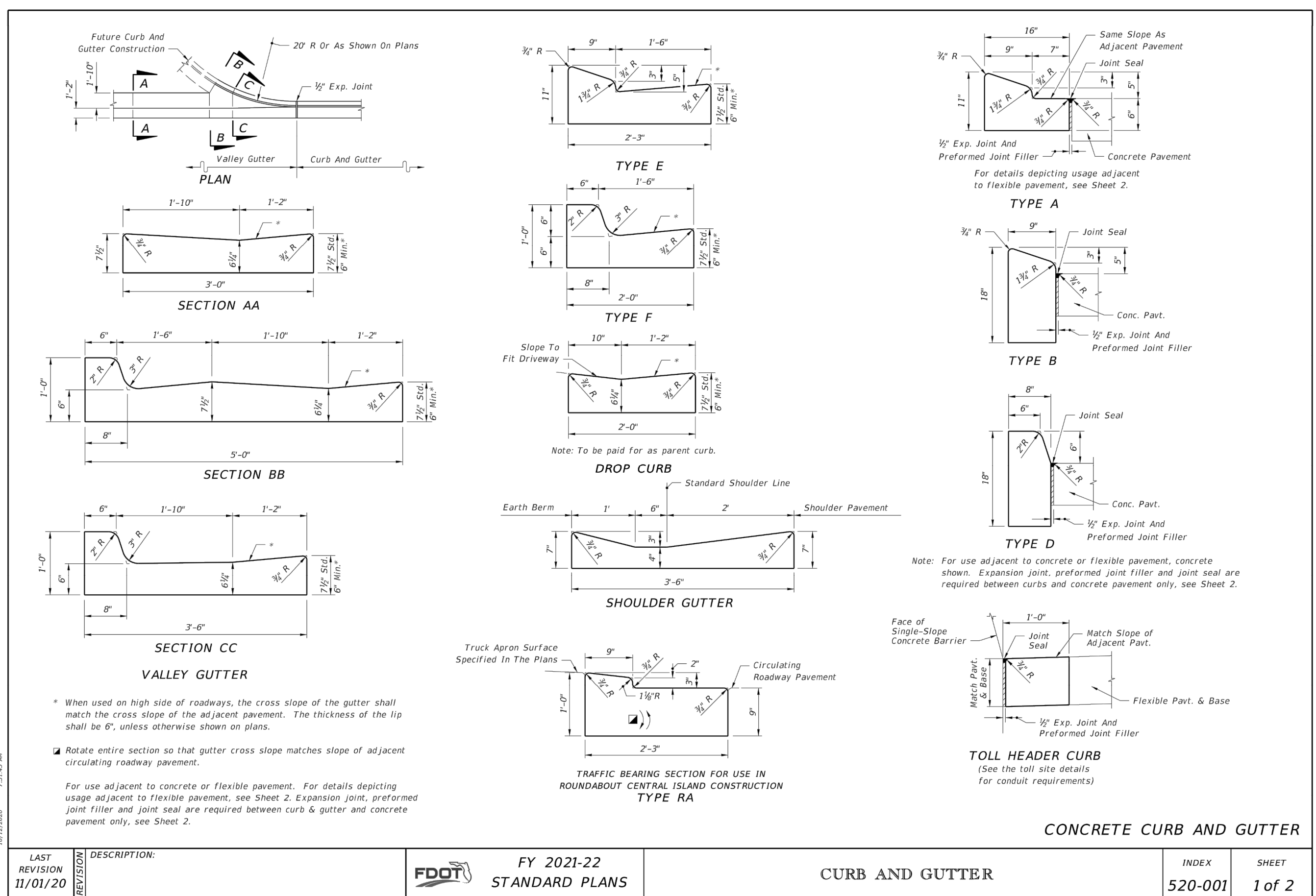
D1 Street Termination



D2 Typical Curb Ramps



D3 Detectable Warning Surface



D4 Typical Curbs Detail

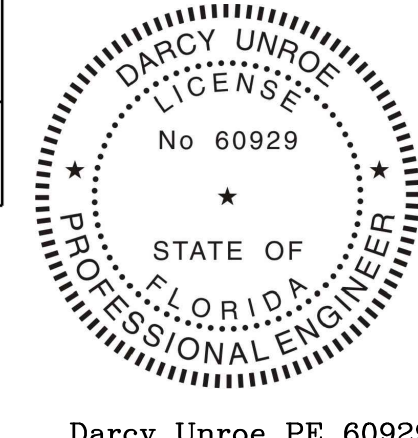
#	Date	Description

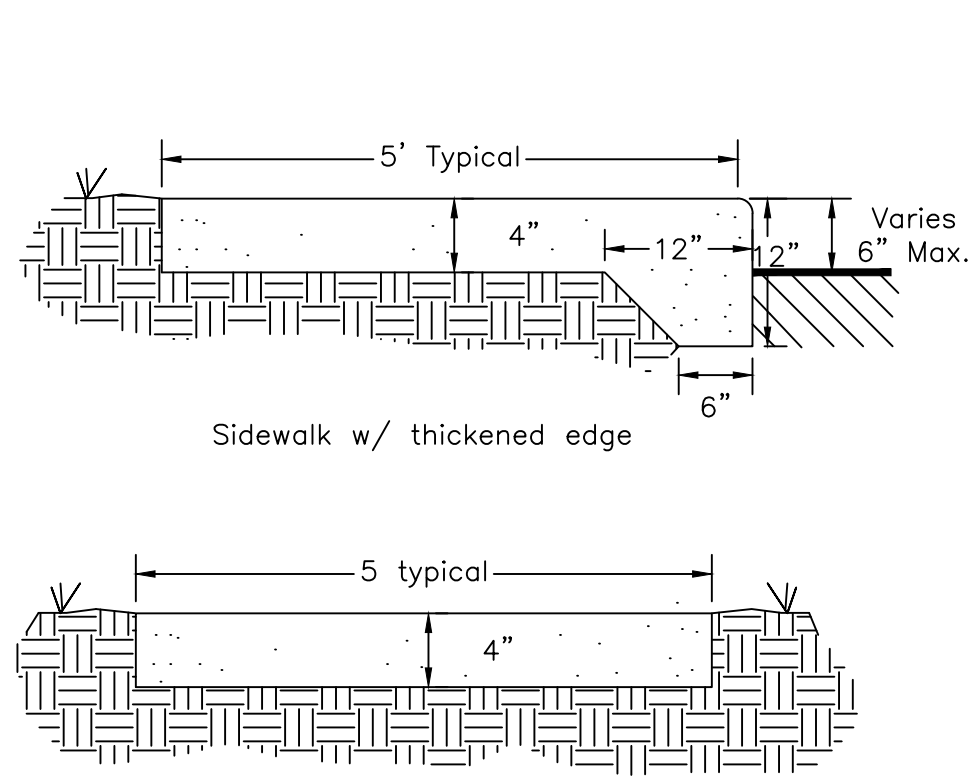
Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number - EB 0006579 ph (407) 299-0650

General Details Sheet 1
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
---	Scale
09-07-21	Date
WH2-C11	File
Dwg. No.	

C11
 13 of 75



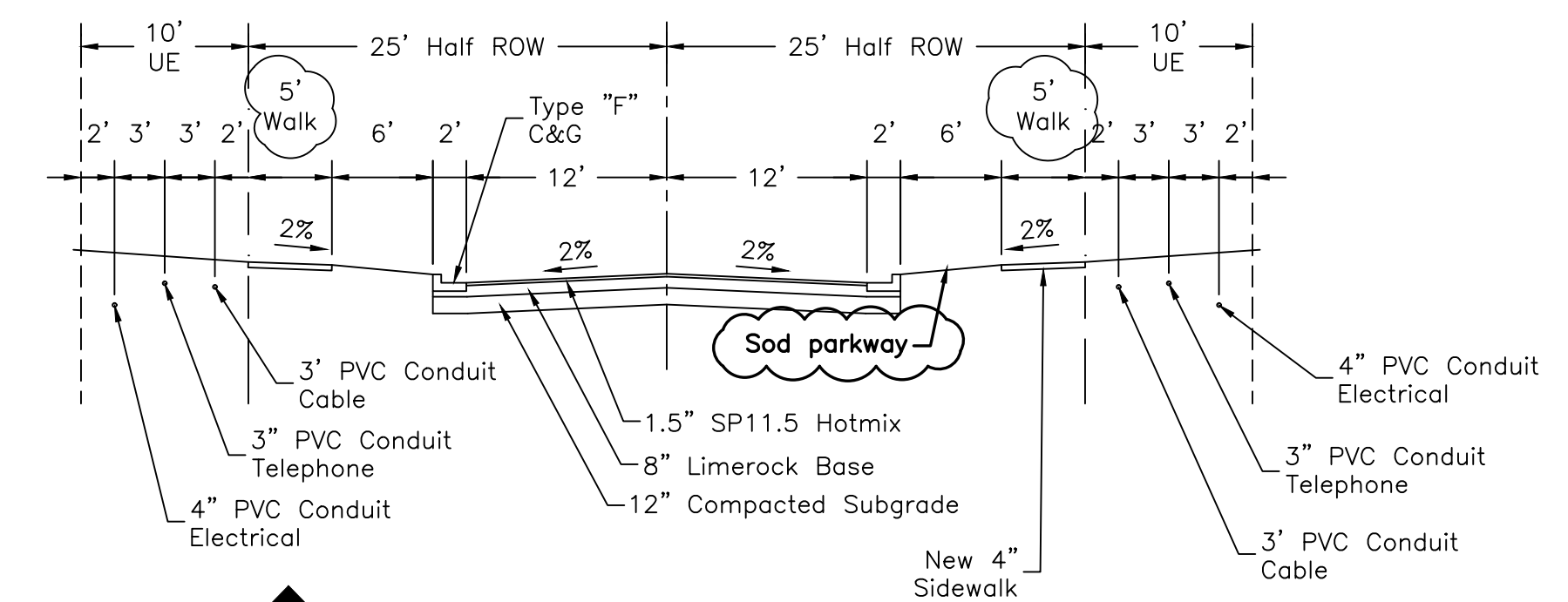


- Notes:
- All concrete shall be 3,000 psi @ 28 days, fibermesh reinforced.
 - Soil below new walks shall be compacted to 95% max density.
 - Control joints shall be sawcut 1.5" deep in concrete at 5' on center.
 - Construction joints shall be provided at 50' OC max.
 - Sidewalks/crosswalks in Traffic areas shall be increased to 6" Thickness.

D1 Typical Sidewalk Details
C12

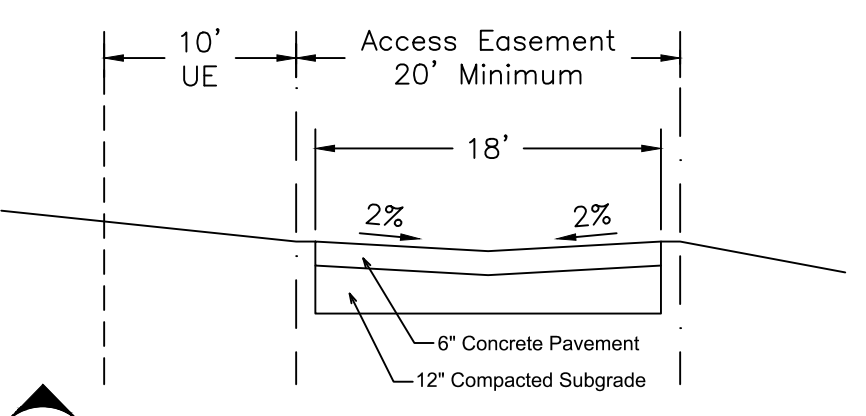
Accessibility Notes

- All handicapped parking spaces and access aisles adjacent to the handicap parking spaces shall have a maximum of 2% slope in all directions (this includes running slope and cross slope).
- An accessible route from the public street or sidewalk to the building entrance must be provided. This accessible route shall be a minimum of 60" wide. The running slope of an accessible route shall not exceed 5% and the cross slope shall not exceed 2%.
- Slopes exceeding 5% but less than 8% will require a ramp and must conform to the Florida Building Code requirements for ramp design (handrails, curbs, landings). No ramp shall exceed an 8% running slope or 2% cross slope.
- Special attention shall be required during staking to make sure the 2% cross slope is met in the cross walk.
- It will be the responsibility of the general contractor to ensure that the handicap parking spaces, accessible routes, and sidewalks/crosswalks are constructed to meet ADA requirements.
- Any requirements listed above that can not be met shall be brought to the attention of the EOR prior to construction.



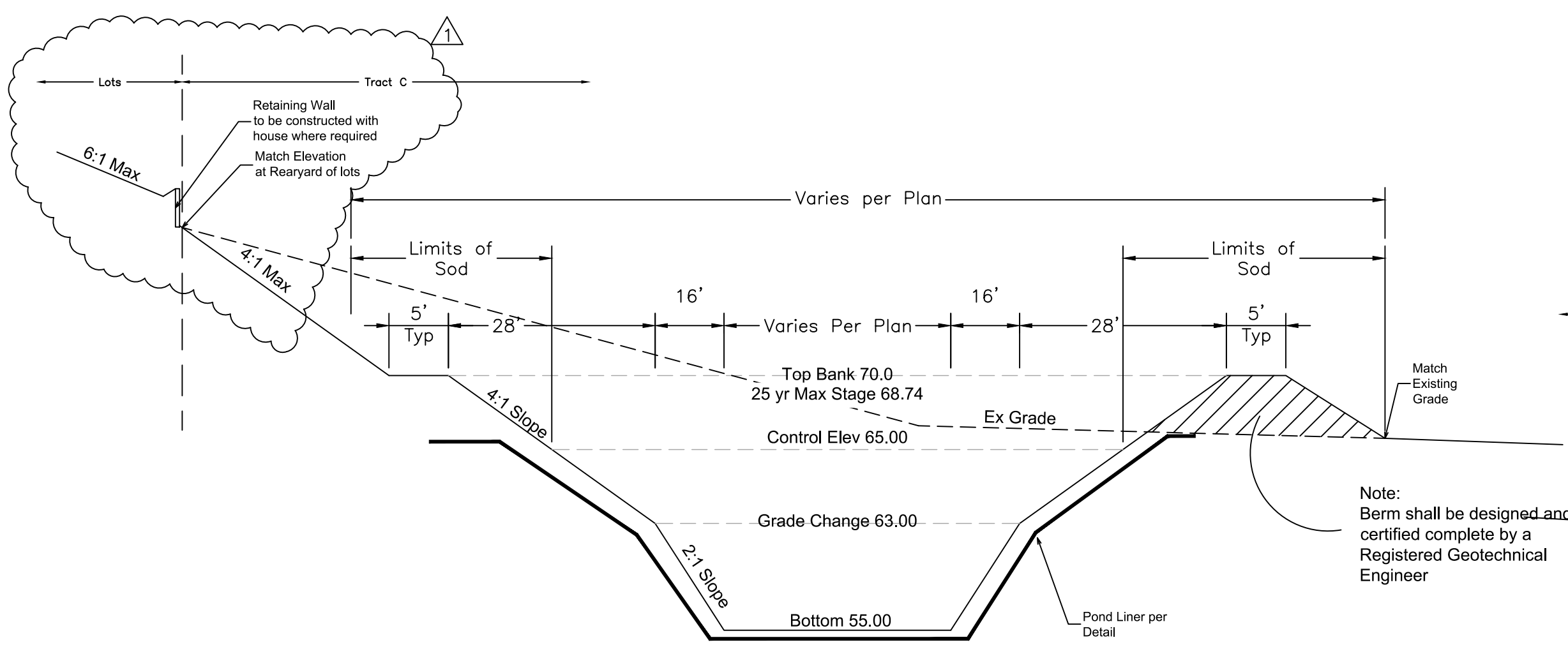
1 Typical 50' Wide ROW Pavement Section
C12

- Notes:
- Contractor to pave the first lift as 2" and second 2" lift will be installed at the time of substantial completion of homes for each phase.
 - Pavement section as shown is taken from Geotechnical Engineer's recommendations!
 - Site contractor to coordinate with developer to install sleeves for use by electrical, cable, telephone and etc.
 - After application of the first lift the contractor and homebuilders are jointly responsible for maintenance of pavement. The contractor shall be responsible for the second lift.
 - Where sidewalks are to be constructed, the entire area between the back of curb and sidewalk shall be sodded.

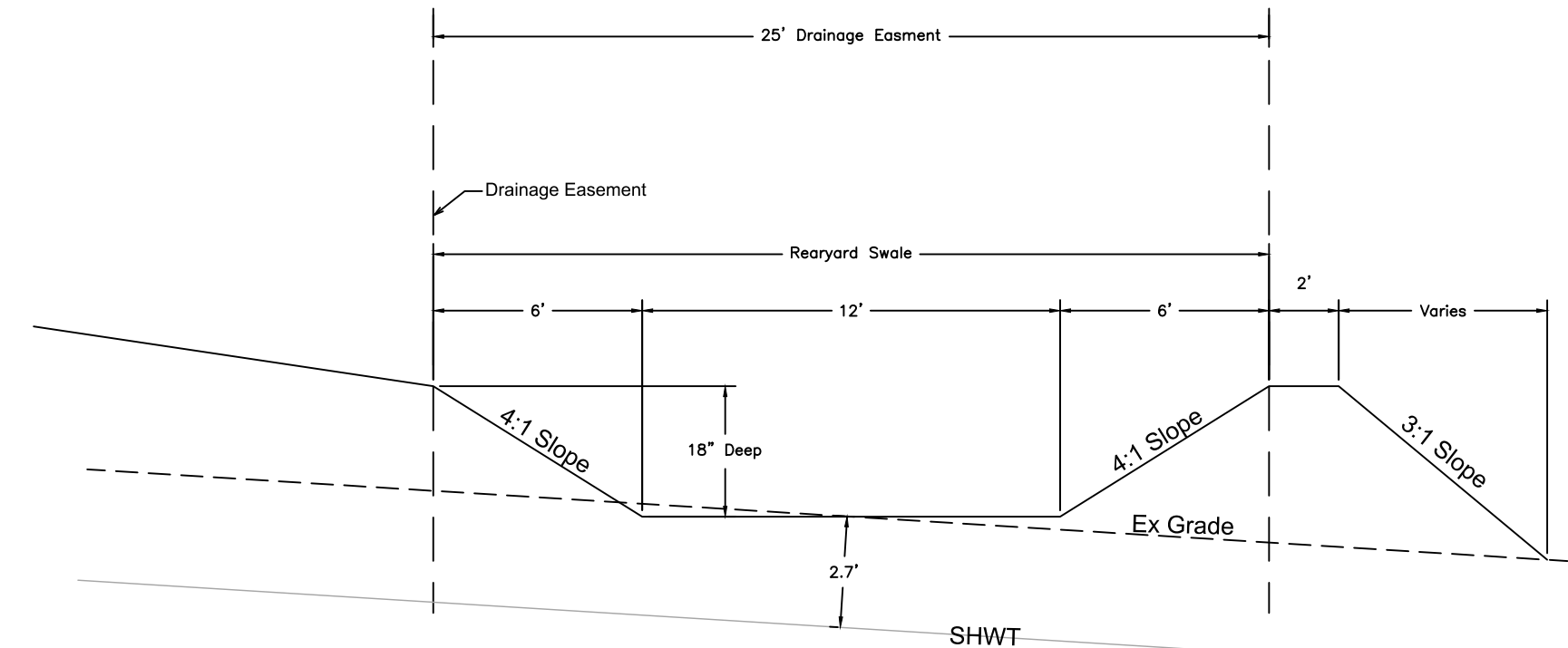


2 Typical Access Easement Section
C12

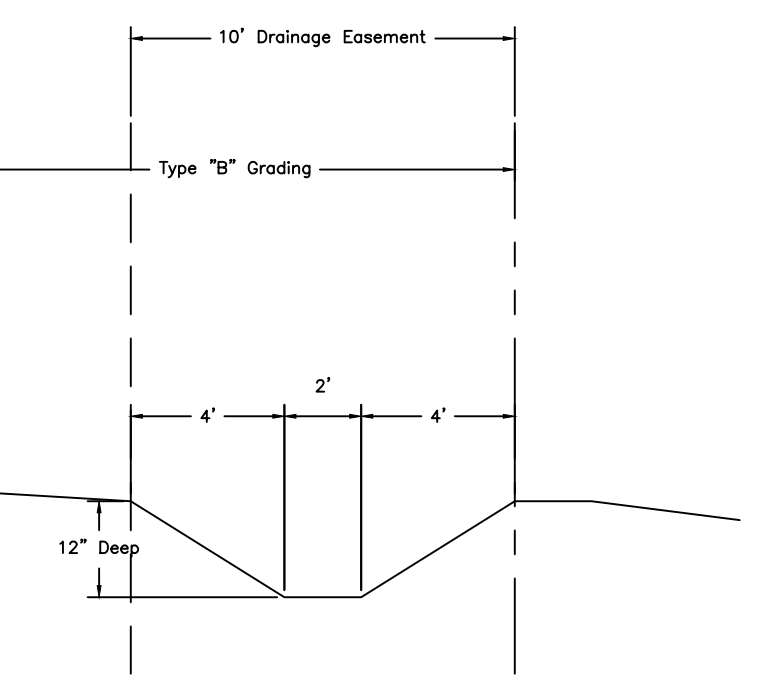
- Concrete Pavement Notes:
- 6" Thick on 12" Compacted Subgrade
 - All concrete 4,000 psi/28 day strength Portland Cement Type I
 - Contractor shall submit jointing plan for approval prior to construction.
 - Expansion joints required at abutting structures, curbs, walks, etc.
 - Contraction joints shall be saw cut 1" deep, maximum spacing 20'.
 - Construction or cold joints shall be dowelled or keyed on joint line only.
 - Site contractor to coordinate with developer to install sleeves for use by electrical, cable, telephone and etc.



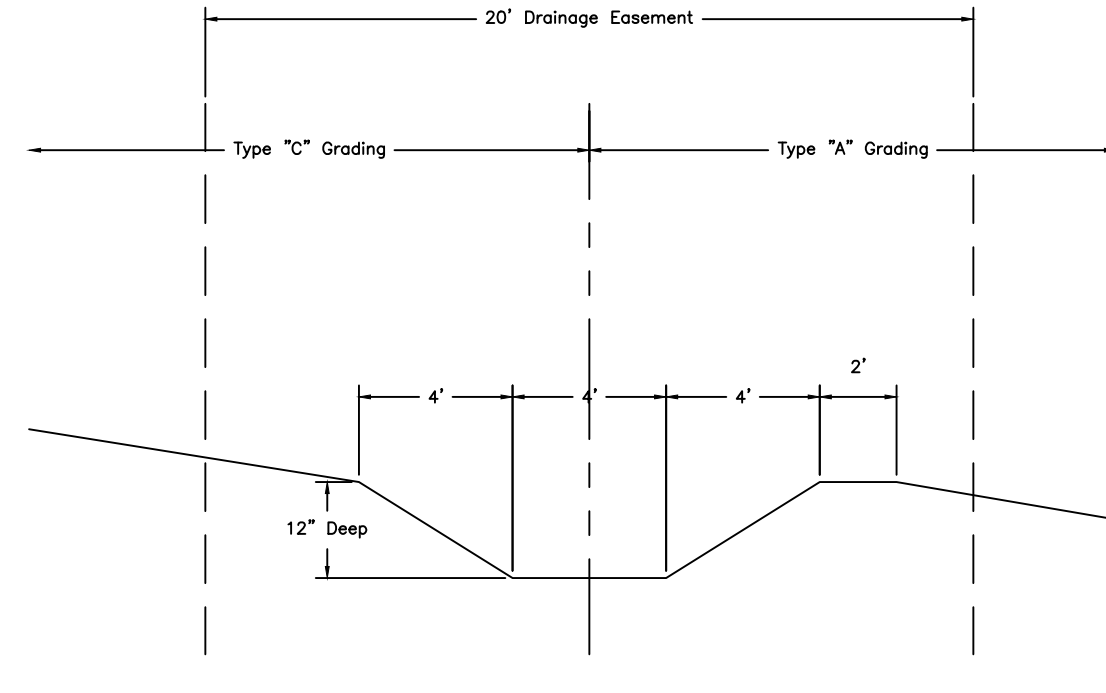
3 Wet Detention Pond Section
C12



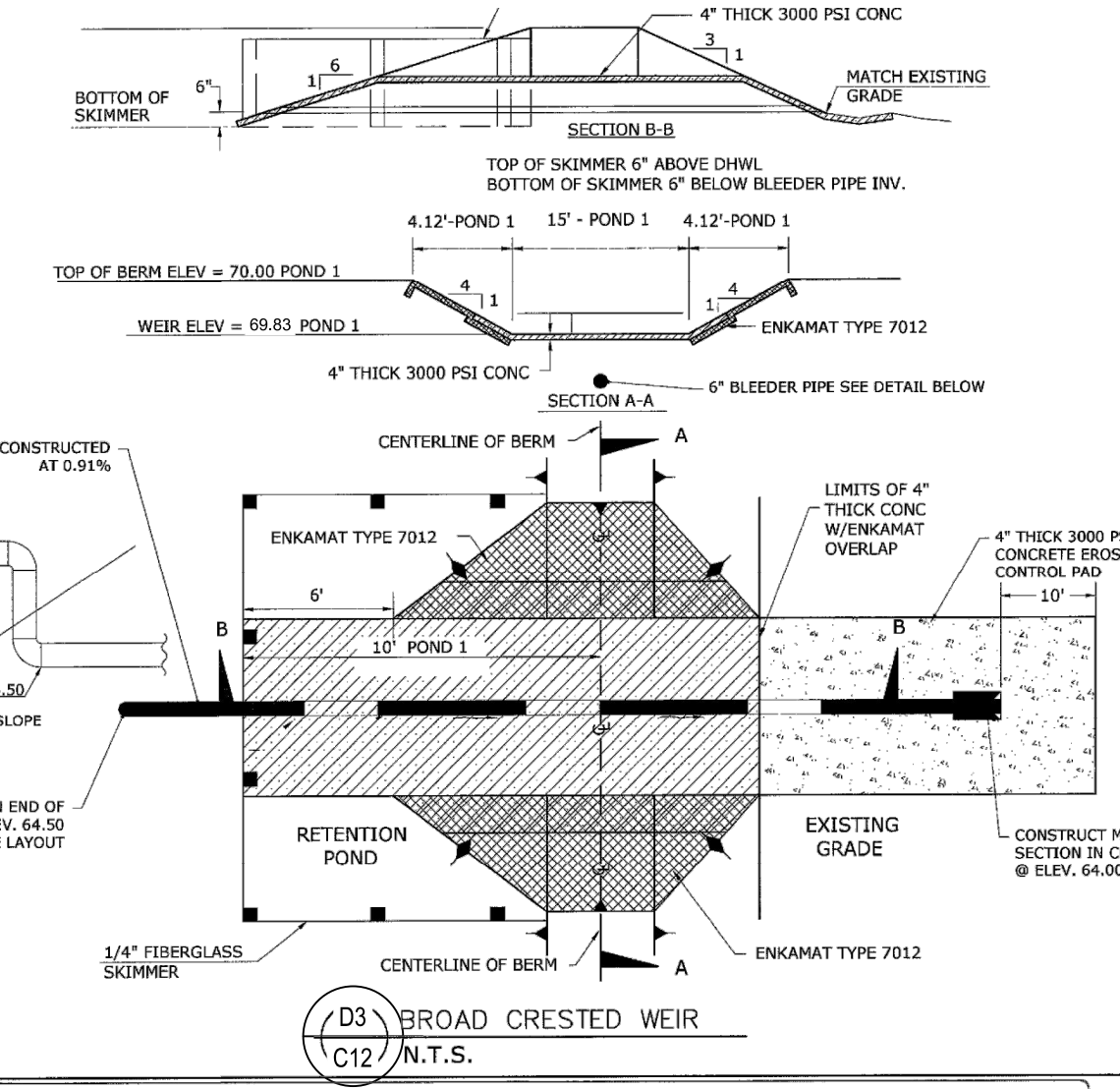
4 Rear Yard Swale Detail
C12



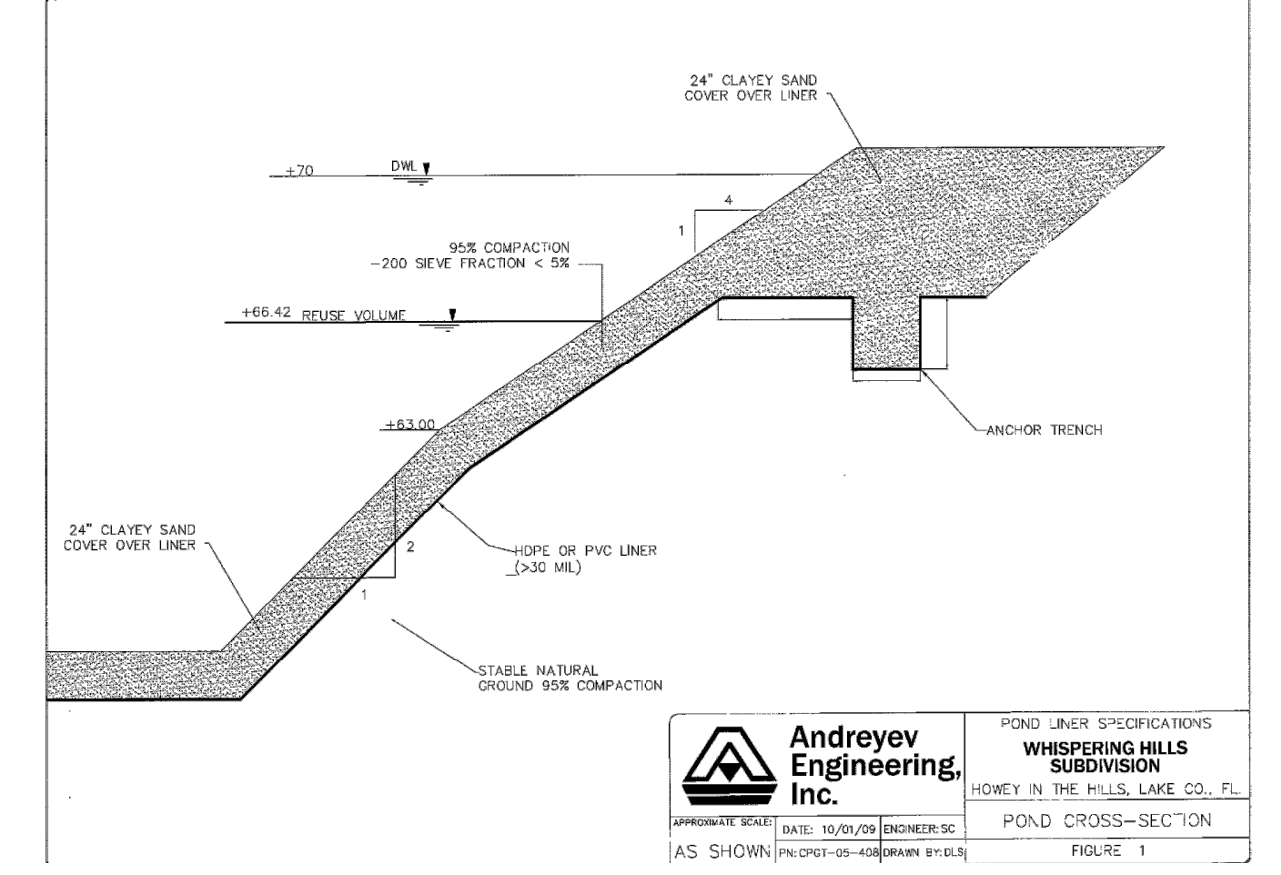
6 Conveyance Swale Detail
C12



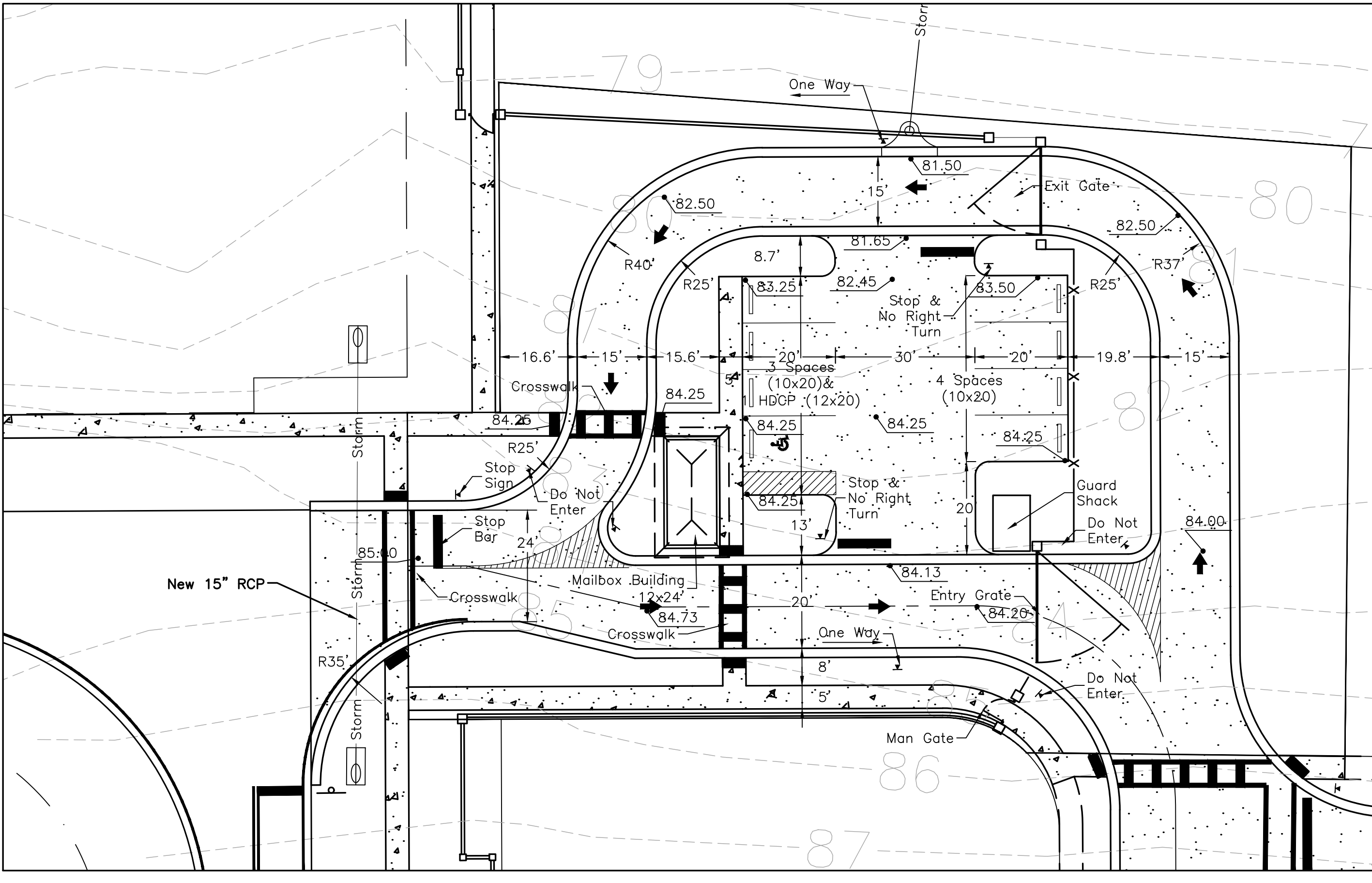
5 Conveyance Swale Detail
C12



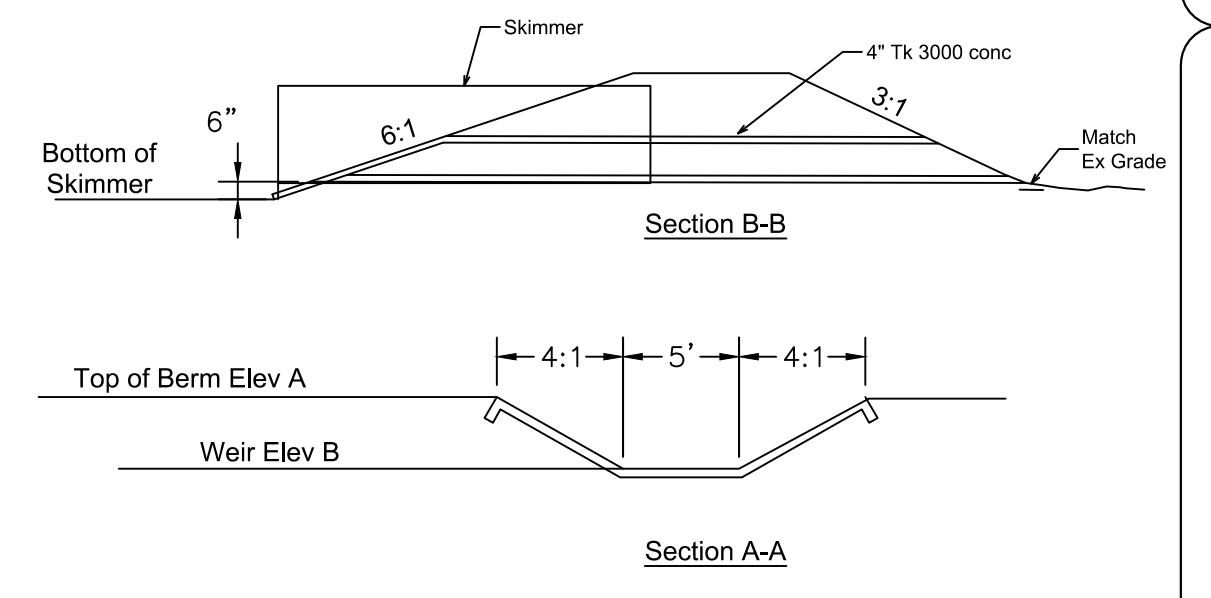
D3 BROAD CRESTED WEIR
C12 N.T.S.



Andreyev Engineering, Inc.
WISPERING HILLS SUBDIVISION
HOMEY IN THE HILLS, LAKE CO., FL.
DATE: 10/09/20
POND CROSS-SECTION
FIGURE 1

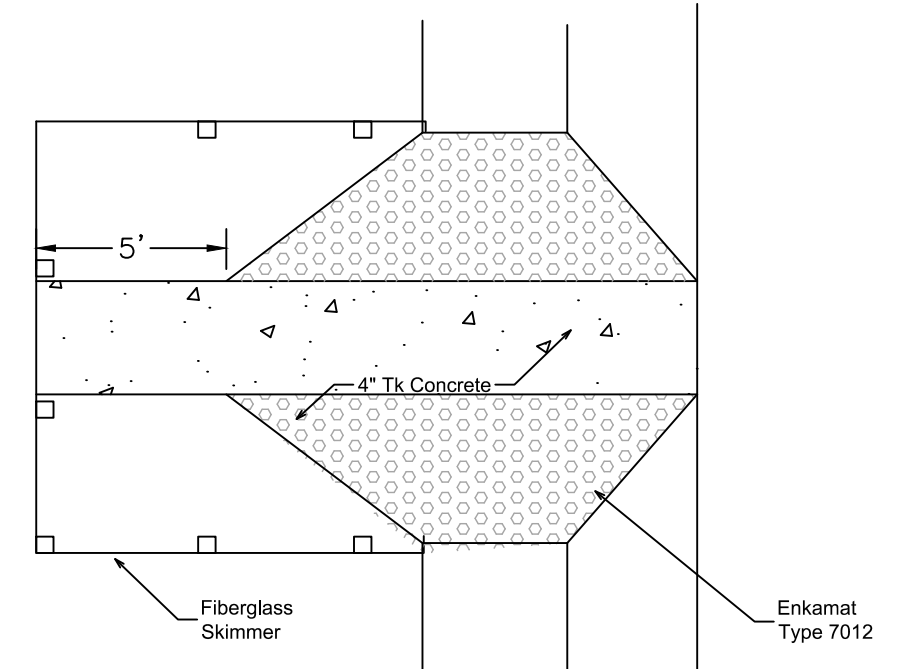


Tract "E" Site Plan
Scale: 1"=20'



D4 Swale Weir
C12

- Swale #1
A - 67.00, B - 66.30
- Swale #2
A - 67.50, B - 66.80
- Swale #3
A - 68.0, B - 67.30
- Swale #4
A - 67.0, B - 66.30



Revisions	Date	Description

Unroe Engineering, Inc
Civil Engineering/Planning/Scientific Evaluation
PO Box 690942, Orlando, FL 32869-0942
Business Authorization Number: EB 0006579 ph (407) 299-0650

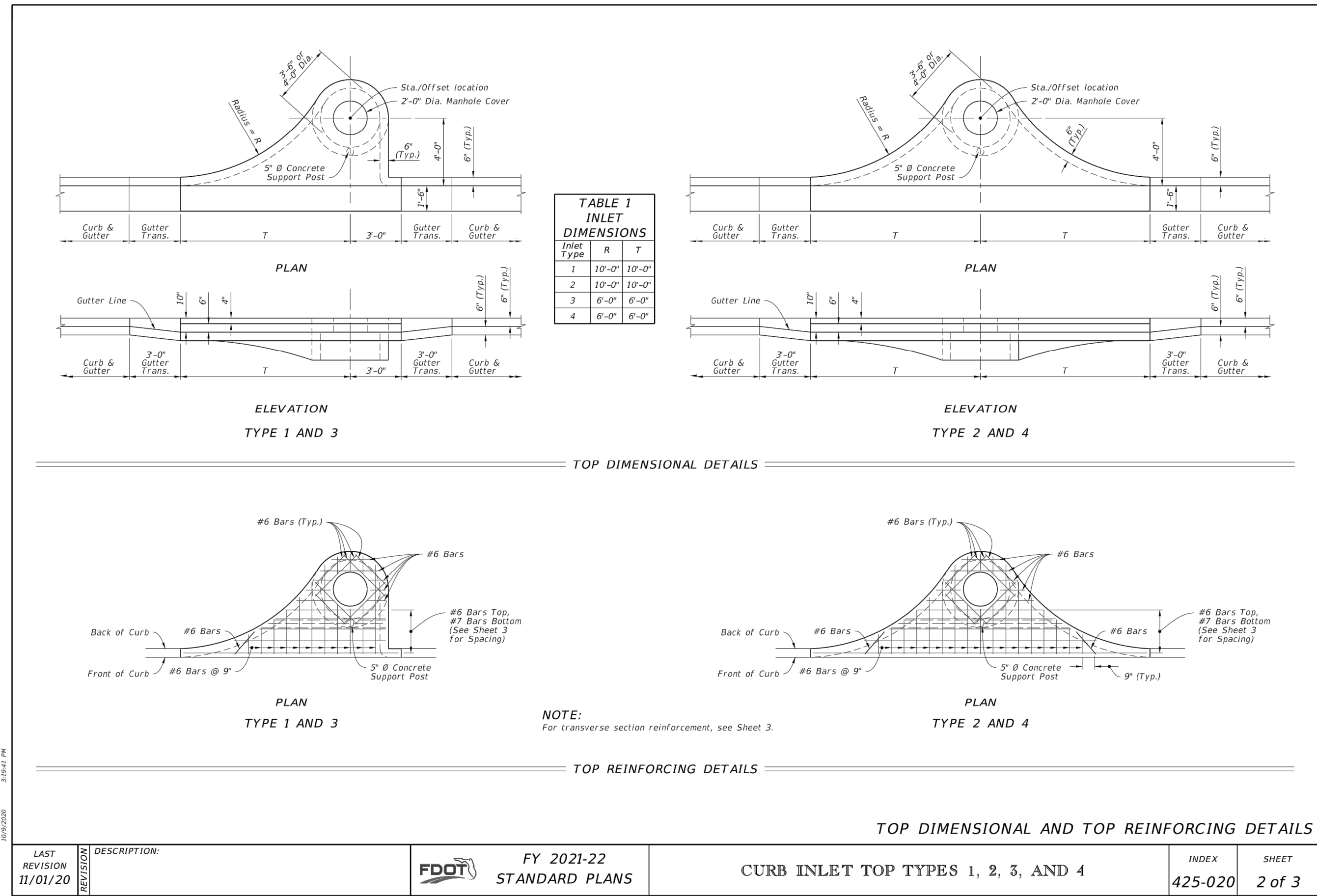
General Details Sheet 2
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

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DP	Checked
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09-07-21	Date
WH2-C12	File
Dwg. No.	

C12
14 of 75

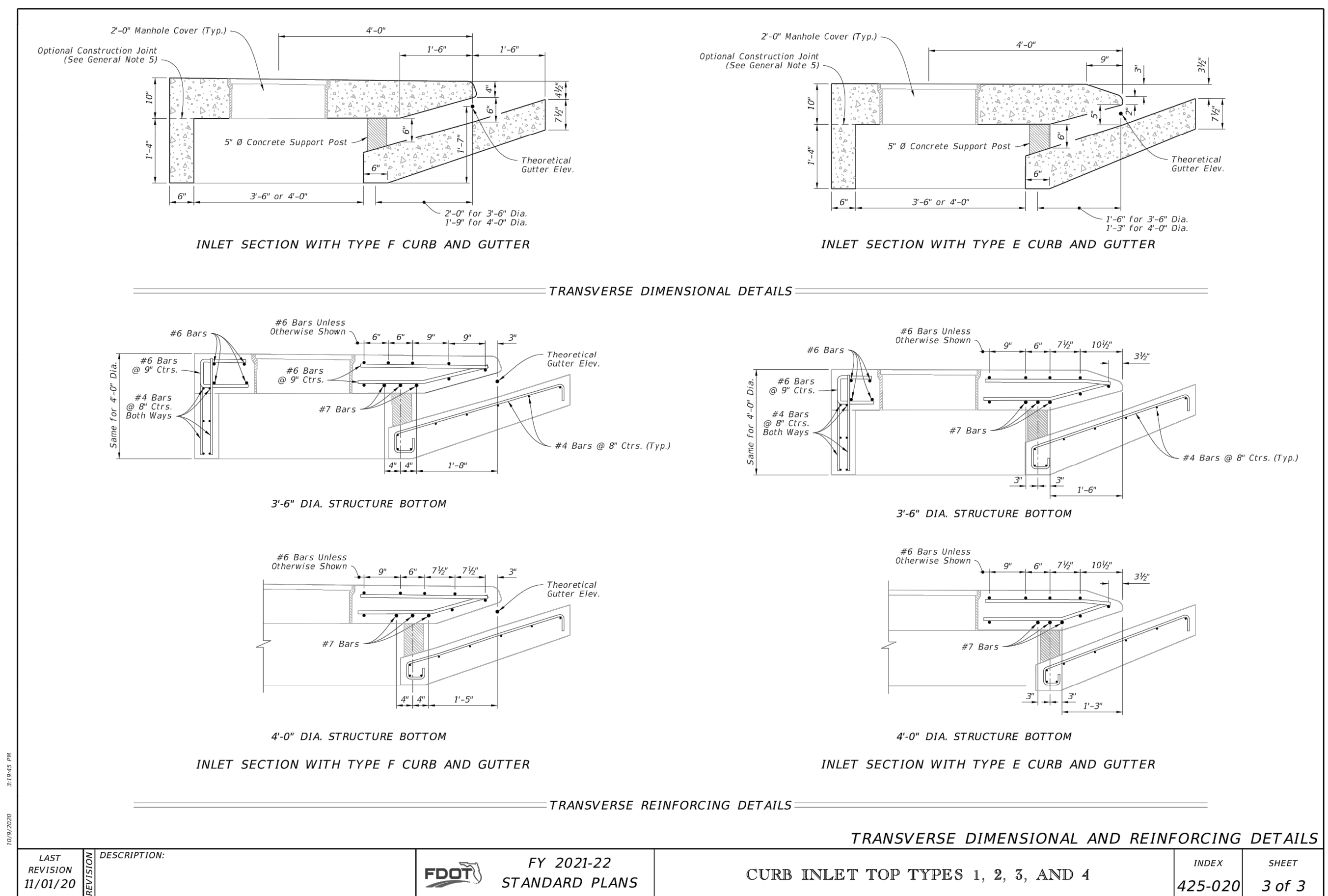


Darcy Unroe PE 60929



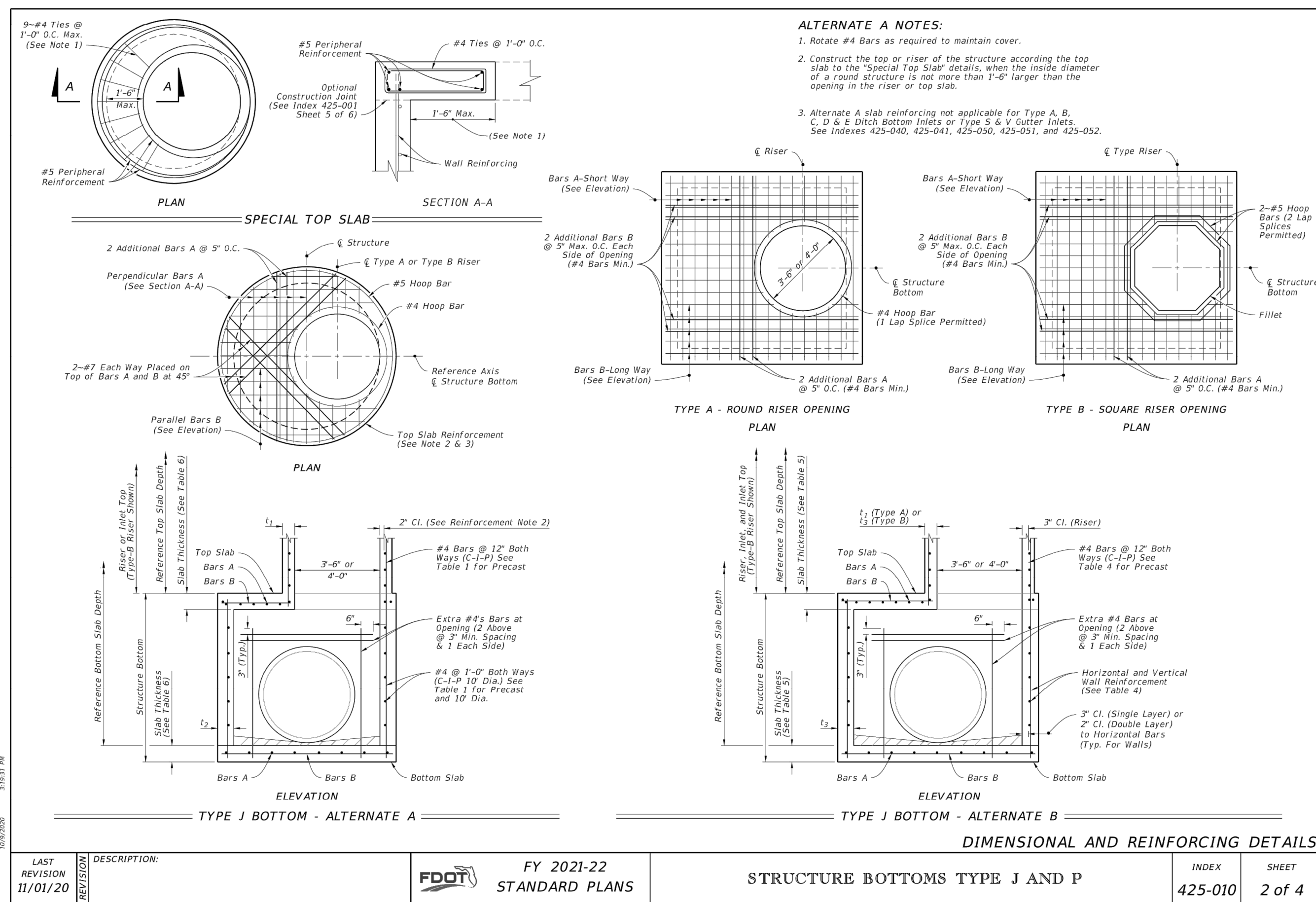
LAST REVISION 11/01/20	DESCRIPTION: FDOT FY 2021-22 STANDARD PLANS	CURB INLET TOP TYPES 1, 2, 3, AND 4	INDEX 425-020	SHEET 2 of 3
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D1
C13 Curb Inlet Details



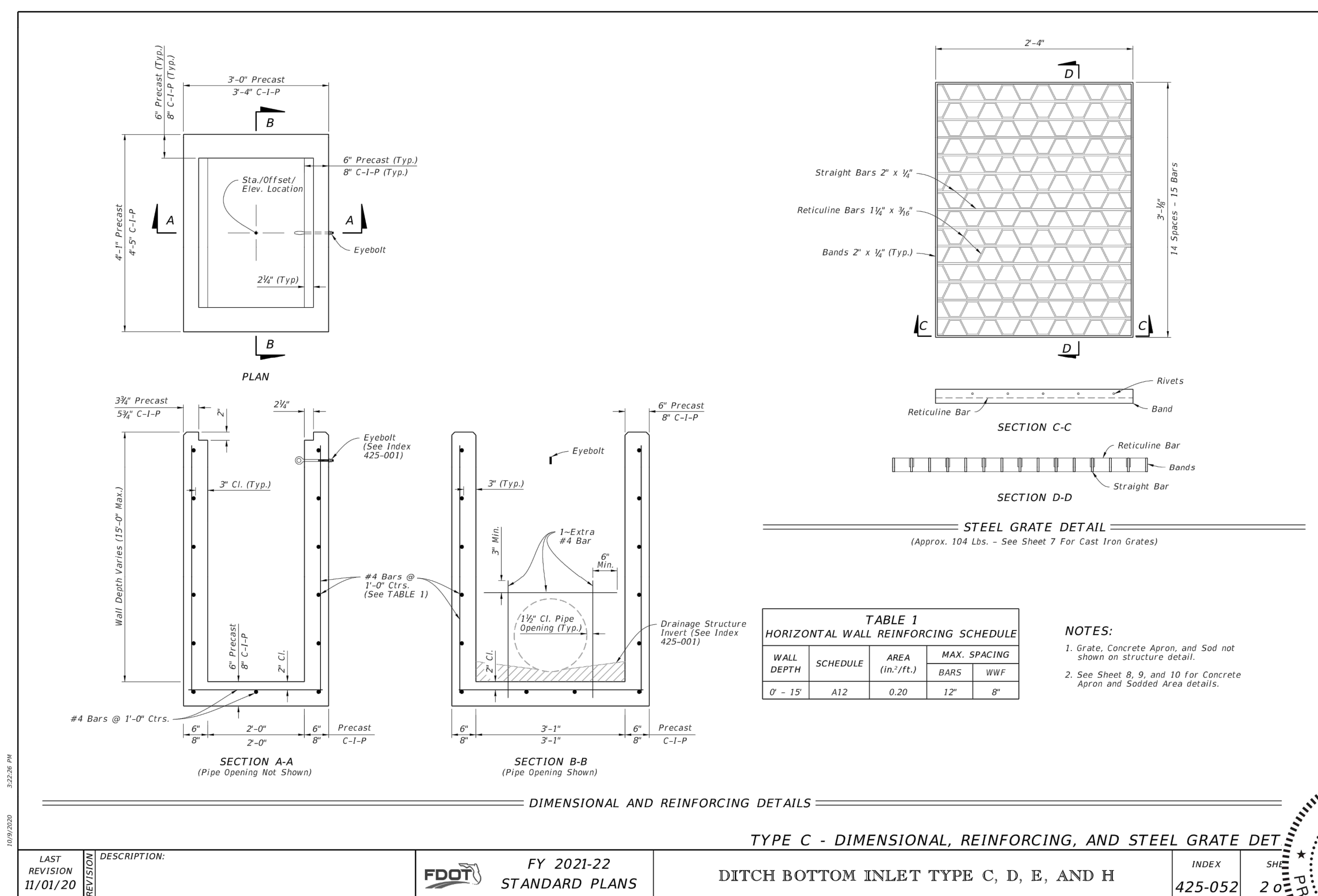
LAST REVISION 11/01/20	DESCRIPTION: FDOT FY 2021-22 STANDARD PLANS	CURB INLET TOP TYPES 1, 2, 3, AND 4	INDEX 425-020	SHEET 3 of 3
---------------------------	--	-------------------------------------	------------------	-----------------

D2
C13 Curb Inlet Details



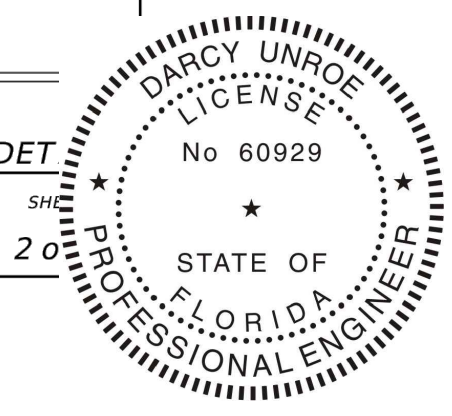
LAST REVISION 11/01/20	DESCRIPTION: FDOT FY 2021-22 STANDARD PLANS	STRUCTURE BOTTOMS TYPE J AND P	INDEX 425-010	SHEET 2 of 4
---------------------------	--	--------------------------------	------------------	-----------------

D3
C13 Storm Structure Bottom Details



LAST REVISION 11/01/20	DESCRIPTION: FDOT FY 2021-22 STANDARD PLANS	DITCH BOTTOM INLET TYPE C, D, E, AND H	INDEX 425-052	SHEET 2 of 2
---------------------------	--	--	------------------	-----------------

D4
C13 Type "C" Ditch Bottom Inlet

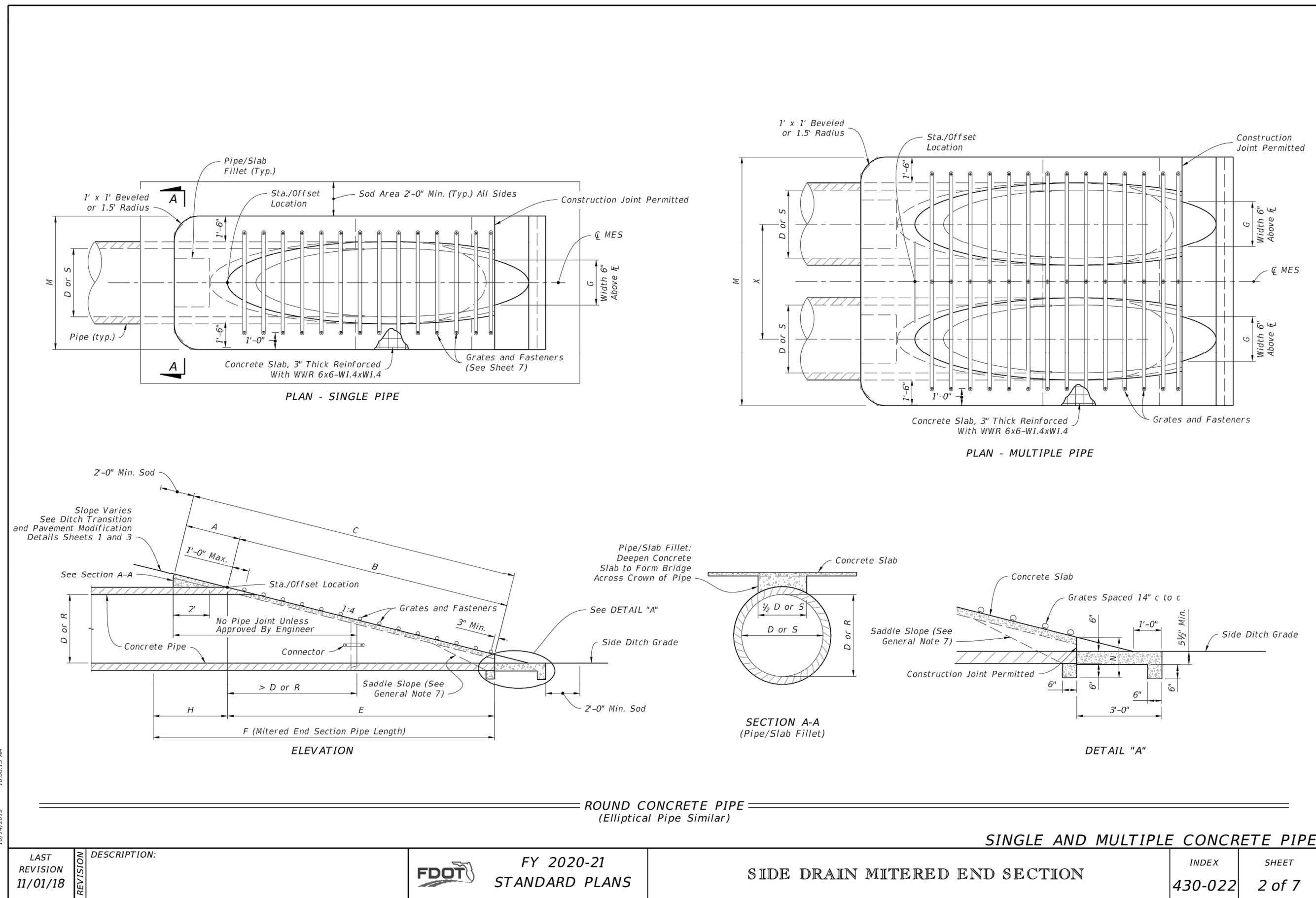


Unroe Engineering, Inc
Civil Engineering/Planning/Scientific Evaluation
PO Box 690942, Orlando, FL 32869-0942
Business Authorization Number - EB 0006579 ph (407) 299-0650

General Details Sheet 3
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
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09-07-21	Date
WH2-C13	File
Dwg. No.	

C13
15 of 75



Pipe	Dia D	Rise R	Span S	SINGLE AND MULTIPLE CONCRETE PIPE DIMENSIONS AND QUANTITIES											3" CONC. SLAB (CY)				SODDING (SY)				
				A	B	C	E	F	G	H	M	N	STANDARD WEIGHT PIPE	EXTRA STRENGTH PIPE	Single	Double	Triple	Quad	Single	Double	Triple	Quad	
Round Concrete	15"	2'-0"	2'-0"	2.27	4.09	6.36	4.07	8	1.22	4.0	4.67	7.21	9.79	12.37	1.19	0.76	1.16	1.54	1.94	8	10	11	12
Round Concrete	18"	2'-0"	2'-0"	2.36	5.12	7.48	5.03	9	1.41	4.9	4.92	7.75	10.38	13.02	1.21	0.85	1.26	1.71	2.17	9	10	12	13
Round Concrete	24"	3'-0"	3'-0"	2.59	7.18	9.71	7.03	11	1.73	4.9	5.50	8.92	12.33	15.75	1.28	1.02	1.58	2.15	2.75	10	12	13	15
Round Concrete	30"	4'-0"	4'-0"	2.70	9.29	11.99	9.03	13	2.00	4.9	6.08	10.33	14.58	18.83	1.39	1.23	1.88	2.74	3.55	12	14	15	17
Round Concrete	36"	5'-0"	5'-0"	2.87	11.31	14.18	11.03	15	2.24	4.9	6.67	11.75	16.83	21.92	1.33	1.40	2.38	3.33	4.24	13	15	17	20
Round Concrete	42"	6'-0"	6'-0"	3.05	13.37	16.42	13.03	17	2.43	4.9	7.29	13.29	19.39	25.39	1.38	1.50	2.60	3.64	4.56	14	17	19	22
Round Concrete	48"	6'-0"	6'-0"	3.22	15.43	18.63	15.03	19	2.63	4.9	7.93	14.98	21.33	28.08	1.42	1.60	2.81	3.96	4.94	15	18	21	24
Round Concrete	54"	7'-0"	7'-0"	3.39	17.49	20.88	17.03	21	2.83	4.9	8.42	16.68	23.73	31.42	1.46	1.70	2.93	3.78	5.54	16	20	23	27
Round Concrete	60"	8'-0"	8'-0"	3.56	19.55	23.11	19.03	23	3.02	4.9	9.00	17.50	26.00	34.50	1.50	1.80	3.26	4.36	6.36	18	22	25	29
Elliptical Concrete	12" x 18"	2'-10"	2'-10"	2.36	3.00	5.42	3.03	3	1.50	2.0	4.92	7.75	10.38	13.02	1.21	0.68	1.04	1.41	1.77	8	9	11	12
Elliptical Concrete	14" x 24"	3'-4"	3'-4"	2.44	3.75	6.19	3.10	6	1.90	2.3	5.38	8.71	12.04	15.38	1.23	0.76	1.19	1.63	2.05	9	10	12	13
Elliptical Concrete	19" x 30"	4'-0"	4'-0"	2.62	5.47	8.69	5.36	8	2.37	2.6	6.04	10.04	14.04	18.04	1.27	0.95	1.52	2.09	2.65	10	12	13	15
Elliptical Concrete	24" x 36"	5'-0"	5'-0"	2.79	7.18	9.97	7.03	10	2.85	3.0	6.79	11.79	16.79	21.79	1.31	1.18	1.95	2.74	3.53	11	13	15	18
Elliptical Concrete	29" x 45"	5'-11"	5'-11"	3.00	8.90	11.99	8.10	12	3.19	3.3	7.50	13.42	19.32	25.25	1.36	1.41	2.42	3.44	4.45	12	15	18	20
Elliptical Concrete	34" x 53"	7'-0"	7'-0"	3.22	10.62	13.84	10.36	13	3.57	2.6	8.25	15.29	22.29	29.29	1.42	1.50	2.62	3.64	4.65	13	17	20	23
Elliptical Concrete	38" x 60"	7'-10"	7'-10"	3.38	11.99	15.38	11.70	15	3.95	3.3	8.92	16.93	24.98	32.42	1.46	1.60	2.83	3.84	4.85	14	18	21	25
Elliptical Concrete	43" x 68"	8'-11"	8'-11"	3.56	13.71	17.27	13.36	17	4.28	3.6	9.67	18.58	27.50	36.42	1.50	1.70	2.99	3.95	5.80	15	20	23	27
Elliptical Concrete	48" x 78"	9'-11"	9'-11"	3.73	15.43	19.16	15.03	19	4.59	4.0	10.42	20.33	30.29	40.17	1.54	1.80	3.23	4.44	6.33	16	21	25	30
Elliptical Concrete	53" x 83"	10'-8"	10'-8"	3.91	17.15	21.06	16.70	20	4.77	3.3	11.08	21.75	32.42	43.08	1.58	1.90	3.55	4.76	6.76	17	22	27	32
Elliptical Concrete	58" x 91"	11'-8"	11'-8"	4.08	18.87	22.95	18.36	22	5.01	3.6	11.83	23.50	35.17	46.83	1.63	2.00	3.81	5.09	7.56	18	24	29	34

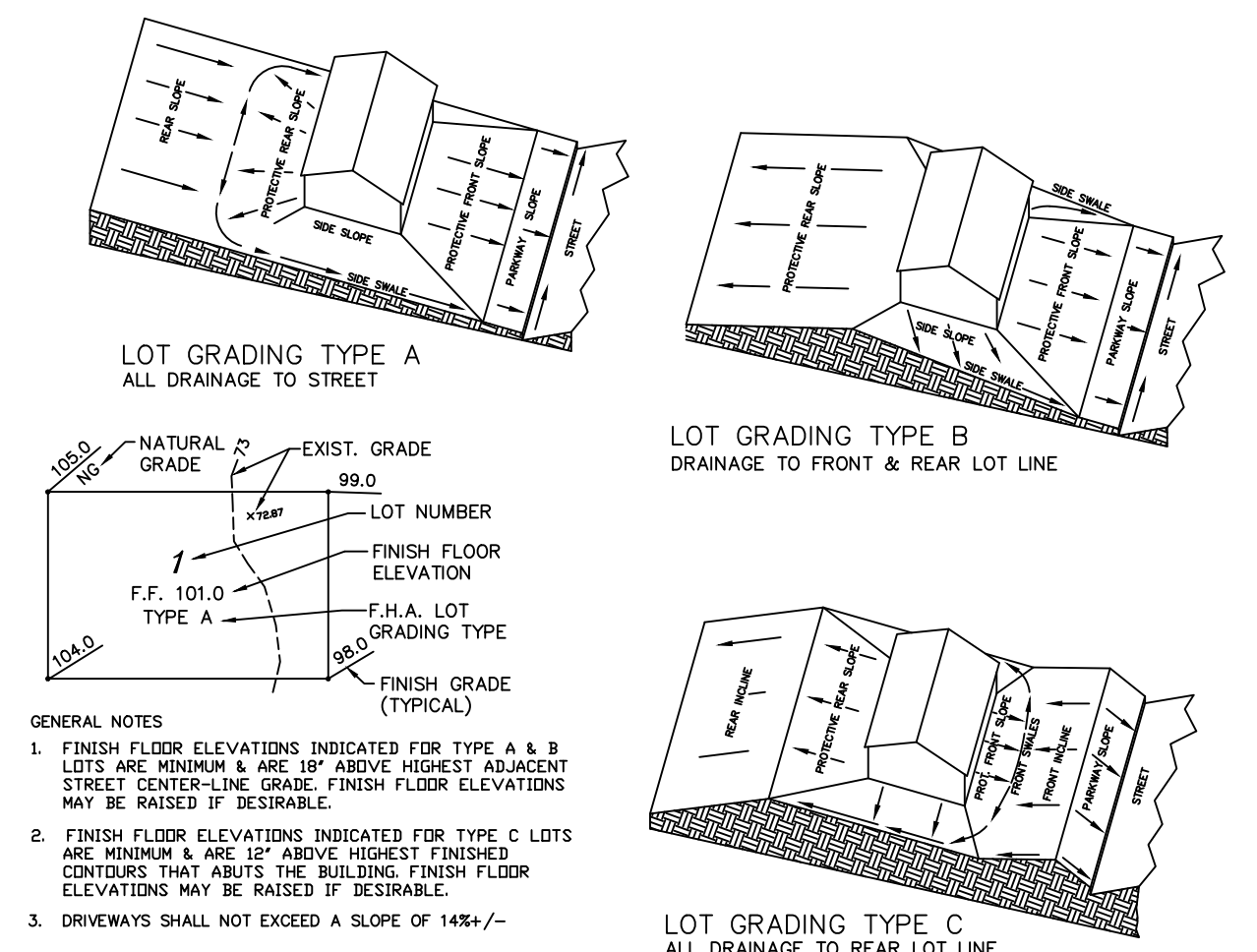
Dimensions permitted to allow use of 8' standard pipe lengths.
 16.42 16.25
 Dimensions permitted to allow use of 12' standard pipe lengths.

PERMISSIBLE PAVEMENT MODIFICATION
 1:12 or Steeper
 1'-0" Min.
 1'-4"

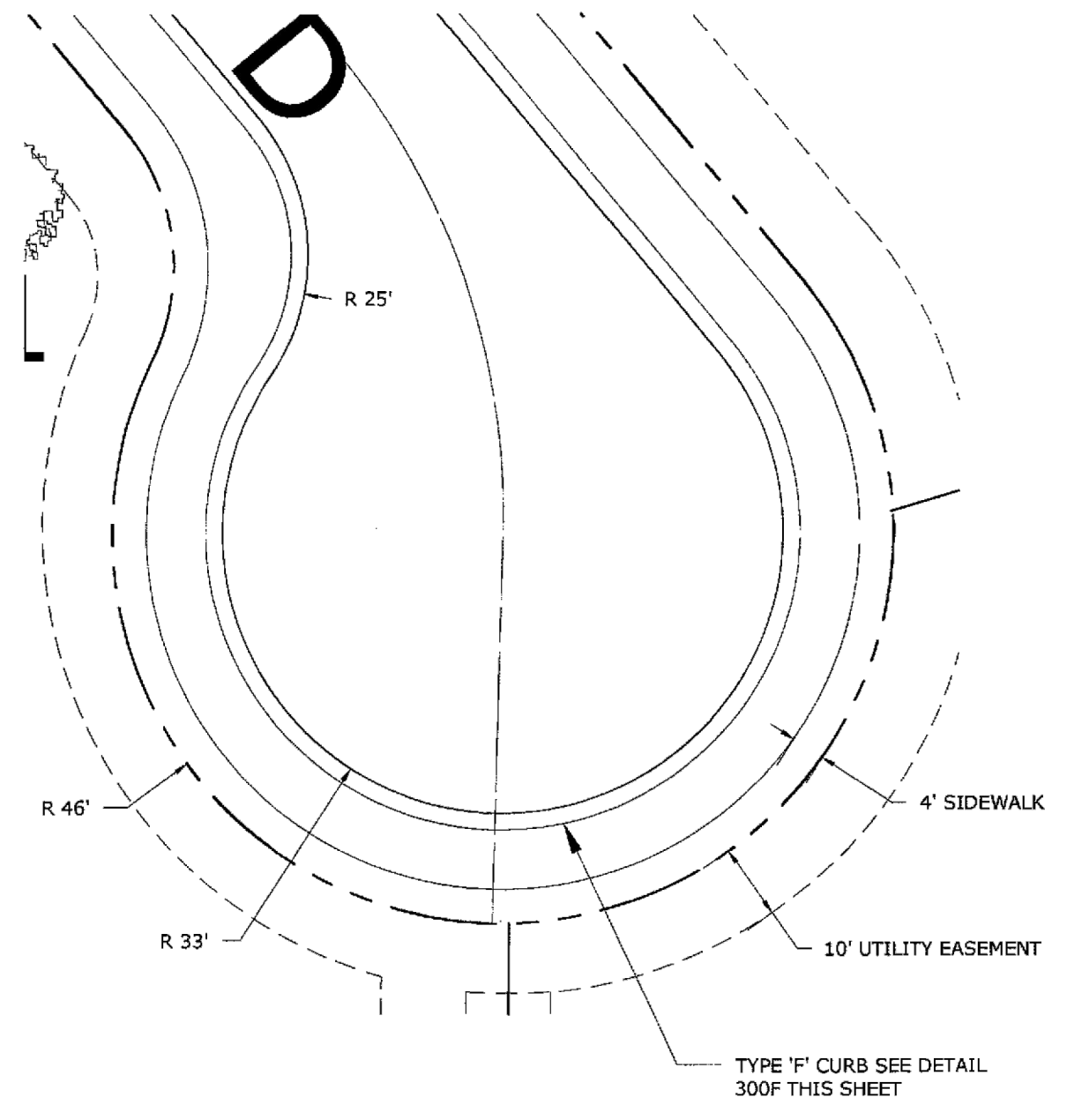
CONCRETE PIPE DIMENSIONS AND QUANTITIES AND PERMISSIBLE PAVEMENT MODIFICATION
 INDEX SHEET
 430-022 3 of 7

D1 Mitered End Section
C14

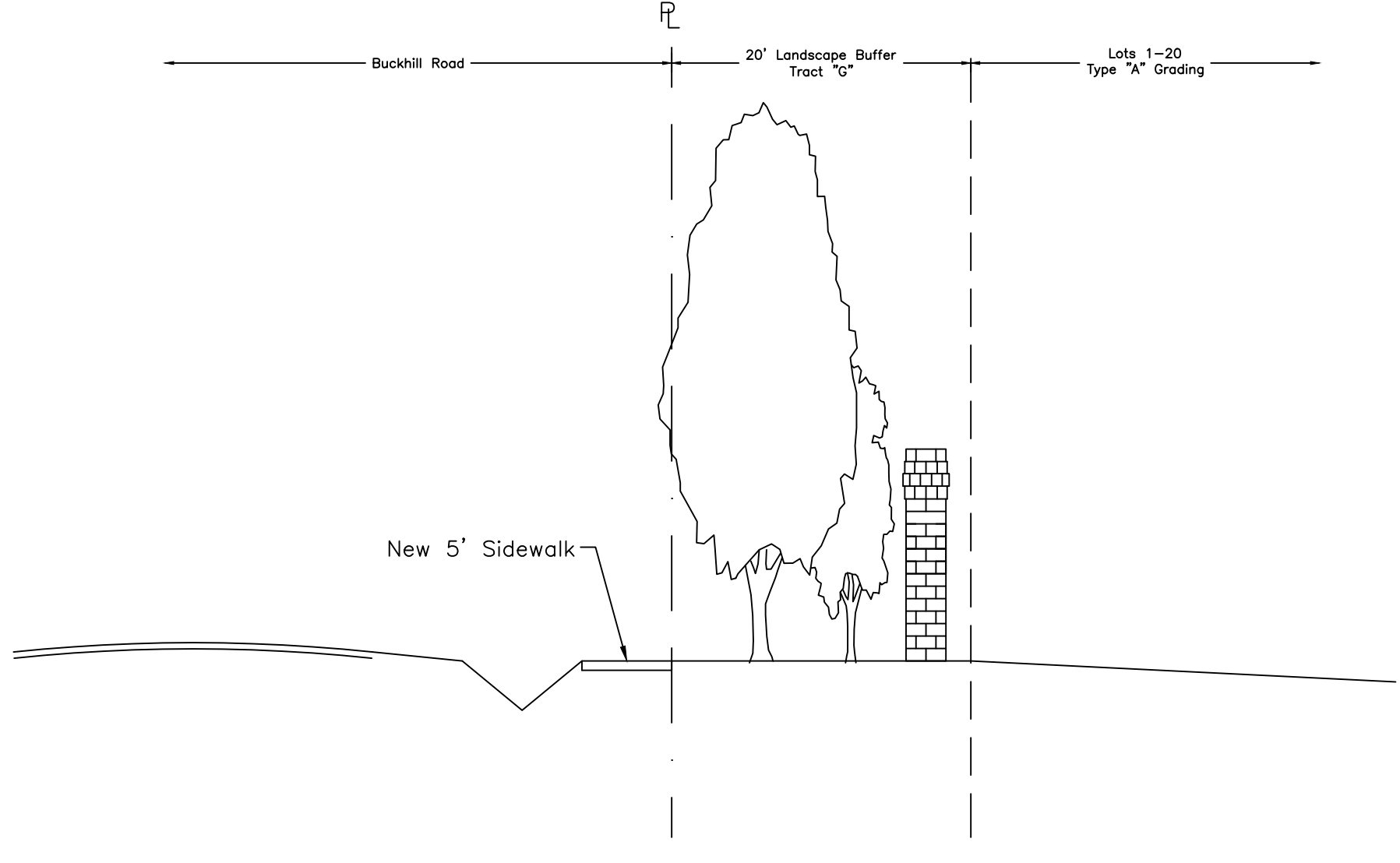
D2 Mitered End Section
C14



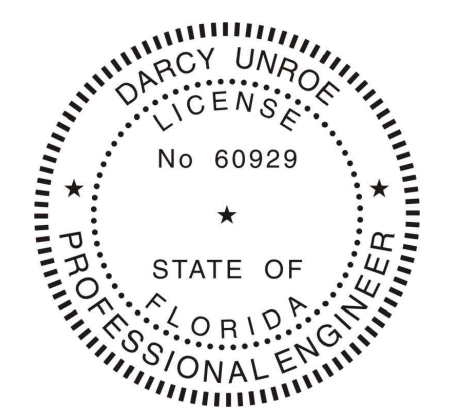
D3 LOT GRADING DETAILS
C14



D4 TYPICAL CUL-DE-SAC DETAIL
C14



D5 Buckhill Road Landscape Buffer
C14



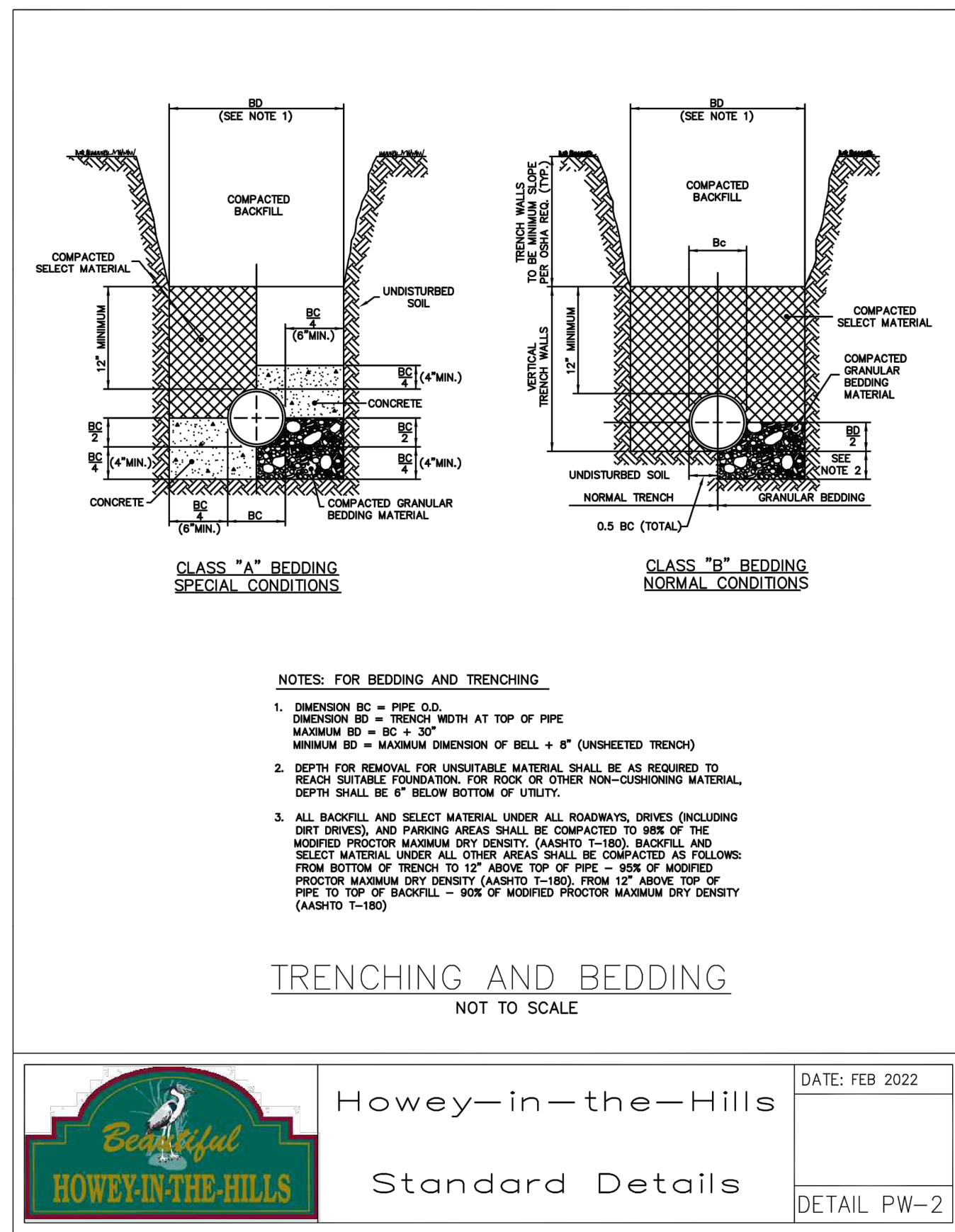
Darcy Unroe PE 60929

#	Date	Description

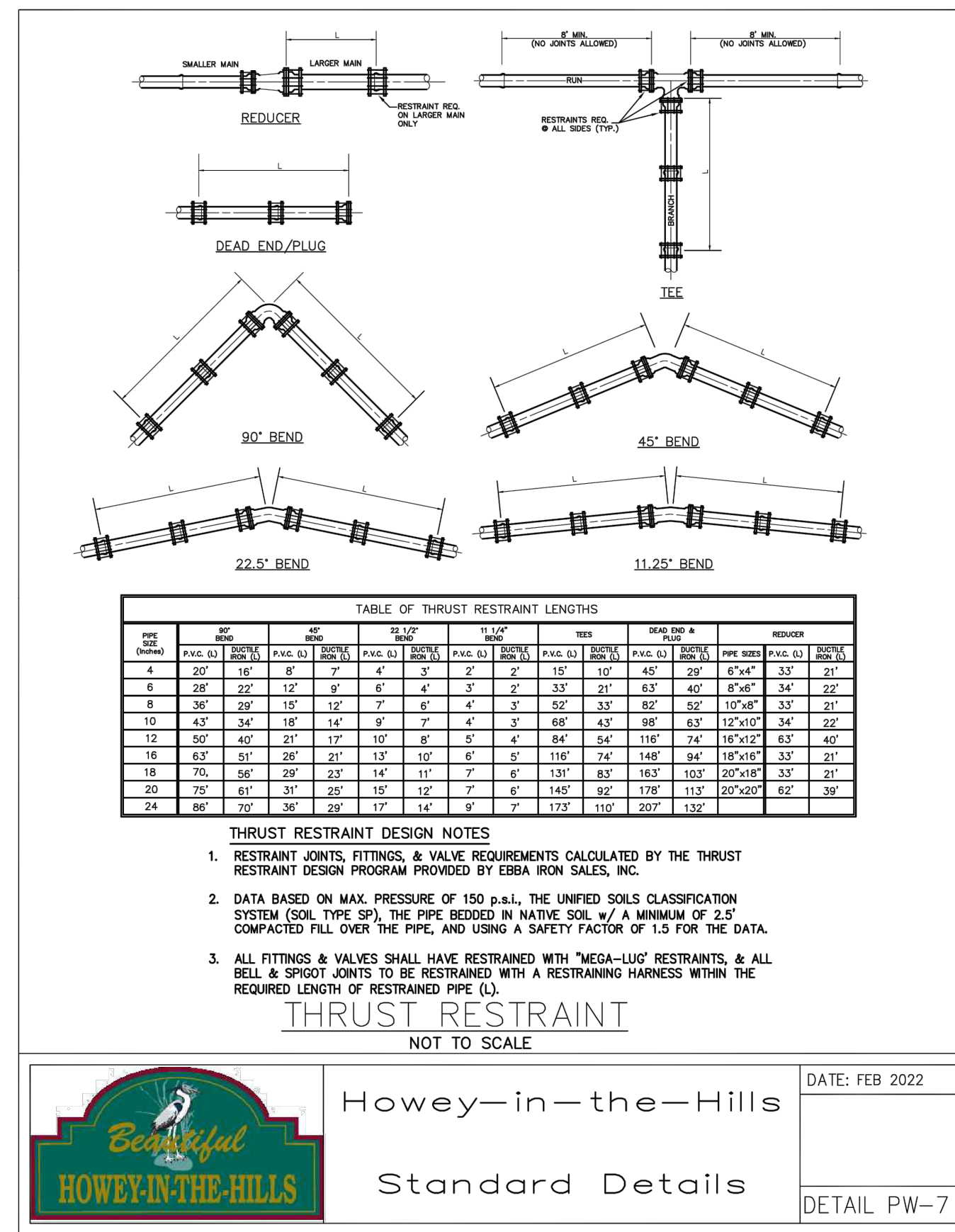
Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number: EB 00006579 ph (407) 299-0650

General Details Sheet 4
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

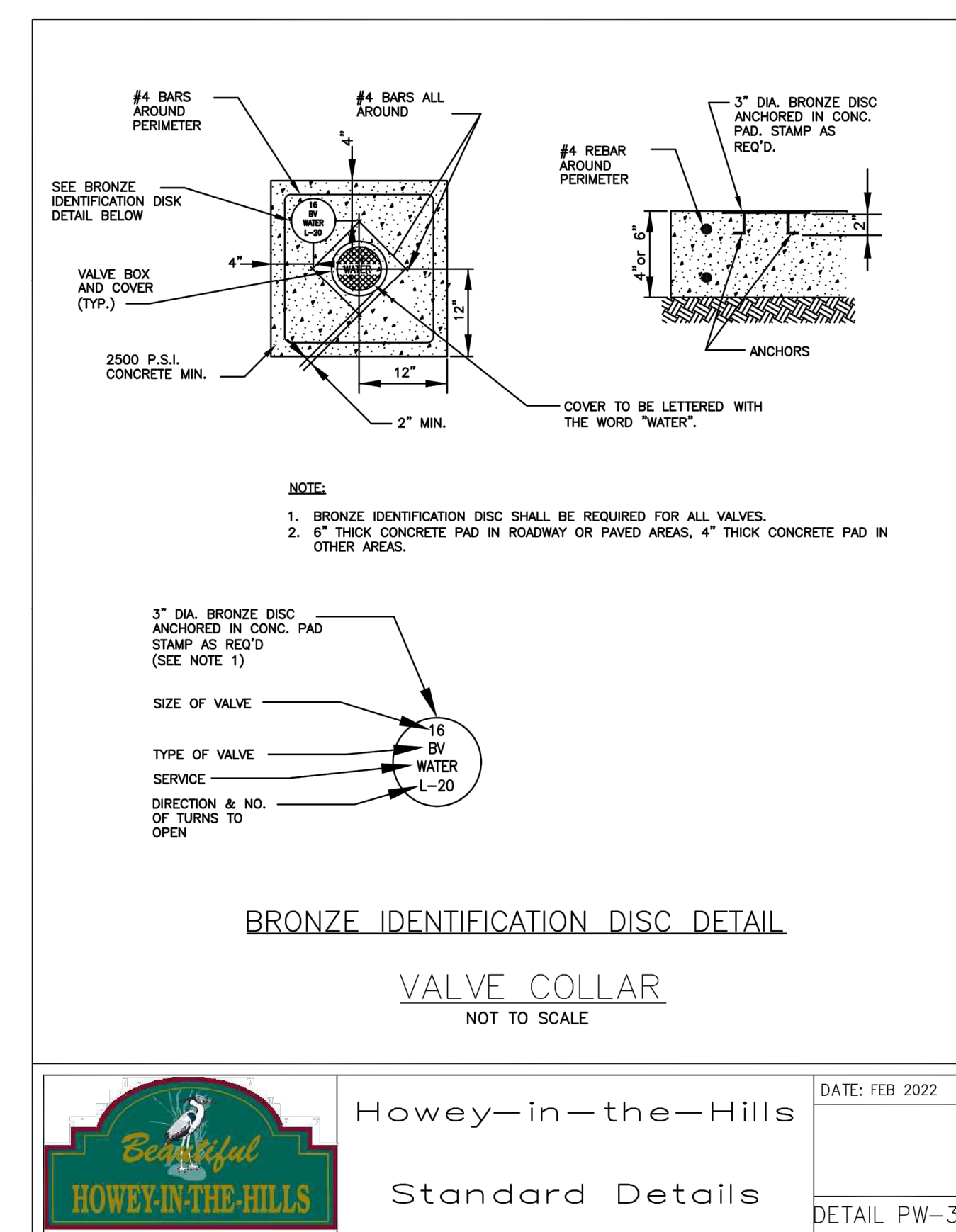
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DP	Checked
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09-07-21	Date
WH2-C14	File
Dwg. No.	C14
16	of 75



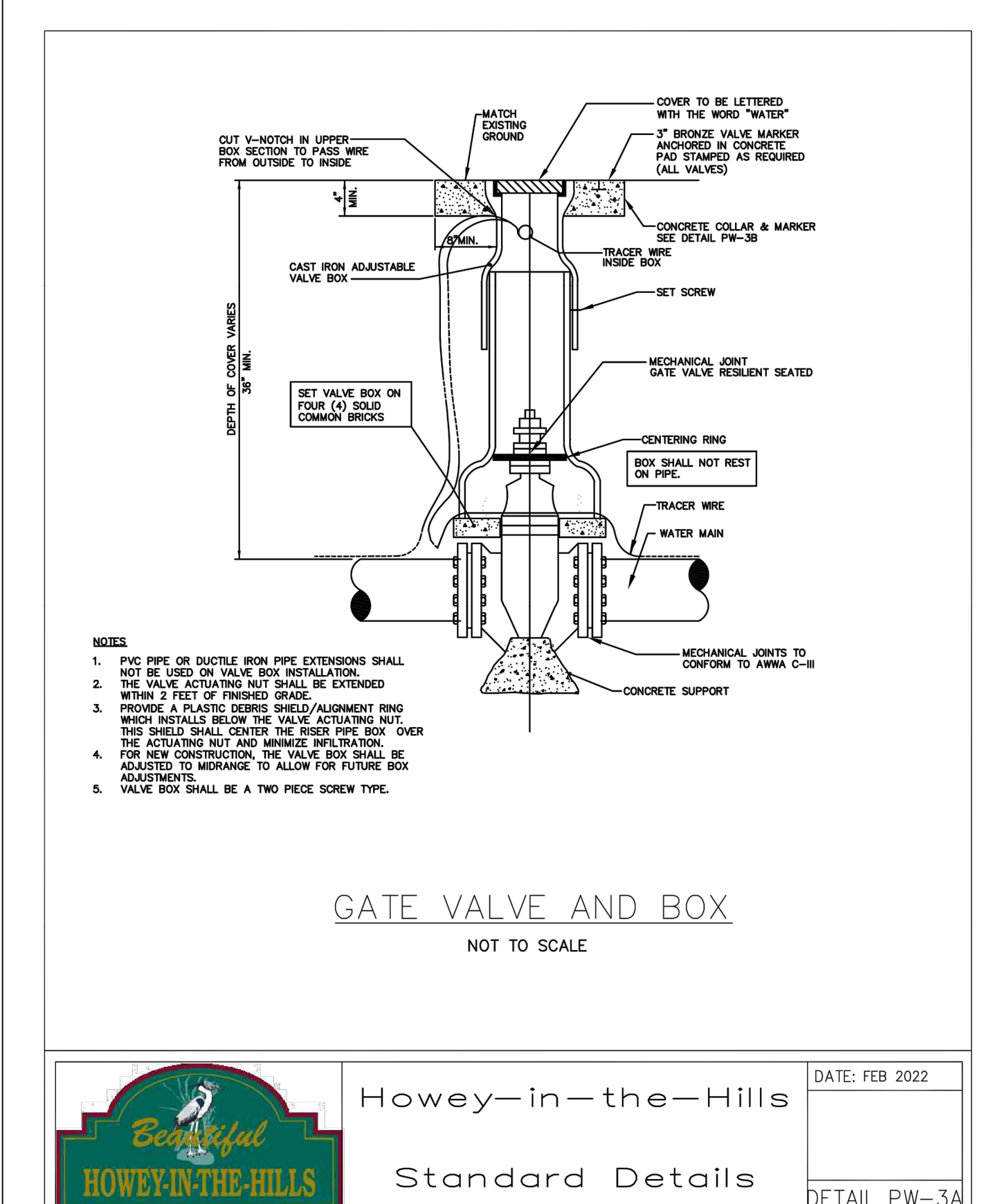
101 Bedding & Trenching



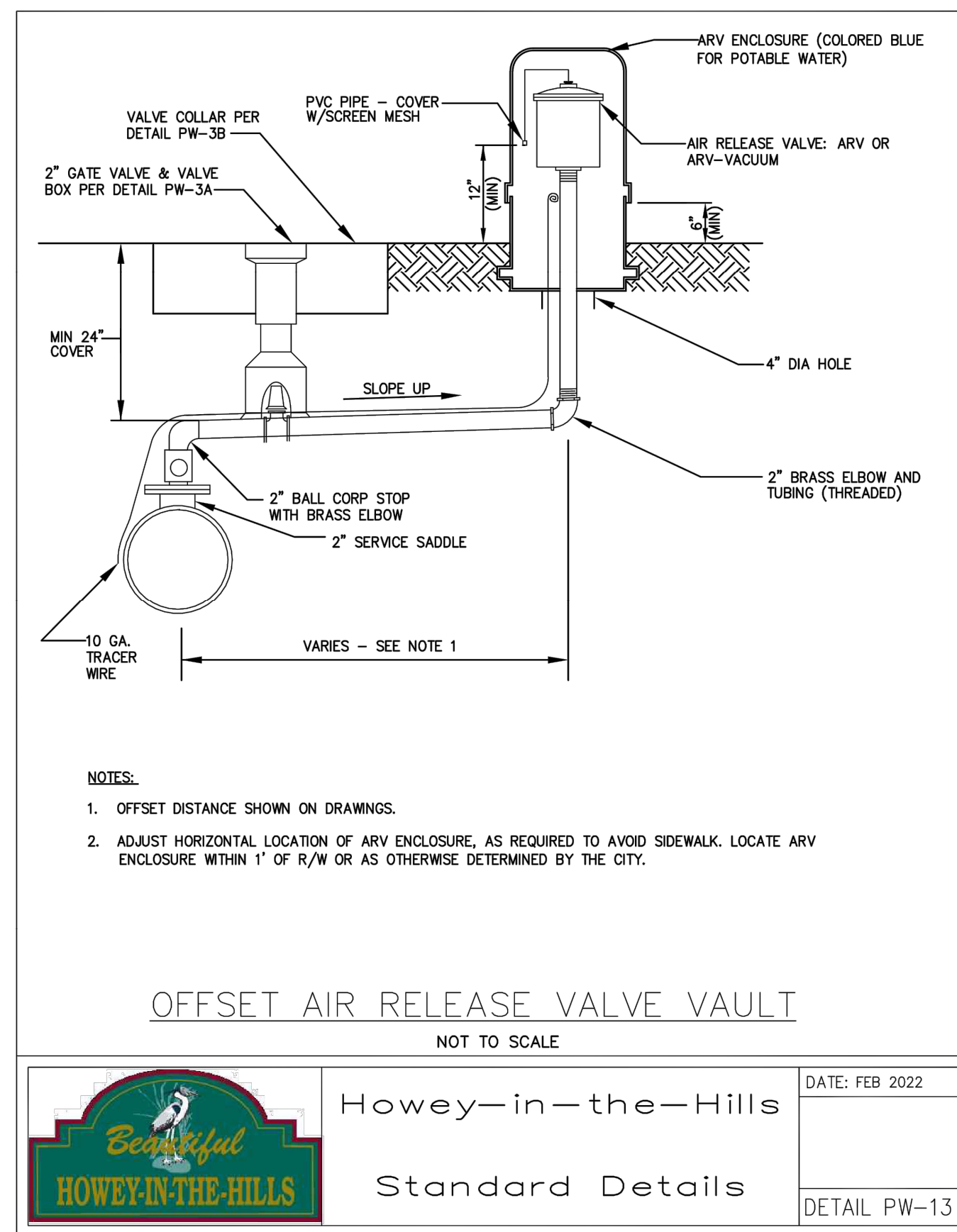
102 Restrained Joint Table



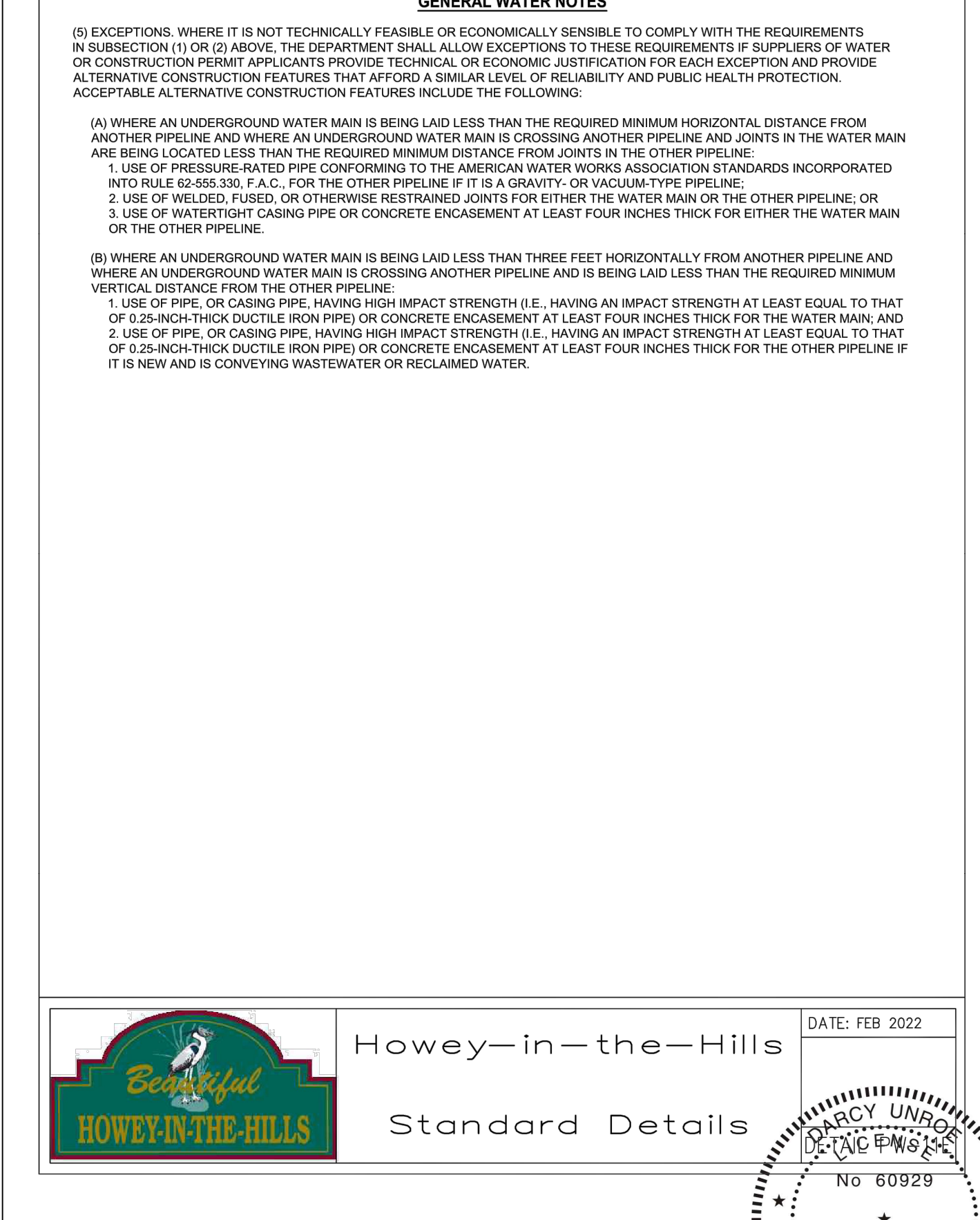
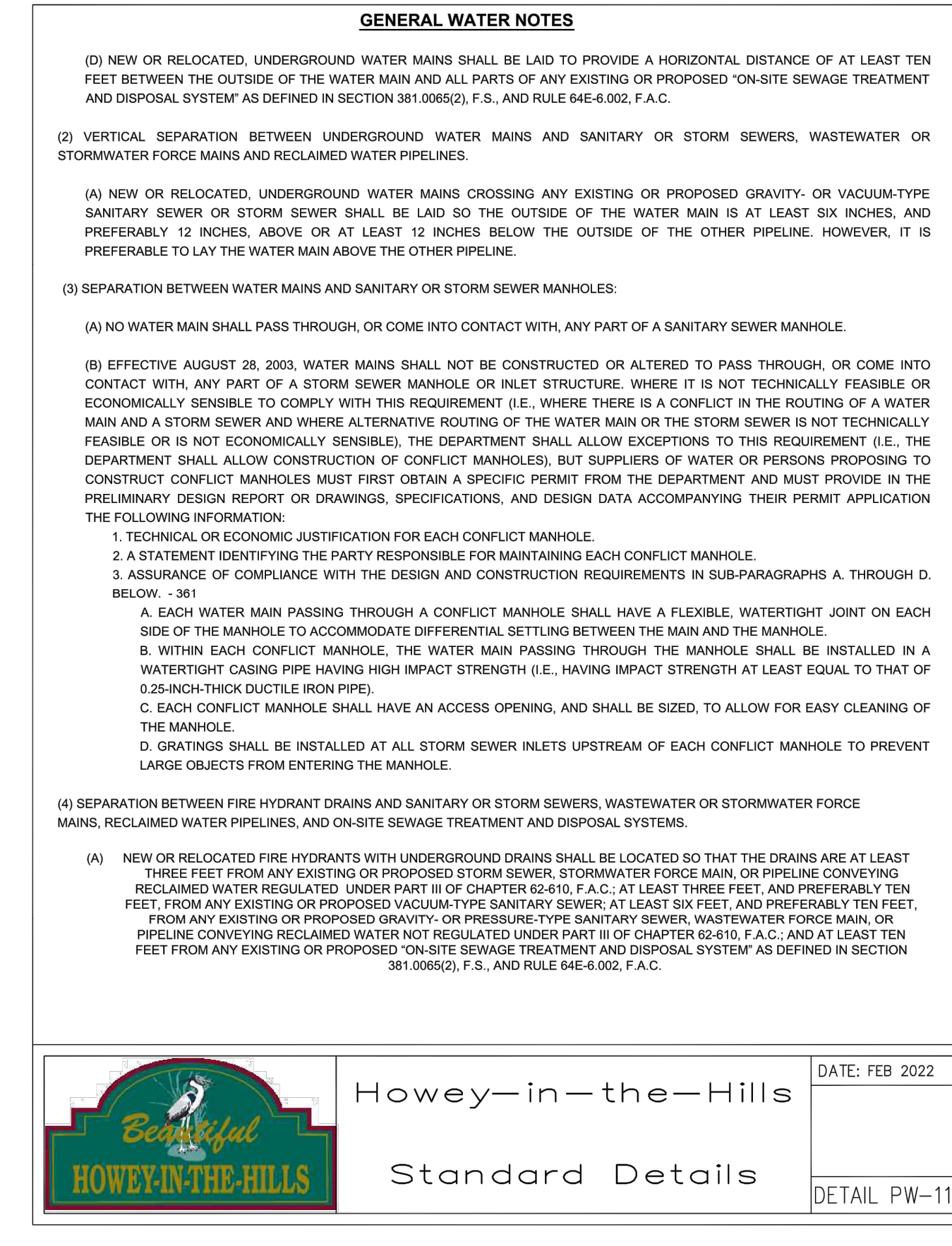
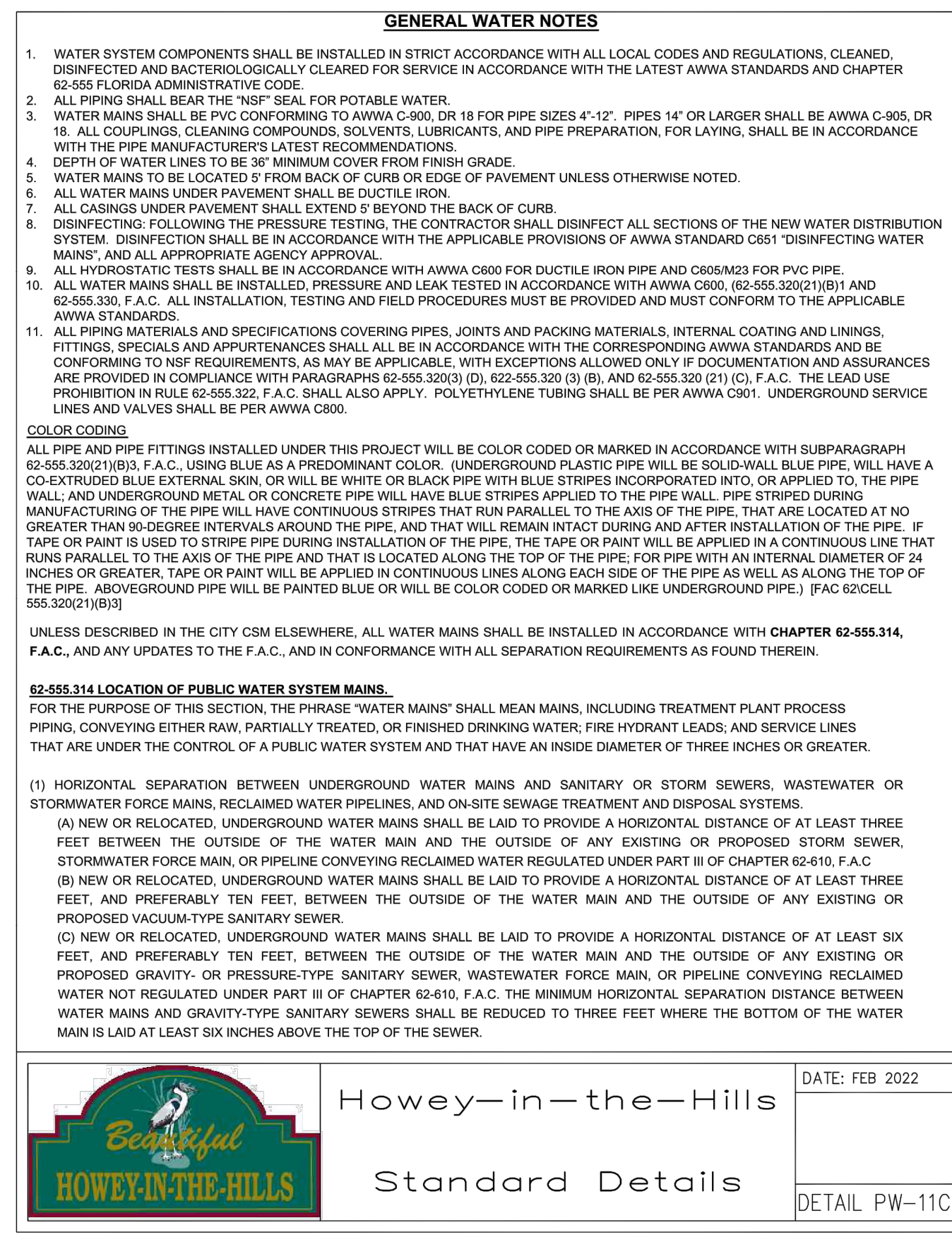
103 Valve Collar



104 Gate Valve and Box



105 Air Release Valve



Revisions	Date	Description

Unroe Engineering, Inc
Civil Engineering/Planning/Scientific Evaluation
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Business Authorization Number: EB 00066579 ph (407) 299-0650

Howey-in-the-Hills Details 1
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
----	Scale
09-07-21	Date
WH2-C15	File
Dwg. No.	
C15	
17	of 75

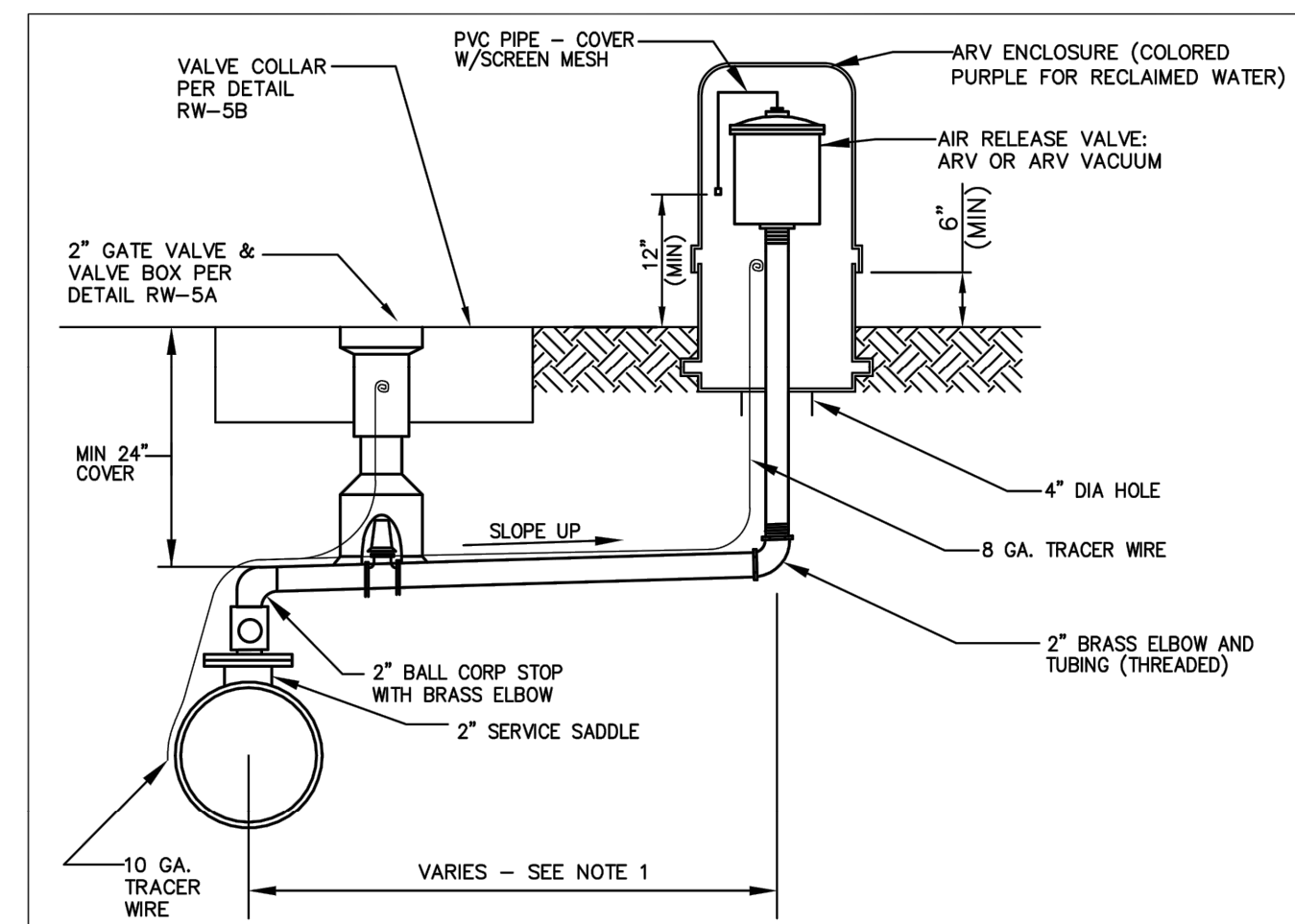
Darcy Unroe PE 60929

- ALL RECLAIMED WATER PIPING TO BE OWNED AND MAINTAINED BY THE TOWN SHALL BE A SOLID PANTONE PURPLE COLOR.
- RECLAIMED WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, OR 18 FOR PIPE SIZES 4"-12", PIPES 14" & LARGER SHALL BE AWWA C-905, DR 25, PRESSURE CLASS 350 DIP IS AN ACCEPTABLE ALTERNATE. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION FOR LAYING SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
- DEPTH OF RECLAIMED WATER LINES TO BE 36" MIN. BELOW FINISHED GRADE.
- RECLAIMED WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C.
- ALL RECLAIMED WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON PIPE AND SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB EXCEPT DIRECTIONAL BORES, WHICH SHALL BE 50R-11 HOPE.
- ALL IRRIGATION SLEEVING UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.
- ALL OTHER REQUIREMENTS OF THE TOWN WATER SYSTEM SHALL APPLY TO THE RECLAIMED WATER SYSTEM.
- PROPER SIGNAGE FOR PUBLIC ACCESS IRRIGATION AREAS TO BE SUPPLIED BY THE DEVELOPER / CONTRACTOR, IN ACCORDANCE WITH CHAPTER 62-810.418, F.A.C.

GENERAL RECLAIMED WATER NOTES



Howey-in-the-Hills
Standard Details
DATE: FEB 2022
DETAIL RW-1



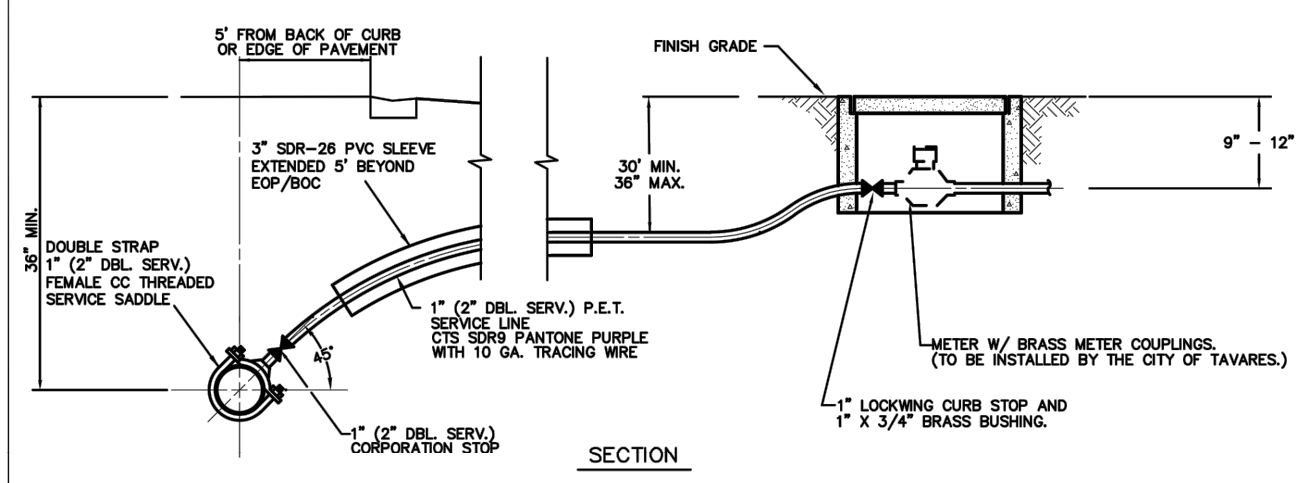
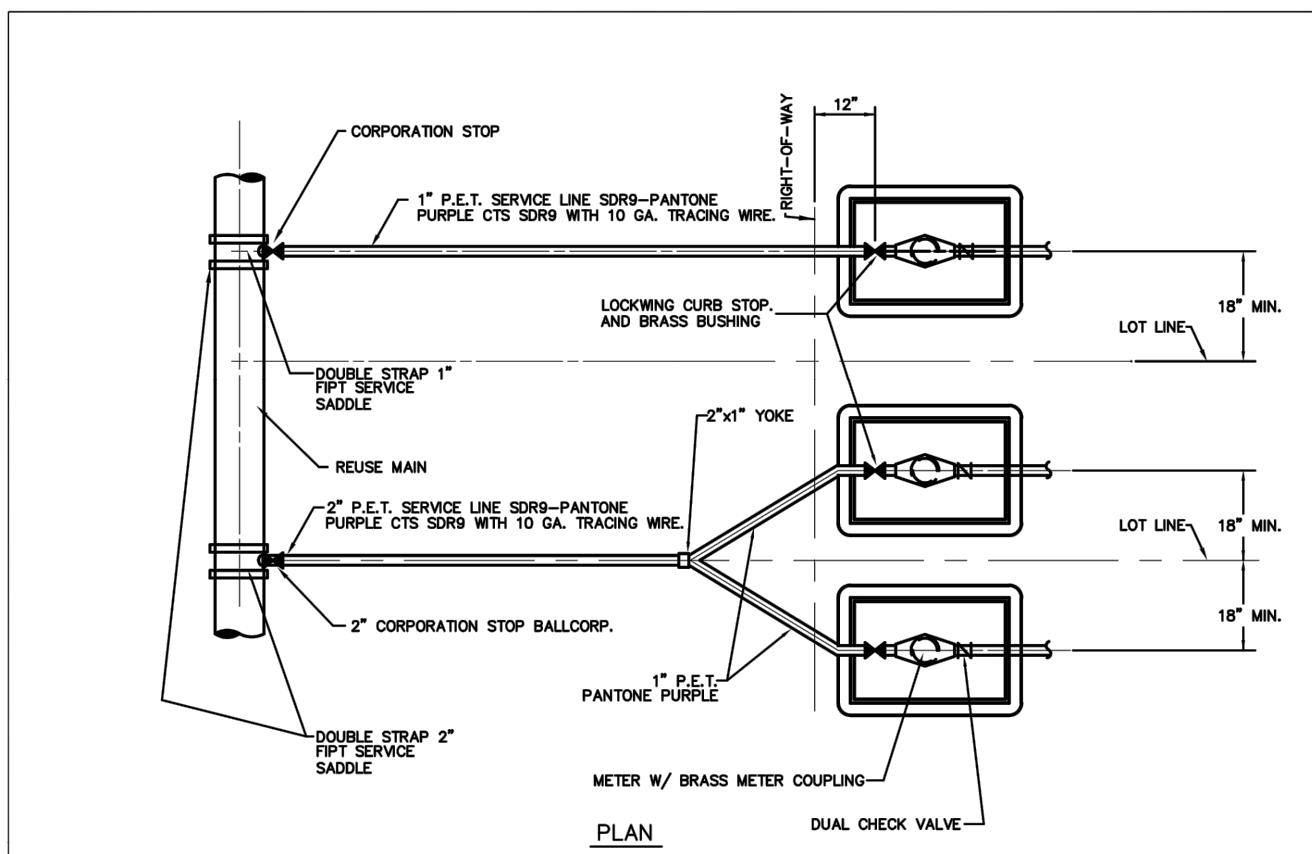
- NOTES:**
- OFFSET DISTANCE SHOWN ON DRAWINGS.
 - ADJUST HORIZONTAL LOCATION OF ARV ENCLOSURE, AS REQUIRED TO AVOID SIDEWALK. LOCATE ARV ENCLOSURE WITHIN 1' OF R/W OR AS OTHERWISE DETERMINED BY THE CITY.

OFFSET AIR RELEASE VALVE VAULT
NOT TO SCALE



Howey-in-the-Hills
Standard Details
DATE: FEB 2022
DETAIL RW-2

401 Air Release - Reclaimed

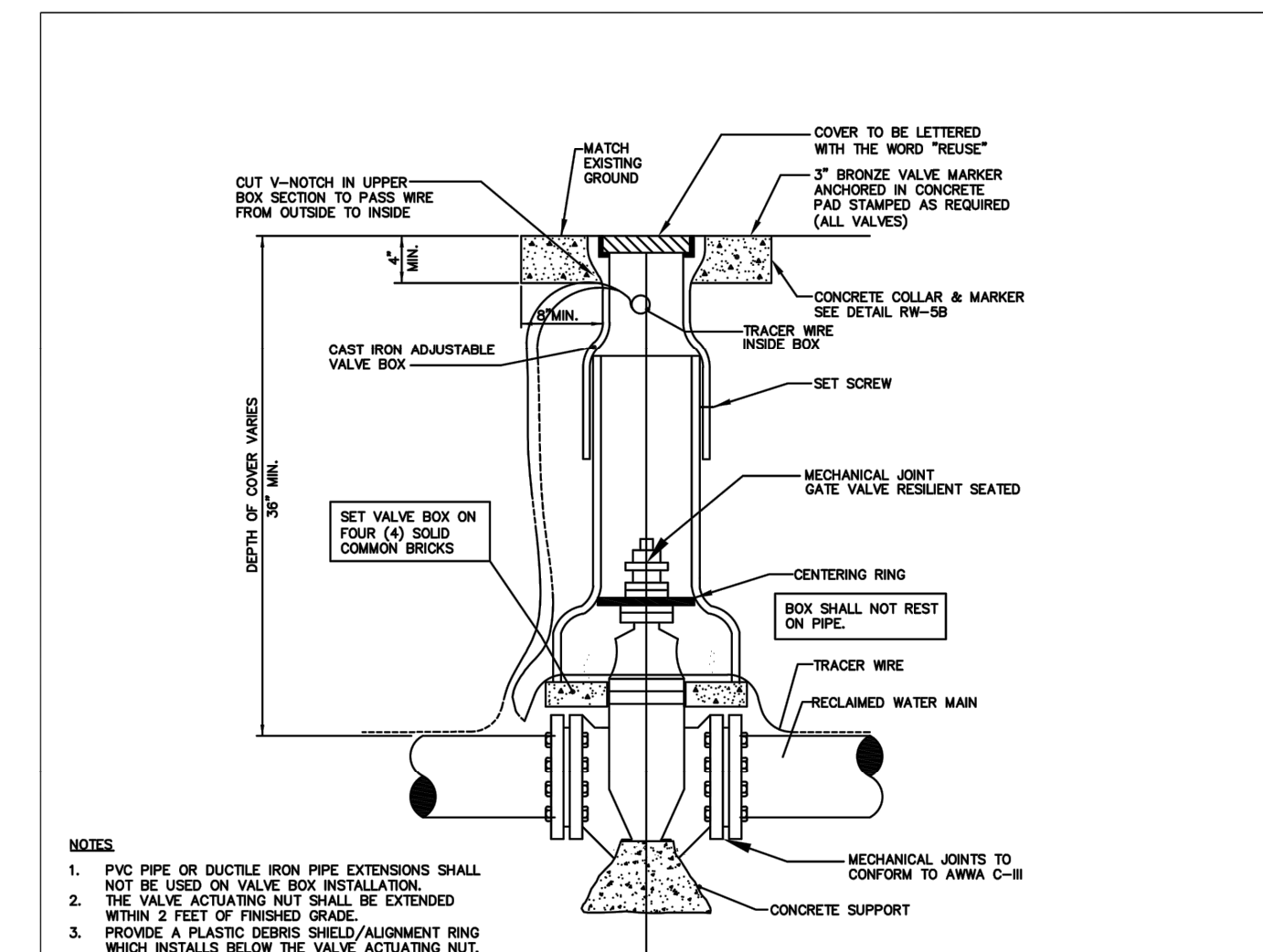


RECLAIMED WATER SERVICE CONNECTION
NOT TO SCALE
(NOTE: METERS TO BE INSTALLED BY CITY OF TAVERAS.)



Howey-in-the-Hills
Standard Details
DATE: FEB 2022
DETAIL RW-3

402 Service Connections - Reclaimed



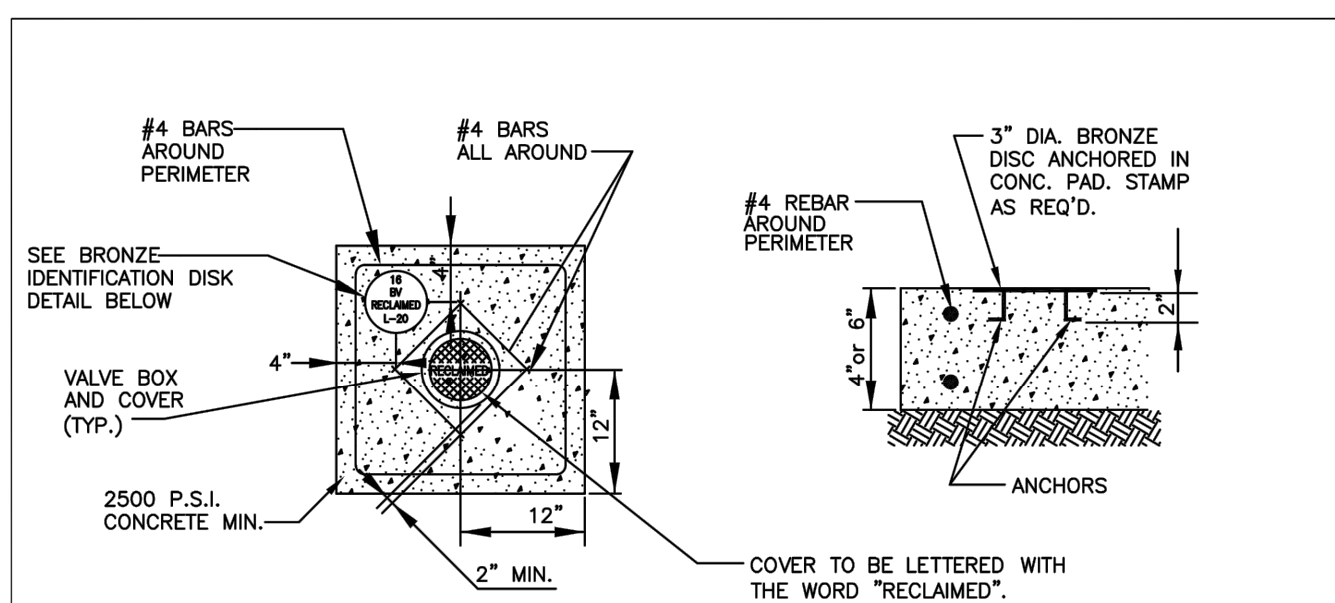
- NOTES:**
- PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 - THE VALVE ACTUATING NUT SHALL BE EXTENDED WITHIN 2 FEET OF FINISHED GRADE.
 - PROVIDE A PLASTIC SERIES SHIELD/ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE IRON PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
 - FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIRRAGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS.
 - VALVE BOX SHALL BE A TWO PIECE SCREW TYPE.

GATE VALVE AND BOX
NOT TO SCALE

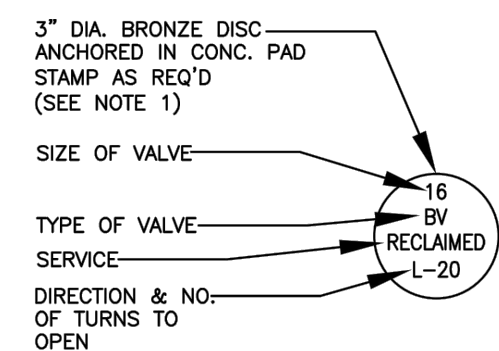


Howey-in-the-Hills
Standard Details
DATE: FEB 2022
DETAIL RW-5A

403 Gate Valve & Box - Reclaimed




- NOTE:**
- BRONZE IDENTIFICATION DISK SHALL BE REQUIRED FOR ALL VALVES.
 - 6" THICK CONCRETE PAD IN ROADWAY OR PAVED AREAS, 4" THICK CONCRETE PAD IN OTHER AREAS.



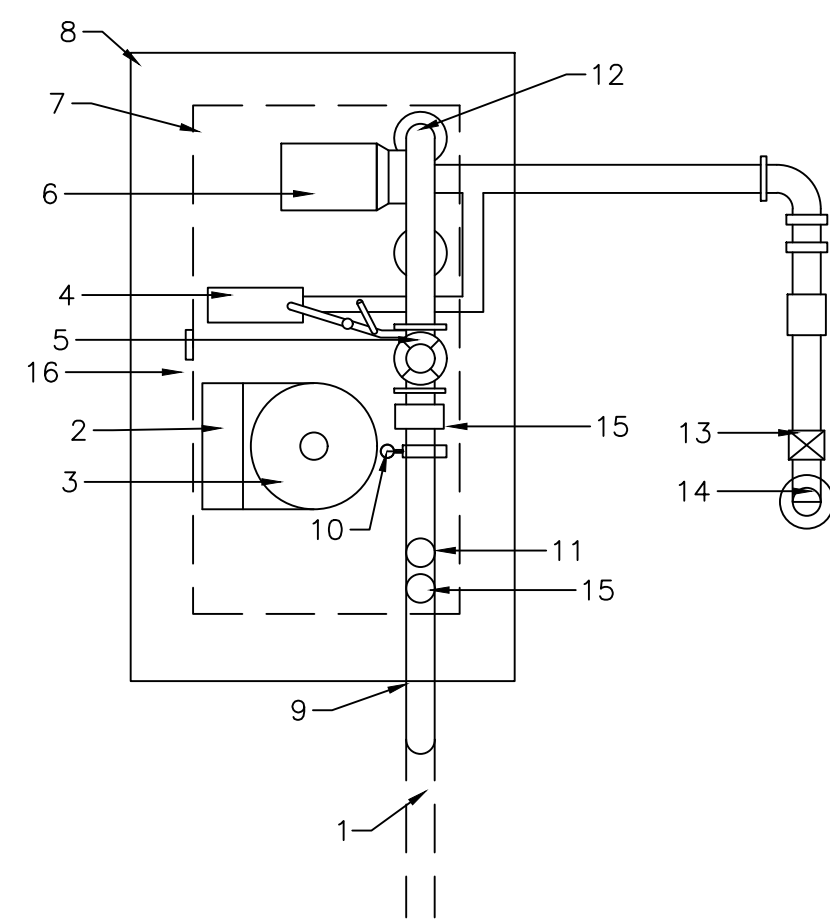
BRONZE IDENTIFICATION DISK DETAIL

VALVE COLLAR
NOT TO SCALE



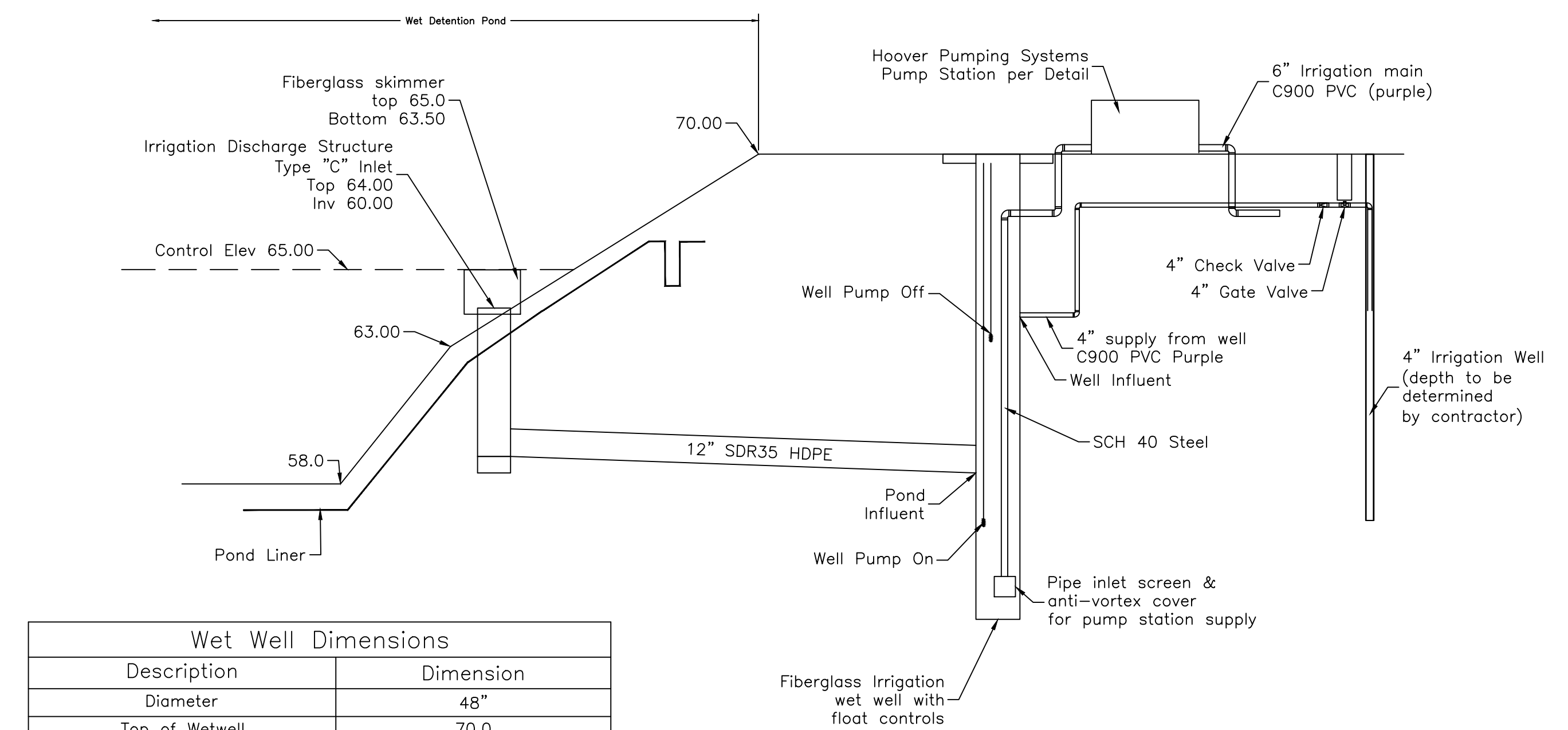
Howey-in-the-Hills
Standard Details
DATE: FEB 2022
DETAIL RW-5B

404 Valve Collar - Reclaimed



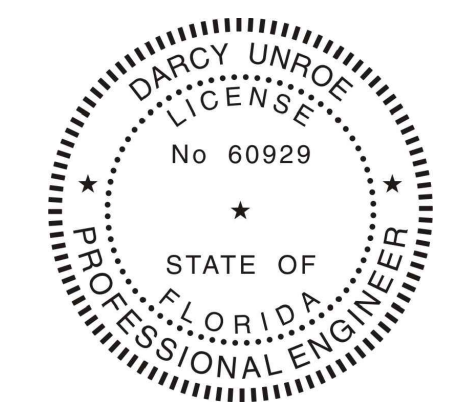
- Work Notes**
- Irrigation main from source
 - Control Panel with UL listed assembly
 - Pressure tank, ASME, 15 gal, 125 psi
 - 5 HP Jockey Pump
 - Pressure Transducer
 - 30 HP irrigation Pump (427 gpm @ 230 ft)
 - 4x8 fiberglass reinforced shed with forest green gelcoat finish
 - 10x10x6" TK fiber reinforced pad
 - Main Discharge Valve (6")
 - Hose bib and ball valve
 - Magnetic flow meter
 - Check valves at each pump discharge
 - Swing check valve
 - 316 SS screen on crop pipe
 - Control/Shutoff valve with normally open Solendrid connected to Hoover Flowguard
 - HASP Lock & Handle
 - Galvanized Steel skid and discharge header
 - 4"x6" Reducer
 - Drop pipe to Irrigation Main

405 Irrigation Pump Station



Wet Well Dimensions	
Description	Dimension
Diameter	48"
Top of Wetwell	70.0
Well Influent Inv	60.00
Pond Influent Inv	59.45
Well Pump off	63.75
Well Pump on	54.25
Floor	50.00

406 Irrigation/Pond Pipe Connection Detail



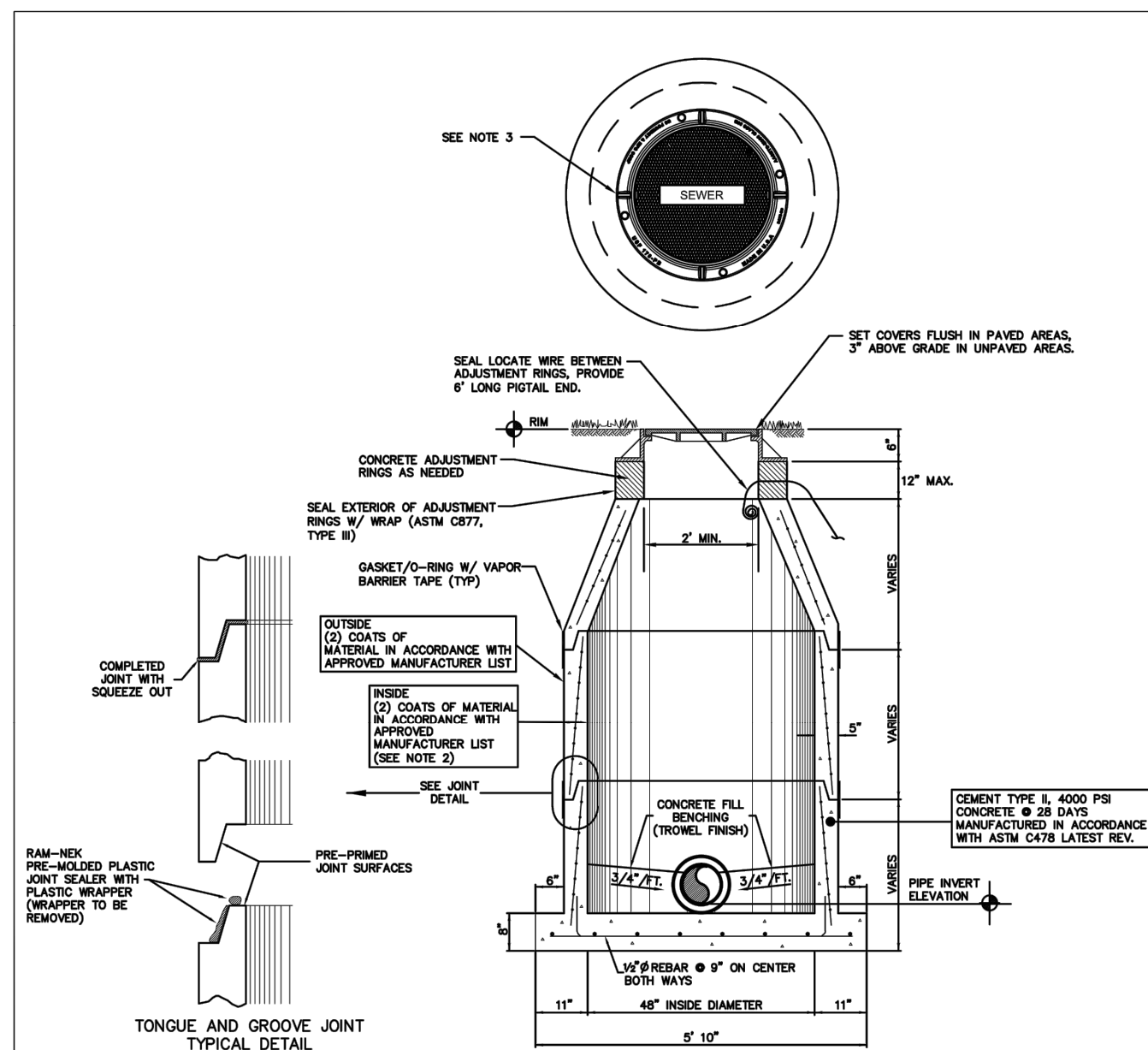
Darcy Unroe PE 60929

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Howey-in-the-HillsDetails 3
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

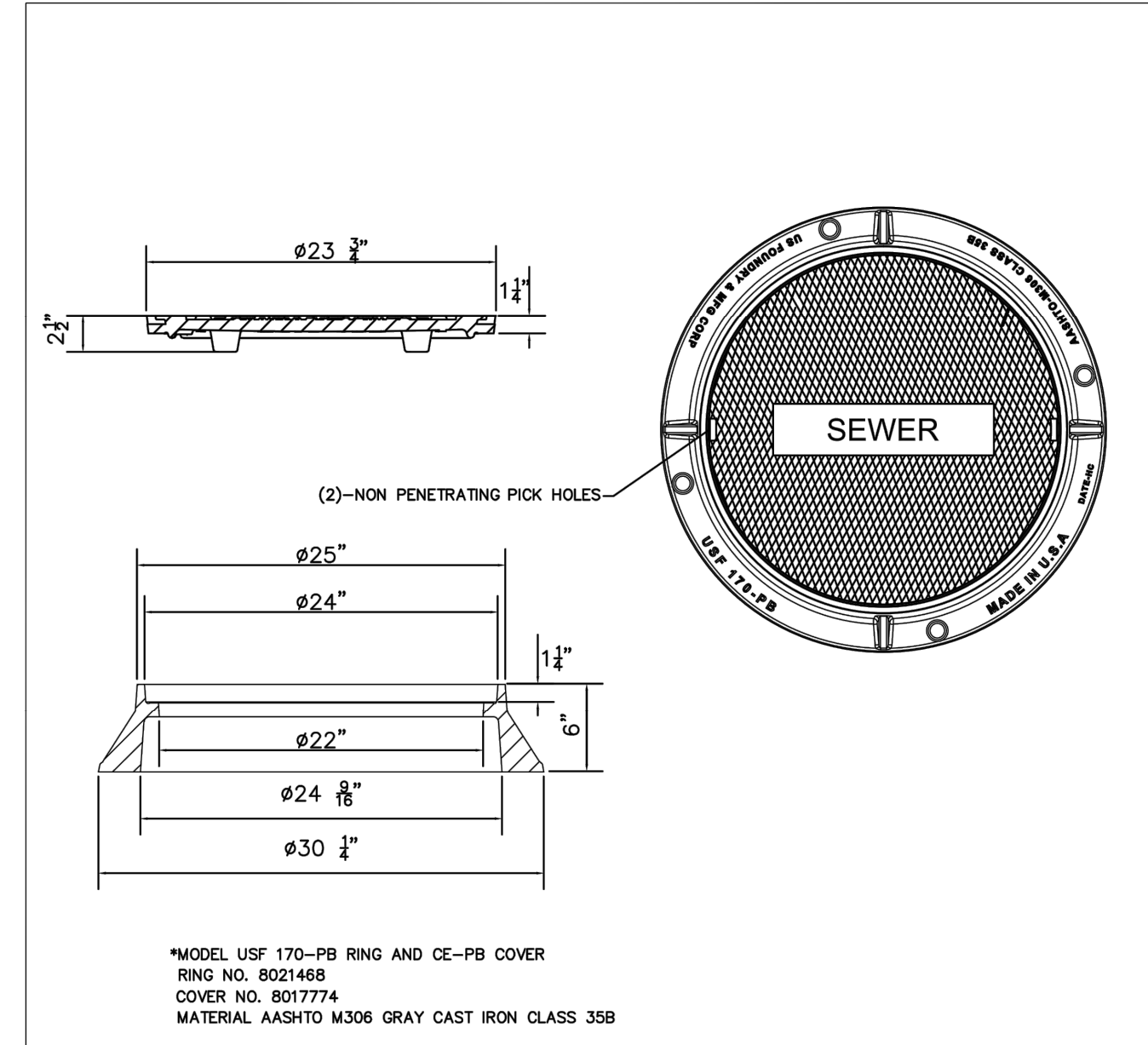
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09-07-21	Date
WH2-C16	File
Dwg. No.	

C17



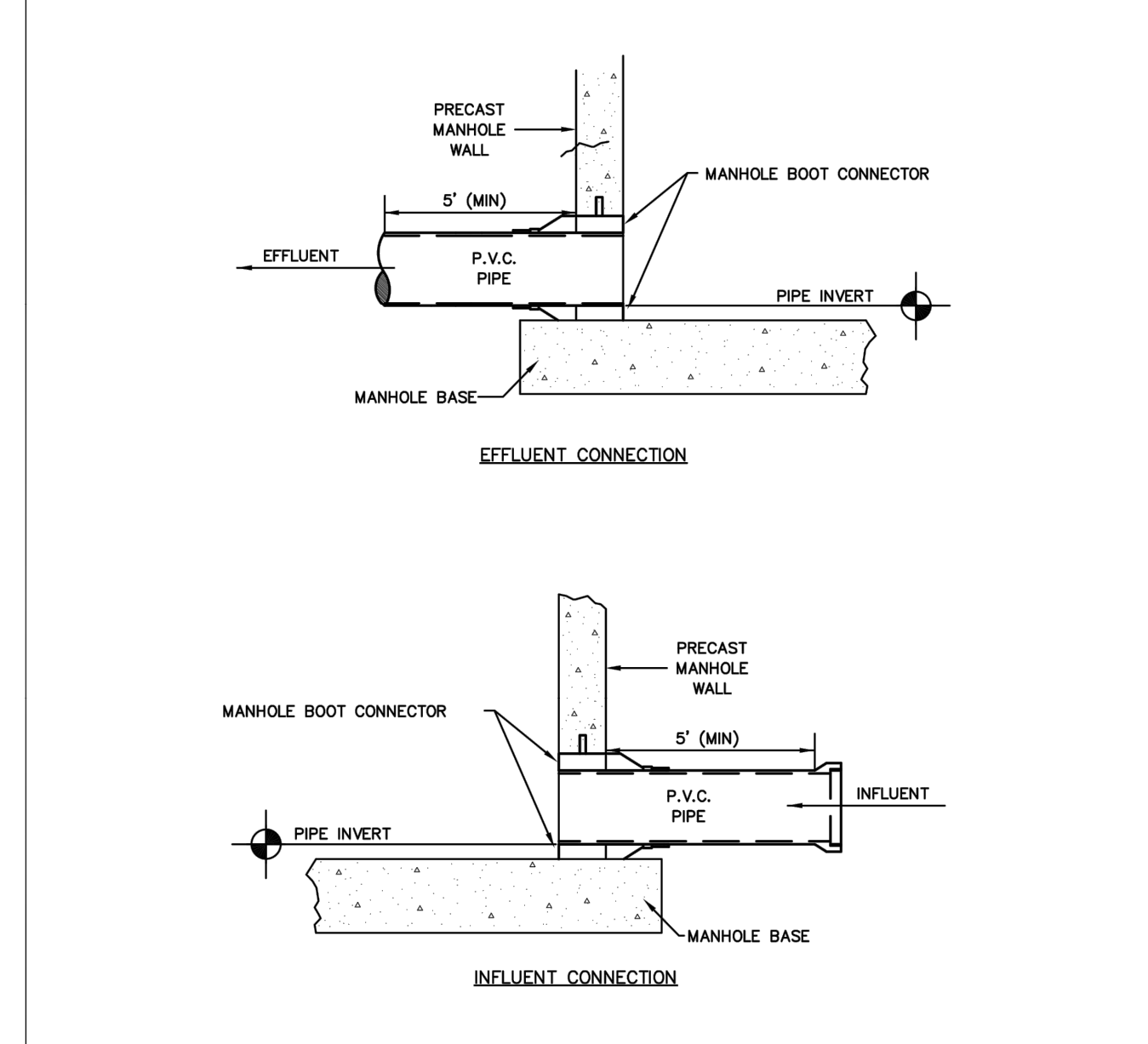
SANITARY PRECAST MANHOLE
NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-1



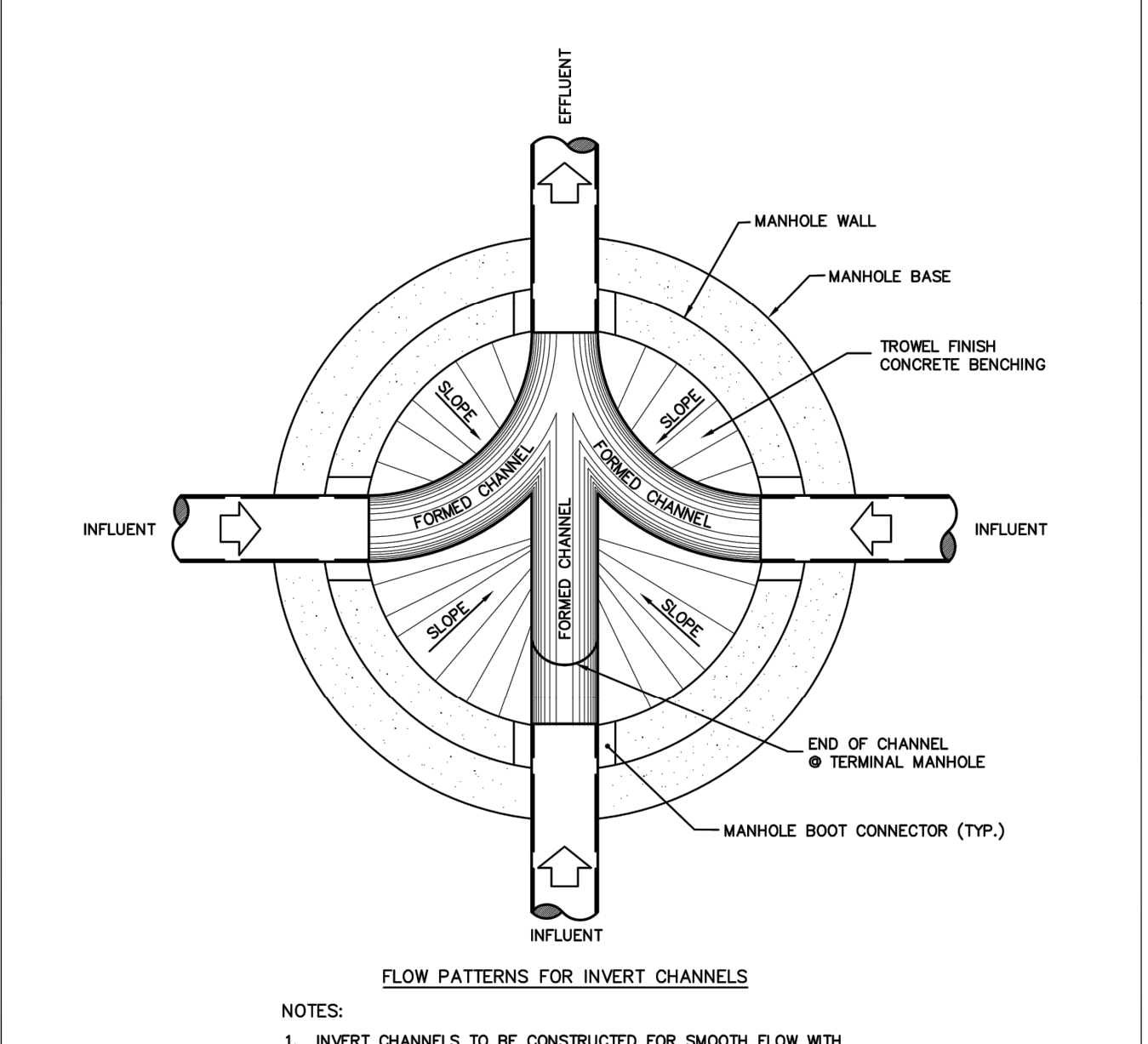
SANITARY MANHOLE COVER
NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-2



PIPE CONNECTION TO PRECAST SANITARY MANHOLE
NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-3



TYPICAL MANHOLE PLAN
NOT TO SCALE

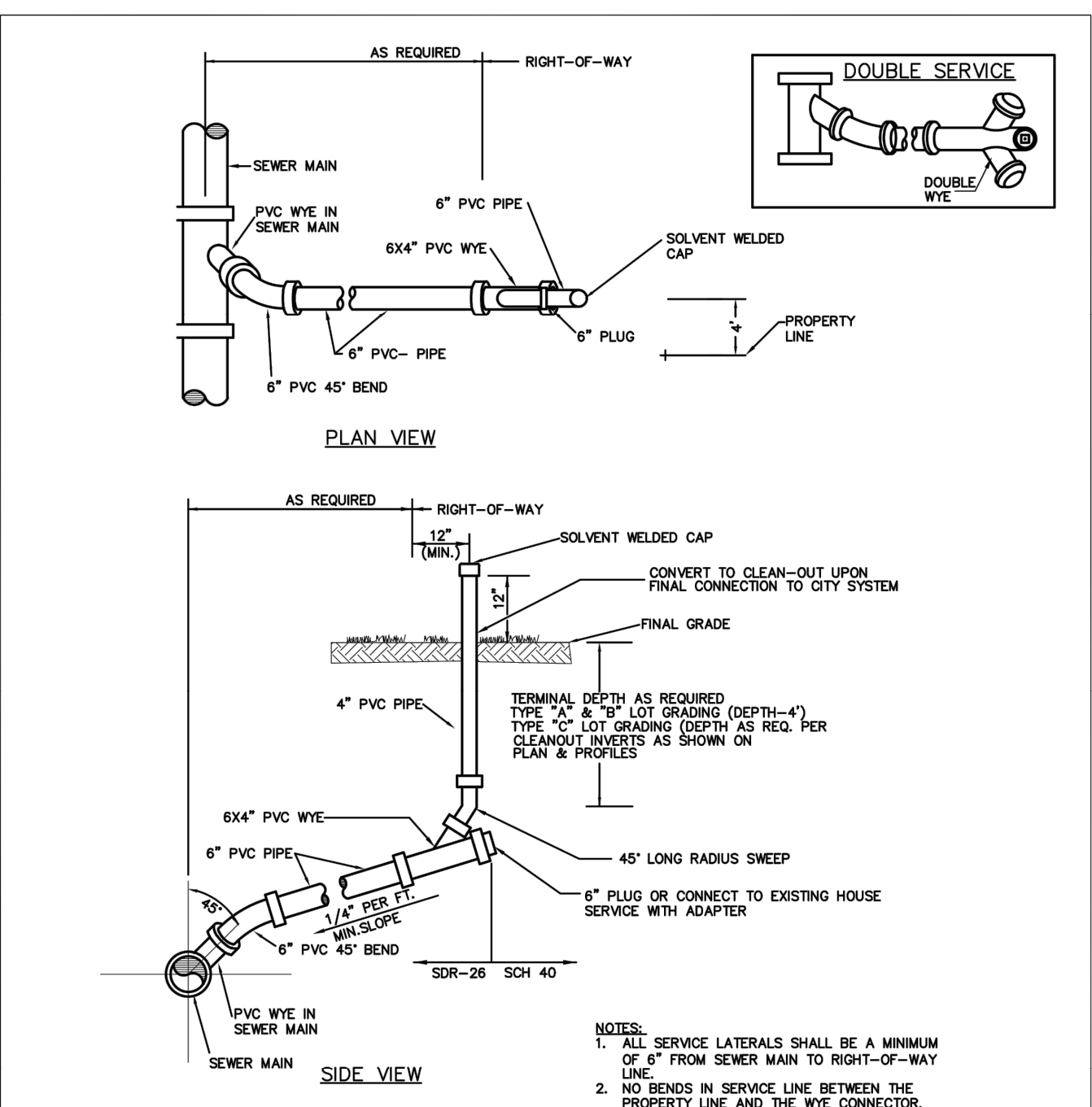
	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-4

501 Sanitary Manhole

501 Sanitary Manhole Cover

501 Pipe to MH Connection

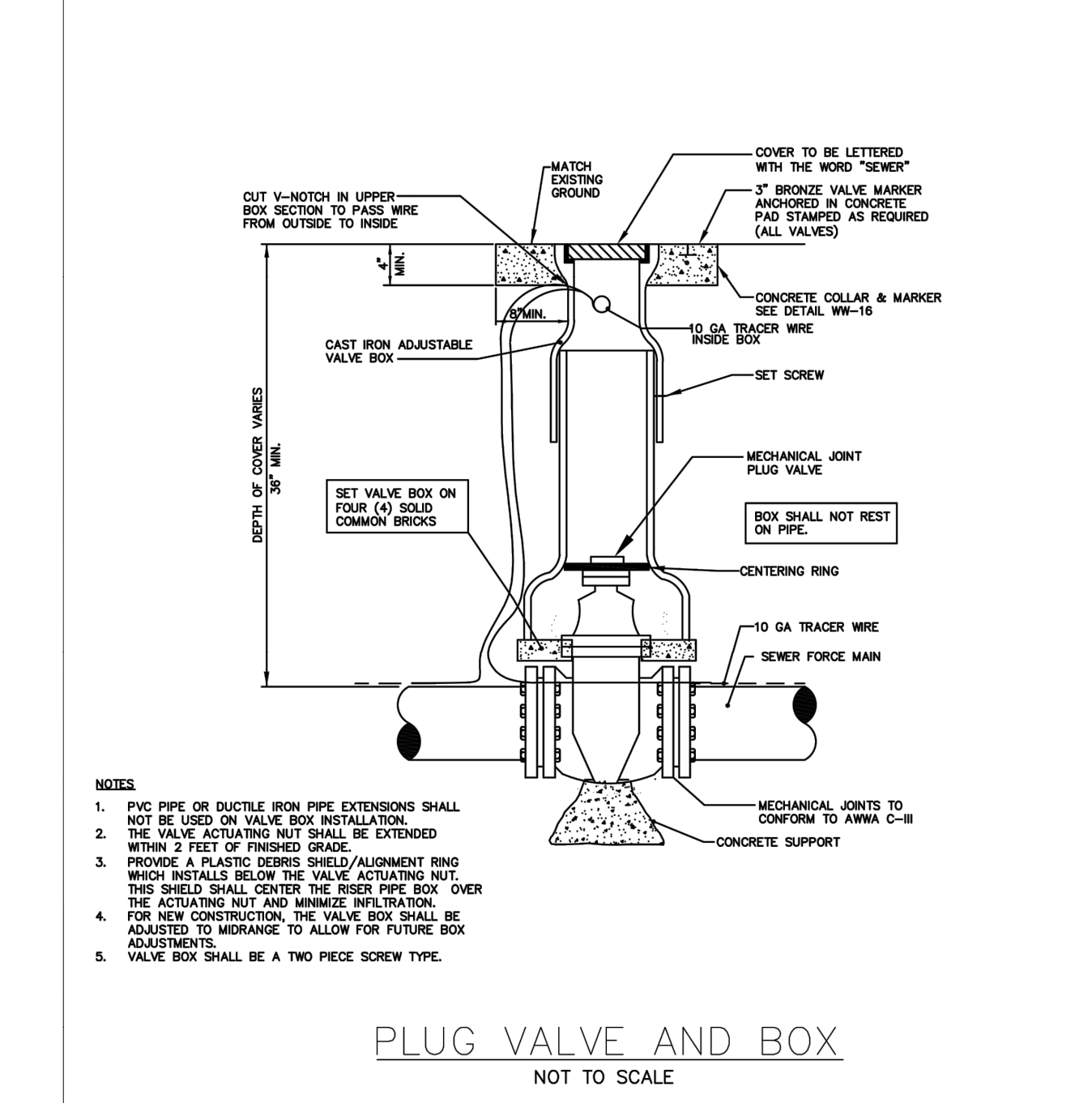
501 Manhole Plan



SANITARY SEWER SERVICE
PVC SEWER SERVICE - NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-6

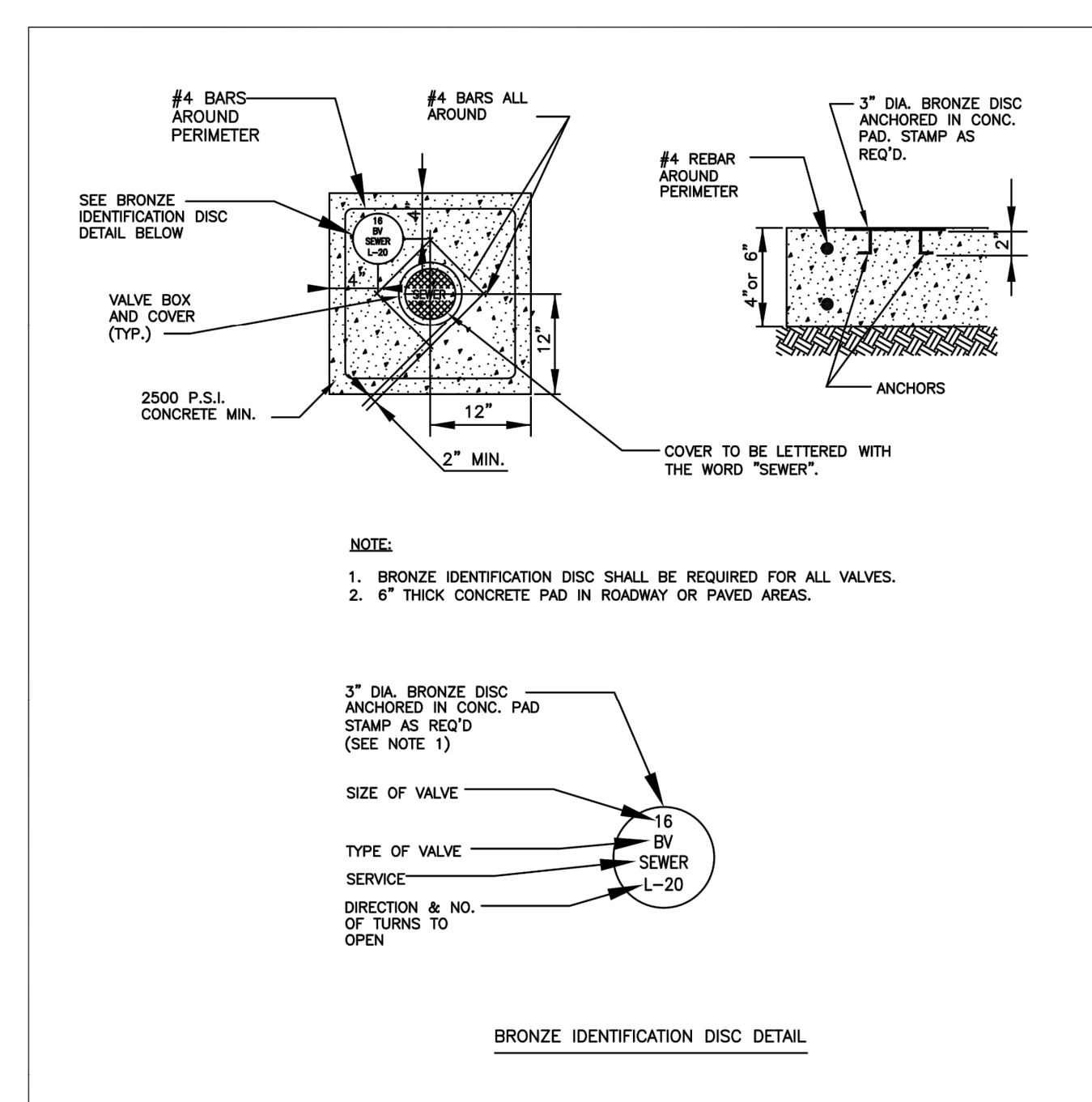
502 Sanitary Sewer Service



PLUG VALVE AND BOX
NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-13

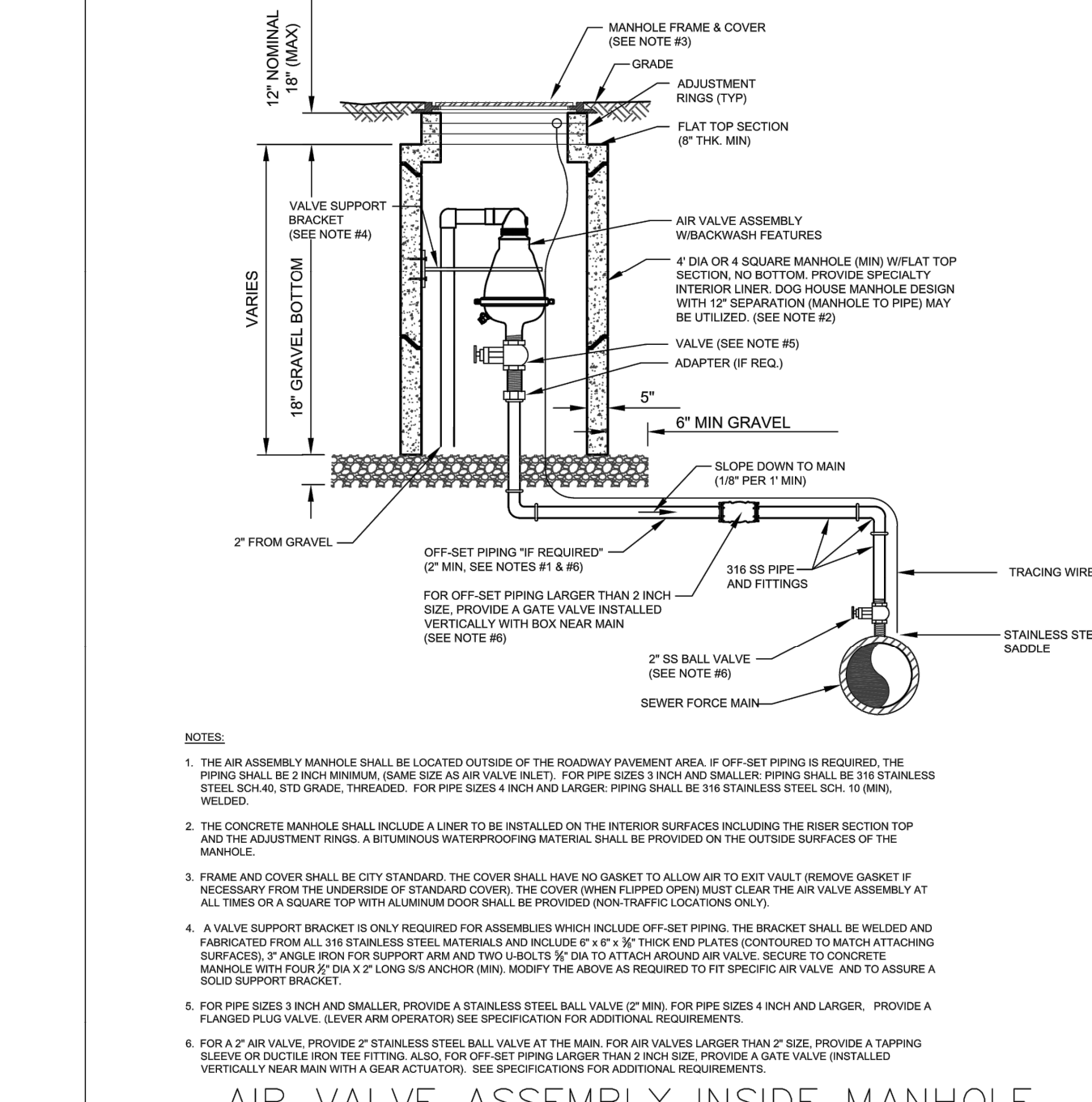
503 Plug Valve & Box - FM



VALVE COLLAR
NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-15

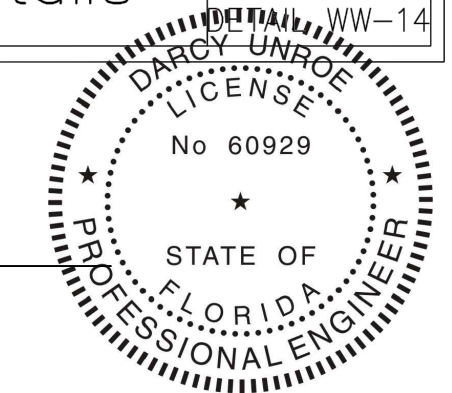
201 Valve Collar - FM



AIR VALVE ASSEMBLY INSIDE MANHOLE
NOT TO SCALE

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL WW-14

203 Air Release Valve - FM



#	Date	Description

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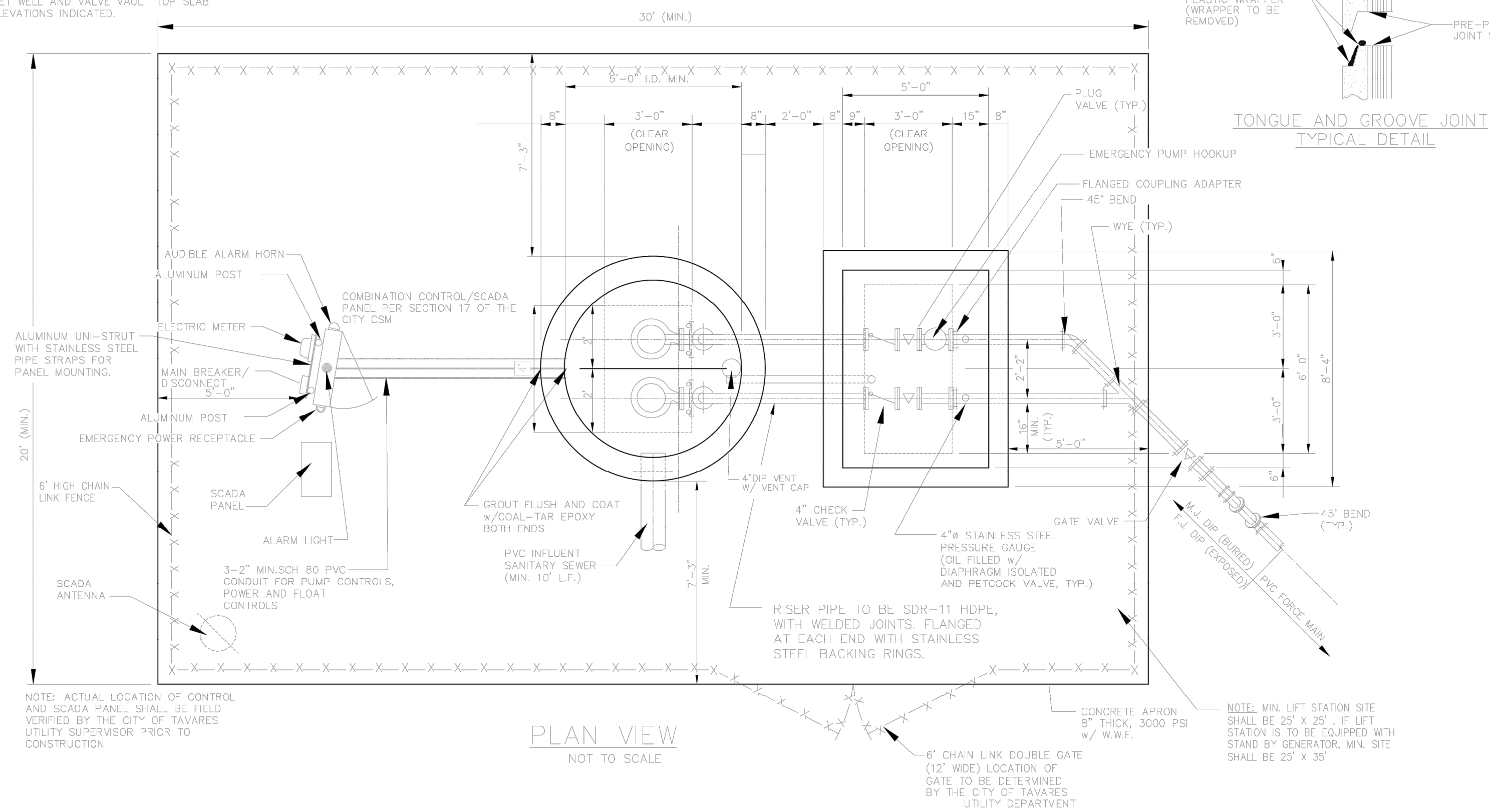
Howey-in-the-Hills Details 4
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

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DP	Checked
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09-07-21	Date
WH2-C17	File

Dwg. No. **C17**
20 of 75

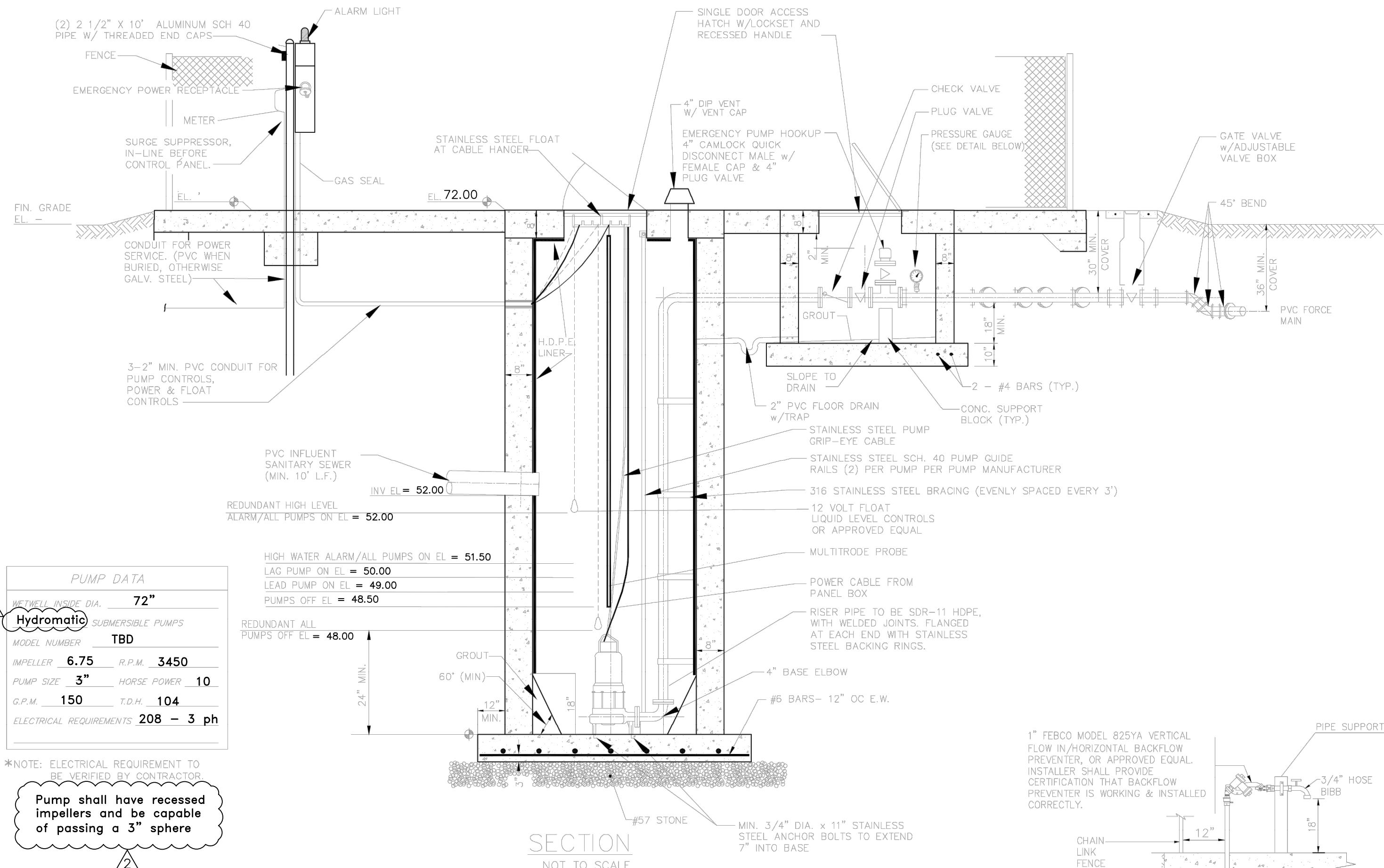
NOTES:

1. FINISH GRADE SHALL BE 6" BELOW WET WELL AND VALVE VAULT TOP SLAB ELEVATIONS INDICATED.



NOTE: ACTUAL LOCATION OF CONTROL AND SCADA PANEL SHALL BE FIELD VERIFIED BY THE CITY OF TAVARES UTILITY SUPERVISOR PRIOR TO CONSTRUCTION

PLAN VIEW
NOT TO SCALE



SECTION
NOT TO SCALE

PUMP DATA	
IMPELLER DIAMETER	72"
HYDROMATIC SUBMERSIBLE PUMPS	
MODEL NUMBER	TBD
IMPELLER	6.75 R.P.M. 3450
PUMP SIZE	3" HORSE POWER 10
G.P.M.	150 T.O.H. 104
ELECTRICAL REQUIREMENTS	208 - 3 ph

*NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR
Pump shall have recessed impellers and be capable of passing a 3" sphere

NOTES:

1. PUMPS: SHALL HAVE (2) 2" STAINLESS STEEL GUIDE RAILS PER PUMP AND A BPI FRONT DUPLEX SYSTEM.
2. LEVEL CONTROLS: SHALL BE IN ACCORDANCE WITH SECTION 17 OF THE CITY UTILITY MANUAL.
3. WET WELL ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x48". ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 PSF. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. FRAME SHALL SUPPORT GUIDE RAILS AND CABLE HOLDER FOR ELECTRICAL WIRING. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
4. VALVE VAULT ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x72" ACCESS AS MANUFACTURED IN ACCORDANCE WITH APPENDIX A, APPROVED MANUFACTURER LIST OF THE CITY CSM. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 PSF. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. ALL ACCESS FRAME, COVER, HARDWARE, AND FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER, APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
5. ELECTRICAL SERVICE ENTRANCE: PROVIDE METER SOCKET AND MAIN DISCONNECT MEETING APPLICABLE ELECTRIC CODES AND REQUIREMENTS OF POWER COMPANY. LIGHTNING AND VOLTAGE SURGE PROTECTION TO BE PROVIDED. COST FOR THE ELECTRICAL SERVICE AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTROL PANEL: SHALL BE IN ACCORDANCE WITH SECTION 17 OF THE CITY CSM. PANEL SHALL BE EQUIPPED WITH THREE, 2" X 6" ALUMINUM NIPPLES TO THE SEALOFFS, WITH SCH 80 PVC TO WET WELL.
7. PAINT: INSIDE AND OUTSIDE OF VALVE VAULT SHALL BE PAINTED WITH TWO COATS OF MATERIAL IN ACCORDANCE WITH APPENDIX A, APPROVED MANUFACTURER LIST OF THE CITY CSM APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.
8. VALVE VAULT: PRECAST CONCRETE 60"x 84" (MINIMUM) INSIDE DIMENSIONS.
9. STEEL PLACED IN BOTTOM SLAB IS TO BE IDENTICAL TO THE TOP SLAB EXCEPT THAT DIAGONAL BARS AND OPENINGS ARE ELIMINATED, STEEL IS CONTINUOUS AND SLAB IS SOLID.
10. CONTRACTOR TO CONFIRM SERVICE ARRANGEMENTS WITH POWER COMPANY BEFORE COMMENCING WORK. CONTRACTOR TO RUN UNDERGROUND WIRING TO NEAREST TRANSFORMER OR HAND HOLE.
11. ALL FASTENERS ON FLANGES AND ETC. INSIDE WET WELL WILL BE STAINLESS STEEL.
12. DIMENSIONS BETWEEN CENTERLINE OF PIPES ARE STANDARD FOR PIPE SIZES SPECIFIED.
13. SHOP DRAWINGS OF ENTIRE INSTALLATION MUST BE APPROVED BY CITY PRIOR TO PLACEMENT OF ORDER.
14. PLUG VALVES SHALL BE CONSTRUCTED WITH RESILIENT FACED PLUGS. ON BY-PASS LINES, VALVES SHALL BE BURIED WITH ACCESS THROUGH CAST IRON VALVE BOXES. VALVES SHALL HAVE A 2" OPERATION NUT. ONE(1) 5' LONG VALVE WRENCH SHALL BE PROVIDED TO THE CITY OF TAVARES PER LIFT STATION. ALL PLUG VALVES 8" AND SMALLER SHALL BE 1/4 TURN TYPE.
15. ALL EXPOSED AND EMBEDDED CONDUITS TO BE SCHEDULE 80 PVC.
16. ALL EXPOSED METAL SHALL BE PAINTED WITH TWO (2) COATS OF EXTERIOR BLACK ENAMEL PAINT.
17. ALL EXTERNAL PIPING SHALL BE DUCTILE IRON CLASS 50 (FLANGED JOINT FOR EXPOSED PIPE & MECHANICAL JOINT FOR BURIED PIPE), ALL INTERNAL WET WELL PIPING FROM THE PUMP DISCHARGE ELBOW TO THE VALVE BOX SHALL BE MINIMUM SDR-11 HDPE.
18. ALL DIMENSIONS AND LOCATIONS OF UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR.
19. PRESSURE GAUGES SHALL BE STAINLESS STEEL WITH STAINLESS STEEL DIAPHRAGM, LIQUID FILLED, 4" DIAMETER DIAL WITH 0-100 PSI RANGE. CHECK VALVES SHALL OUTSIDE LEVER AND WEIGHT.
20. PADLOCKS FOR ACCESS COVERS AND CONTROL PANEL SHALL BE KEYS ALIKE, FURNISH TWO (2) KEYS PER LOCK. BOLTS IN LOCKING DEVICE SHALL BE STAINLESS STEEL.
21. WET WELL TO BE H.D.P.E. LINED WITH A MINIMUM THICKNESS OF 2 MM, MECHANICALLY ANCHORED TO THE CONCRETE. ALL JOINTS SHALL BE EXTRUSION WELDED BY CERTIFIED WELDERS.
22. SOD ALL AREAS DISTURBED BY CONSTRUCTION.
23. ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE WILL REQUIRE SHOP COATING OF SUITABLE PROTECTIVE COATING TO RESIST CORROSION.
24. BYPASS PUMPING: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING. A BYPASS PUMPING PLAN SHALL BE SUBMITTED AT THE TIME OF PERMIT APPLICATION TO THE ENVIRONMENTAL SERVICES DIRECTOR. CITIZEN CONSIDERATION WILL BE REVIEWED WHEN BYPASS PUMPING EQUIPMENT IS REQUIRED. SOUND ATTENUATING ENCLOSURES MAY BE REQUIRED, AT THE DISCRETION OF THE ENVIRONMENTAL SERVICES DIRECTOR.
25. FIELD TESTING: THE CONTRACTOR SHALL FURNISH THE SERVICES OF THE SYSTEM SUPPLIER'S SERVICEMAN, ALL SPECIAL TOOLS, CALIBRATION EQUIPMENT, AND LABOR TO PERFORM THE TESTS. CERTIFIED COPIES OF THE TESTS SHALL BE FURNISHED IN DUPLICATE TO THE CITY ENGINEER PRIOR TO FINAL APPROVAL.
26. DRIVEWAY SHALL HAVE A MINIMUM WIDTH OF 12 FEET.

DATE: FEB 2022
DETAIL WW-11

Howey-in-the-Hills
Standard Details



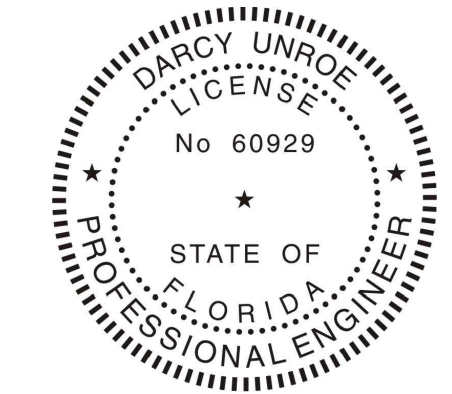
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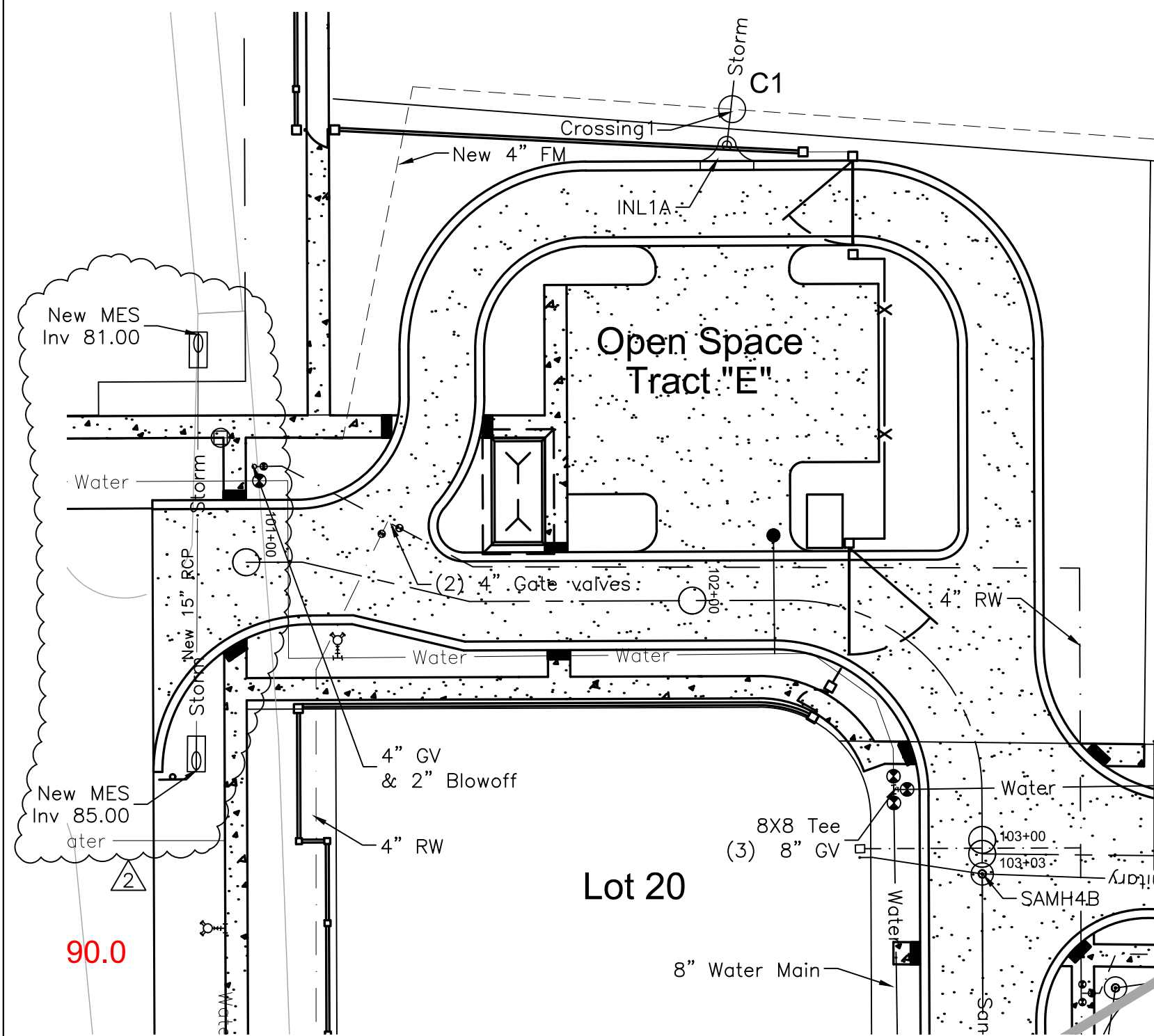
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SANITARY SEWER LIFT STATION
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

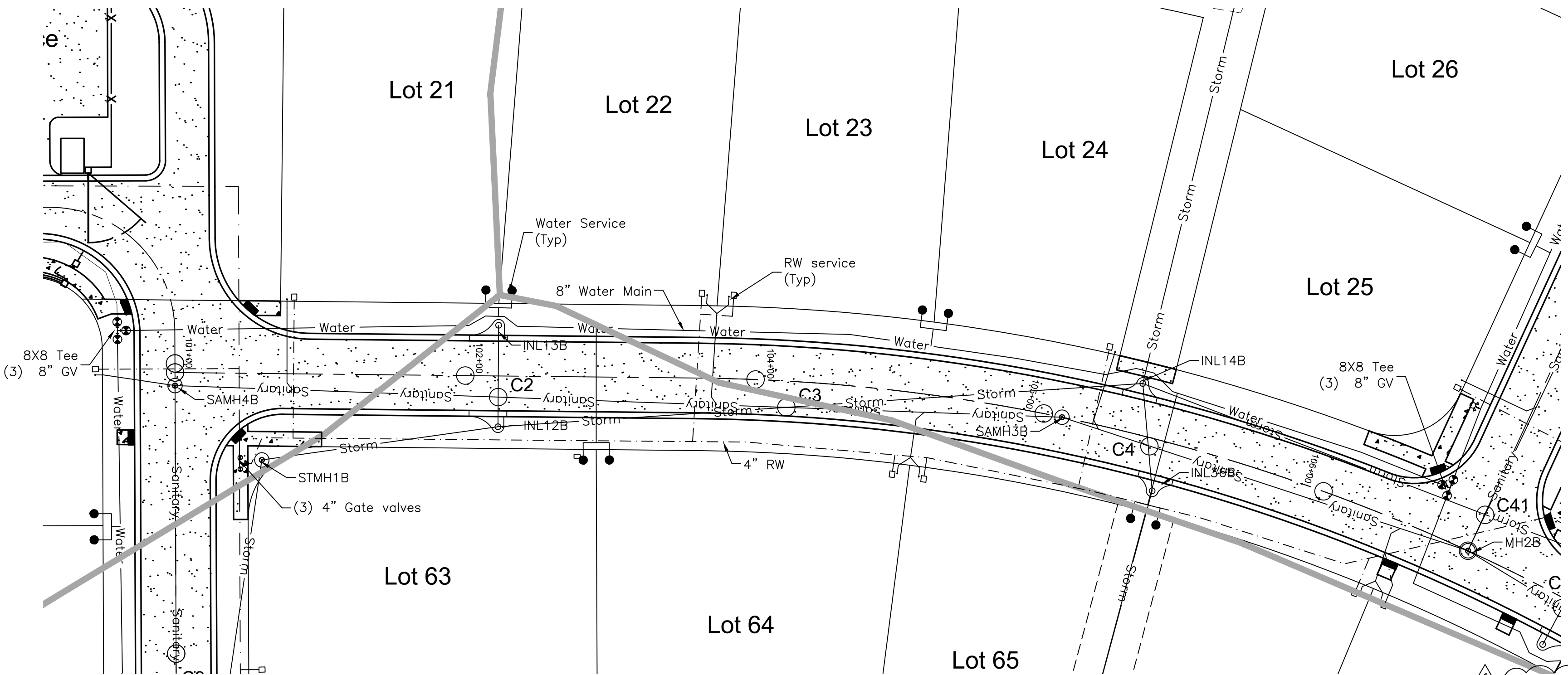
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WH2-C19	File

Dwg. No. **C19**
21 of 75

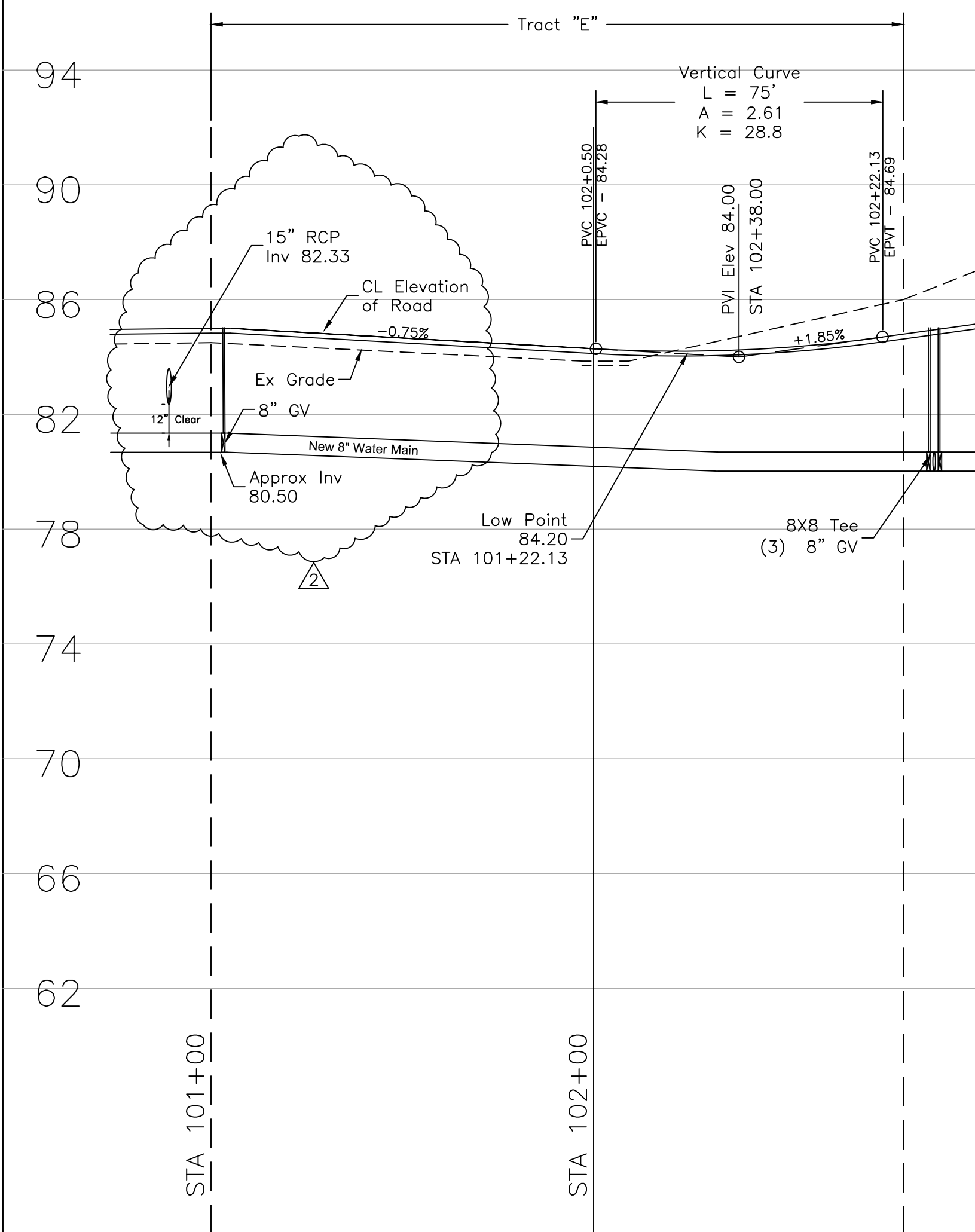
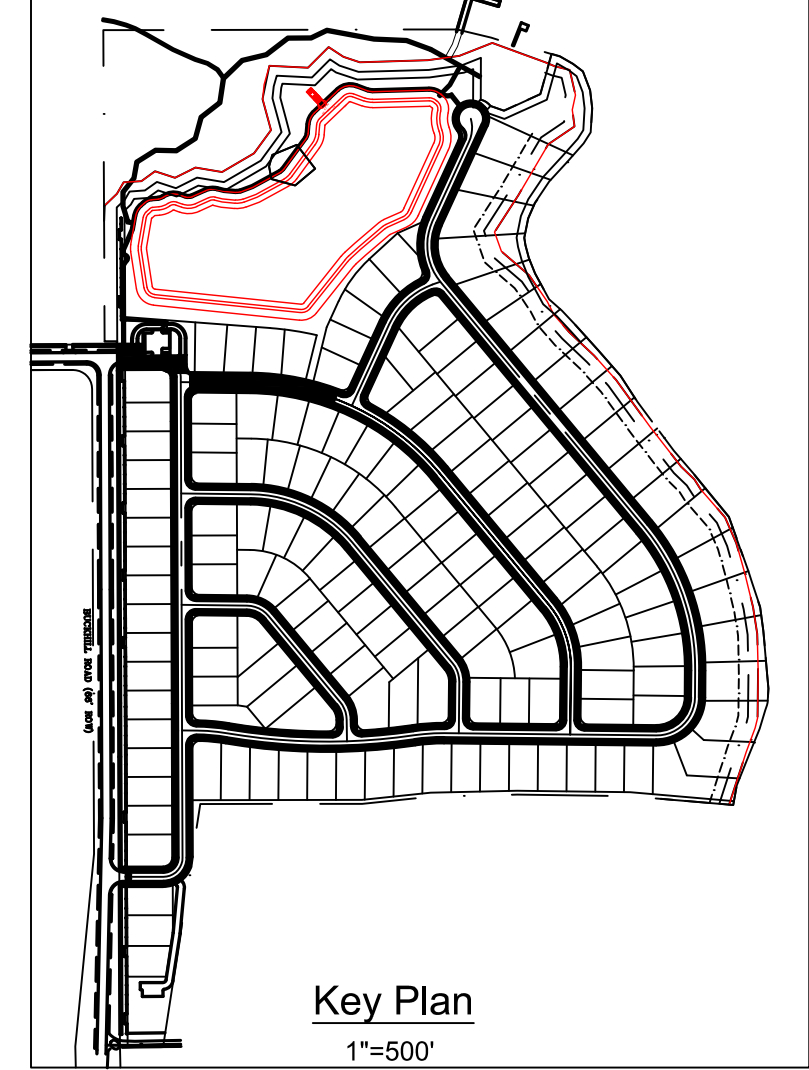




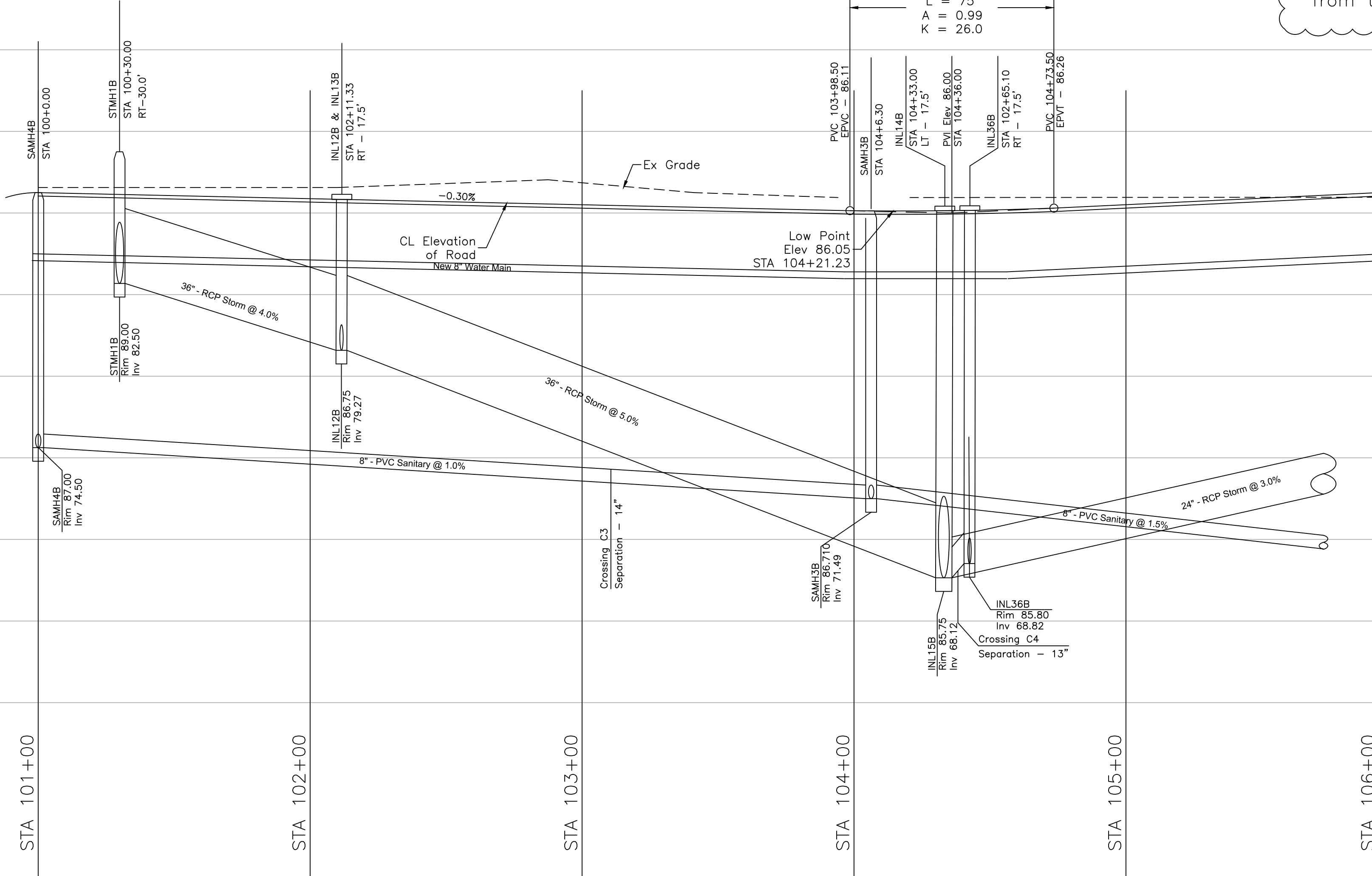
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Plan View
Scale: 1"=30'



Profile View
Scale: 1/4"=1'



Profile View
Scale: 1/4"=1'

Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

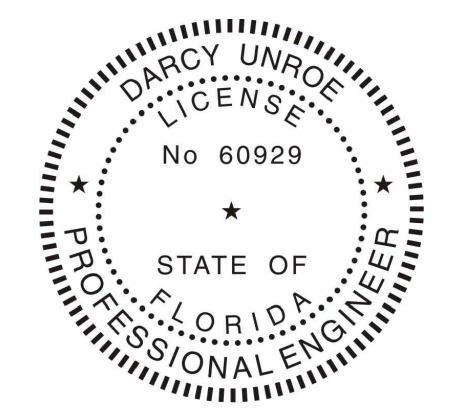
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2	12/9/22	Town Comm

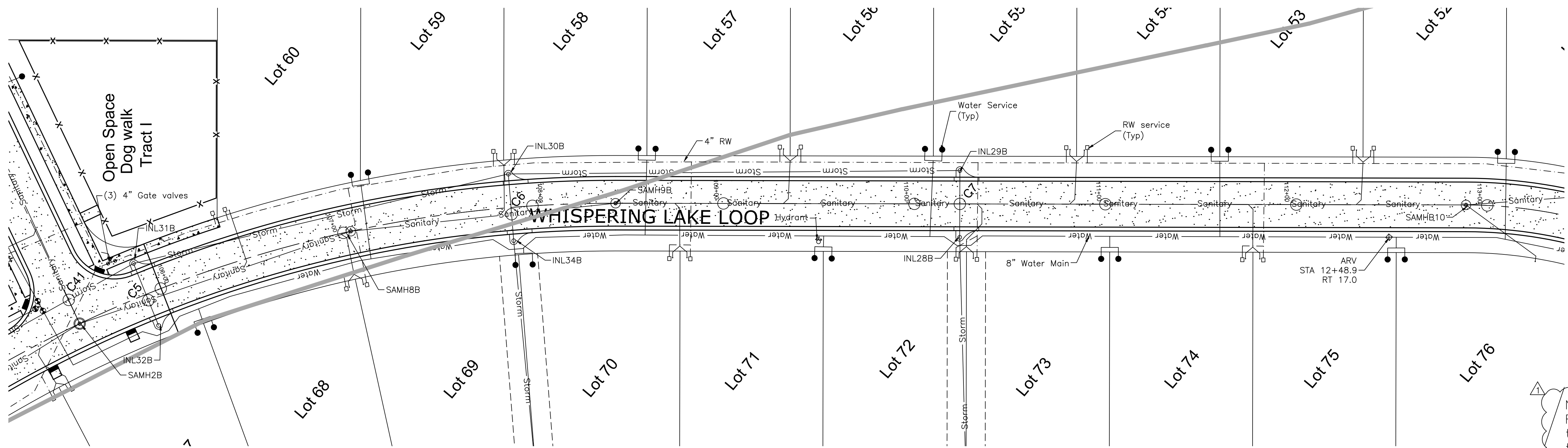
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Business Authorization Number: EB 0006579 ph (407) 299-0650

Plan - Profile Sheet 1
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

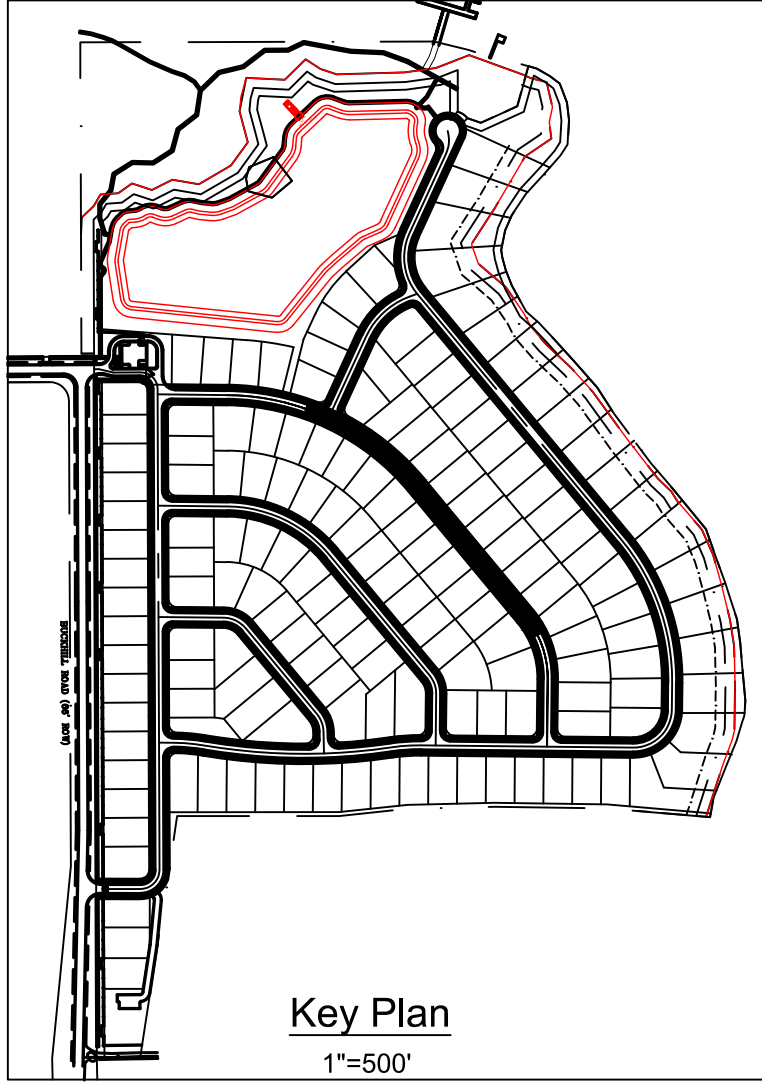
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WH2-PP1	File

Dwg. No.
PP1
22 of 75

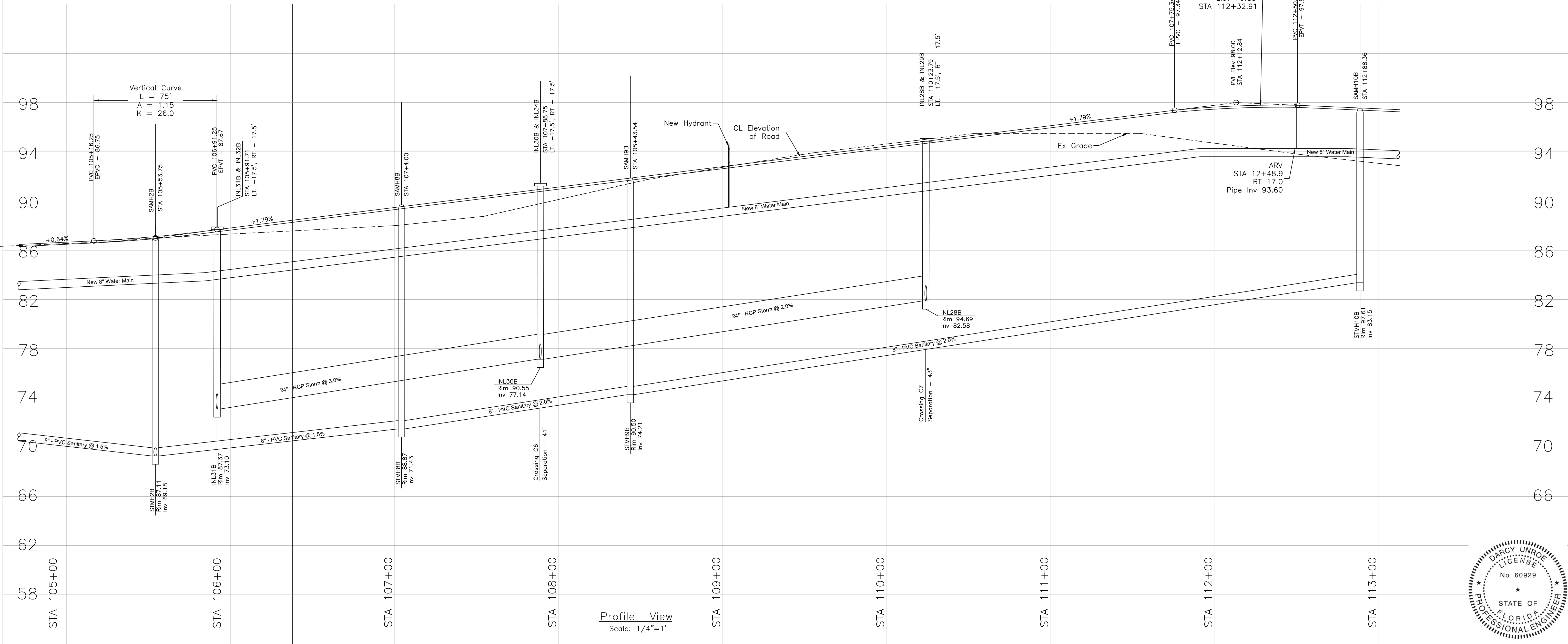




Plan View
Scale: 1"=30'



Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/4"=1'

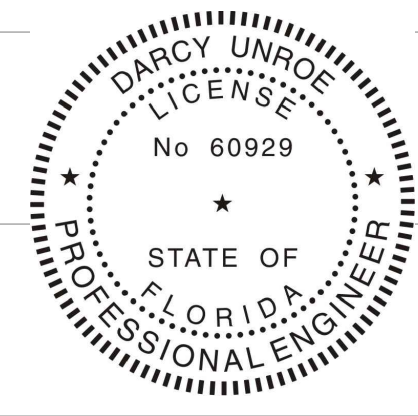
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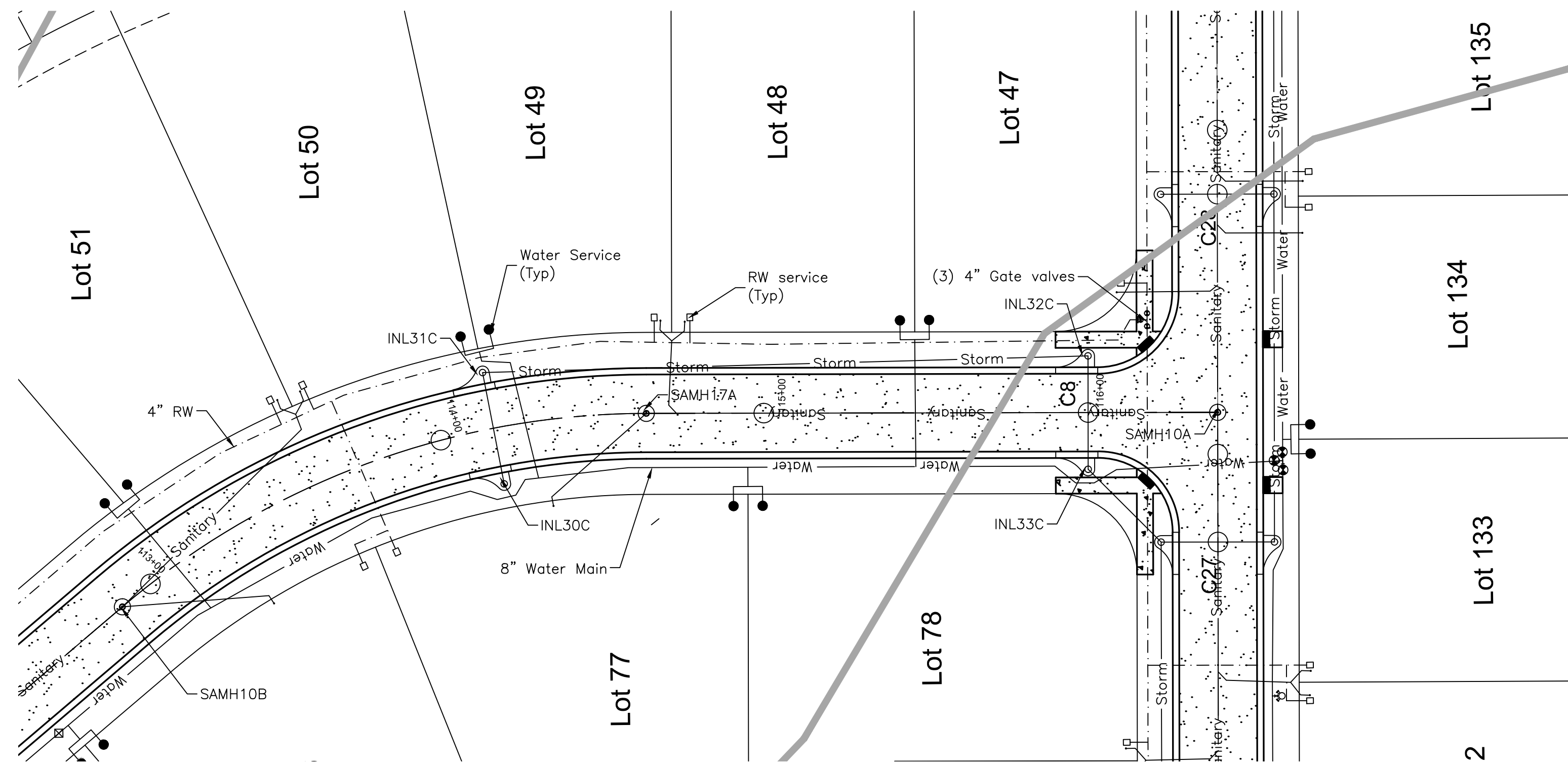
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Plan - Profile Sheet 2
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

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09-07-21	Date
WH2-PP2	File

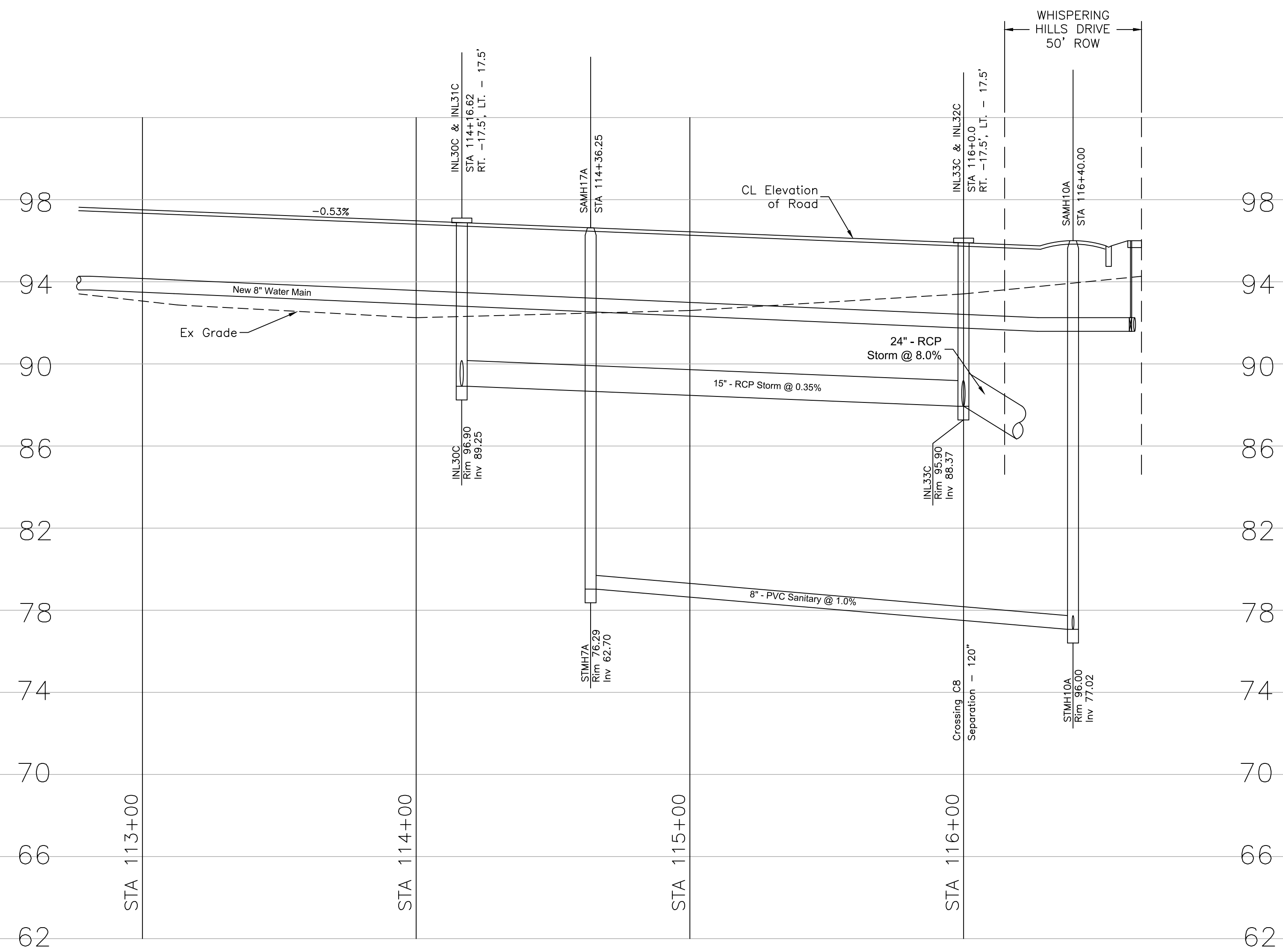
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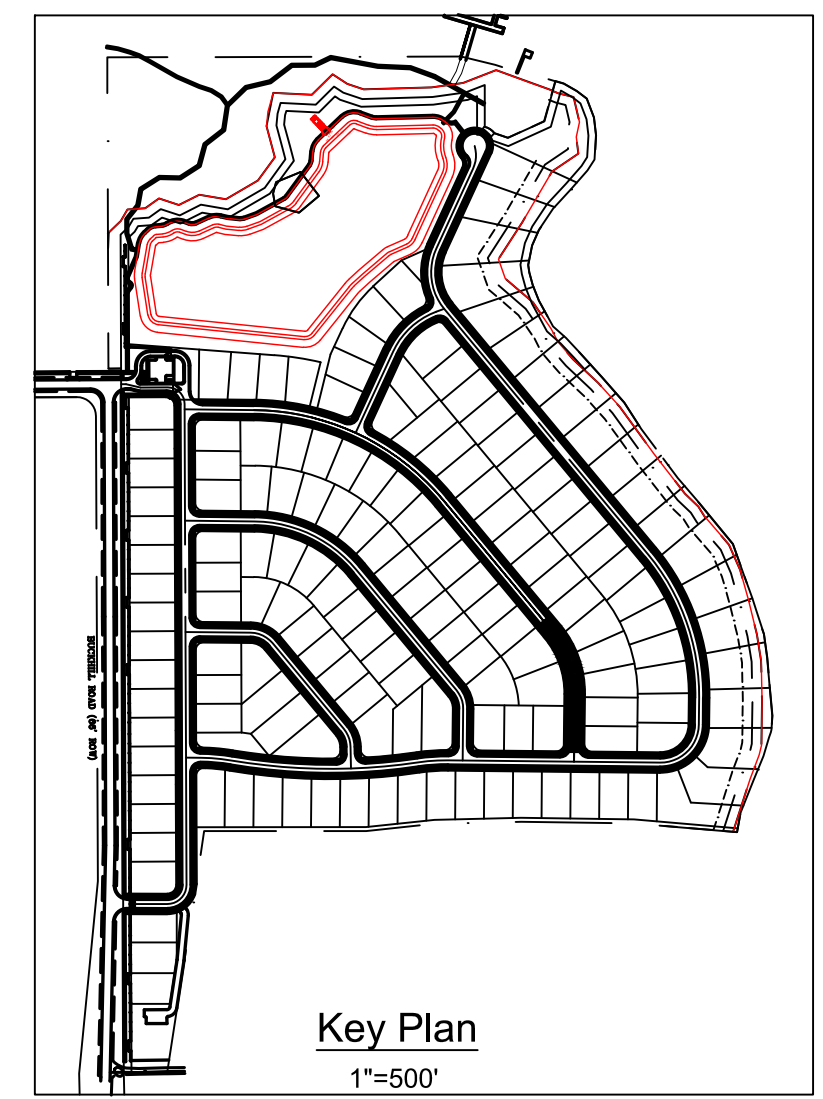


Plan View
Scale: 1"=30"

Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/4"=1'

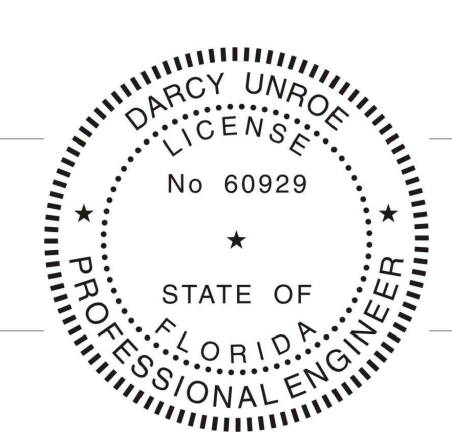


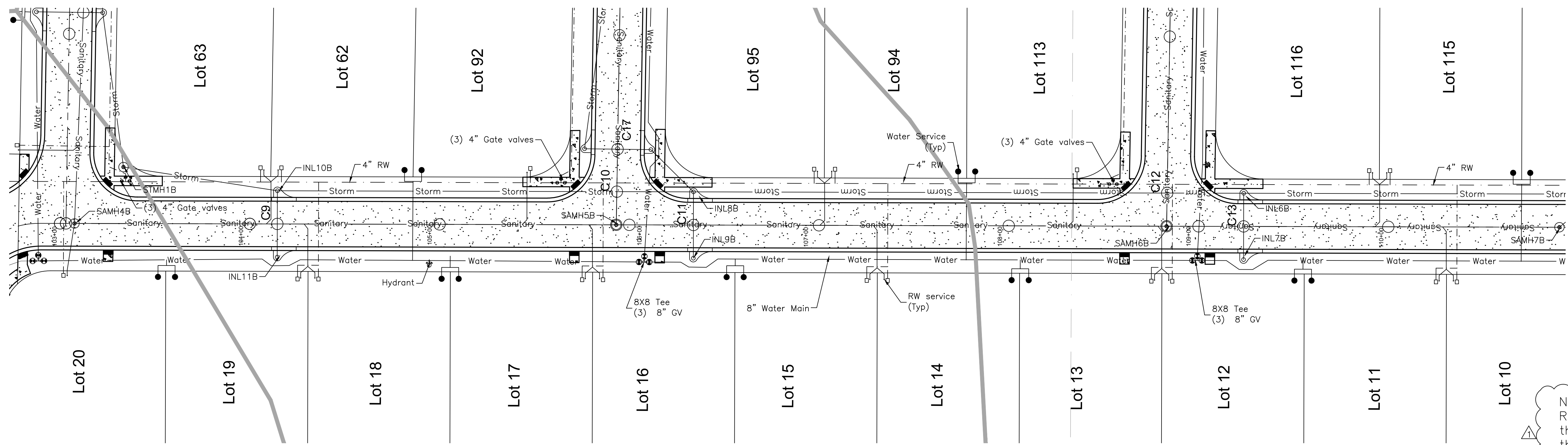
Revisions	
#	Description

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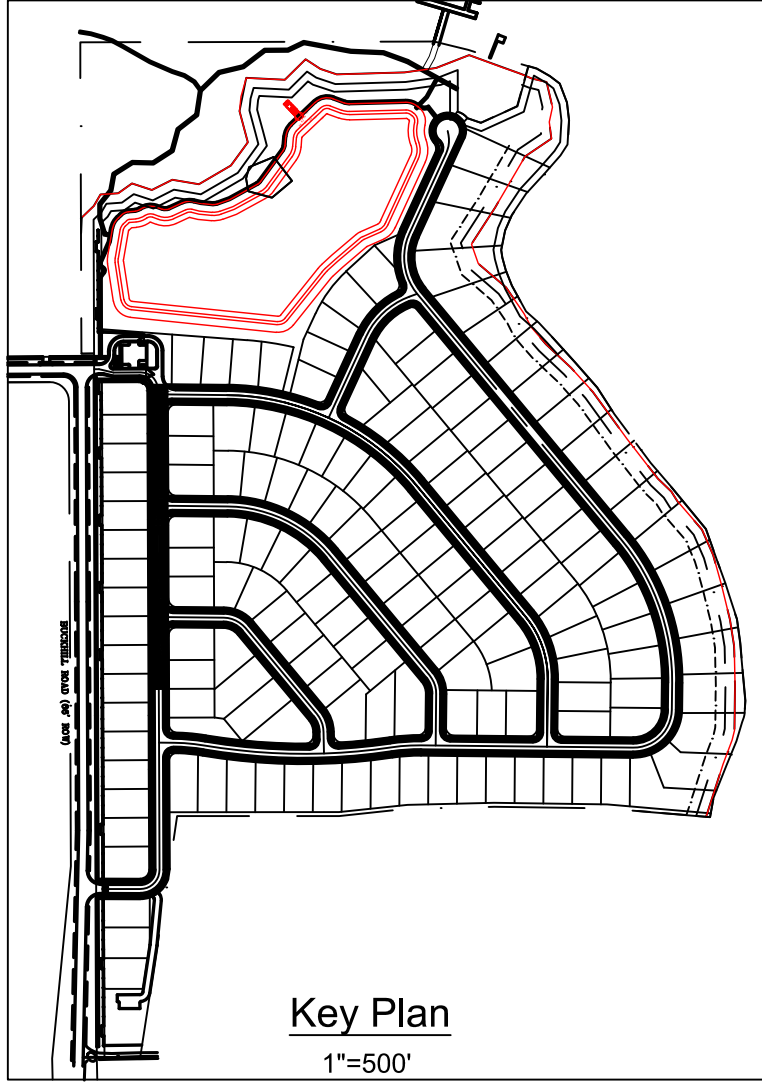
Plan - Profile Sheet 1
Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

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09-07-21	Date
WH2-PP3	File

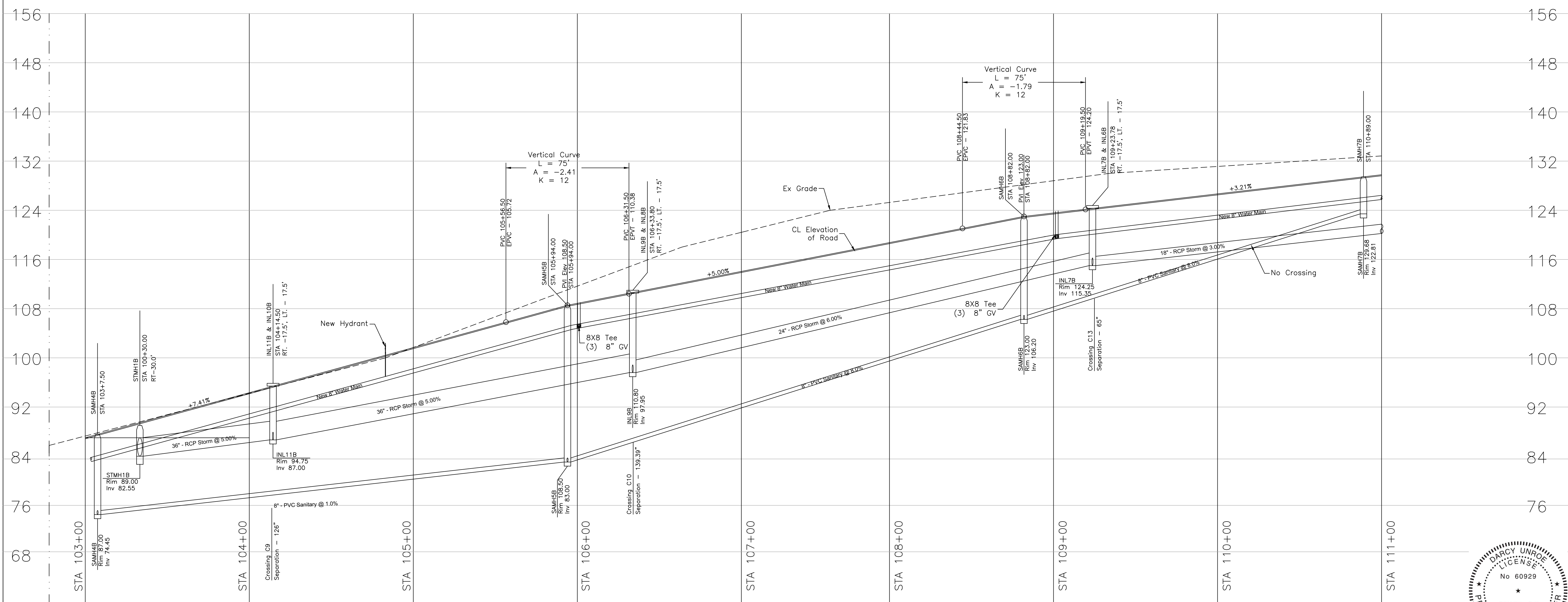




Plan View
Scale: 1"=30"



Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/8"=1'

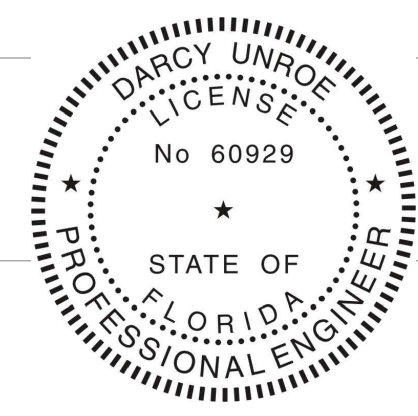
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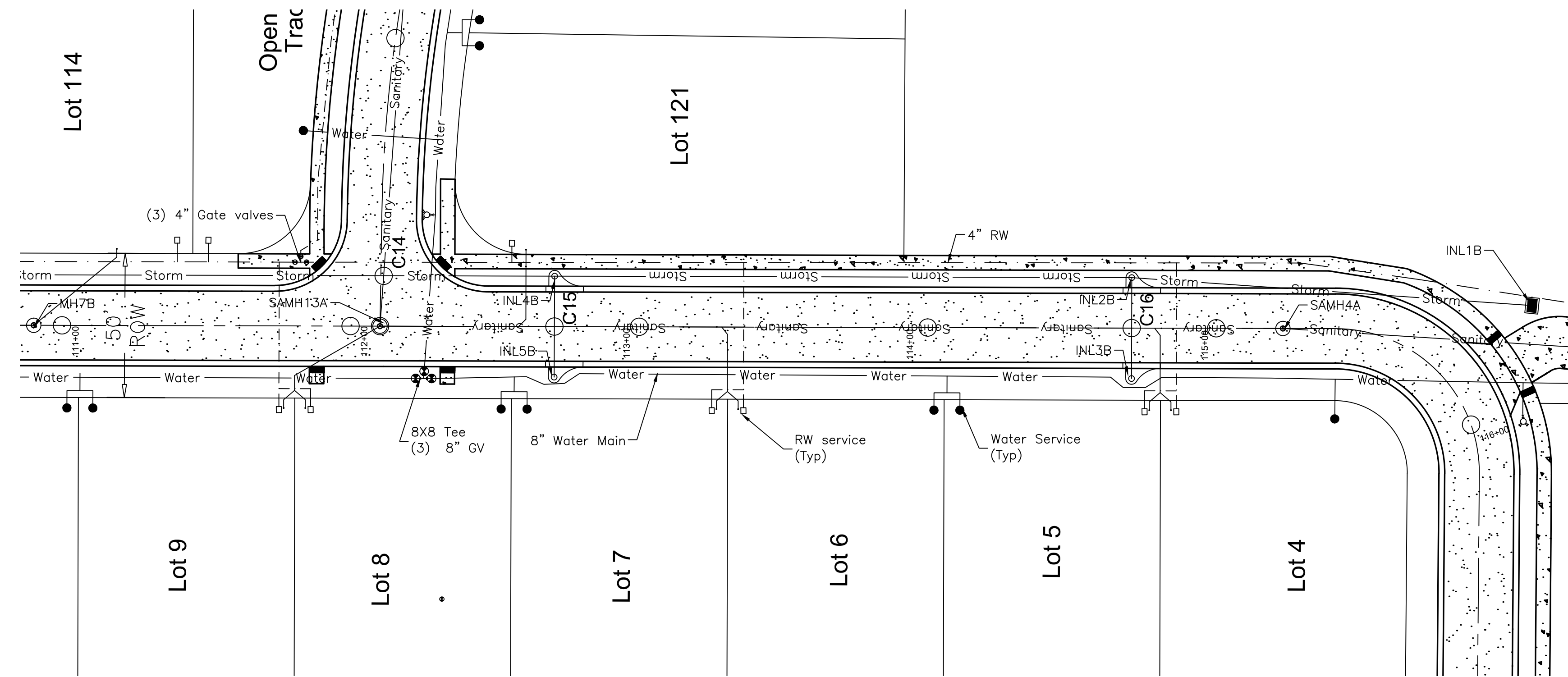
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Plan - Profile Sheet 4
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

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09-07-21	Date
WH2-PP4	File

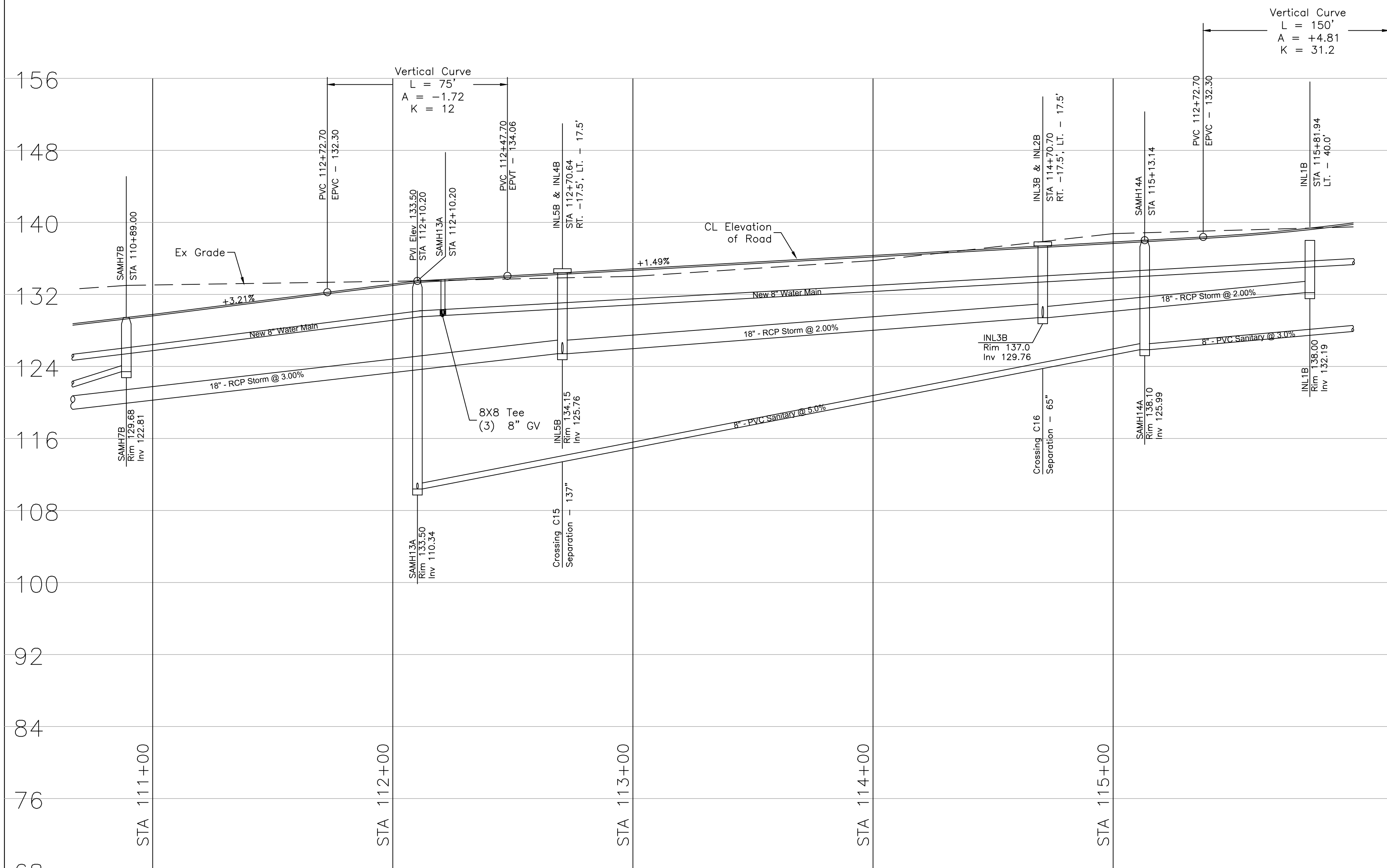
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25 of 75



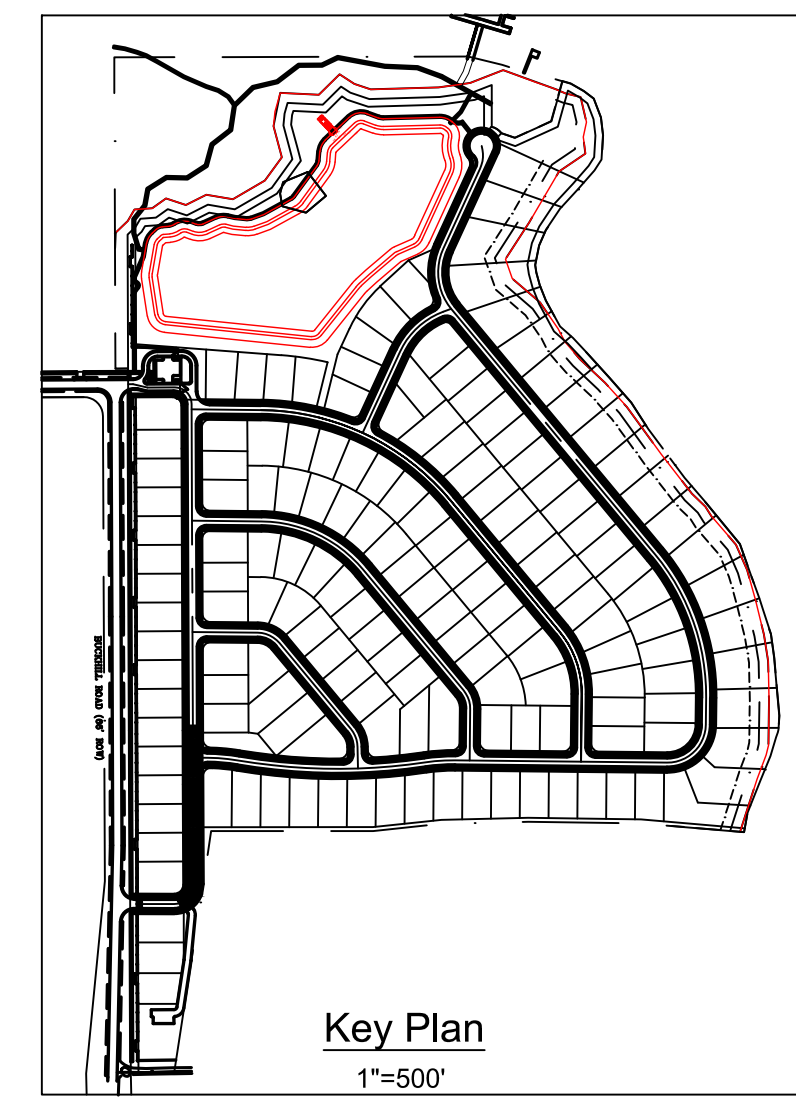


Plan View
Scale: 1"=30'

Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/8"=1'

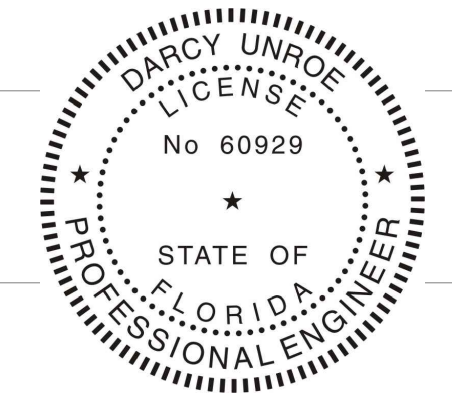


Revisions		#	Date	Description

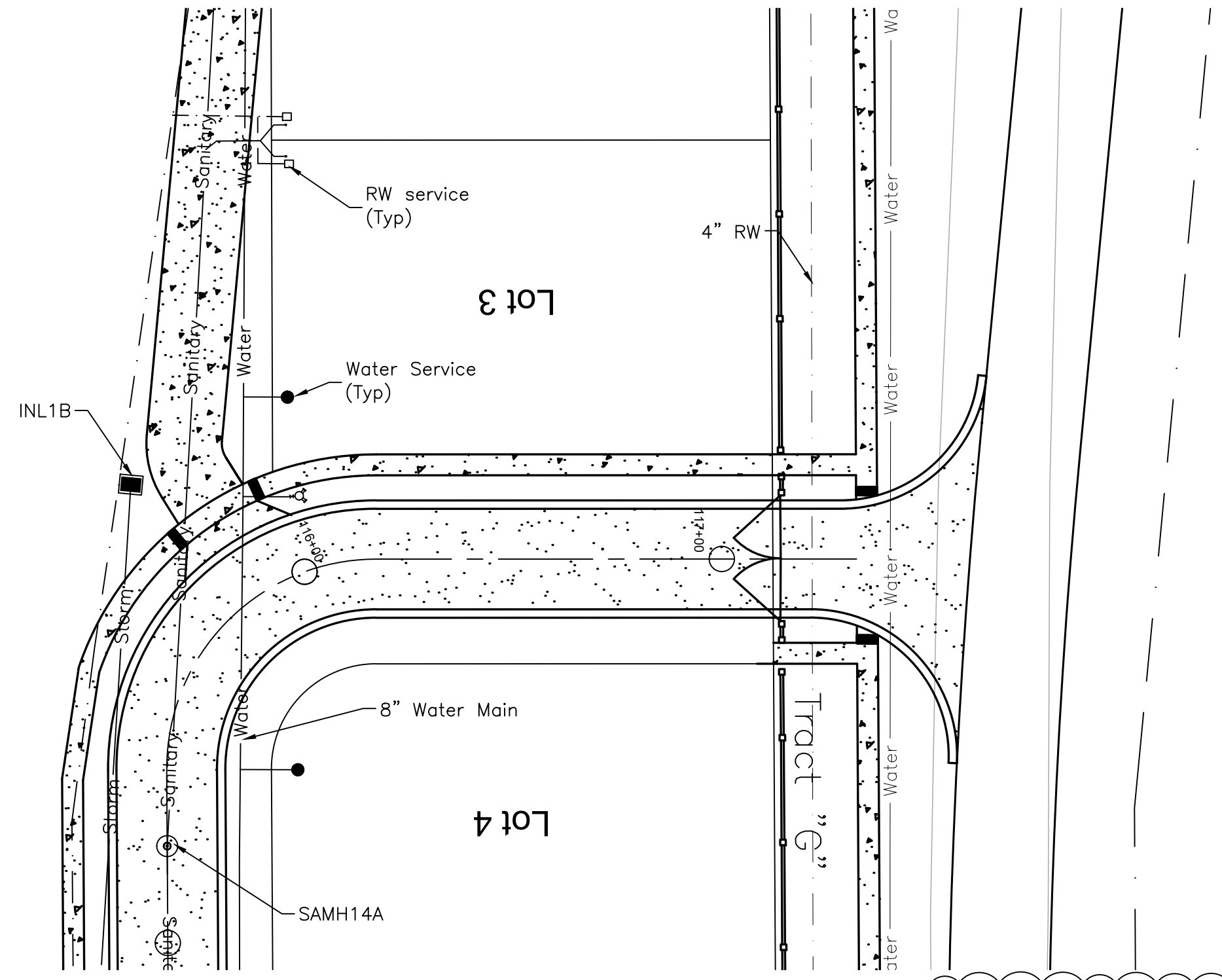
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Plan - Profile Sheet 5
Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

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09-07-21	Date
WH2-PP5	File

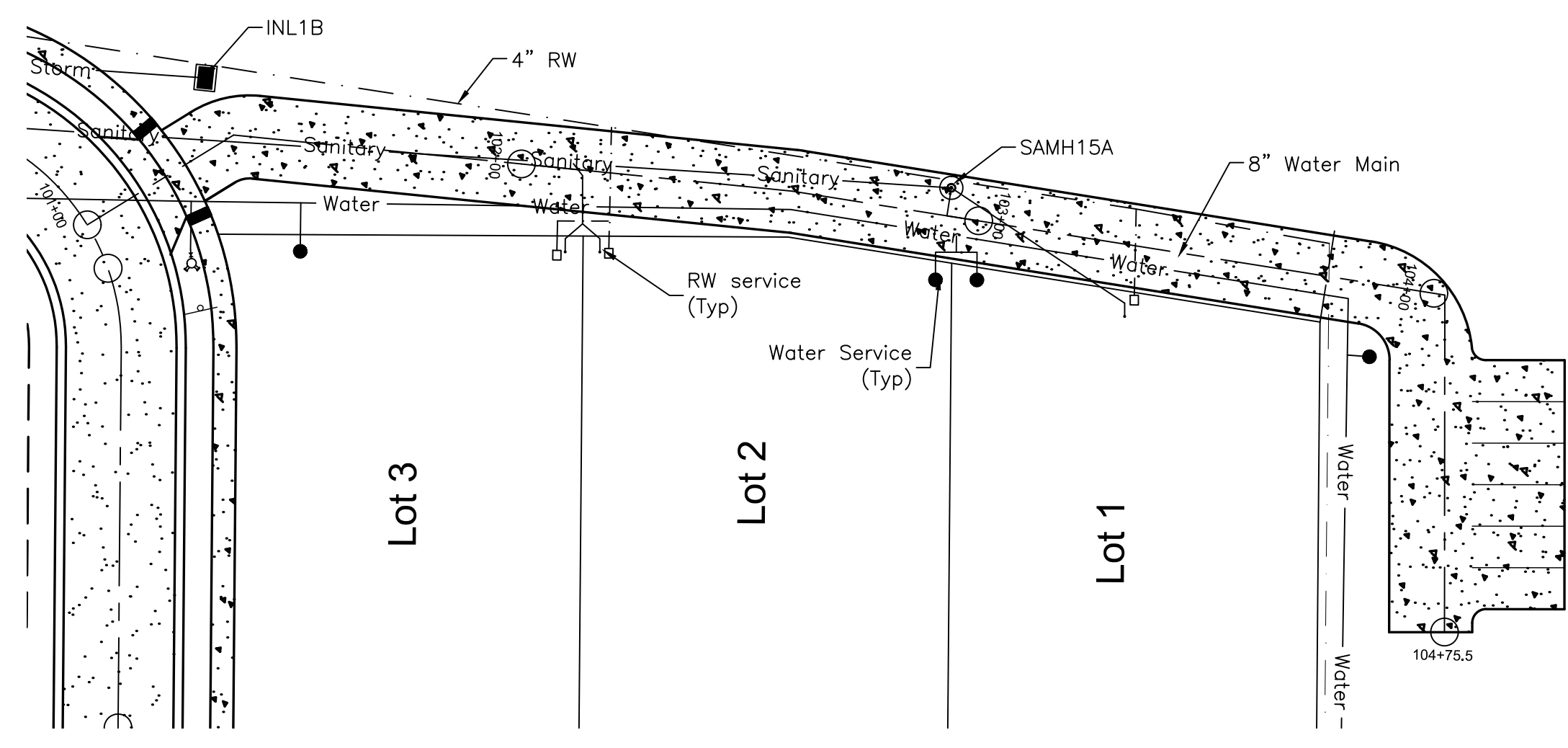


Dwg. No.
PP5
 26 of 75

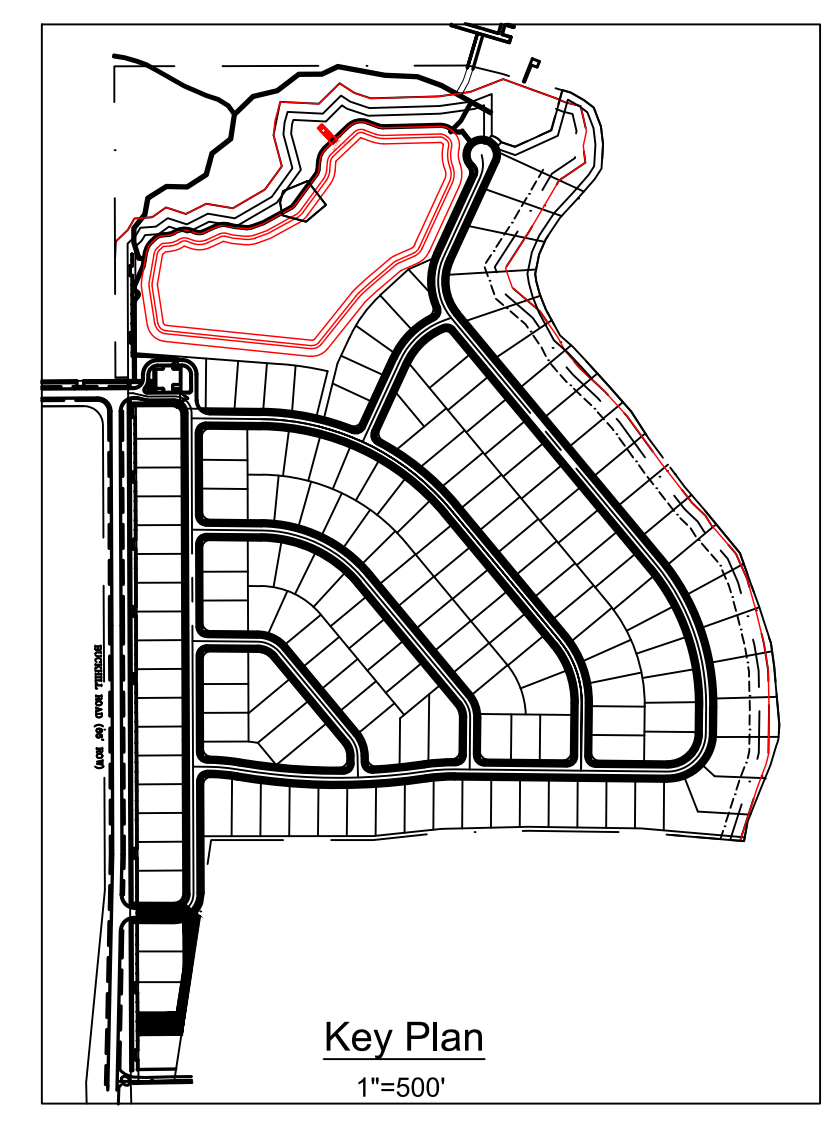


Plan View
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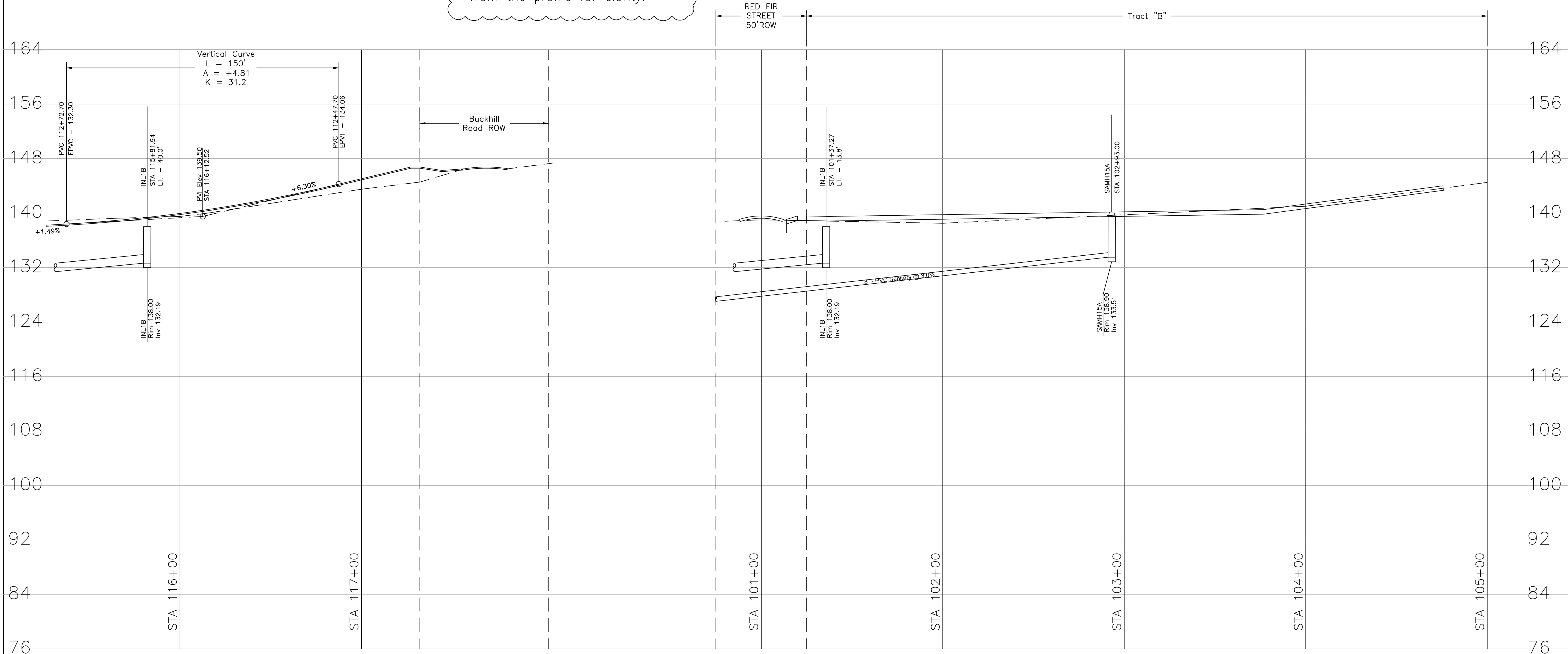
Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Plan View
Scale: 1"=30"



Revisions		Date	Description



Profile View
Scale: 1/8"=1'

Profile View
Scale: 1/8"=1'

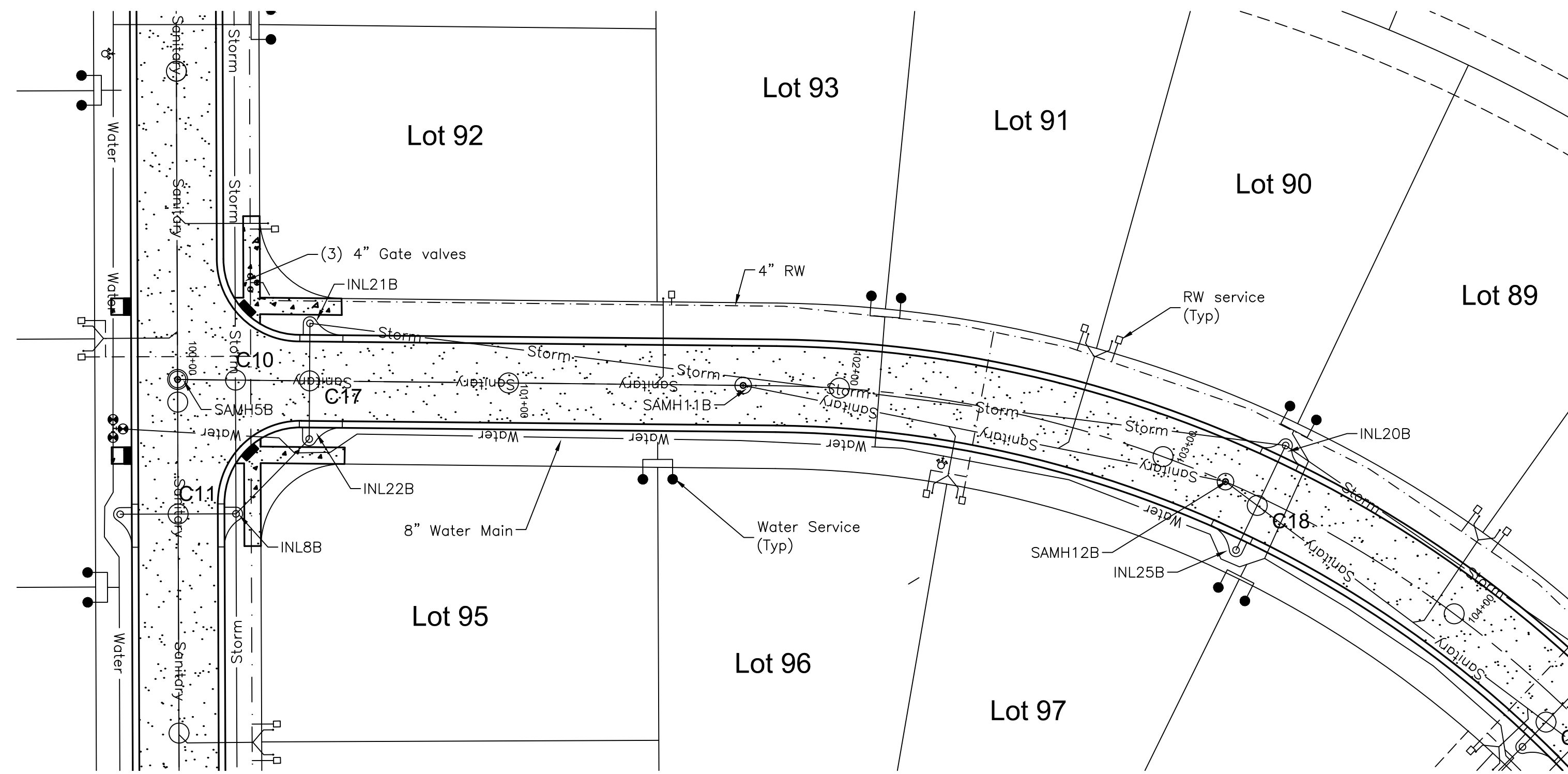
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Plan - Profile Sheet 6
Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

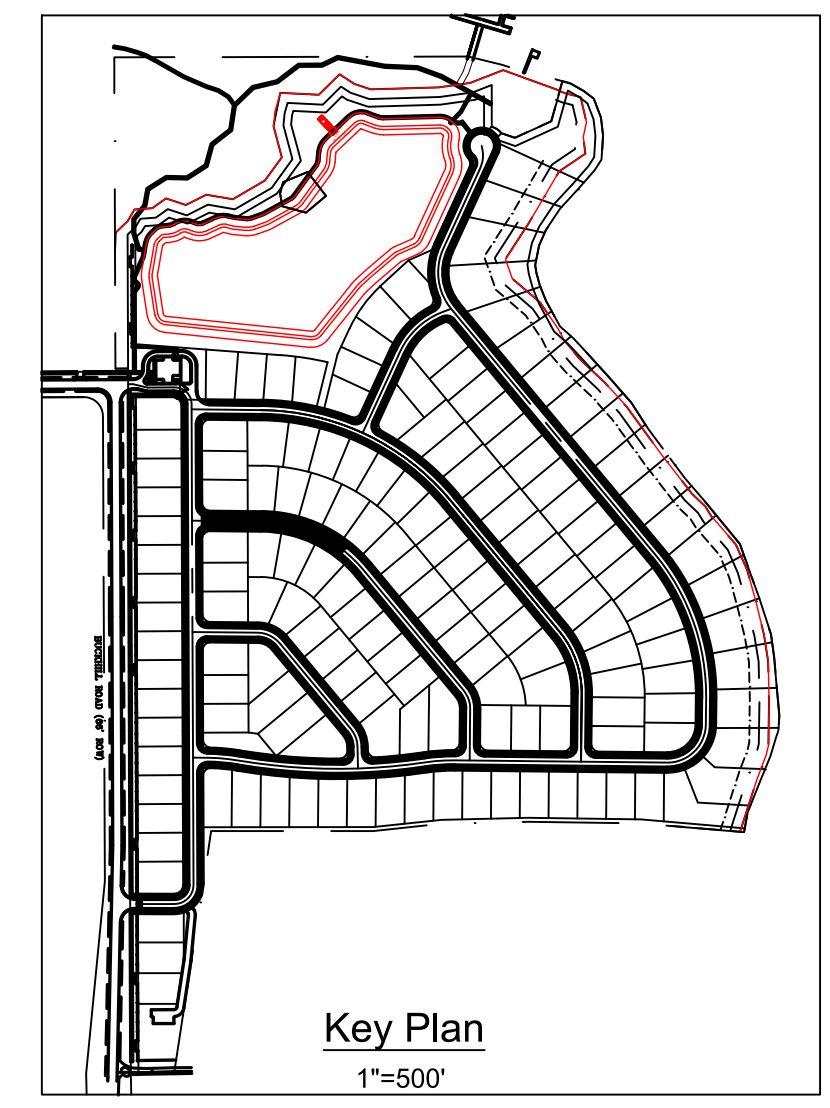
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WH2-PP6	File



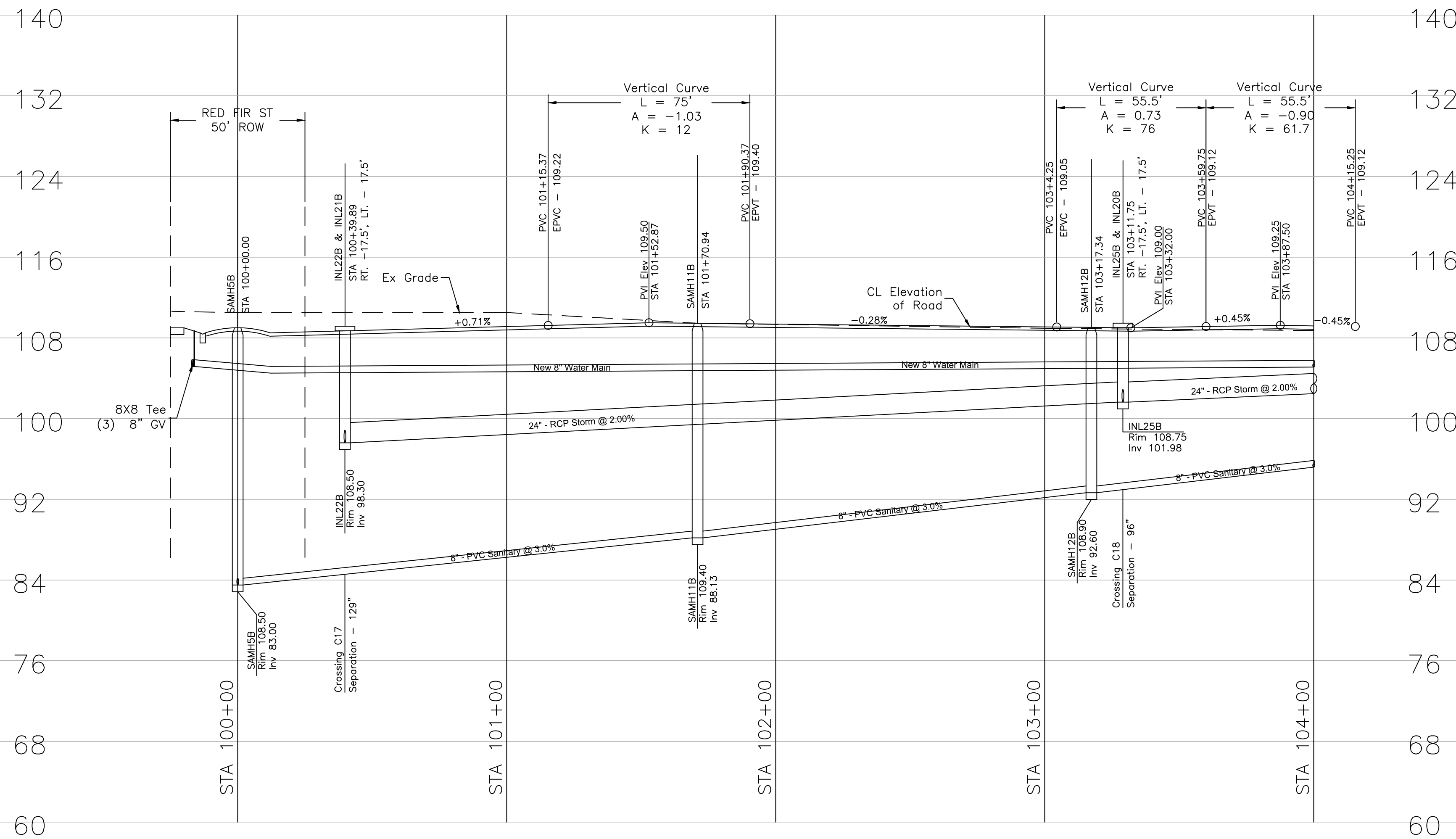
Dwg. No. **PP6**
 27 of 75
 Darcy Unroe PE 60929



Plan View
Scale: 1"=30'



Key Plan
1"=500'



Profile View
Scale: 1/4"=1'

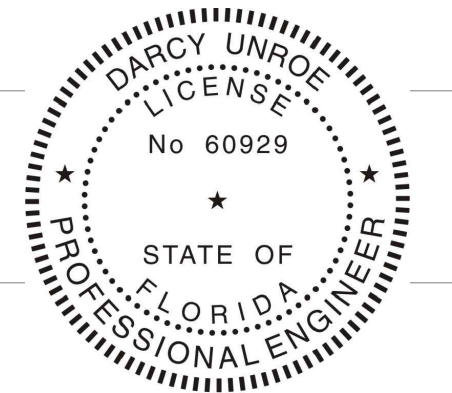
Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

Revisions		#	Date	Description

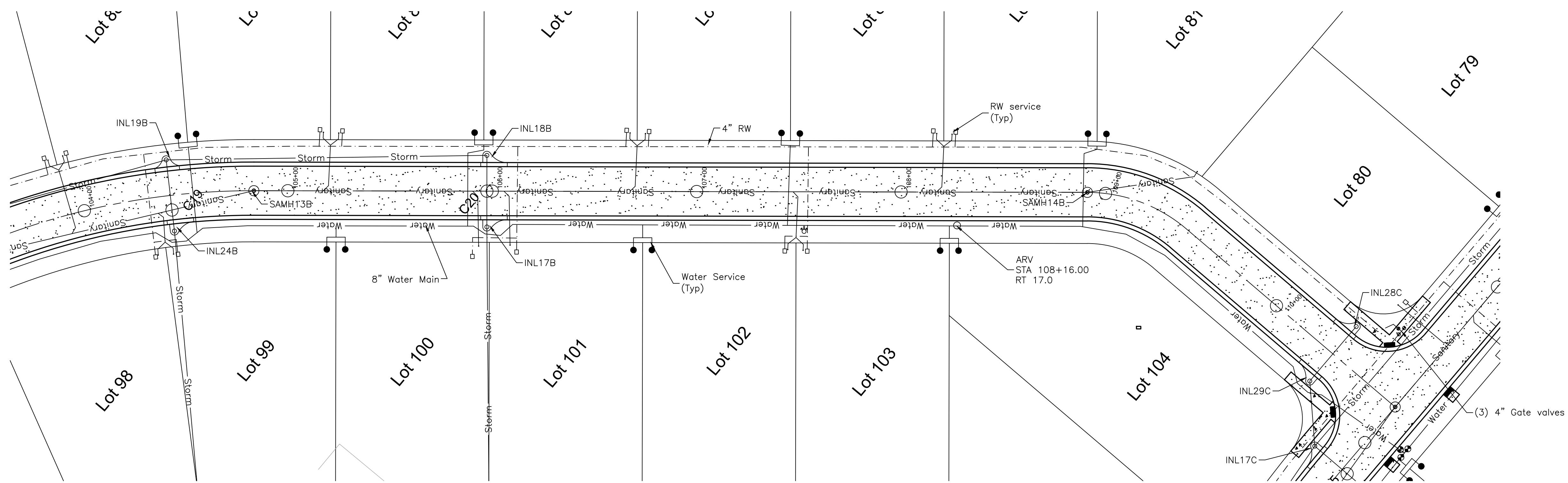
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Plan - Profile Sheet 7
 Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

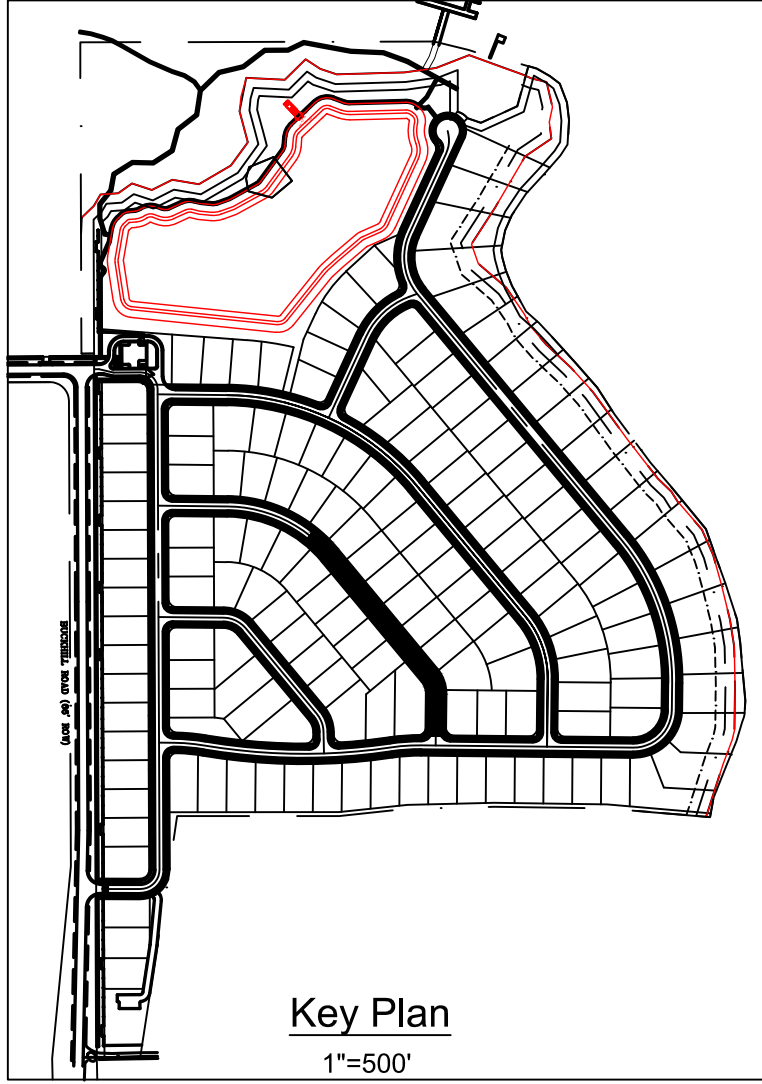
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09-07-21	Date
WH2-PP7	File



Dwg. No. **PP7**
 28 of 75

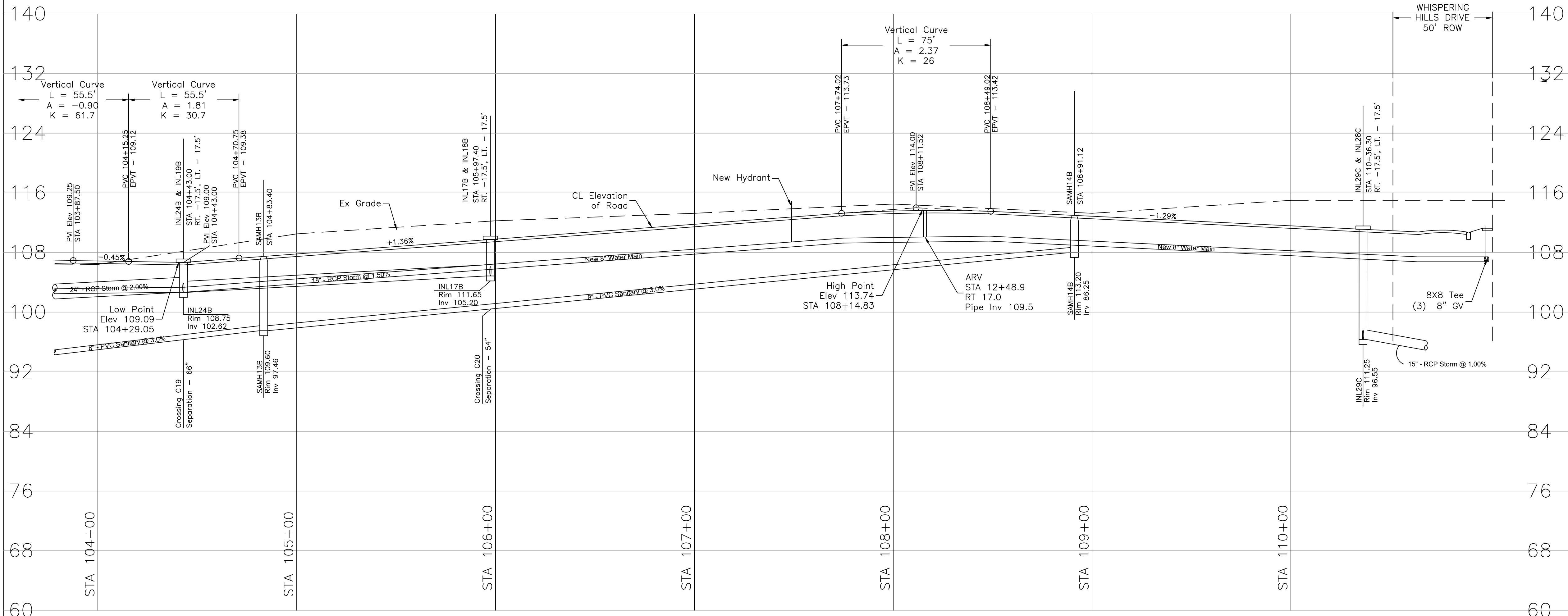


Plan View
Scale: 1"=30"



#	Date	Description

Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

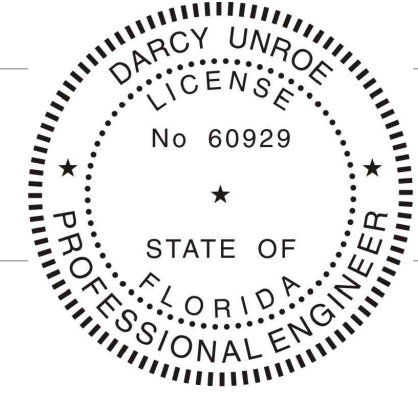


Profile View
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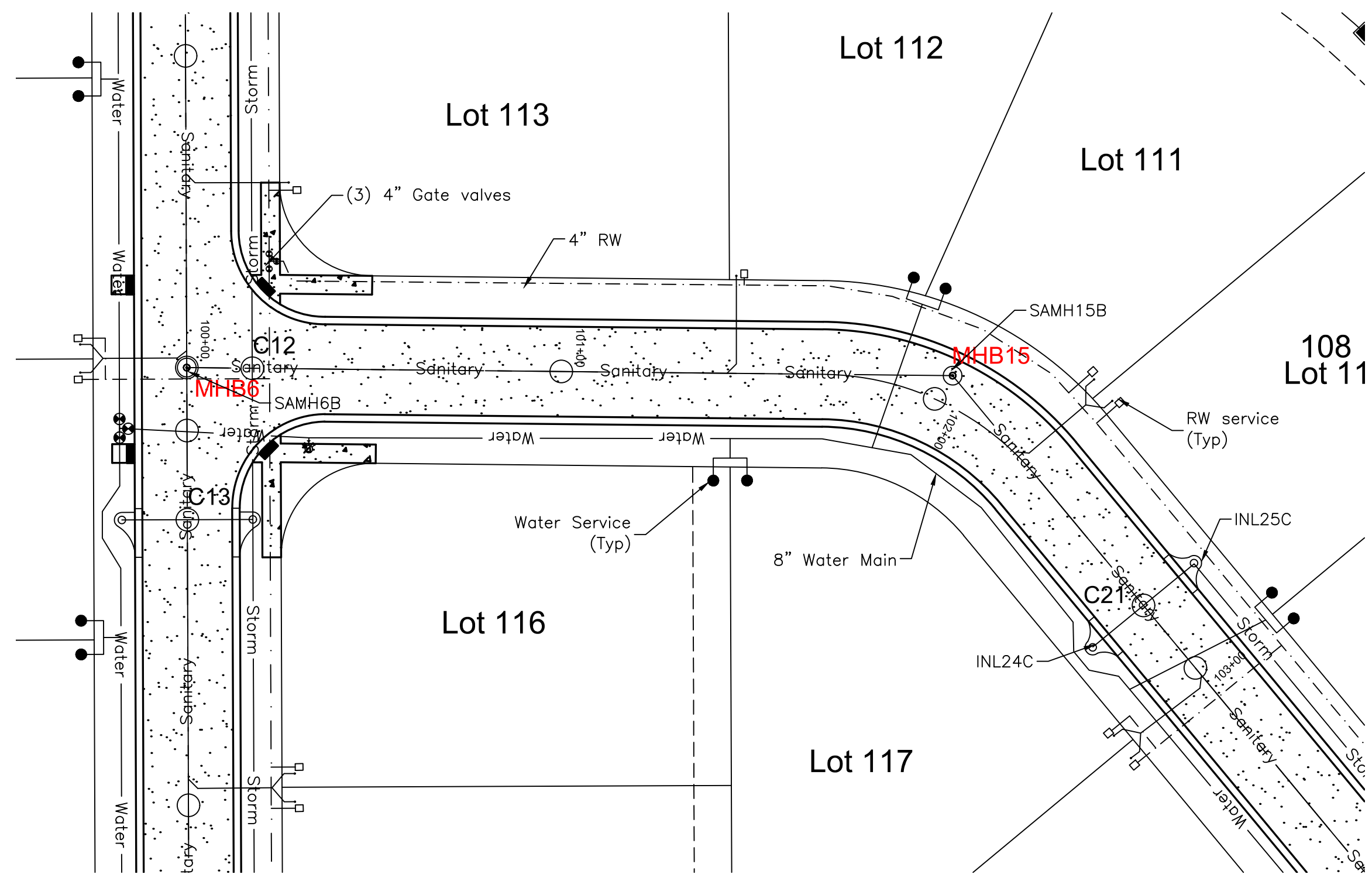
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Plan - Profile Sheet 8
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

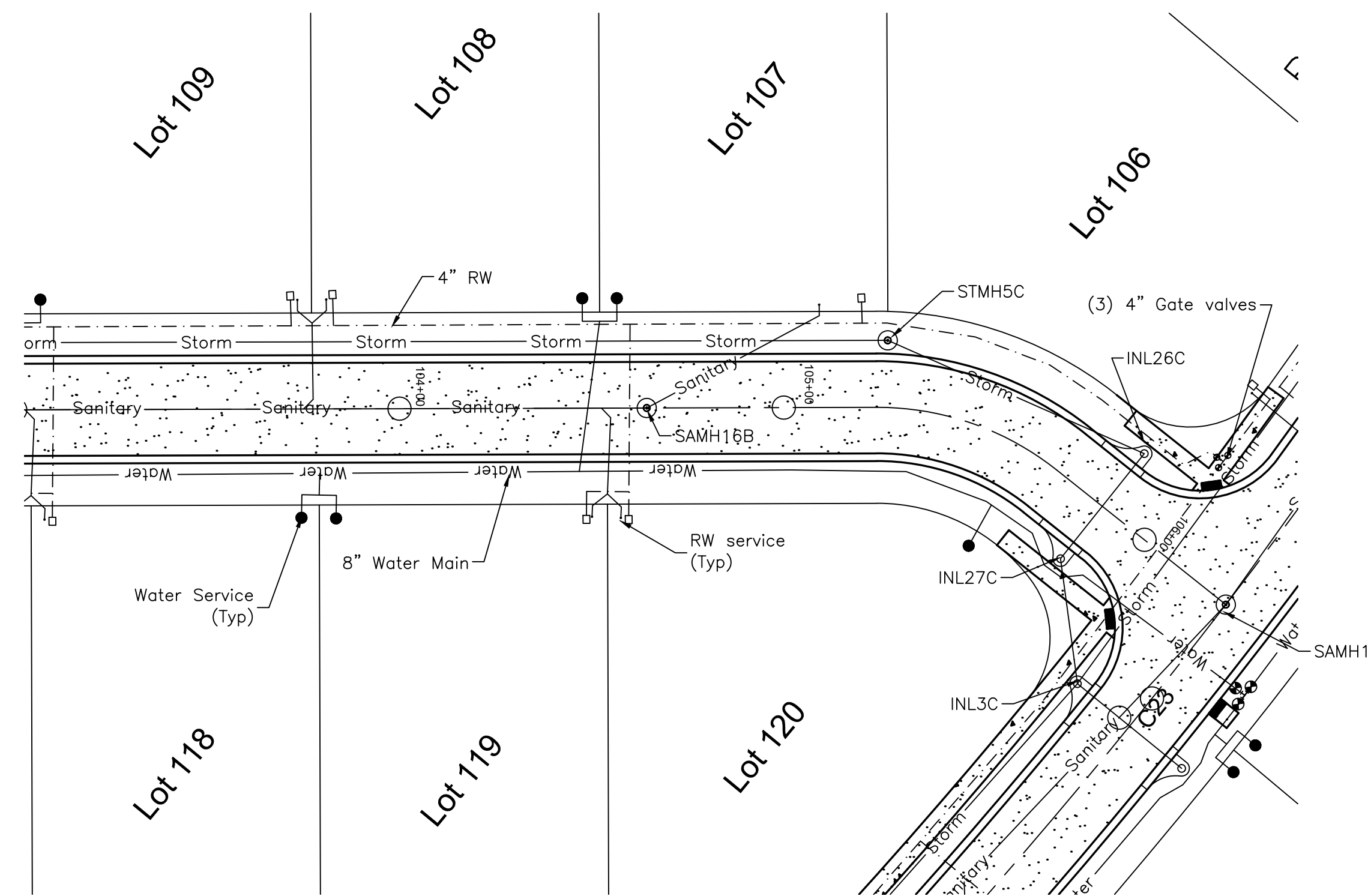
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WH2-PP8	File



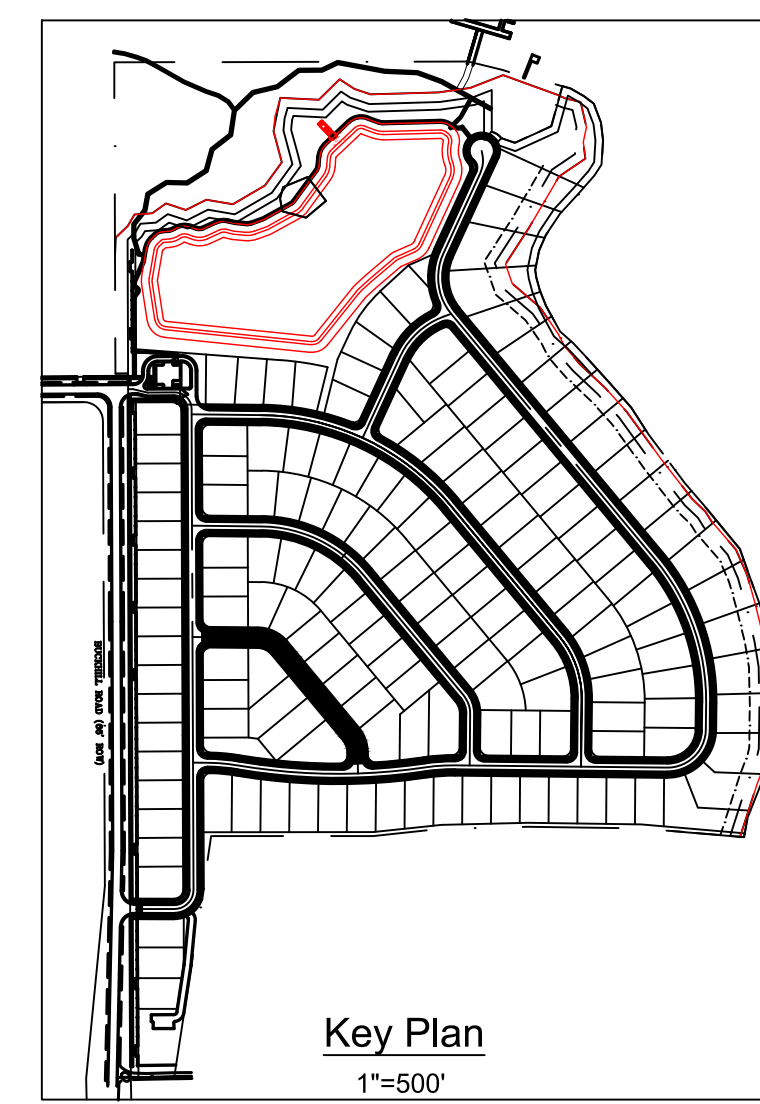
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PP8
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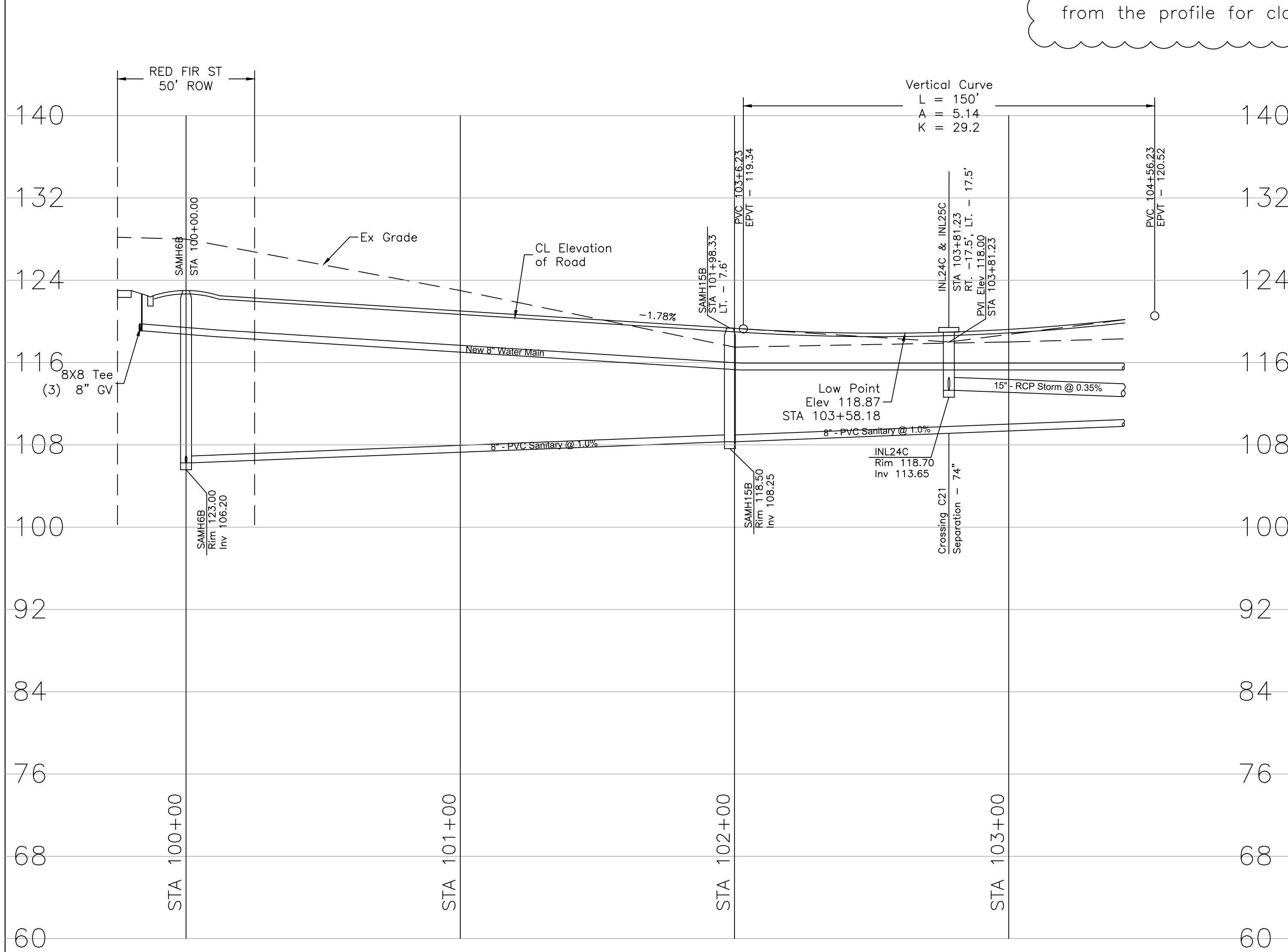
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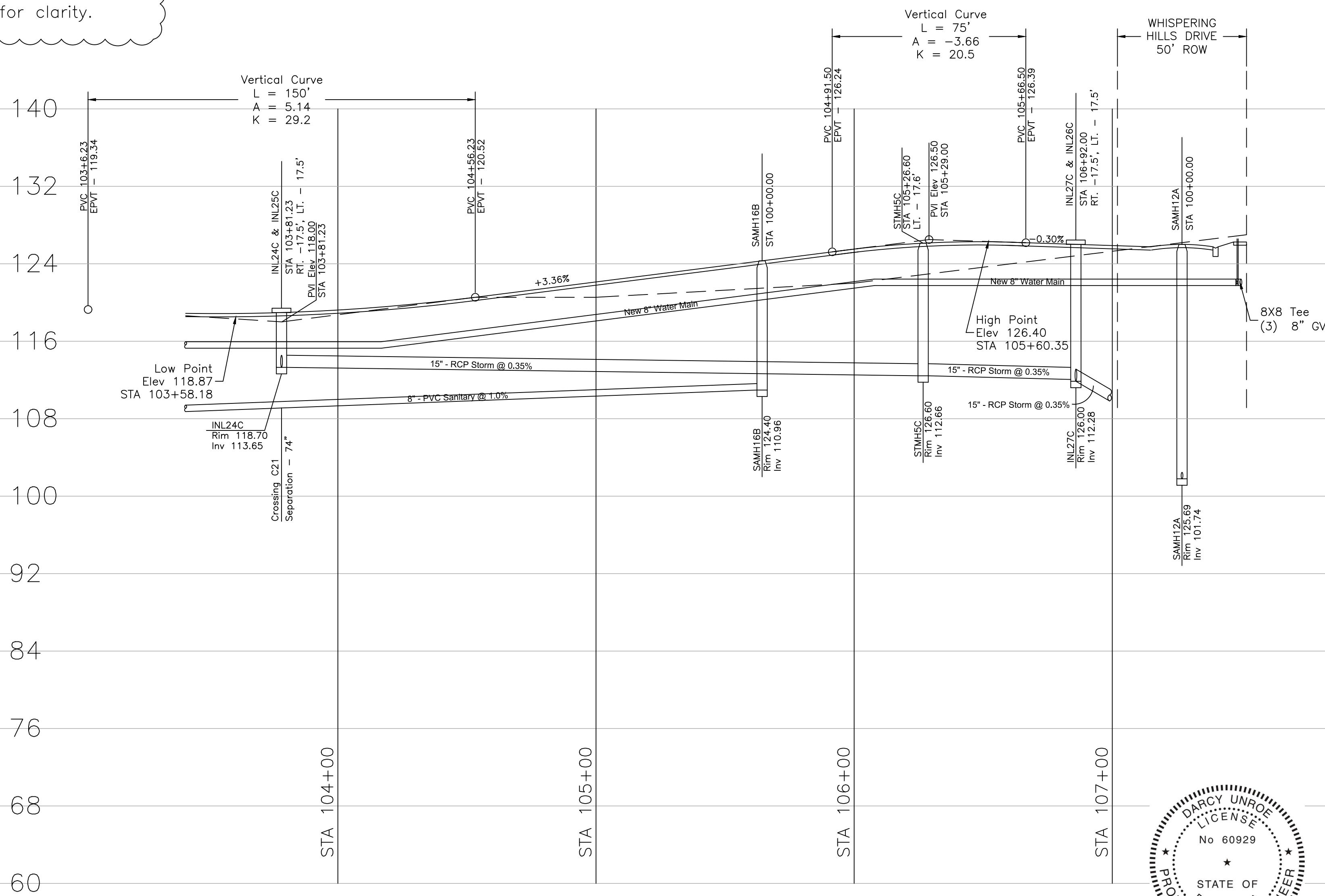
Plan View
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Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/8"=1'



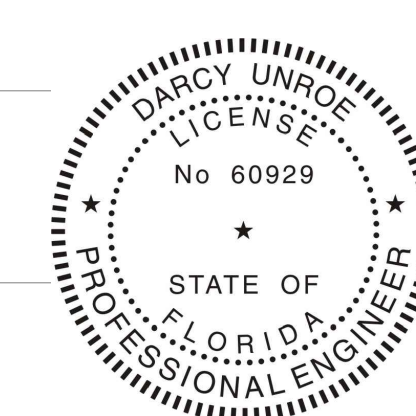
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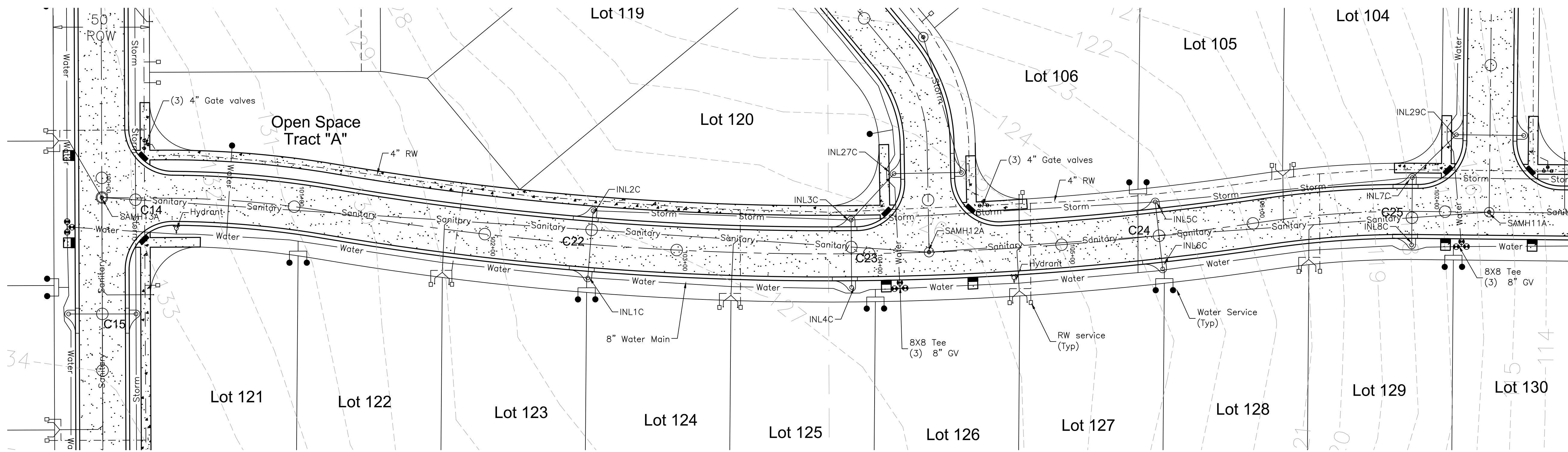
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Plan - Profile Sheet 9
 Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

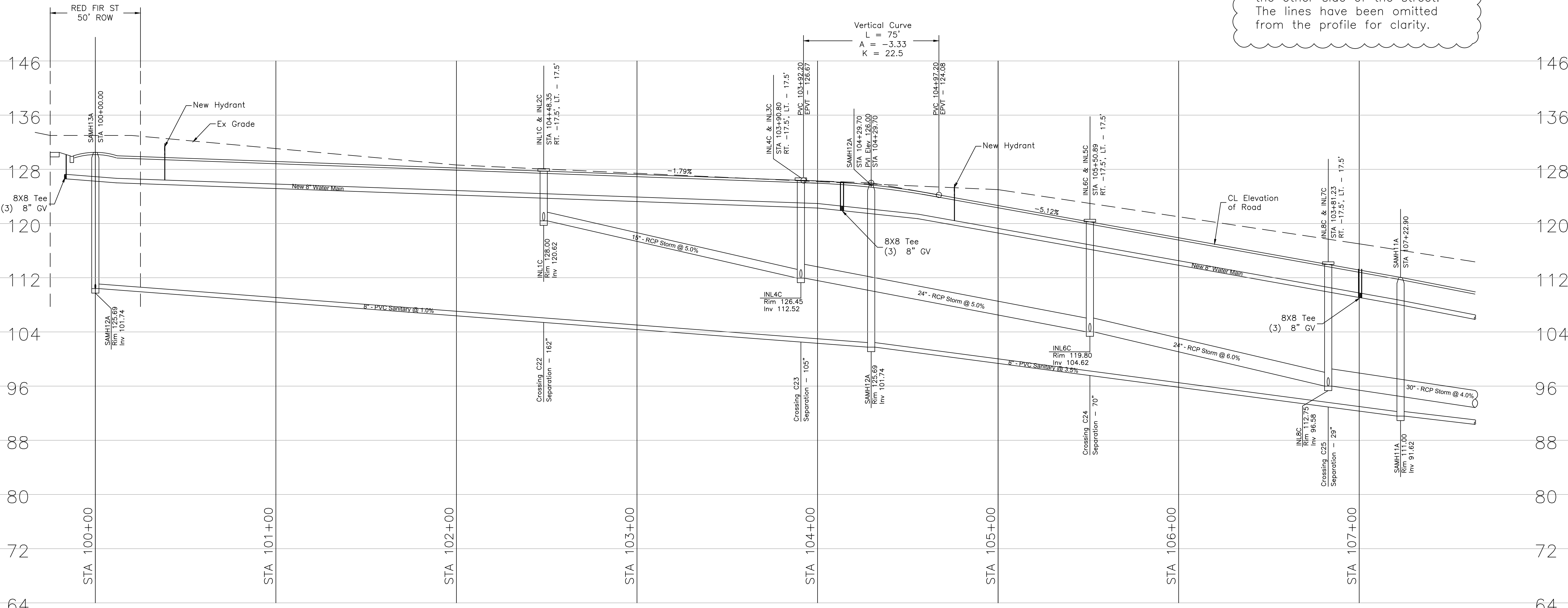
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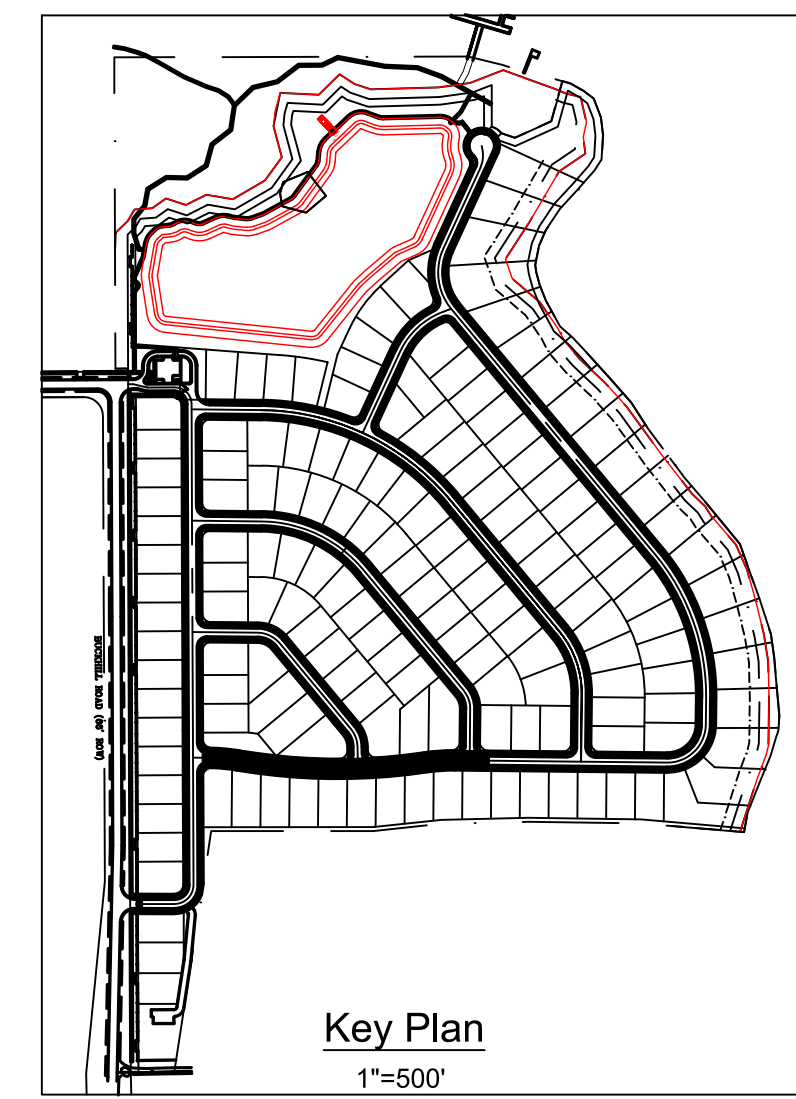


Plan View
Scale: 1"=30"

Note:
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Profile View
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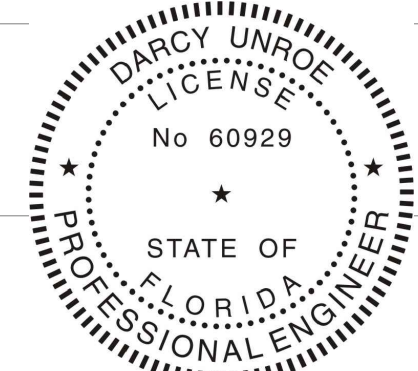


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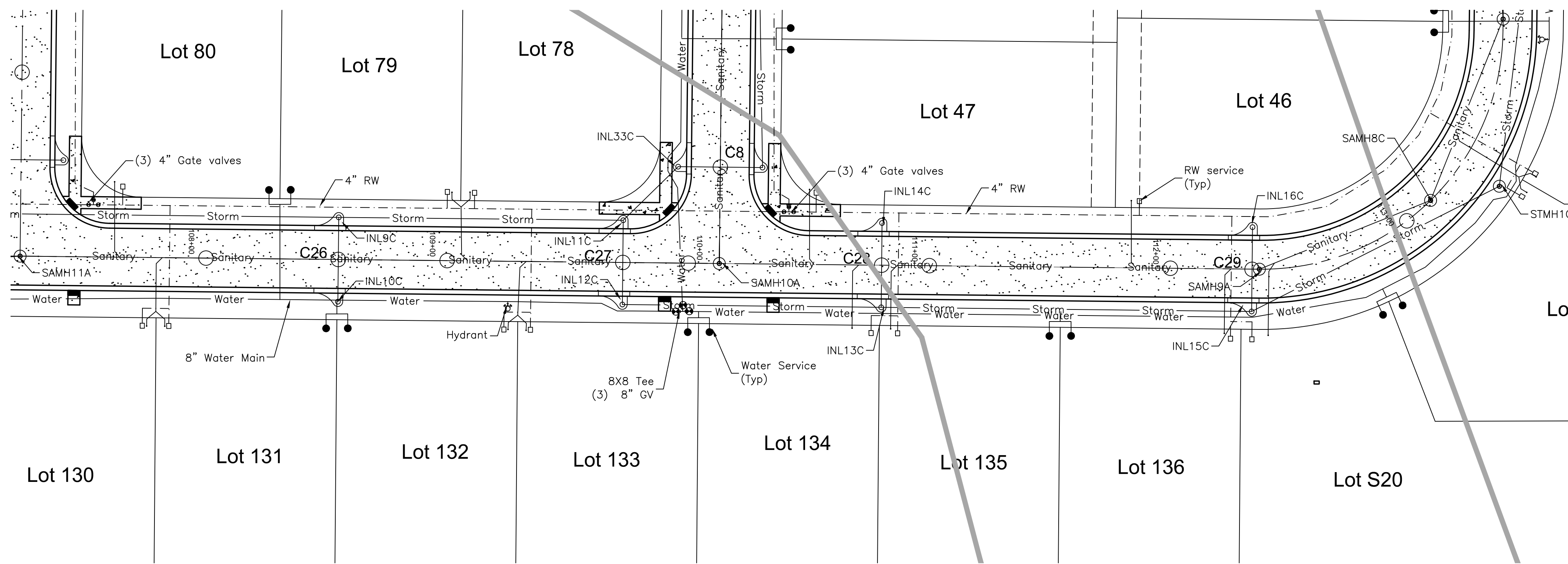
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Plan - Profile Sheet 10
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

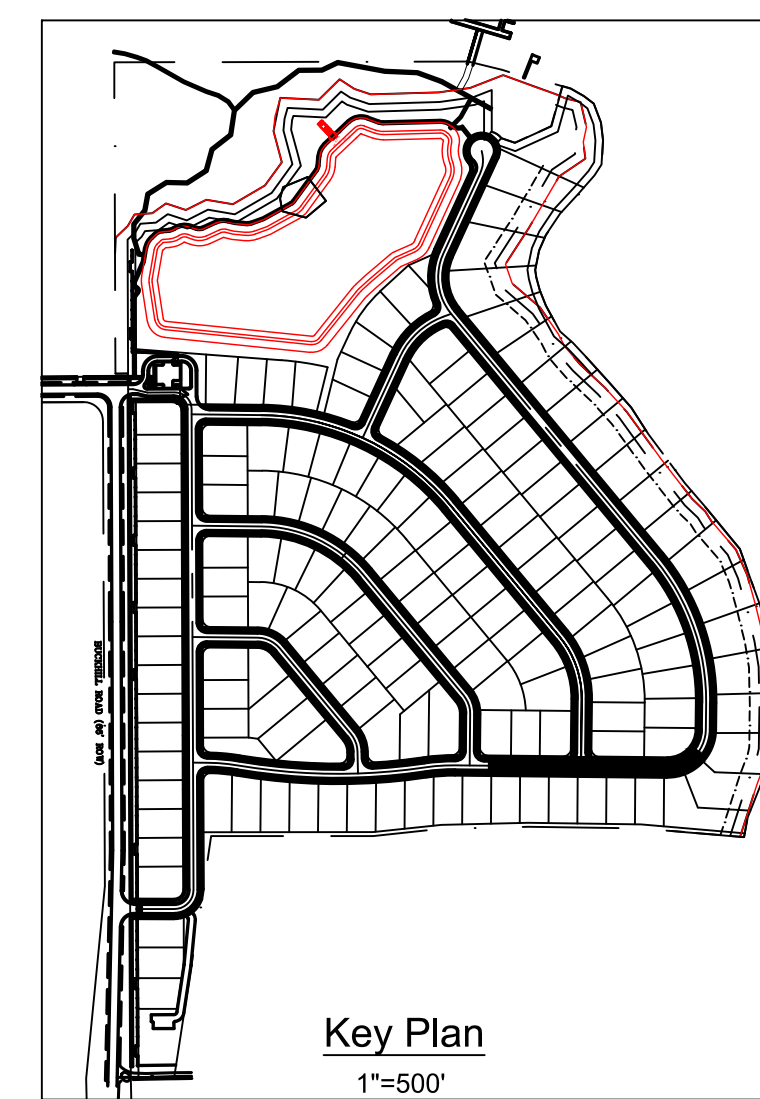
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1"=30'	Scale
09-07-21	Date
WH2-PP10	File



Dwg. No. **PP10**
 31 of 75

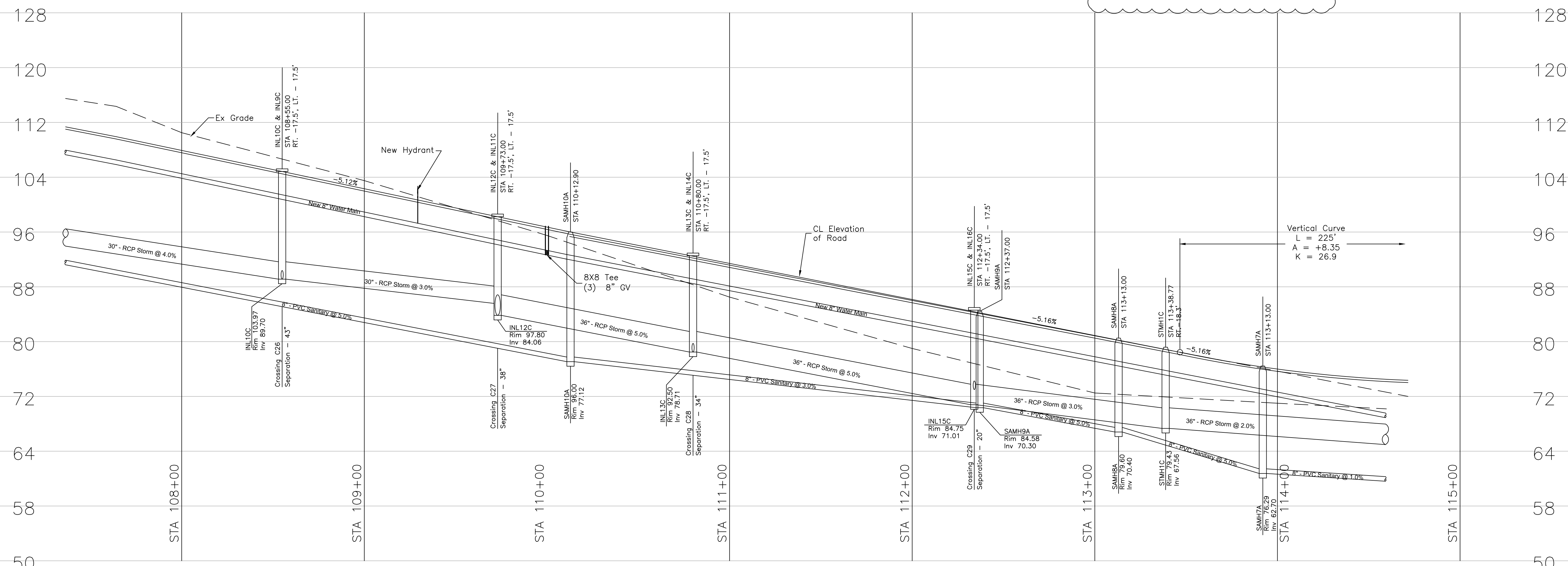


Plan View
Scale: 1"=30'



Revisions	#	Date	Description

Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



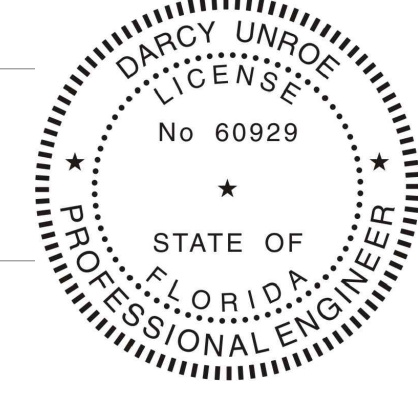
Profile View
Scale: 1/8"=1'

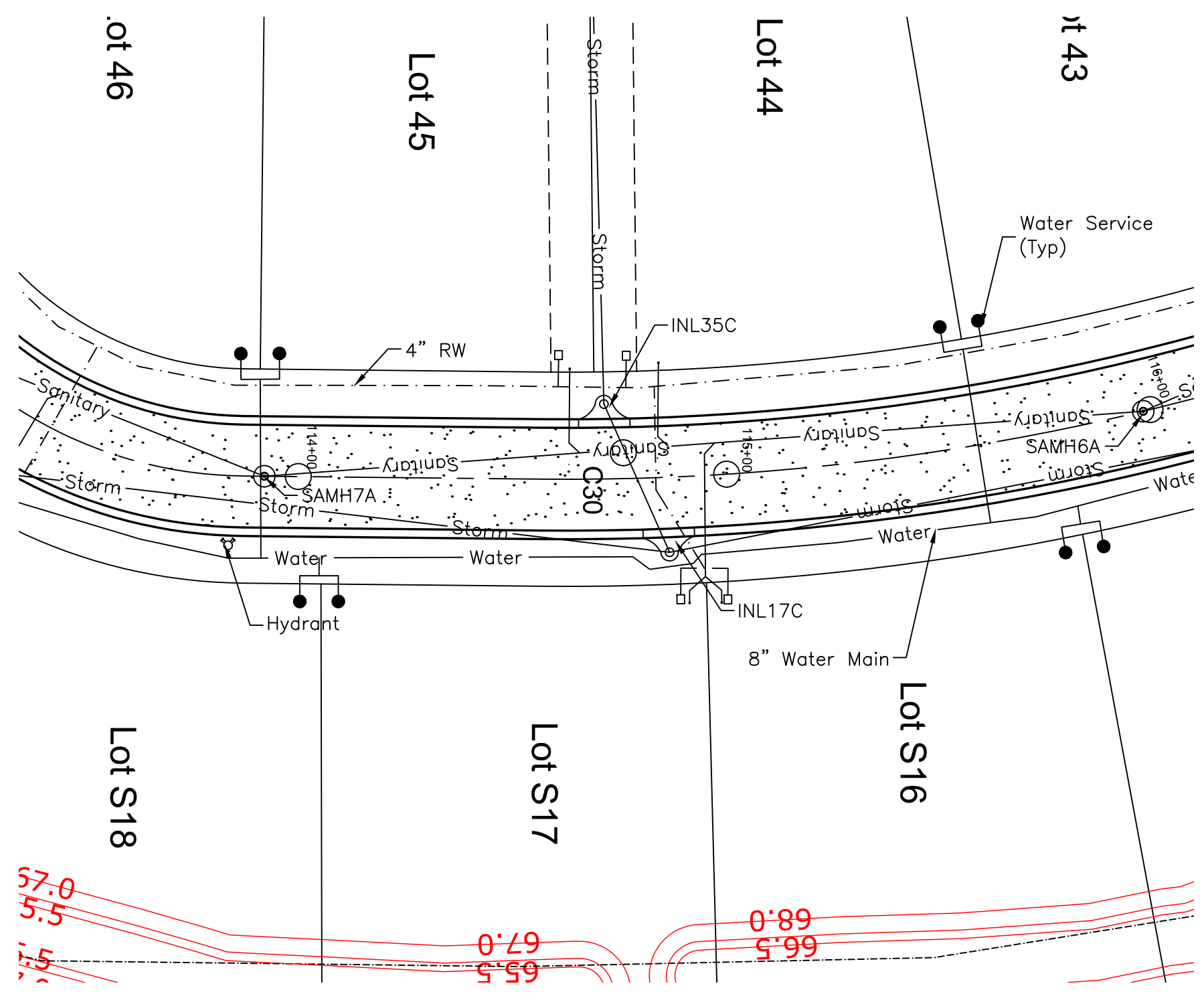
Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number - EB 0006579 ph (407) 299-0650

Plan - Profile Sheet 11
Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

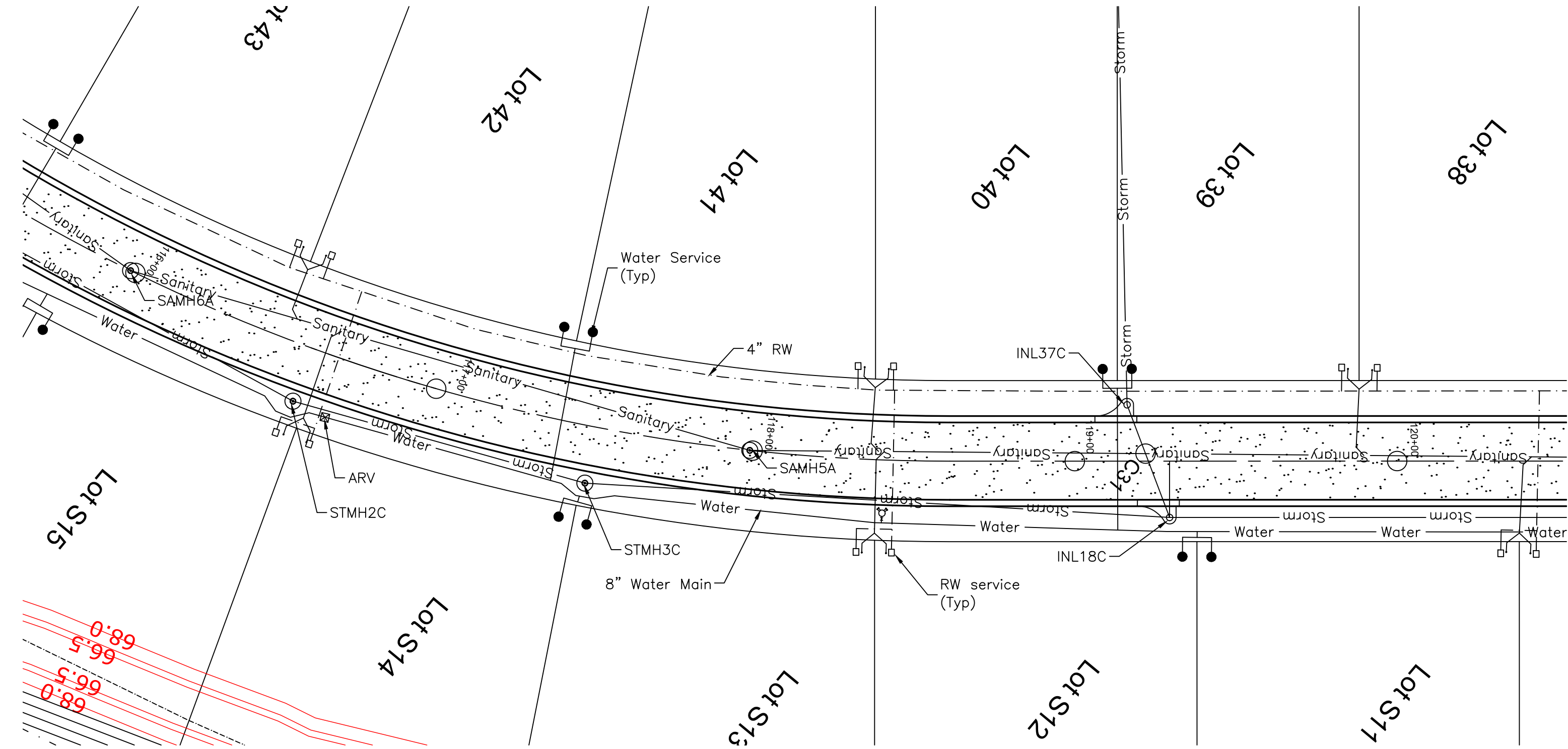
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1"=30'	Scale
09-07-21	Date
WH2-PP11	File
Dwg. No.	

PP11
 32 of 75

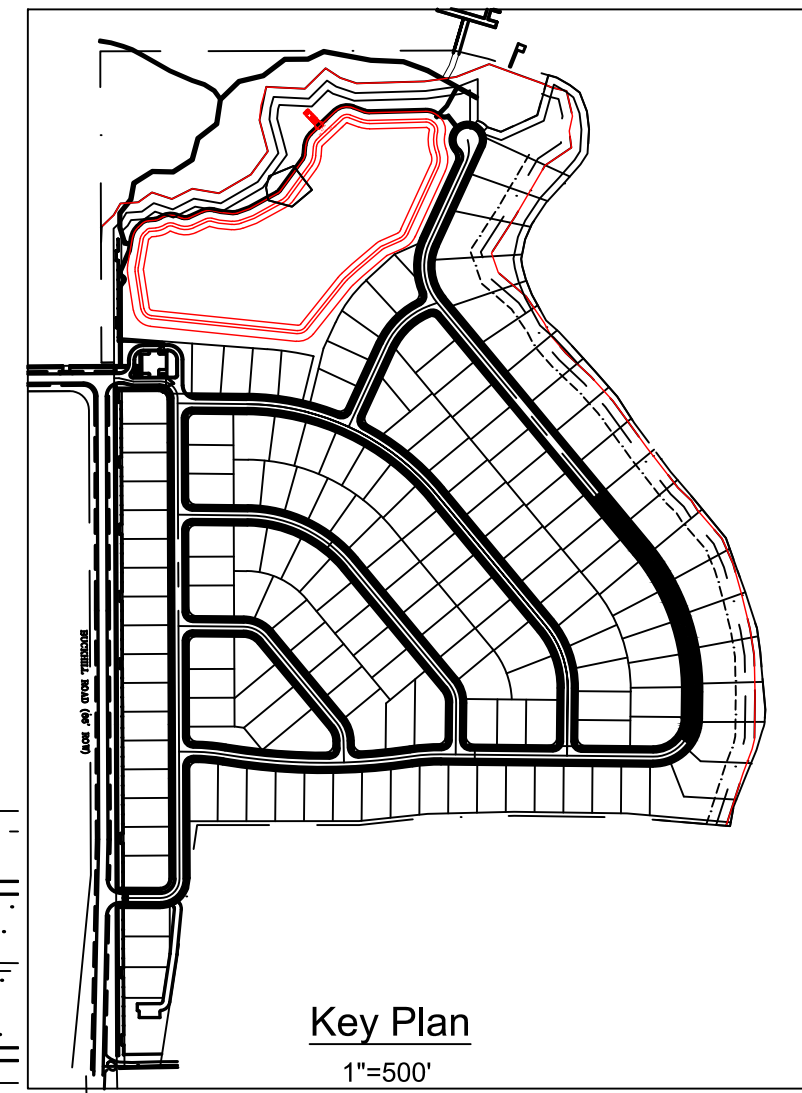




Plan View
Scale: 1"=30"

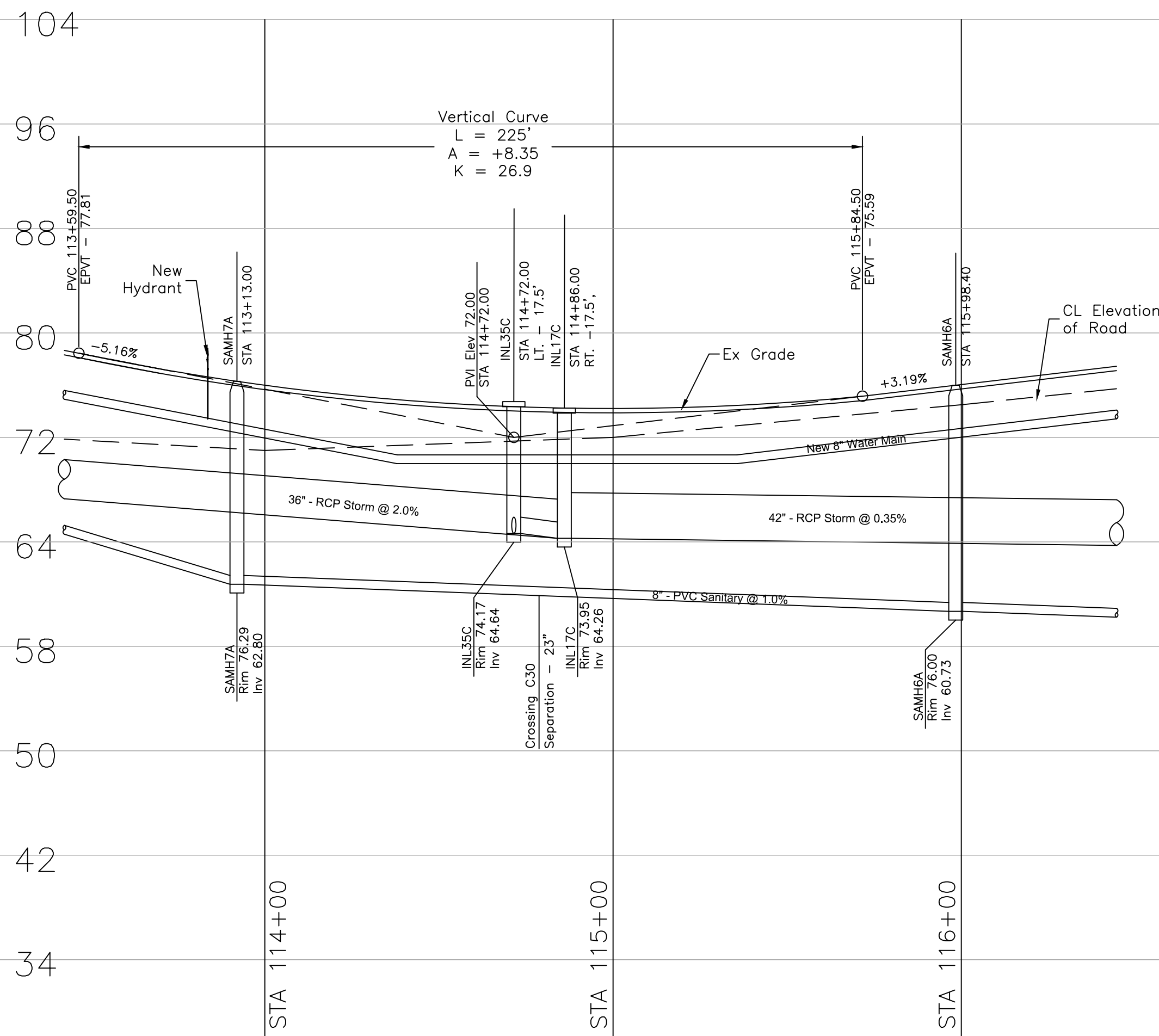


Plan View
Scale: 1"=30"

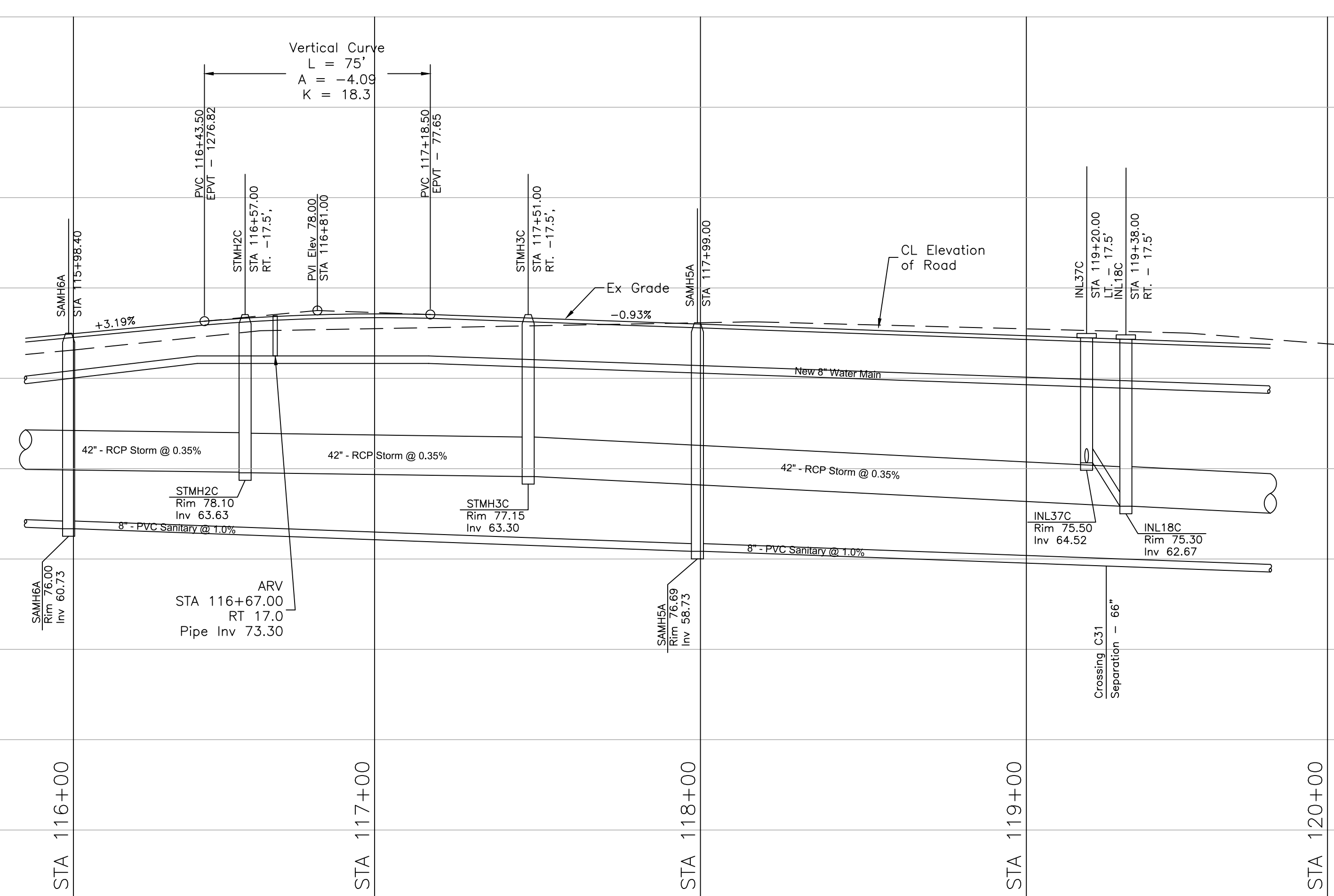


Key Plan
1"=500'

Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/8"=1'



Profile View
Scale: 1/8"=1'

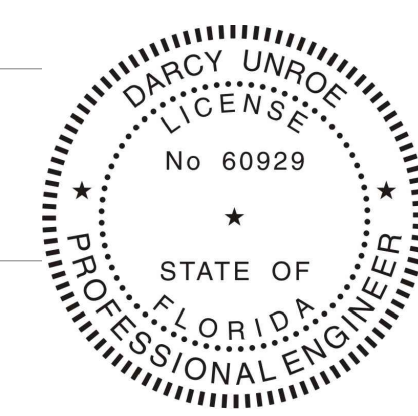
#	Date	Description
1	9/19/22	Town Comm

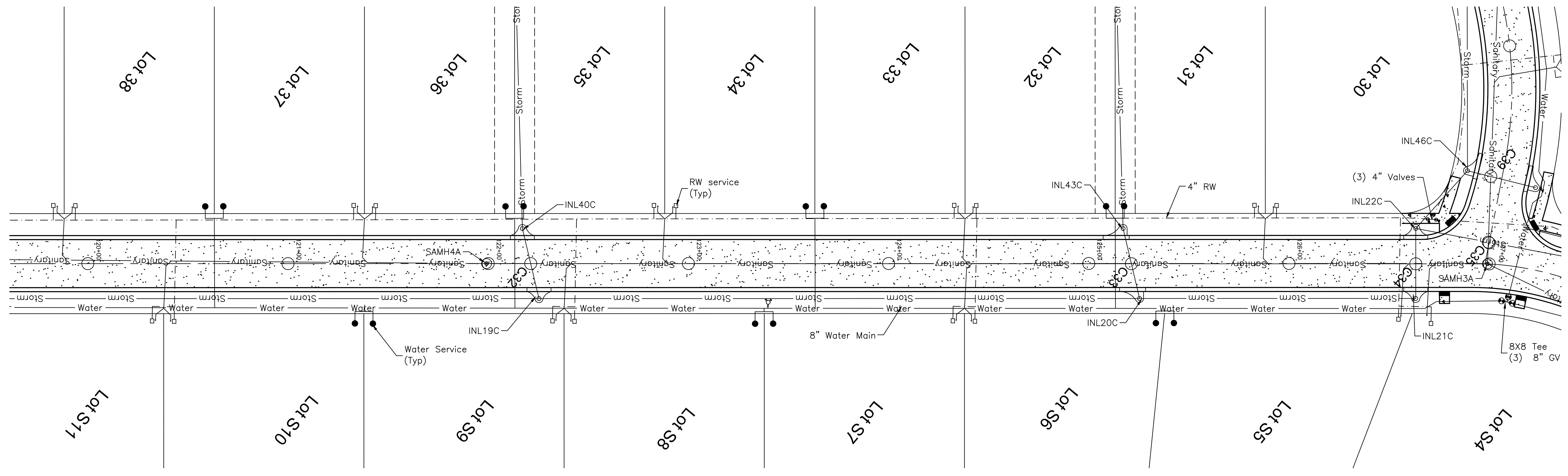
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Plan - Profile Sheet 12
Whispering Hills Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

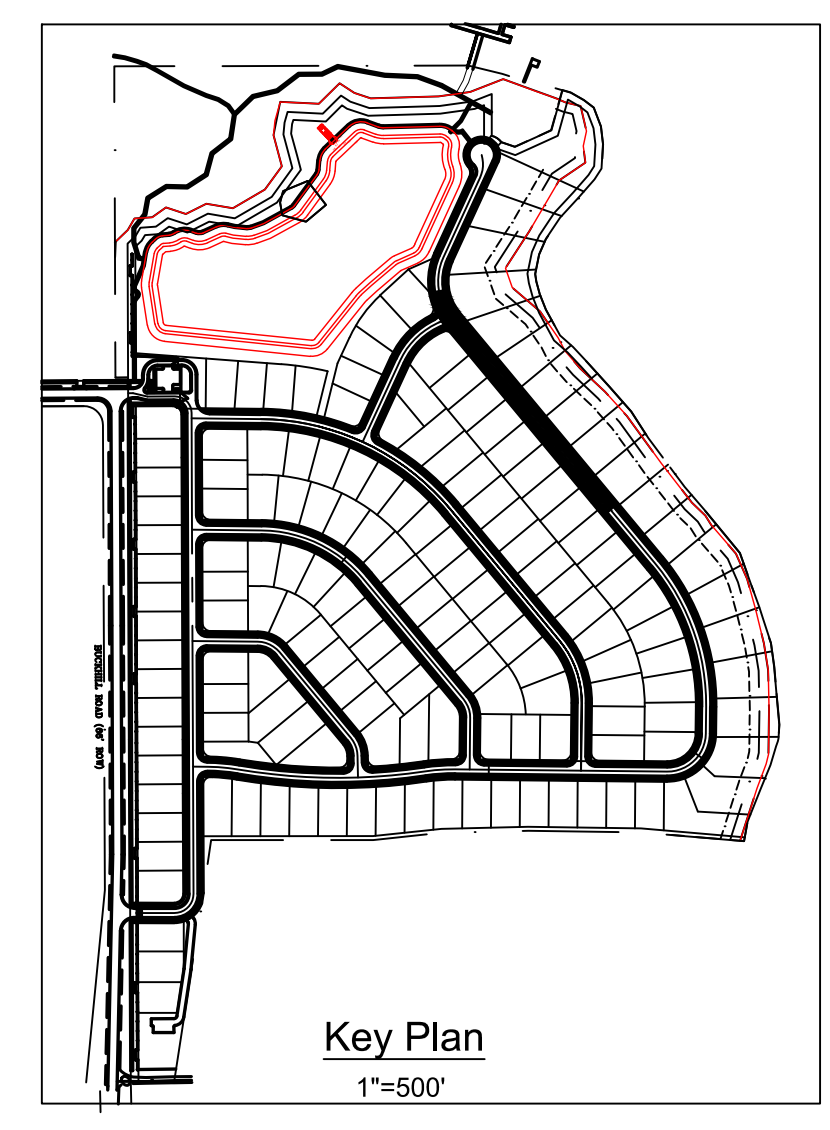
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1"=30'	Scale
09-07-21	Date
WH2-PP12	File

Dwg. No. **PP12**
 33 of 75

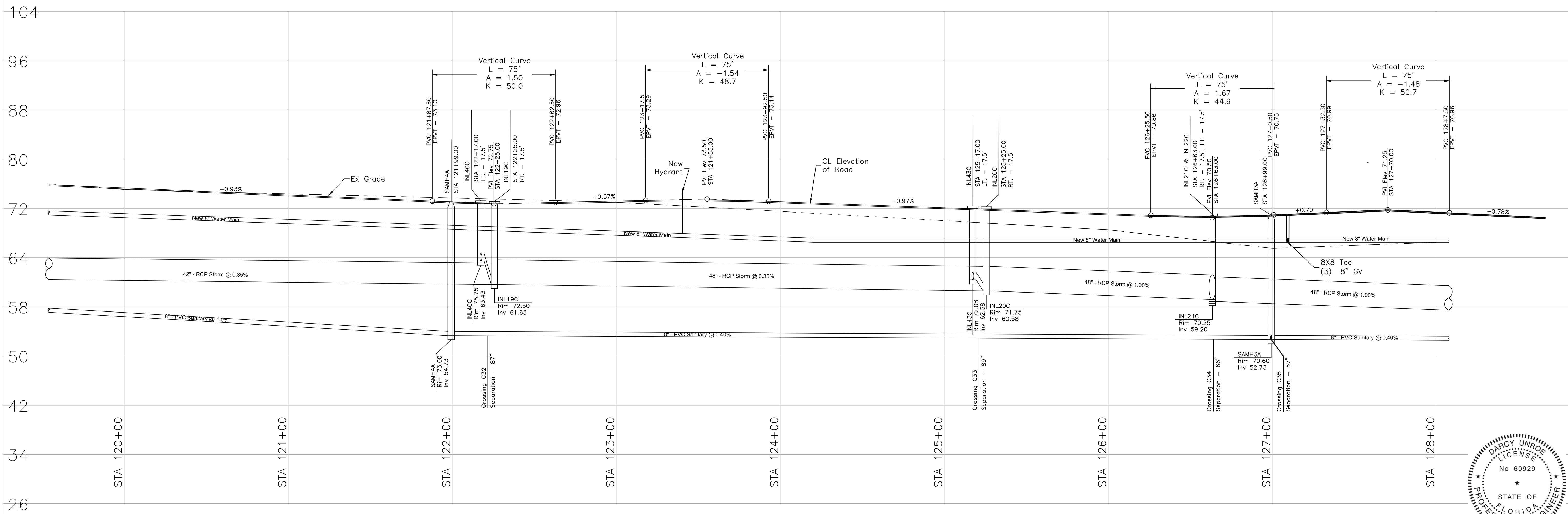




Plan View
Scale: 1"=30"



Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View
Scale: 1/8"=1'

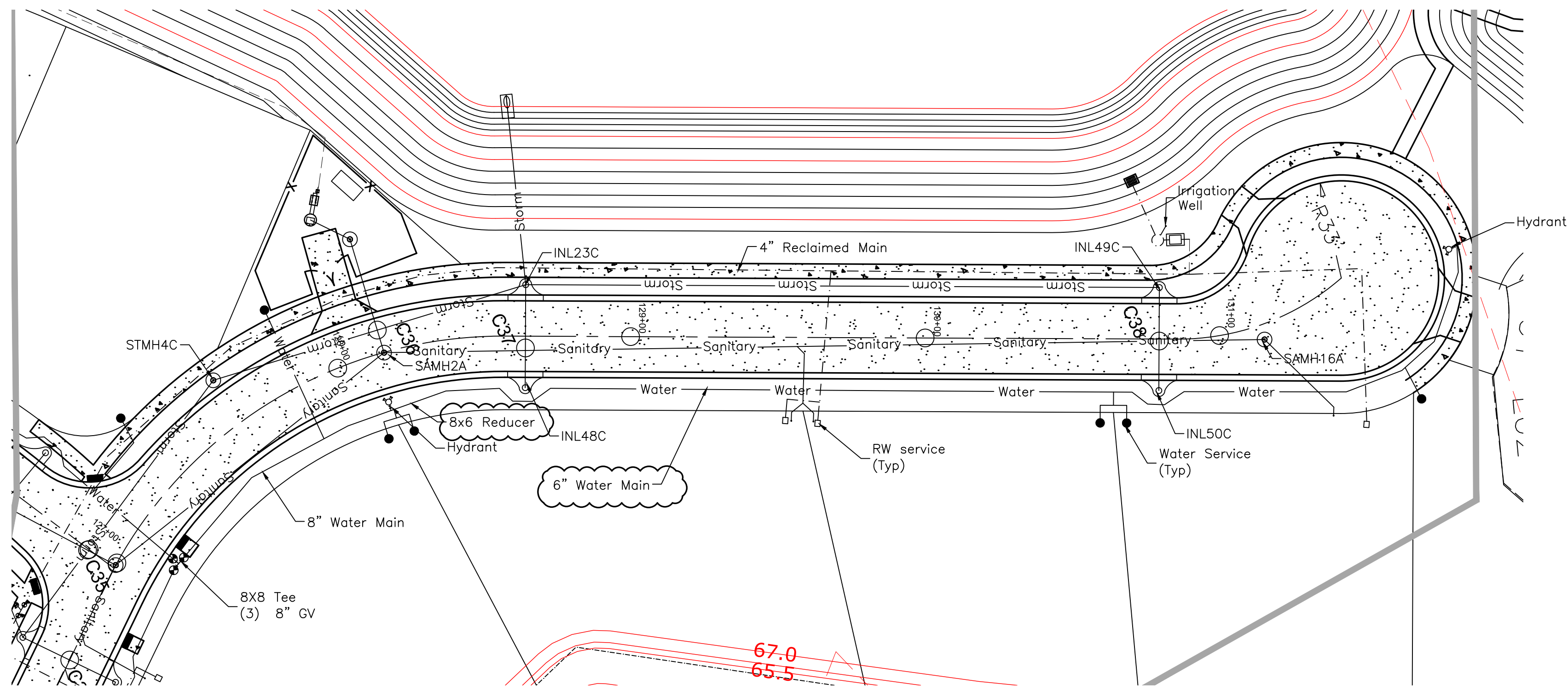
#	Date	Description

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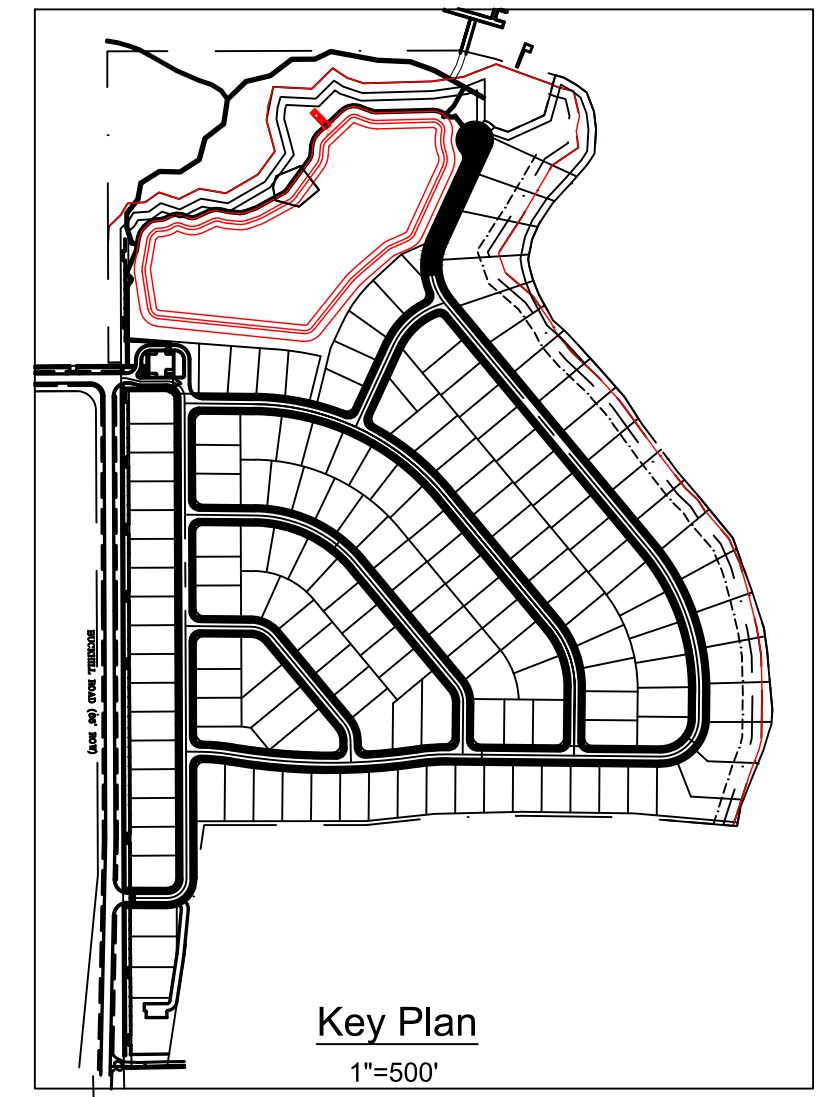
Plan - Profile Sheet 13
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

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1"=30'	Scale
09-07-21	Date
WH2-PP13	File
Dwg. No.	

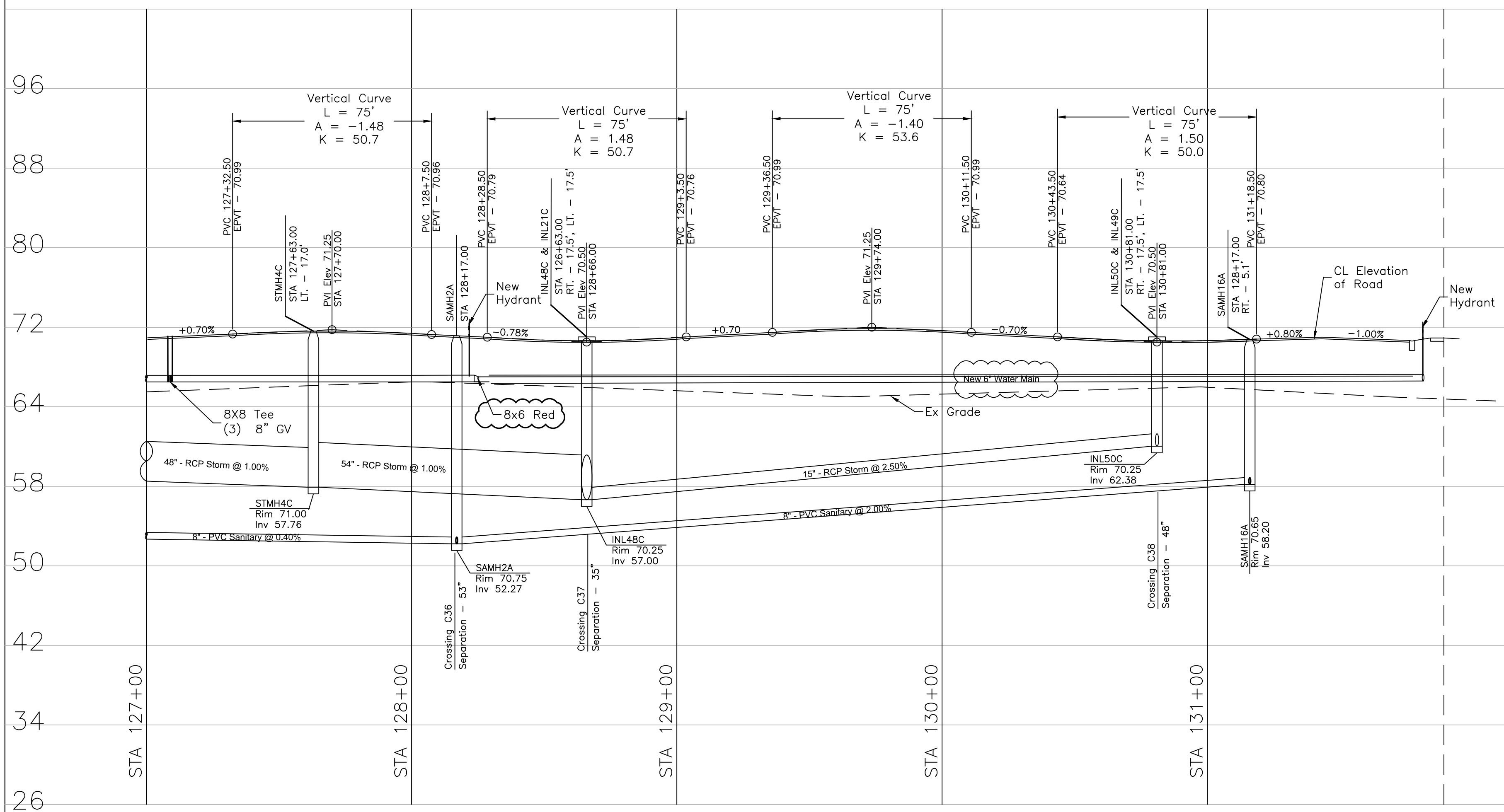




Plan View
Scale: 1' = 30'



Revisions		#	Date	Description



Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

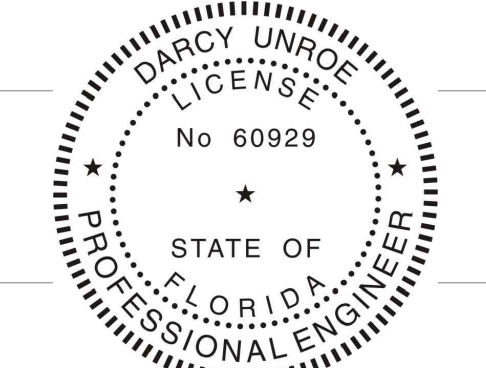
Profile View
Scale: 1/8" = 1'

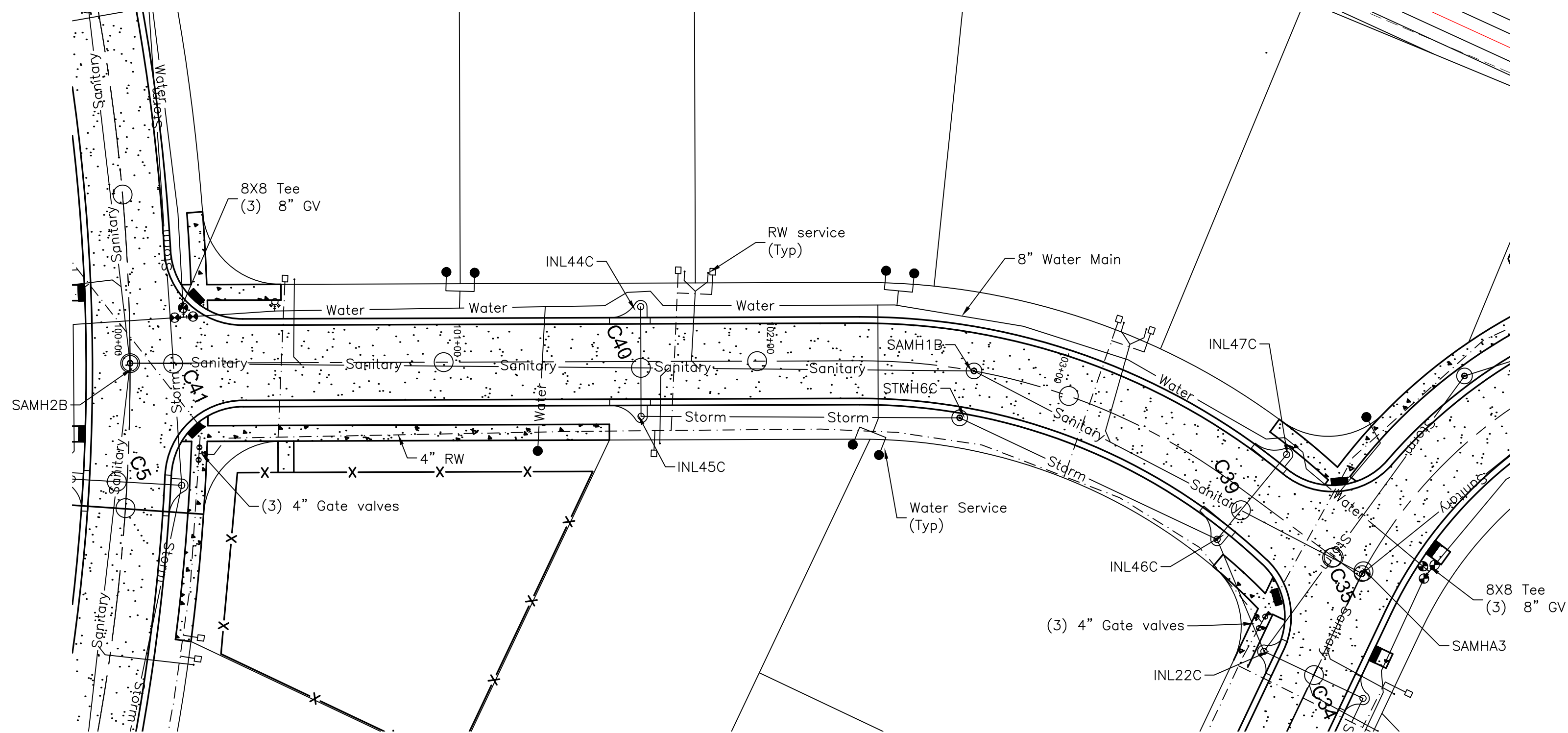
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Business Authorization Number - EB 00066579 ph (407) 299-0650

Plan - Profile Sheet 14
Whispering Hills Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

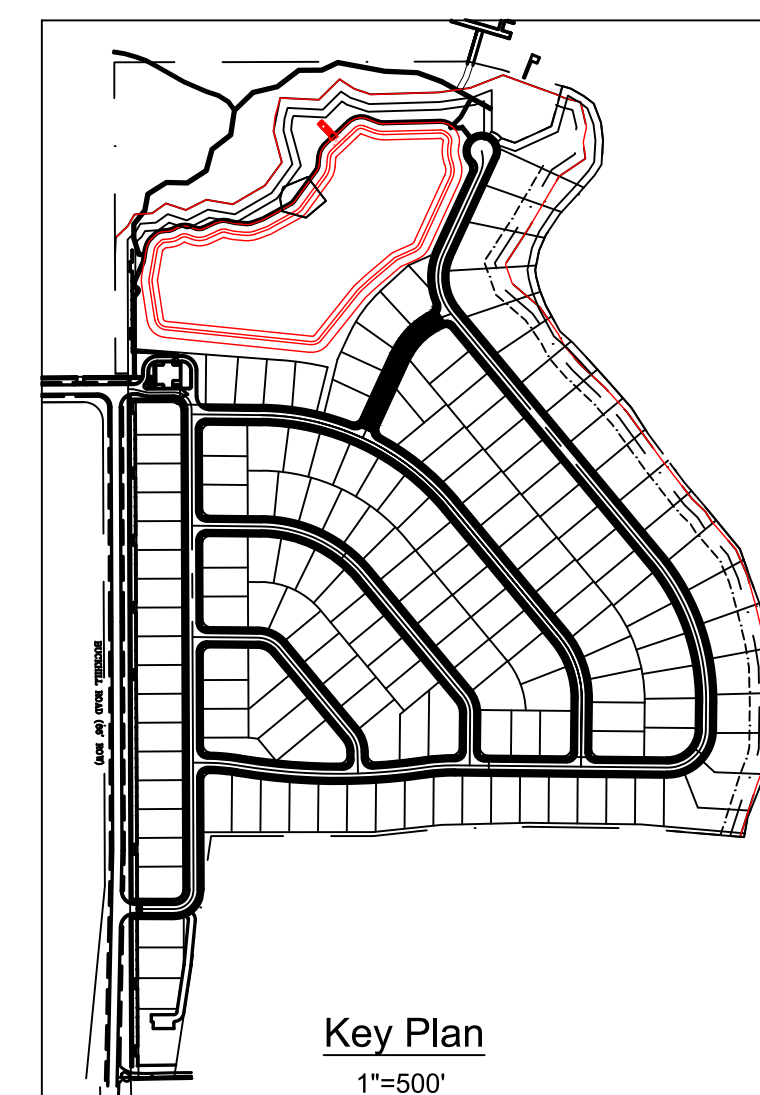
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09-07-21	Date
WH2-PP14	File
Dwg. No.	

PP14
35 of 75

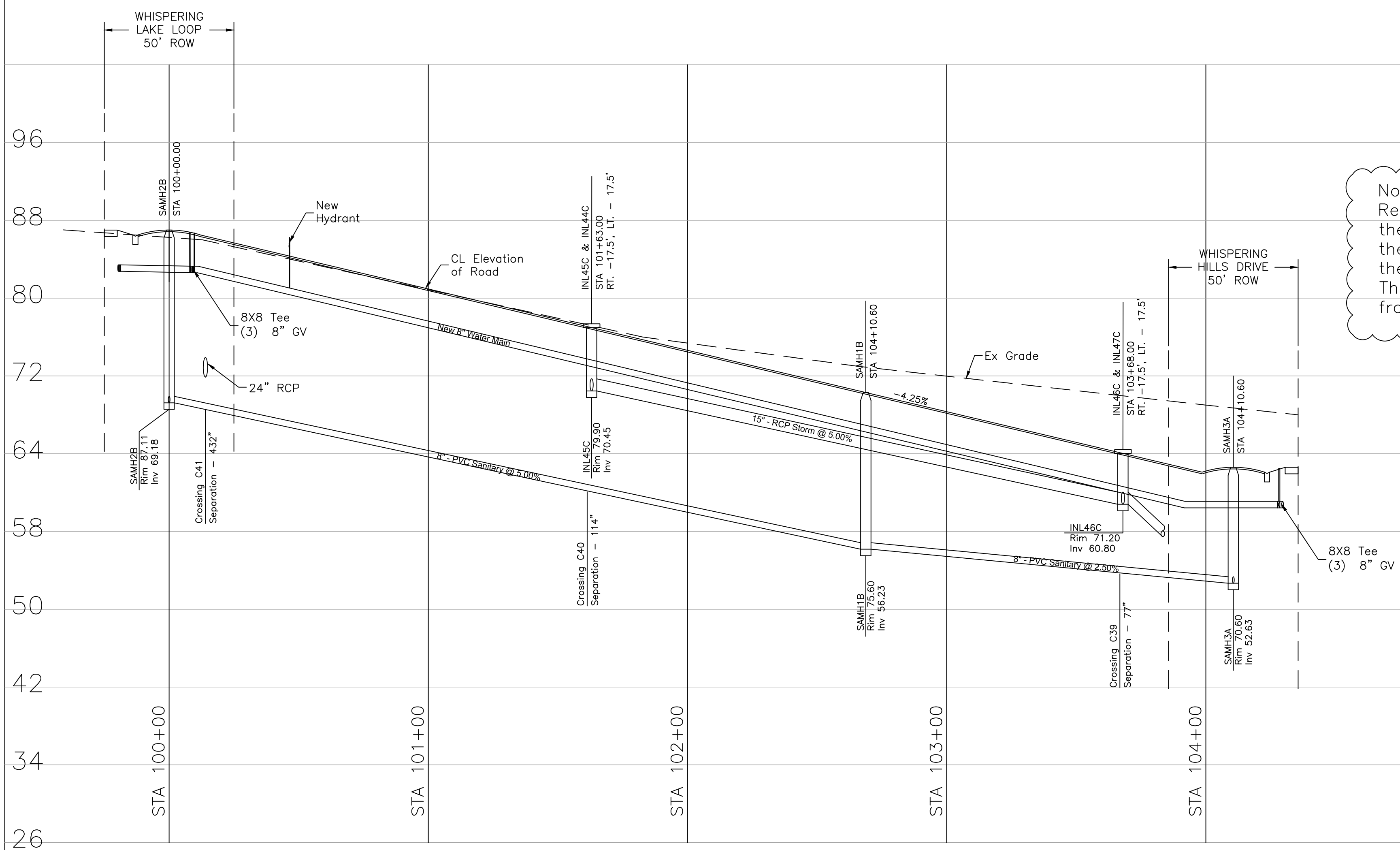




Plan View
Scale: 1"=30'



#	Date	Description



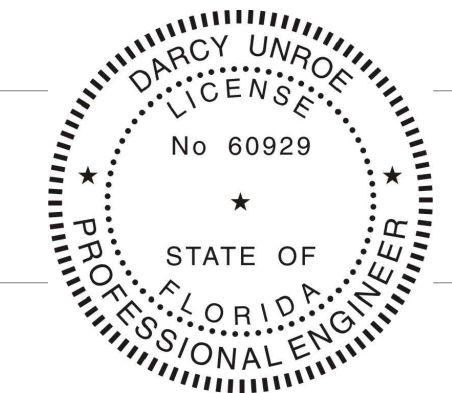
Note:
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

Profile View
Scale: 1/8"=1'

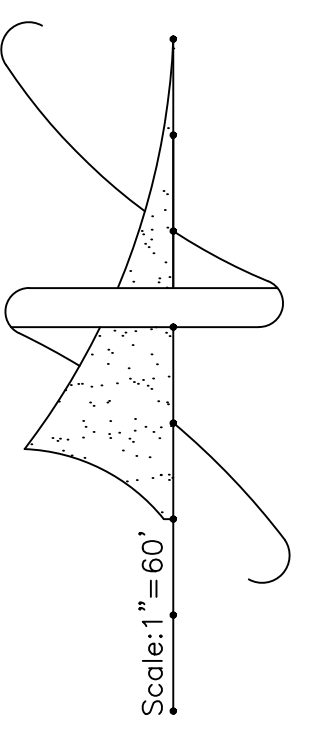
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Plan - Profile Sheet 15
WHISPERING HEIGHTS Subdivision
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP15	File



Dwg. No. **PP15**
36 of 75



Retention Tract "C"

Typical Potential tree to save
Install Tree Protection
Per Detail on TM1

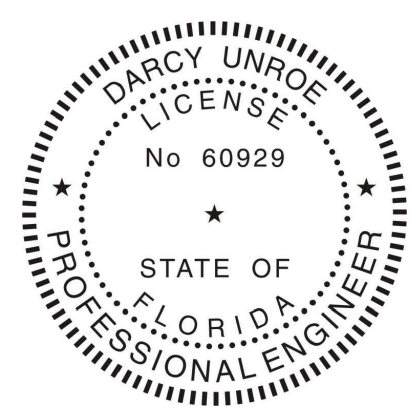
Revisions	Date	Description

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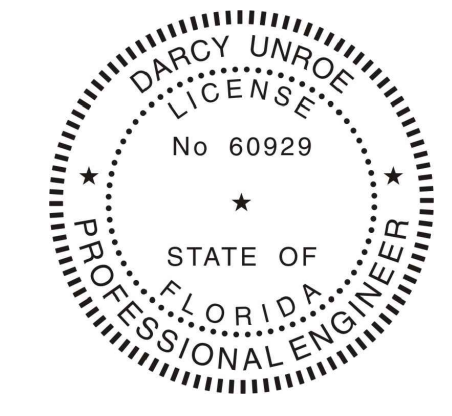
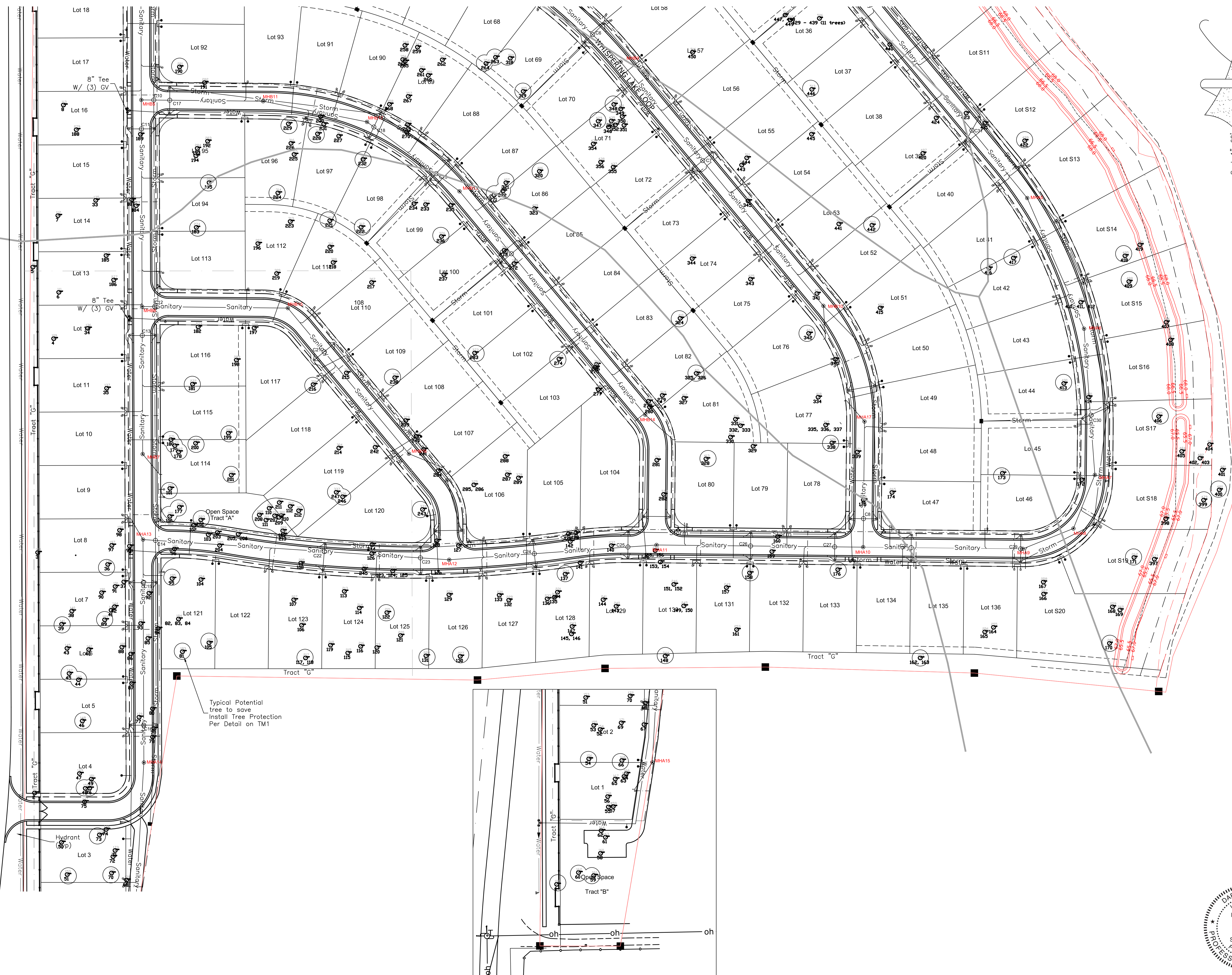
Tree Mitigation Plan - North
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-TM2	File

Dwg. No. **TM2**
 38 of 75



BUCKHILL ROAD (66' ROW)



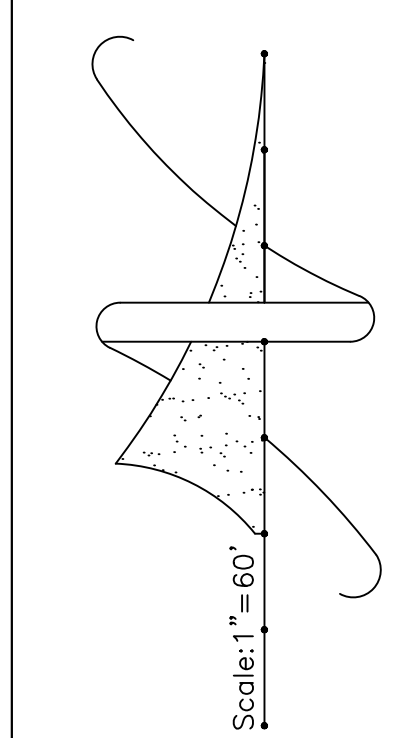
Revisions	#	Date	Description

Unroe Engineering, Inc
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 Business Authorization Number - EB 0006579 ph (407) 299-0650

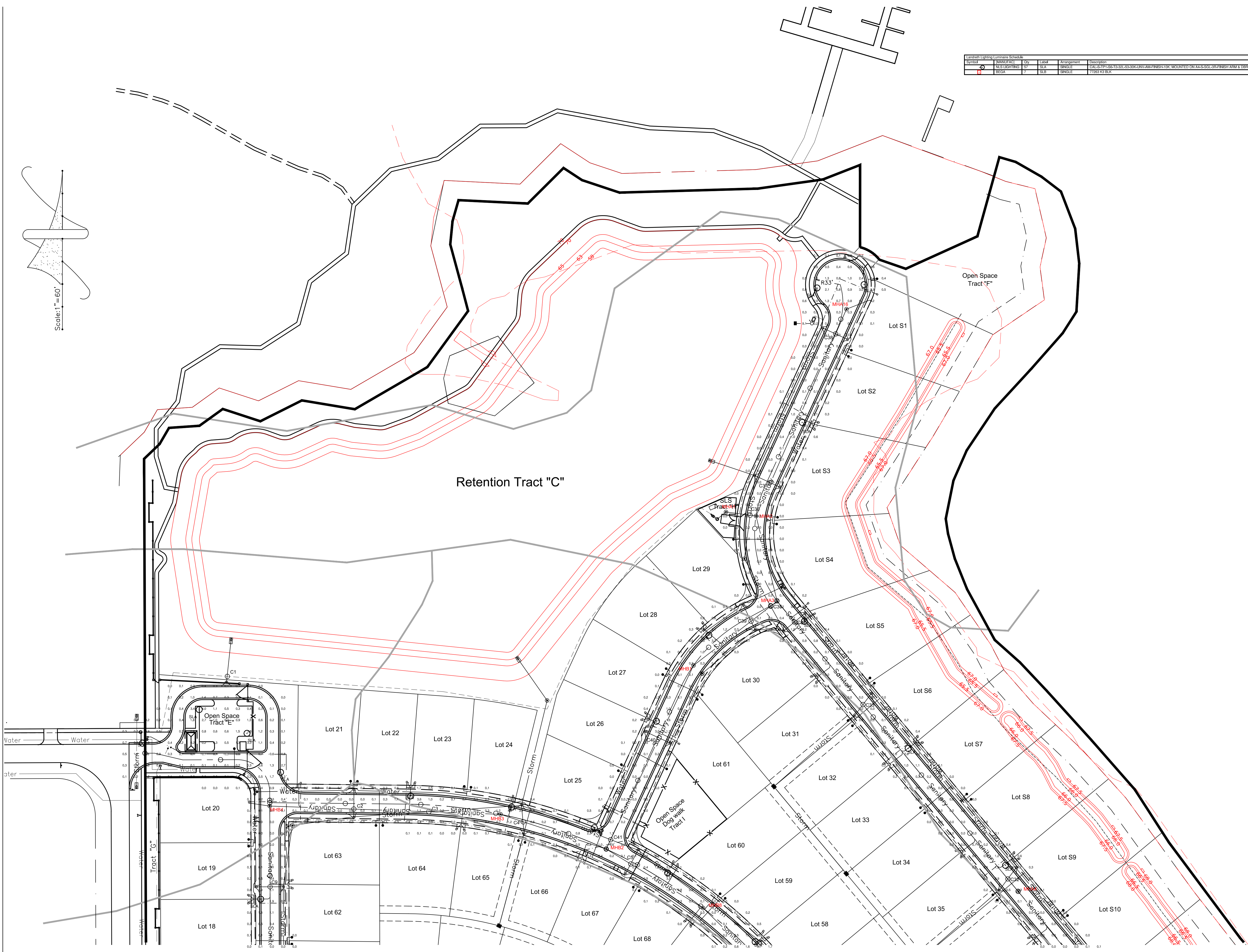
Tree Mitigation Plan - South
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-TM3	File
Dwg. No.	

TM3
 39 of 75



Symbol	Manufacturer	Qty	Label	Arrangement	Description	LF	Lum. Watts	Lum. Lumens	Beam Spread
○	PHILIPS	1	FLA	SINGLE	72x24-1P-205-120V-5530KUNVAMP FINISH-TOR. MOUNTED ON 44-550-304 FINISH ARM & OVERCAP 12 1/2 18 1/2 FEET H 120 POLE	1.000	24	2598	80x100°
□	BEGA	2	FLA	SINGLE	72093 K3 BLK	1.000	24	131	80x100°



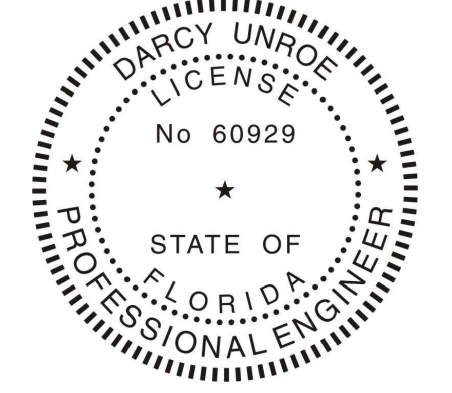
#	Date	Description

Unroe Engineering, Inc
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 Business Authorization Number - EB 00066579 ph (407) 299-0650

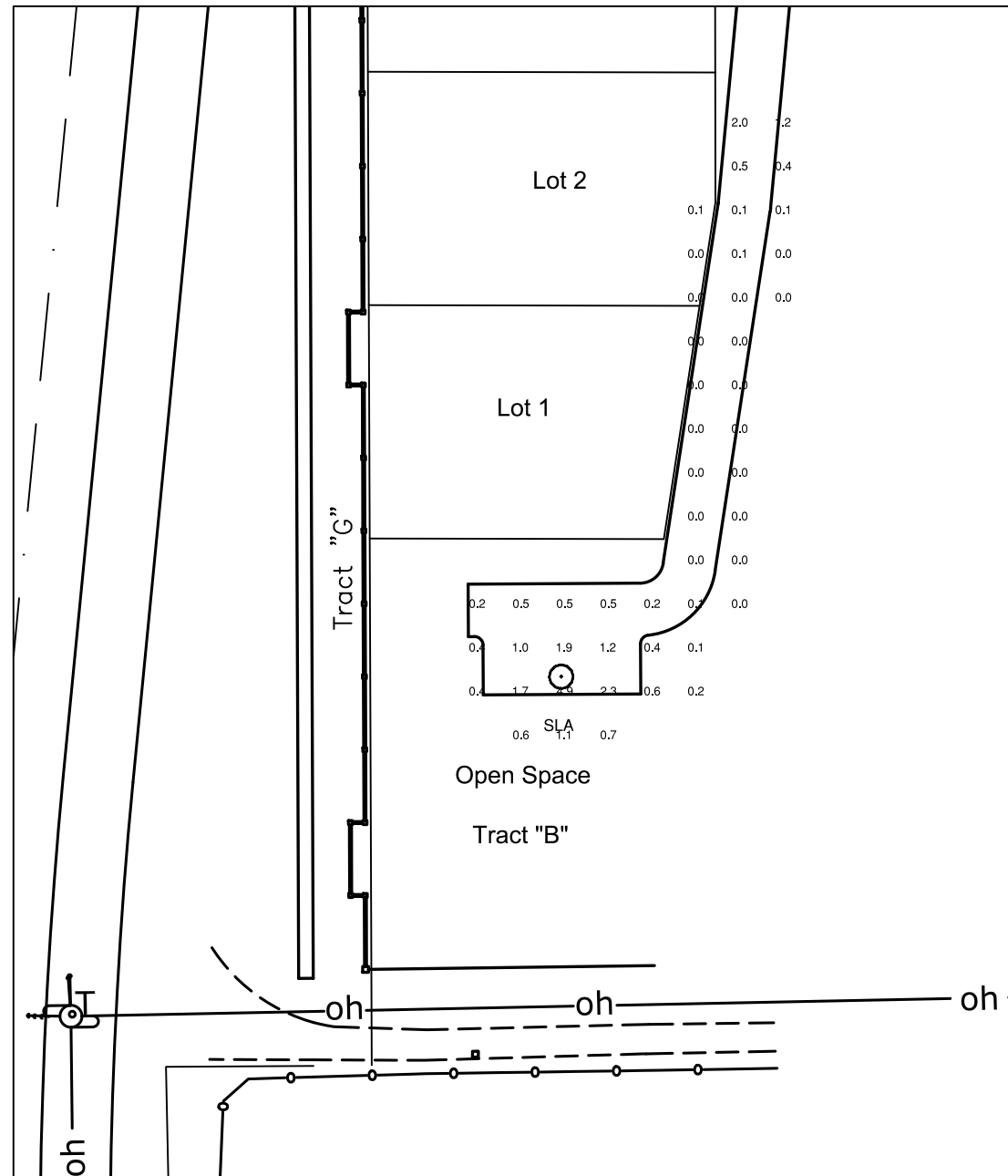
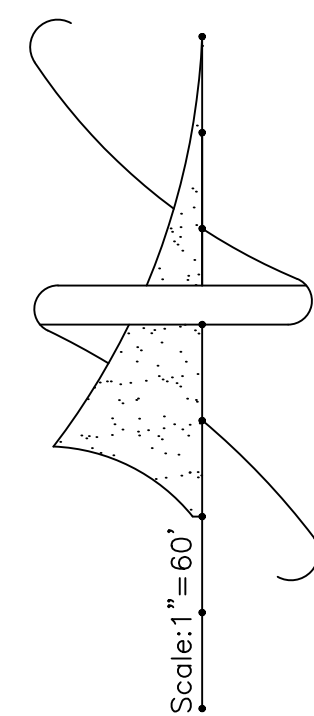
Site Lighting Photometrics - North
WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-SL1	File
Dwg. No.	

SL1
 40 of 75



BUCKHILL ROAD (66' ROW)



#	Date	Description

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
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 Business Authorization Number - EB 0006579 ph (407) 299-0650

Site Lighting - South
 WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-SL2	File
Dwg. No.	

SL2
 41 of 75



ARCHITECTURAL ARM 4

ARMS

MODEL	A	B	C	D	E	EPA SGL	EPA DBL	EPA WM
A4-S	17 in.	30 in.	1 7/8" Ø (1-1/2 in. SCH40)	N/A	N/A	1.8	3.0	1.2
A4-S-WM	17 in.	25 in.	1 7/8" Ø (1-1/2 in. SCH40)	16 in.	6 in.	-	-	-
A4-L	26 in.	38 in.	1 7/8" Ø (1-1/2 in. SCH40)	N/A	N/A	1.5	2.7	1.0
A4-L-WM	26 in.	33 in.	1 7/8" Ø (1-1/2 in. SCH40)	24 in.	7 in.	-	-	-

Architectural Arm 4 is constructed of extruded aluminum tubing. Integrates with poles or tenons of 3-1/2", 4", 4-1/2", or 5" OD and is secured with 3/8" stainless steel Allen set screws.

Contact NLS for custom configuration or others mounting options. Arms are designed, tooled, manufactured and assembled in the USA.

WM Drill Patterns

Project Name: _____ Type: _____

Cat #	Mounting	Pole or Tenon Diameter	Color
Architectural Arm 4 Small (A4-S)	Single (SGL) Double 180° (D180)	3" Round (3R) 4" Round (4R)	Bronze (BRZ) White (WHT) Silver (SVR) Black (BLK)
Architectural Arm 4 Large (A4-L)	Wall Mount (WM)	4 1/2" Round (412R) 5" Round (5R)	Hunter Green (HGN) Graphite (GPH) Grey (GRY) Custom (CS)

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CALIFORNIA SMALL

SITE + ARCHITECTURAL LIGHTING

The beautiful and simple California Series LED Pedestrian Luminaires depict not only the California lifestyle, but the architecture of California as well. This ornamental piece is a delightful sight to see and a great model to illuminate any urban, rural, retail, or park, or campus setting.

The different caps and shades depict different California styles and a touch of California's historic Spanish mission era. The California Series is the perfect selection to combine both design and efficiency in light performance. Designed, tooled, manufactured and assembled in the USA.

STAR POWER OPTICAL SYSTEM

The Star Power reflector is an excellent system which provides great value and performance.

LED WATTAGE CHART

	16L	32L
350 milliwatts	18w	33w
530 milliwatts	26w	54w
700 milliwatts	36w	71w
1000 milliwatts	50w	100w

Project Name: _____ Type: _____

Cat #	Top	Shade	Light Dist.	# of LEDs	Milliwatts	Kelvin	Volts	Mount	Color	Options
California Small (CAL-S)	Top 1 (TP1)	Shade 1 (S1)	Type 2 (T2)	16 (16L)	350 (35)	3000K (30K)	120-277 (UNV)	Arm Mount (AM)	Bronze (BRZ)	House Side Shield (HSS)
	Top 2 (TP2)	Shade 6 (S6)	Type 3 (T3)	32 (32L)	530 (53)	4000K (40K)	347-480 (HV)	*For Arm Mount, please select an Architectural Arm (AA) separately.	White (WHT) Silver (SVR)	Bird Spikes (BS) Marine Grade Finish (MGF)
	Top 3 (TP3)	Shade 7 (S7) Shade 8 (S8)	Type 4 (T4) Type 5 (T5)		700 (7) 1050 (1)	5000K (50K)			Hunter Green (HGN) Black (BLK) Graphite (GPH) Grey (GRY) Custom (CS)	Programmable (PG) *Universal Voltage 120-277 FSP-211 with Motion Sensor (Universal Voltage) (FSP-S) *For 8" + Below (FSP-20) *For 8" to 20" (FSP-40) *For 21" to 40"

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PRODUCT SPECIFICATIONS

Housing: Heavy Duty Marine Grade Cast and Spun Aluminum with 4 shade options and 3 cap options
LED: Lumileds Luxeon MX CRI 70
Optics: Star Power T2, T3, T4 and T5
Watts: 18-106
L70 Degradation: 483,000 Hours (@77°F/ 25°C)
L90: 70,000

Listings: UL 1598 Listed
Driver: 0-10V Dimming driver as standard by Philips Advance
THD @ Max Load: < 15%
Power Factor @ Max Load: < 0.95
Kelvin: 3000, 4000, or 5000
Finish: 5 mils Powder Coat
Warranty: Standard Warranty is 5 years for Driver and LEDs

PRODUCT DIMENSIONS

TOPS

PART NUMBER	T2 LUMENS	LM/W	T3 LUMENS	LM/W	T4 LUMENS	LM/W	T5 LUMENS	LM/W	Watts
CAL-S-16L-35-30K	1836	102	1854	103	1872	104	1900	100	18
CAL-S-16L-35-40K	1920	107	1936	106	1956	107	1984	103	18
CAL-S-16L-35-50K	2034	113	1958	111	2016	112	1958	105	18
CAL-S-16L-53-30K	2856	102	2864	103	2912	104	2900	100	28
CAL-S-16L-53-40K	2960	106	2968	106	2996	107	2984	103	28
CAL-S-16L-53-50K	3136	112	3108	111	3136	112	2968	106	28
CAL-S-16L-7-30K	3672	102	3708	103	3744	104	3600	100	36
CAL-S-16L-7-40K	3816	106	3816	106	3852	107	3708	103	36
CAL-S-16L-7-50K	4032	112	3996	111	4032	112	3816	106	36
CAL-S-16L-3-30K	5712	102	5766	103	5824	104	5600	100	56
CAL-S-16L-3-40K	5928	106	5928	106	5992	107	5768	103	56
CAL-S-16L-3-50K	6272	112	6216	111	6272	112	5936	106	56
CAL-S-32L-35-30K	3366	102	3399	103	3432	104	3300	100	33
CAL-S-32L-35-40K	3498	106	3498	106	3531	107	3399	103	33
CAL-S-32L-35-50K	3696	112	3663	111	3696	112	3498	106	33
CAL-S-32L-53-30K	4968	102	4968	103	4976	104	4800	100	44
CAL-S-32L-53-40K	5224	106	5224	106	5278	107	5062	103	44
CAL-S-32L-53-50K	5496	112	5496	111	5548	112	5224	106	44
CAL-S-32L-7-30K	7242	102	7213	103	7284	104	7100	103	71
CAL-S-32L-7-40K	7526	106	7567	107	7687	107	7413	103	71
CAL-S-32L-7-50K	7932	112	7881	111	7932	112	7526	106	71
CAL-S-32L-3-30K	10912	102	10918	103	11024	104	10800	100	106
CAL-S-32L-3-40K	11236	106	11342	107	11340	107	10918	103	106
CAL-S-32L-3-50K	11672	112	11765	111	11872	112	11236	106	106

SHADES

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180

DIRECT BURIAL POLE

STEEL, ALUM., SQUARE, ROUND, TAPERED

POLES + BASES

SHAFT

Shall be Grade B straight steel with yield strength of 46,000 PSI conforming to ASTM A500 Standards. All poles with hand hole have a welded ground lug.

Direct Burial poles can be ordered with optional coupling (specify height), optional hand hole (specify height), or optional Slot for conduit ingress and egress (specify height). When poles are ordered with a three-way combination of Coupling, Hand Hole and Ground Lug, then the Ground Lug is positioned at 90 degrees to the Hand Hole and the Coupling is opposite the Hand Hole. When the pole is ordered with Hand Hole only, the Ground Lug is at 180 to the Hand Hole.

HAND HOLE COVER AND POLE CAP

Pole caps are injection molded snap-in caps in black finish. Optional hand hole covers are provided with internal bridge support. For added strength, constructed of 3" x 5" rectangular steel tubing, is welded to pole shaft.

FINISH

All poles are finished with 3 to 5 mils of powder coat. All poles are sandblasted prior to powder coat application.

Project Name: _____ Type: _____

Cat #	Height (Main Shaft)	Pole Dim.	Size	Orient.	Color	Options
STEEL Direct Burial Round Straight Steel Pole (DBSSP)	10' (10)	ROUND	STEEL 120 in (114)	Single (SGL)	Bronze (BRZ)	Slot (S)
	12' (12)	4" OD (4R)	8' COU (8R)	Double (D-8R)	White (WHT)	Coupling (COUP)
	14' (14)	5" COU (5R)	102 in (70)	Silver (SVR)	*Standard location is opposite of HH. See next page for details. Consult Factory for Custom Height Above Finished Floor (HAF)	
ALUMINUM Direct Burial Round Straight Alum. Pole (DBSAP)	15' (15)	SQUARE	4" SQ (4S)	Tripple (T-4S)	Green (GRN)	Hand Hole (HH)
	16' (16)	5" SQ (5S)	250 in (25)	No Drill (ND)	Black (BLK)	Galvanized (GALV)
ALUMINUM Direct Burial Square Straight Alum. Pole (DBSSAP)	18' (18)		350 in (280)	No Drill (ND)	Graphite (GPH)	Tenon (TEN)
	20' (20)			*Tenon Option	Grey (GRY)	2 1/2" Round (T2R)
	21' (21)				Grey (GRY)	3" Round (T3R)
	24' (24)				Custom (CS)	3 1/2" Round (T3.5R) 4 1/4" Round (T4.25R)

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#	Date	Description

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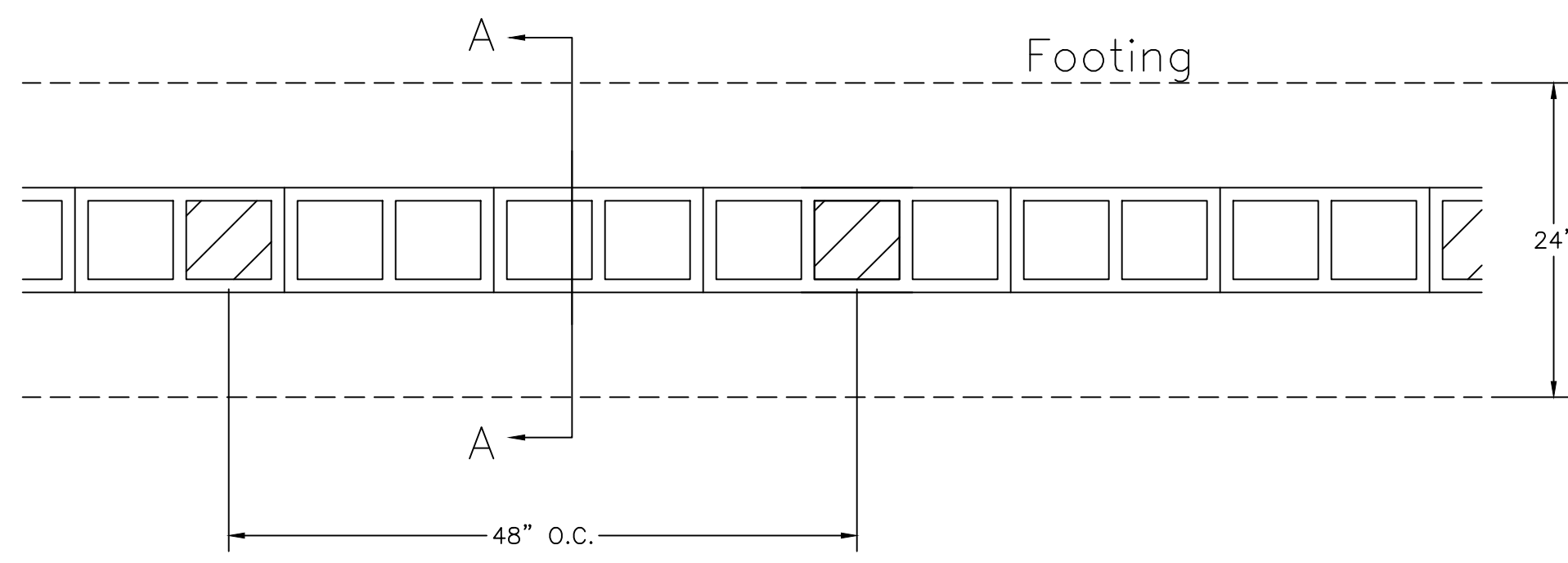
Site Lighting - South

WHISPERING HEIGHTS Subdivision
 Buckhill Road, Howey-in-the-Hills, Florida

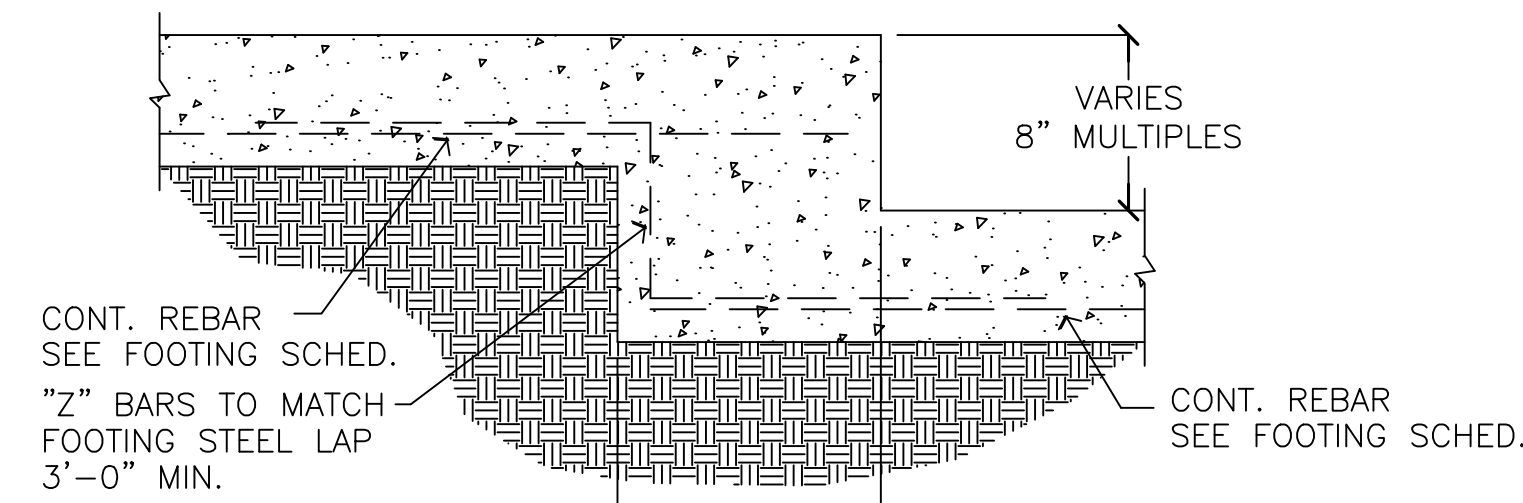
DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-SL3	File
Dwg. No.	
SL3	
40 of 75	



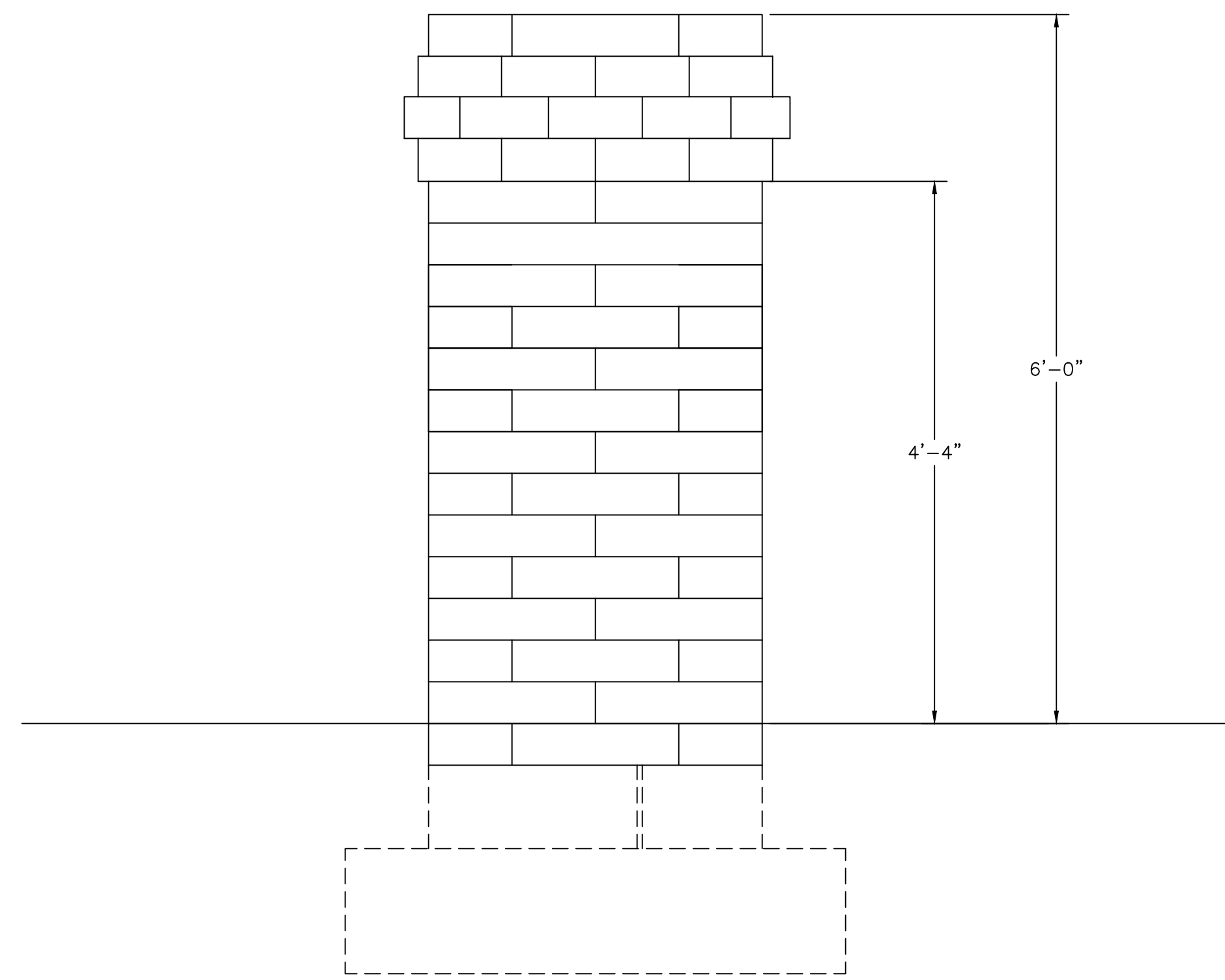
Darcy Unroe PE 60929



Plan View



TYPICAL STEP FOOTING DETAIL



Side View

Construction Notes

1. All work shall be in strict accordance with the 2020 Florida Building Codes.
2. A concrete work shall be in accordance with ACI 318-08.
3. All concrete 28 day strength shall be 3,000 psi
4. Footing design is based on the minimum soil bearing pressure of 2,000 psi
5. If footing elevation occurs in unsuitable soils, the engineer shall be notified immediately.

Engineering Notes

Basic Wind Speed - 130 MPH
 Wind importance factor - 1
 Building Category - 2
 Wind exposure - C
 Design wind pressure - 29.4 PSF

FOUNDATIONS:

SPREAD FOOTINGS SHALL BEAR ON SOIL COMPACTED TO DENSITY OF AT LEAST 95% OF MODIFIED PROCTOR MAXIMUM DENSITY (ASTM D1557) THE SOIL SHALL BE COMPACTED TO THIS DENSITY TO A DEPTH OF AT LEAST TWO (2) FEET BELOW TO BOTTOM OF FOOTING.

FILL UNDER FLOOR SLABS SHALL BE COMPACTED TO DENSITY OF AT LEAST 95% OF MODIFIED PROCTOR MAXIMUM DENSITY (ASTM).

IT SHALL BE OWNER'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY AND SUB SURFACE CONDITIONS, PRIOR TO START OF CONSTRUCTION. OWNERS GEOTECHNICAL CONSULTANT MAY RECOMMEND SITE PREPARATION. CONTRACTOR SHALL COORDINATE SOIL INVESTIGATION FINDINGS AND REQUIREMENTS OTHER THAN LISTED ABOVE WITH OWNER AND HIS GEOTECHNICAL CONSULTANTS SUBSEQUENT RECOMMENDATIONS

CONCRETE:

DESIGN OF REINFORCED CONCRETE CONFORMS WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE- ACI 318, LATEST EDITION.

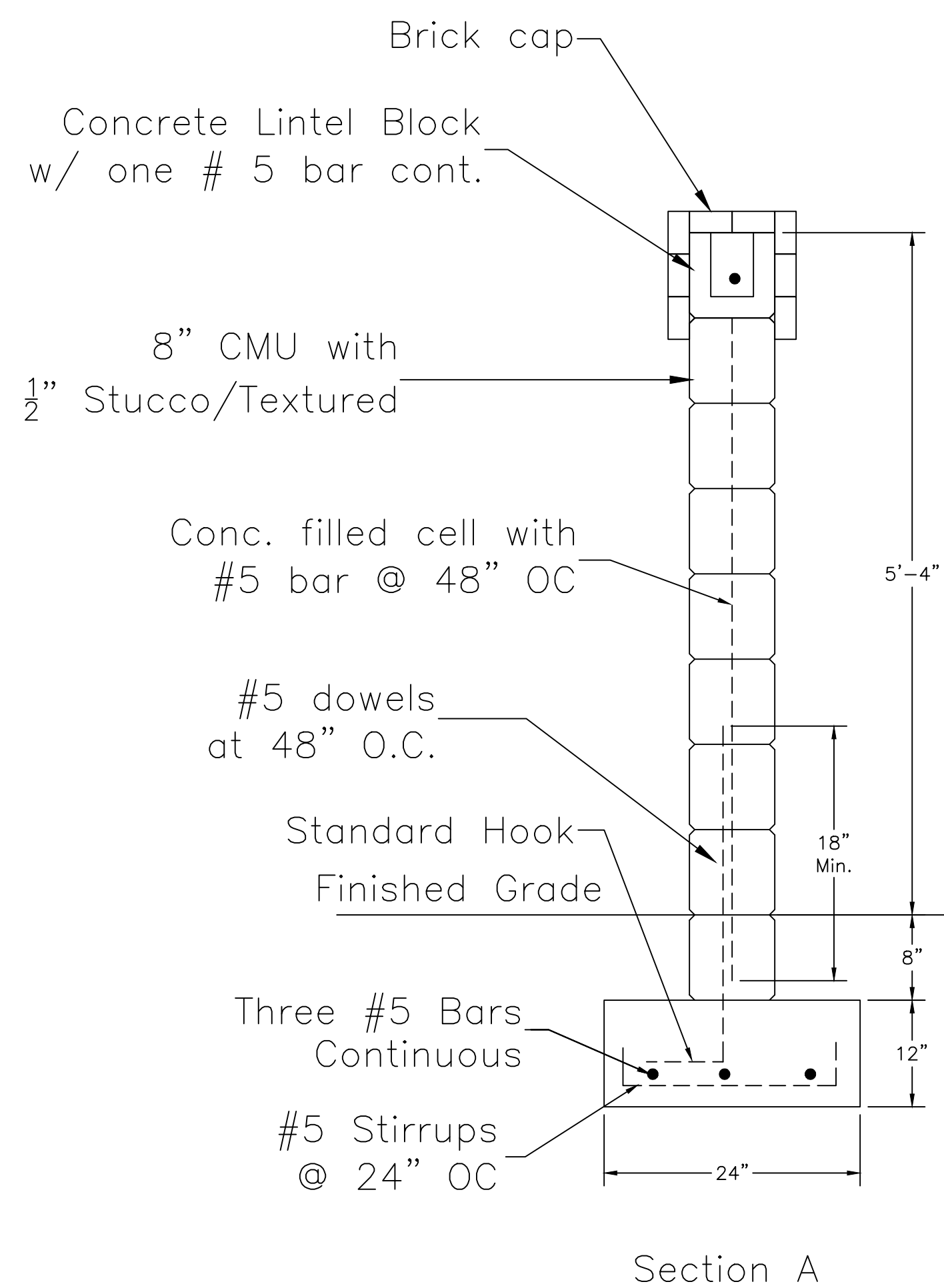
CONCRETE SHALL HAVE AN UNCONFINED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

REINFORCING STEEL SHALL BE ASTM A-615 GRADE 60 DEFORMED NEW BILLET STEEL CONFORMING TO ACI 301, ACI315, AVI 318 AND CRSI MANUAL OF STANDARD PRACTICE, LATEST EDITION.

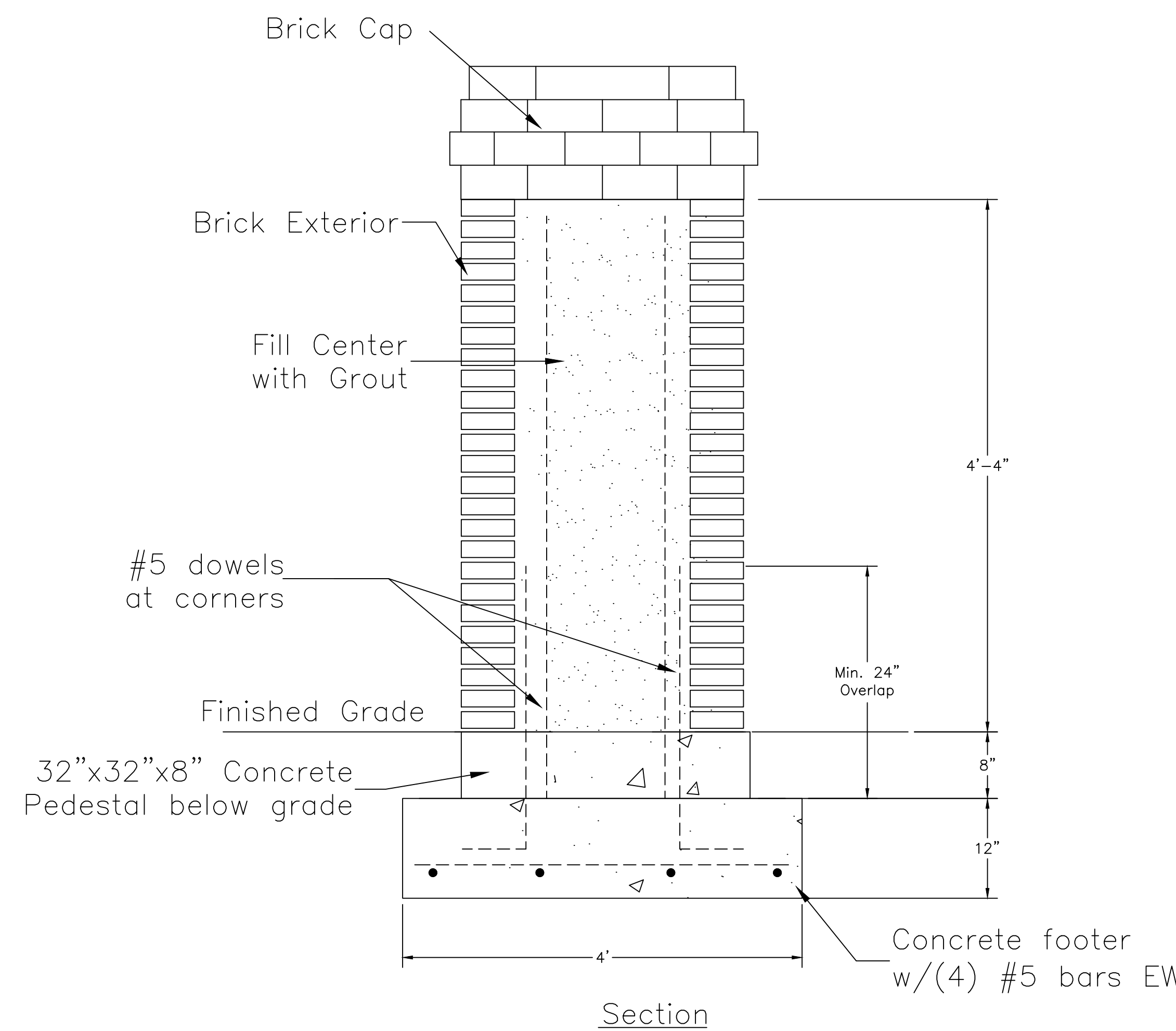
ALL CONTINUOUS VERTICAL AND HORIZONTAL REINFORCING STEEL IN FOOTINGS, BEAMS, AND COLUMN SHALL BE LAP SPLICED A MINIMUM OF 36 BAR DIAMETERS OR 18", WHATEVER IS GREATER.

CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE AS FOLLOWS:

FOOTING	3" CLEAR, BOTTOM AND SIDES, 2" CLEAR, TOP
SLABS	3/4" CLEAR, U.N.O.
PIERS	1-1/2" CLEAR TO STIRRUPS
COLUMNS	1-1/2" CLEAR TO TIES

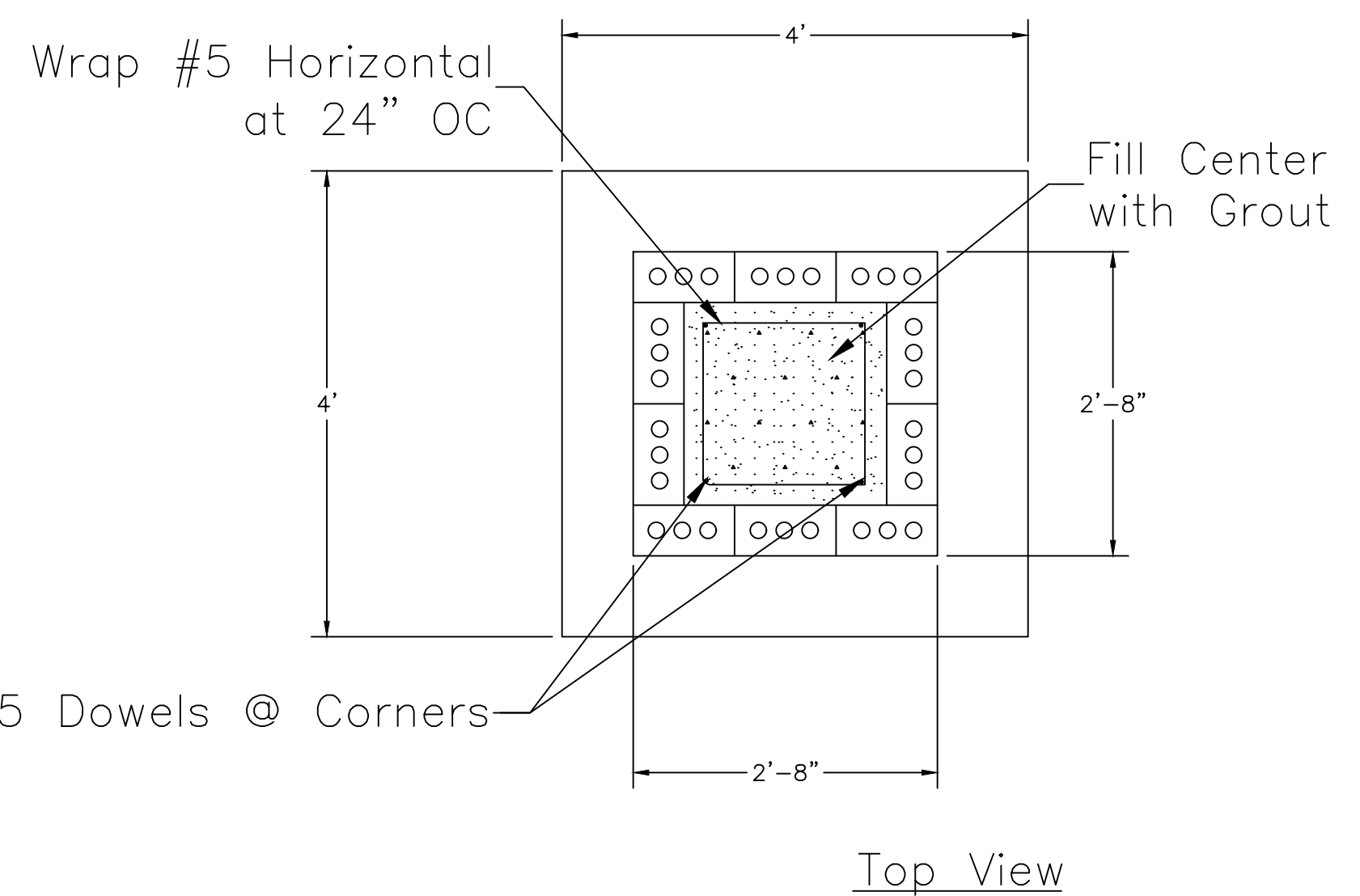


Block Wall Detail



Section

Brick Column Detail



Top View

Color and Finish Notes:

1. Block Wall Finish: 1/2" Textured Stucco with a 4x8 brick cap per detail.
2. Block Wall Color: Wall will be painted Off-White/Ash. The Brick Cap Color - Grey Mist
3. Brick Column Finish: 4x8 brick exterior
4. Brick Column Color: Brick Cap & Field Color - Grey Mist

Unroe Engineering, Inc
 Civil Engineering/Planning/Scientific Evaluation
 PO Box 690942, Orlando, FL 32869-0942
 Business Authorization Number: EB 00066579 ph (407) 299-0650

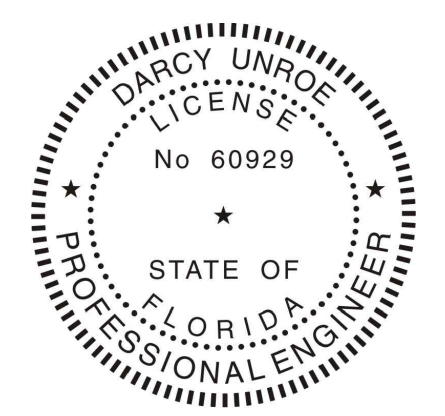
Block Wall & Brick Column Details
For Whispering Hills
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
per plan	Scale
09-07-21	Date
WH2-W1	File

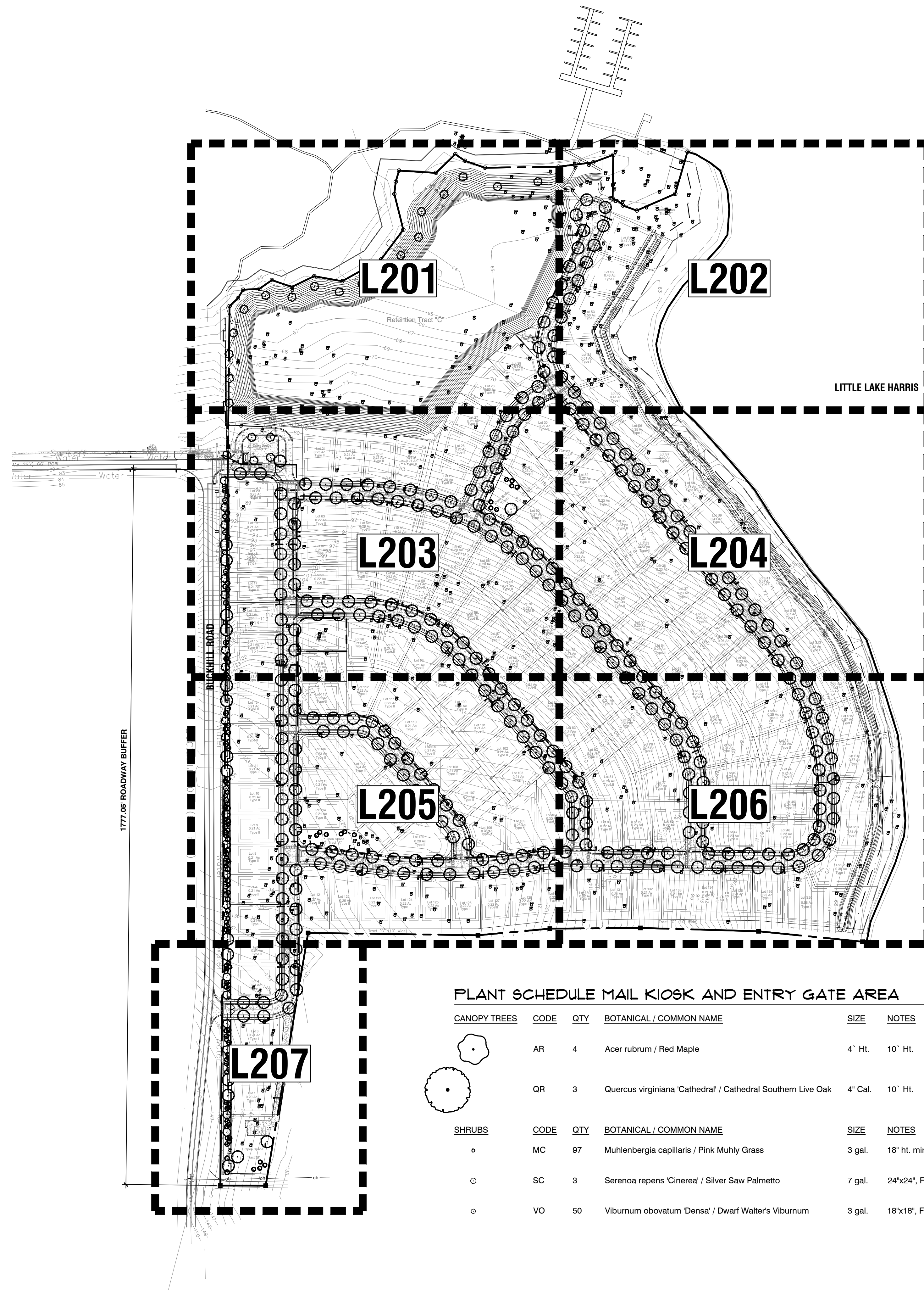
Dwg. No.

W1

43 of 75



Darcy Unroe PE 60929



OVERALL NOTES: per sheet TM1 of Unroe Engineering, Inc. Whispering Hills Subdivision Plan Set dated 7/2/2020

Tree Protection Notes

A certified tree survey has been conducted by Ellis Surveying, Inc. Of the total non-Pines located within the Parcel, the majority have been identified as Diseased, Decayed, Dying, or Dangerous and will be removed. Of the remaining healthy non-Pines, many are in the way of construction. The Developer agrees to maximize the number of healthy non-Pine trees. Trees will be saved in accordance with COHH Tree Protection Barrier Details.

Tree Requirements:

1. Howie LDR's require 3 trees per lot therefore a total of no less than 468 trees will be provided on the completed project. For any Lots having less than 3 trees homebuilders will be required to cure the deficiency. For single family lots that are one half acre or less in size, a minimum of three (3) canopy trees is required. Each such single family lot will be required to have one tree with a caliper of at least four inches (4") and two (2) trees each with a caliper of at least two and one half inches (4 2 1/2"). These trees shall have a minimum height of 10 feet at time of planting. These trees should be canopy trees as listed in this chapter. Existing trees may be counted as meeting this requirement, as long as they are of sufficient size and accepted species. One of the canopy trees on each such single-family lot shall be planted in the front yard, no less than 5 feet and no more than 8 feet from the sidewalk or lot line. These trees will help to form a canopy over the sidewalk and street sides. Corner lots are required to provide two such trees, one on the front and one on the side of the lot. Additionally, if the lot is more than 100 feet wide at the sidewalk, then the lot will be required to have two such trees. Existing trees in this specific area can be counted as meeting this requirement. These trees shall be coordinated with the placement of streetlights to prevent conflicts. A list of approved canopy trees is included in this chapter.

2. In addition, to satisfy the replacement plantings requirement homebuilders will be required to provide the requisite replacement trees.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	AR	30	Acer rubrum / Red Maple Florida Fancy #1	4' Ht.	10' Ht.
	MG	12	Magnolia grandiflora / Southern Magnolia Florida Fancy #1, 30 gallon container or greater.	4" Cal.	10' Ht.
	PE	56	Pinus elliottii / Slash Pine Florida Fancy #1	4" Cal.	10' Ht.
	QR	328	Quercus virginiana 'Cathedral' / Cathedral Southern Live Oak Florida Fancy #1	4" Cal.	10' Ht.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	IC	26	Ilex cassine / Dahoon Holly Florida Fancy #1	2.5" Cal.	8' Ht.
	LR	26	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle Multi-Trunk Florida Fancy #1	1.5" Cal. Canes	8' Ht.
	PA	19	Prunus angustifolia / Chickasaw Plum Florida Fancy #1	2.5" Cal.	8' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	HP	50	Hamelia patens 'Firefly' / Firefly Firebush	3 gal.	18"x18", Full
	MC	220	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	18" ht. min.
	SC	48	Serenoa repens 'Cinerea' / Silver Saw Palmetto	7 gal.	24"x24", Full
	VO	50	Viburnum obovatum 'Densa' / Dwarf Walter's Viburnum	3 gal.	18"x18", Full
	VS	471	Viburnum suspensum / Sandankwa Viburnum	3 gal.	30" Ht. Min.

SOD NOTE:
All sod areas to be non-irrigated Bahia Sod

PLANT SCHEDULE ROADWAY BUFFER

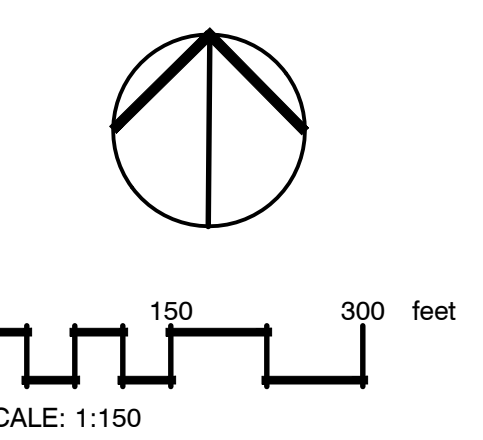
CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	AR	7	Acer rubrum / Red Maple	4' Ht.	10' Ht.
	MG	12	Magnolia grandiflora / Southern Magnolia	4" Cal.	10' Ht.
	PE	39	Pinus elliottii / Slash Pine	4" Cal.	10' Ht.
	QR	14	Quercus virginiana 'Cathedral' / Cathedral Southern Live Oak	4" Cal.	10' Ht.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	IC	26	Ilex cassine / Dahoon Holly	2.5" Cal.	8' Ht.
	LR	26	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle Multi-Trunk	1.5" Cal. Canes	8' Ht.
	PA	19	Prunus angustifolia / Chickasaw Plum	2.5" Cal.	8' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	HP	50	Hamelia patens 'Firefly' / Firefly Firebush	3 gal.	18"x18", Full
	MC	123	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	18" ht. min.
	SC	45	Serenoa repens 'Cinerea' / Silver Saw Palmetto	7 gal.	24"x24", Full
	VS	471	Viburnum suspensum / Sandankwa Viburnum	3 gal.	30" Ht. Min.

PLANT SCHEDULE MAIL KIOSK AND ENTRY GATE AREA

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	AR	4	Acer rubrum / Red Maple	4' Ht.	10' Ht.
	QR	3	Quercus virginiana 'Cathedral' / Cathedral Southern Live Oak	4" Cal.	10' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	MC	97	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	18" ht. min.
	SC	3	Serenoa repens 'Cinerea' / Silver Saw Palmetto	7 gal.	24"x24", Full
	VO	50	Viburnum obovatum 'Densa' / Dwarf Walter's Viburnum	3 gal.	18"x18", Full

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PREPARED FOR:
RED JACKET DEVELOPMENT
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PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
Landscape Architect Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA**

Sheet Title:
OVERALL PLAN

Designed: KMD Sheet No.:
Drawn: ZRR
Checked: KMD
Date: 01/12/2022

L100

LANDSCAPE REQUIREMENTS

PER HOWEY-IN-THE-HILLS LAND DEVELOPMENT CODE

7.02.00 BUFFERS

2. A landscaped wall buffer with a minimum depth of 15 feet. The wall shall maintain a height of six feet from grade on highest side and all walls shall have a decorative exterior (no exposed block). Acceptable materials for wall faces are brick, stucco or stone or a combination of those materials. Wall columns shall have a maximum spacing of thirty feet (30') on walls up to two hundred feet (200') in length and forty feet (40') on walls more than two hundred feet (200') in length. Wall columns may extend up to two feet (2') above the height of the wall. Within each fifty-foot (50') increment along the wall, two (2) canopy trees, two (2) understory trees, and 30 linear feet of shrubs shall be planted. The trees shall not be closer than five feet (5') to a walk or wall. The shrubs shall be at least 30" in height at time of planting. For single family subdivisions, these buffers shall be on common property and dedicated to the homeowners' association for ownership and maintenance responsibilities. For multi-family sites, the buffer will be either owned by the property owner, or in the event of multiple owners, a condominium association or other common entity will own and maintain the buffer.

PROVIDED: 6' HEIGHT FINISHED WALL WITH LANDSCAPE BUFFER (SEE CHART BELOW) REQUIREMENT SATISFIED.

7.04.01 Florida Water Star Program/Florida Friendly Landscaping

- All required landscaping and irrigation shall be installed and maintained to be consistent with the water-efficient landscaping requirements established herein. Landowners are additionally encouraged to follow Waterwise Florida Landscapes, Florida Water Star Program, and Florida Irrigation Society Standards.
- Landscape plants shall be selected based on appropriateness to the site considering conditions such as soil type, moisture, and sunlight using the principal of "right plant – right place," as described by the Florida Friendly Landscaping program. The plants shall be grouped and irrigated by hydrozone in accordance with their respective water needs. A list of appropriate plants and plant resources is contained in The Plant List for Lake County.
- Synthetic Lawns and Plants: Synthetic or artificial turf, trees and plants shall be prohibited from use in lieu of required live plantings.
- Limit irrigated lawn areas. Irrigation is not mandated by the Town. The use, type and location of irrigated lawn area in the landscape shall be selected in a planned manner and used as a fill-in material. Since most lawn varieties used in landscape require supplemental watering more frequently than other types of landscape plants, turf shall be placed so that it can be irrigated separately. The installation of turf grass shall be subject to the following:
 - Irrigated turf grasses may be installed on a maximum of sixty (60) percent of the pervious (landscape) area of any lot or parcel as follows:

TURF GRASS TABLE	
Site Size	Irrigated Turf Area
< 5 Acres	60% of the pervious landscaped areas
5 to 10 Acres	60% of the pervious landscaped area, not to exceed 5 acres, whichever is less.
> 10 acres	60% of the pervious landscaped area, not to exceed 10 acres, whichever is less

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- Exemptions:
 - Unirrigated turf having an excellent drought tolerance rating, such as Bahia grass, may be used on the entire site and is not subject to this limitation.
 - Agricultural uses, commercial golf courses greens and fairways, cemeteries, and public or private active recreation fields such as ball fields are exempt from this limitation.
 - Existing Development: Property owners shall be encouraged to replace lawns and plants with Florida-Friendly Landscaping and drought tolerant turf for development existing as of June 14, 2021.
 - The percentage of micro irrigation and/or non-irrigated areas shall be no less than 40 percent of the total irrigable area.

PROVIDED: BAHIA SOD AND FLORIDA FRIENDLY LANDSCAPING REQUIREMENT SATISFIED.

7.05.01 Parking Lots

- Terminal islands. Each row of parking spaces shall be terminated by landscaped islands to separate parking from adjacent drive aisles. Terminal islands shall measure a minimum of ten feet (10') in width and 20 feet (20') in length. Each terminal island shall include a canopy tree which is at least 4 inches DBH at time of planting, and ground cover. Shrubs may also be included.
- Interior islands. Interior islands shall be used to shade parking lots. Interior islands are required every ten (10) parking spaces and shall be, at a minimum, the same size of a parking space (10 feet by 20 feet). Each interior island shall include a canopy tree which is at least 4 inches DBH at time of planting, and ground cover. Shrubs may also be included.
- Divider medians. Landscaped divider medians shall form a continuous landscaped strip between abutting rows of parking. The minimum width of a divider median shall be 10 feet. Canopy trees at least 4 inches DBH at time of planting shall be spaced no fewer than one tree every 40 feet. Ground cover, shrubs, and understory trees shall also be included in divider medians.
- All parking lot landscaping shall be designed with an irrigation system.

*PARKING AREA LOCATED AT MAIL KIOSK AND ENTRY GATES
PROVIDED: (1) CANOPY TREE PER TERMINAL ISLAND AND GROUND COVER REQUIREMENT SATISFIED.*

SURVEY NOTES:

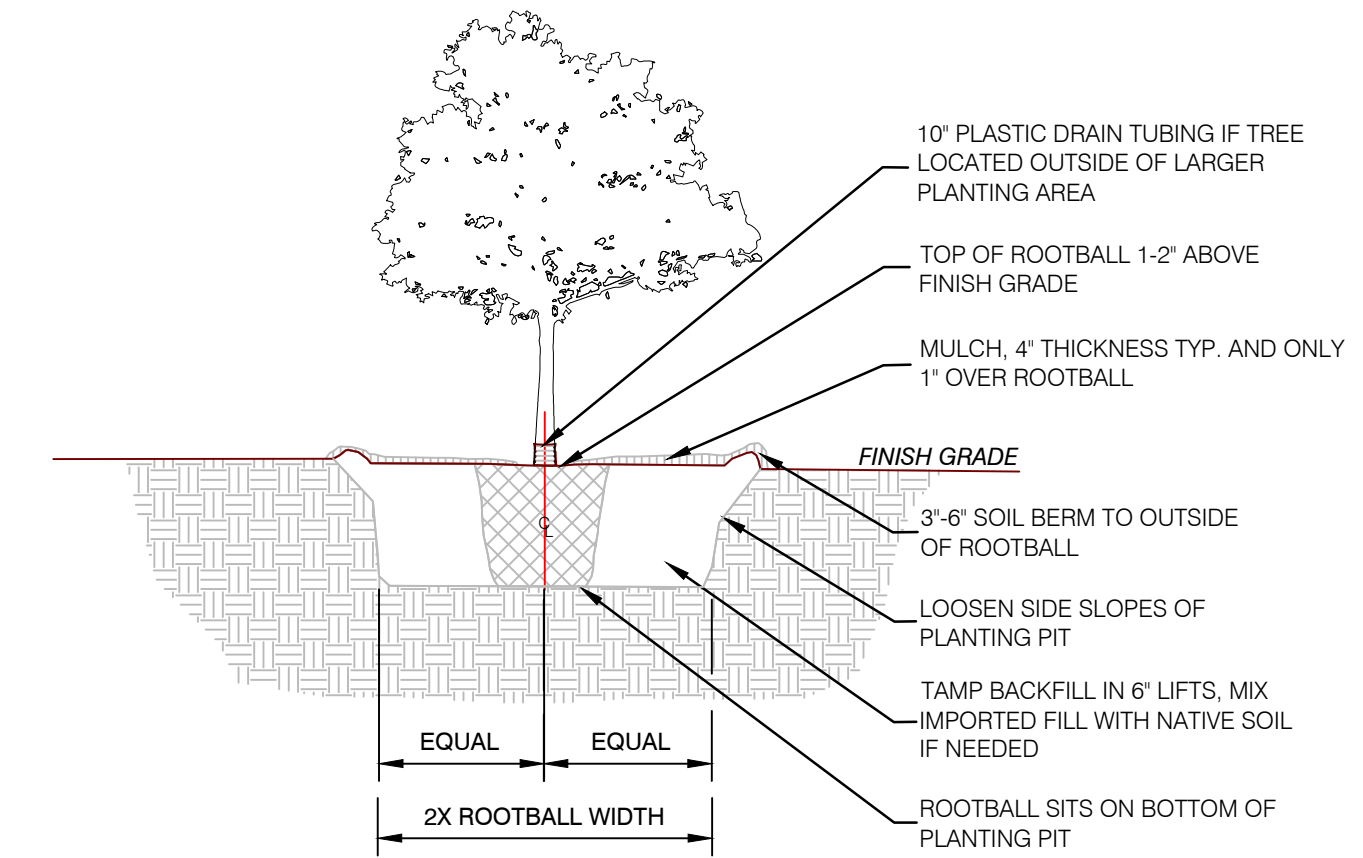
- SEE CIVIL DRAWINGS FOR EXISTING CONDITIONS SURVEY.
- SEE CIVIL DRAWINGS FOR EROSION AND SEDIMENTATION CONTROL PLAN.
- THE CONTRACTOR SHALL MAKE A FULL REVIEW OF ALL EXISTING CONDITIONS OF THE SITE AND SHALL REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE STARTING WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL CONDITIONS AS THEY EXIST ON SITE.
- EXISTING TREE CANOPIES WERE NOT SURVEYED. ALL TREE CANOPIES INDICATED ARE BASED ON SATELLITE IMAGERY AND AVERAGE CANOPY SIZE PER SURVEYED D.B.H. AND SPECIES.
- EXISTING AND PROPOSED UTILITY LOCATIONS SHOWN ARE APPROXIMATE UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS. SEE CIVIL PLANS FOR LOCATION OF BOTH PROPOSED AND EXISTING UTILITIES.
- VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN LAYOUT/GRADING AND SITE UTILITIES PRIOR TO THE START OF CONSTRUCTION.

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW THE SITE CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES IN SITE CONDITIONS OR EXISTING GRADES THAT ARE NOT DESCRIBED ON THE PLANS BEFORE COMMENCING WORK.
- LANDSCAPE PLANTING CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO REVIEW PLANS BEFORE COMMENCING WORK IN ORDER TO ASSURE CLOSE COORDINATION.
- PRIOR TO PROJECT COMPLETION THE SITE IS TO BE THOROUGHLY CLEANED OF ALL CONSTRUCTION DEBRIS, SIGNS, ETC. AND REVIEWED BY THE LANDSCAPE ARCHITECT AND OWNER.
- NO CONSTRUCTION ACTIVITY INCLUDING GRADE CHANGES, SURFACE TREATMENTS OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE AREA IDENTIFIED AS A TREE PROTECTION ZONE (TPZ). IN ADDITION, NO ROOT CUTTING, NO STORAGE OF MATERIALS OR FILL, NO MOVEMENT OR STORAGE OF VEHICLES OR EQUIPMENT IS PERMITTED WITHIN THESE AREAS. THE AREAS IDENTIFIED AS A TPZ MUST REMAIN UNDISTURBED AT ALL TIMES.
- ARBORICULTURAL WORK: ANY ROOTS OR BRANCHES WHICH EXTEND BEYOND THE TREE PROTECTION ZONE WHICH REQUIRE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST OR OTHER TREE PROFESSIONAL AS APPROVED BY THE OWNER OR OWNER'S REP. ALL PRUNING OF TREE ROOTS AND BRANCHES MUST BE IN ACCORDANCE WITH APPROPRIATE ARBORICULTURAL STANDARDS.
- CONTRACTORS MUST CLEAN UP ALL TRASH AND DEBRIS ON THE CONSTRUCTION SITE AT THE END OF EACH DAY. LIGHTWEIGHT MATERIAL, PACKAGING, AND OTHER ITEMS MUST BE COVERED OR WEIGHTED DOWN TO PREVENT WIND FROM BLOWING SUCH MATERIALS OFF OF THE CONSTRUCTION SITE. DURING THE CONSTRUCTION PERIOD, THE CONSTRUCTION SITE MUST BE KEPT NEAT AND TIDY. DIRT, MUD OR OTHER DEBRIS RESULTING FROM ACTIVITY ON SITE MUST BE PROMPTLY REMOVED FROM SURROUNDING ROADS/PARKING AREAS.
- CONTRACTOR TO CALL 1-800-432-4770 (CALL 811) TWO WEEKS PRIOR TO VERIFY LOCATION OF UNDERGROUND LINES, PIPES AND CABLES.

PLANTING INSTALLATION NOTES:

- PLANT MATERIAL TO BE FLORIDA FANCY OR FLORIDA #1 OR BETTER. ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE HEALTHY, VIGOROUS, FREE OF DISEASE, INSECTS AND PESTS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL AT THE NURSERY OR AT THE SITE.
- THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PROPOSED PLANT MATERIAL FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED BEFORE THE ACCEPTANCE OF ROUGH GRADING. THE TRUNK FLARE (AT THE BASE OF THE TREE) SHALL BE PROPERLY EXPOSED FOR ALL PLANTINGS.
- KEEP ROOTBALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO SUN AND WIND.
- PLANTING PIT EXCAVATION: EXCAVATE FOR TREES WITH SLIGHTLY VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY CROWNED TO PROMOTE DRAINAGE. SOIL EXCAVATED FROM PITS WILL BE USED TO BACKFILL THE PLANTING PITS.
- ALL PLANTED AREAS WITHIN OR OUTSIDE THE LIMIT OF WORK WHICH ARE DISTURBED DURING CONSTRUCTION (INCLUDING PLANTING OPERATIONS) SHALL BE RETURNED TO ORIGINAL GRADE, LOAMED AND SEEDED OR MULCHED (AS APPROPRIATE) BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- TREE PLANTING: SEE DETAILS HEREIN FOR ADDITIONAL INFORMATION RELATED TO PLANTING PIT DIMENSIONS, PLANTING OPERATIONS, BACKFILLING, AND STAKING OF TREES.
- CONTAINER STOCK PLANTING: PLANT CONTAINER GROWN STOCK THE SAME AS SPECIFIED FOR BALLED AND BURLAPPED STOCK, BUT REMOVE CONTAINERS COMPLETELY.
- OBSTRUCTIONS: IF OBSTRUCTIONS OR OTHER CONDITIONS DETRIMENTAL TO HEALTHY PLANT GROWTH ARE ENCOUNTERED, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST ADDITIONAL INSTRUCTIONS.
- WATERING AND DRAINAGE: FILL EXCAVATIONS WITH WATER AND ALLOW WATER TO PERCOLATE OUT BEFORE PLANTING. IF PLANTING PITS DO NOT PERCOLATE OR DRAIN PROPERLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST ADDITIONAL INSTRUCTIONS PRIOR TO PLANTING. DO NOT PLANT INTO POORLY DRAINING PITS; POORLY DRAINING PLANTING PITS MAY HOLD WATER AND DROWN PLANTS.
- WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
13. ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING. BACKFILL TO ALLOW ROOM FOR 3" THICKNESS OF MULCH AFTER SETTLING, AND PLACE MULCH IN DISH AFTER FIRST WATERING AND WITHIN ONE WEEK OF PLANTING.
- PRUNING AND SHAPING: PRUNE, THIN OUT AND SHAPE PLANTS IN COMPLIANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN, HORTICULTURAL STANDARDS TO PRESERVE THE NATURAL CHARACTER AND ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT. RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT ALTER SHAPE AND DO NOT CUT LEADERS. REMOVE ALL DEAD WOOD, SUCKERS, BROKEN OR BRUISED BRANCHES, AND CROSSING BRANCHES.



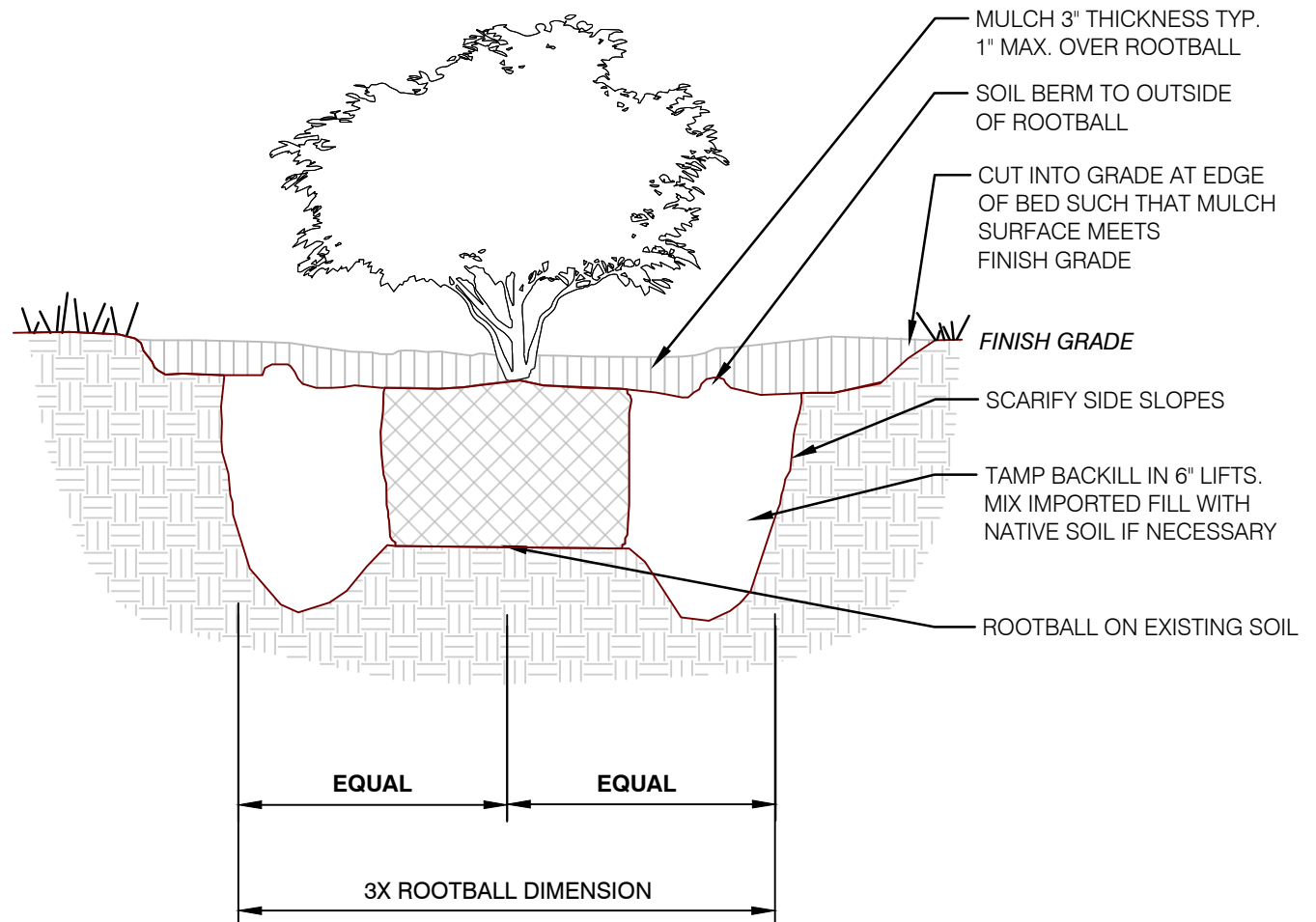
NOTES:

- ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.
- REMOVE TREE FROM CONTAINER OR REMOVE UPPER 1/3 OF BURLAP AND WIRE MESH FOR B&B TREES.
- SLICE ROOTBALL VERTICALLY ON OUTSIDE EDGES OF AND AROUND ROOTBALL.
- TREE TO BE PLUMB. STAKE TREE. SUBMIT TREE STAKING DETAILS AND LAYOUT FOR APPROVAL.

1 TREE PLANTING DETAIL

SCALE: N.T.S.

P-ED-01



2 SHRUB PLANTING DETAIL

SCALE: N.T.S.

P-ED-04



Know what's below.
Call before you dig.

LOCATION AND BUFFER TYPE	REQUIREMENT	PROVIDED
NORTH Timber S 1 70 Land Use Code: 5400	not required	not required
WEST Government Submerged Land Land Use Code 8095 Little Lake Harris Wetland Area	not required	not required
SOUTH Single Family Lakefront Land Use Code: 0103	not required	not required
EAST Public R.O.W TYPE A BUFFER 1,777 linear feet	20' WIDTH per 50 linear feet 1,777 LF/50 LF = 35.54 (2) CANOPY TREES = 35.54*2 = 71 CANOPY TREES (2) ORNAMENTAL TREES = 35.54*2 = 71 ORNAMENTAL TREES (1) SINGLE ROW OF SHRUBS	SOLID WALL (71) CANOPY TREES (71) ORNAMENTAL TREES (1) HEDGE ROW

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kaley@floraviedesign.com

PREPARED FOR:

RED JACKET DEVELOPMENT
CONTACT: CLAY FRANKEL
625 WALTHAM AVENUE
ORLANDO, FLORIDA 32409
PHONE: 407-855-1136

No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
Landscape Architect Certificate No.

Project No. 22-001


Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA**

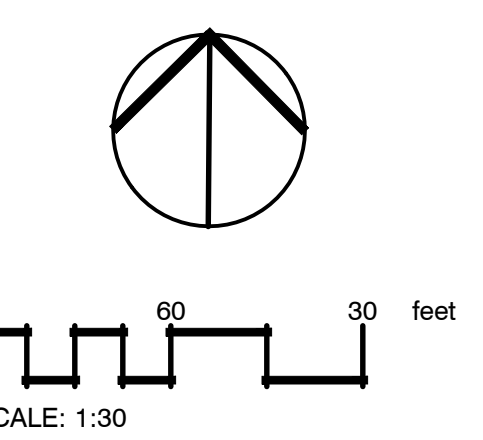
Sheet Title:
**LANDSCAPE CALCULATIONS,
NOTES, AND DETAILS**

Designed: KMD Sheet No.:
Drawn: ZRR
Checked: KMD **L200**
Date: 01/12/2022



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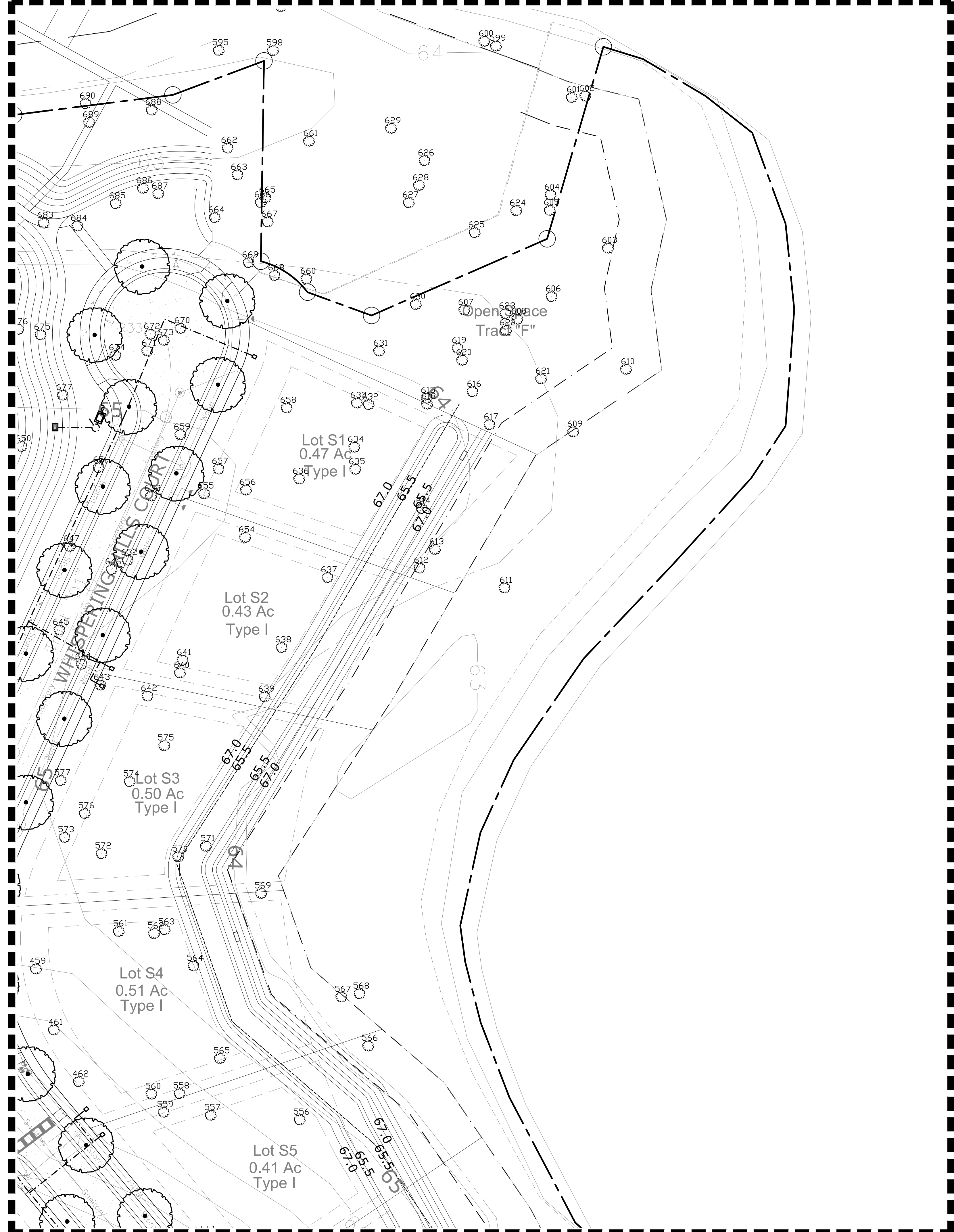
Project No: 22-001

Project Phase: CITY SUBMITTAL

Project Title:
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 HOWEY-IN-THE-HILLS,
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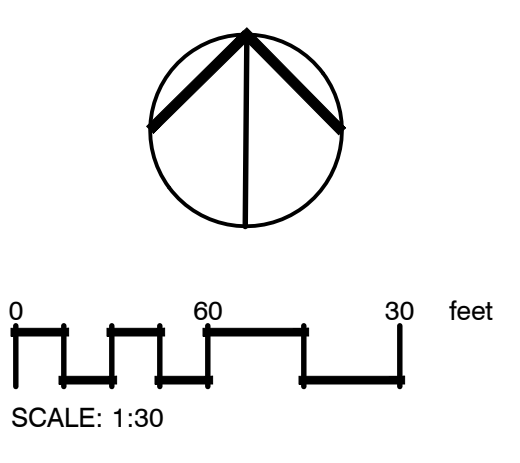
Sheet Title:
LANDSCAPE PLAN

Designed: KMD	Sheet No.:
Drawn: ZRR	L201
Checked: KMD	
Date: 01/12/2022	



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RED JACKET DEVELOPMENT
 CONTACT: CLAY FRANKEL
 625 WALTHAM AVENUE
 ORLANDO, FLORIDA 32409
 PHONE: 407-855-1136



No.	Date	Comment
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

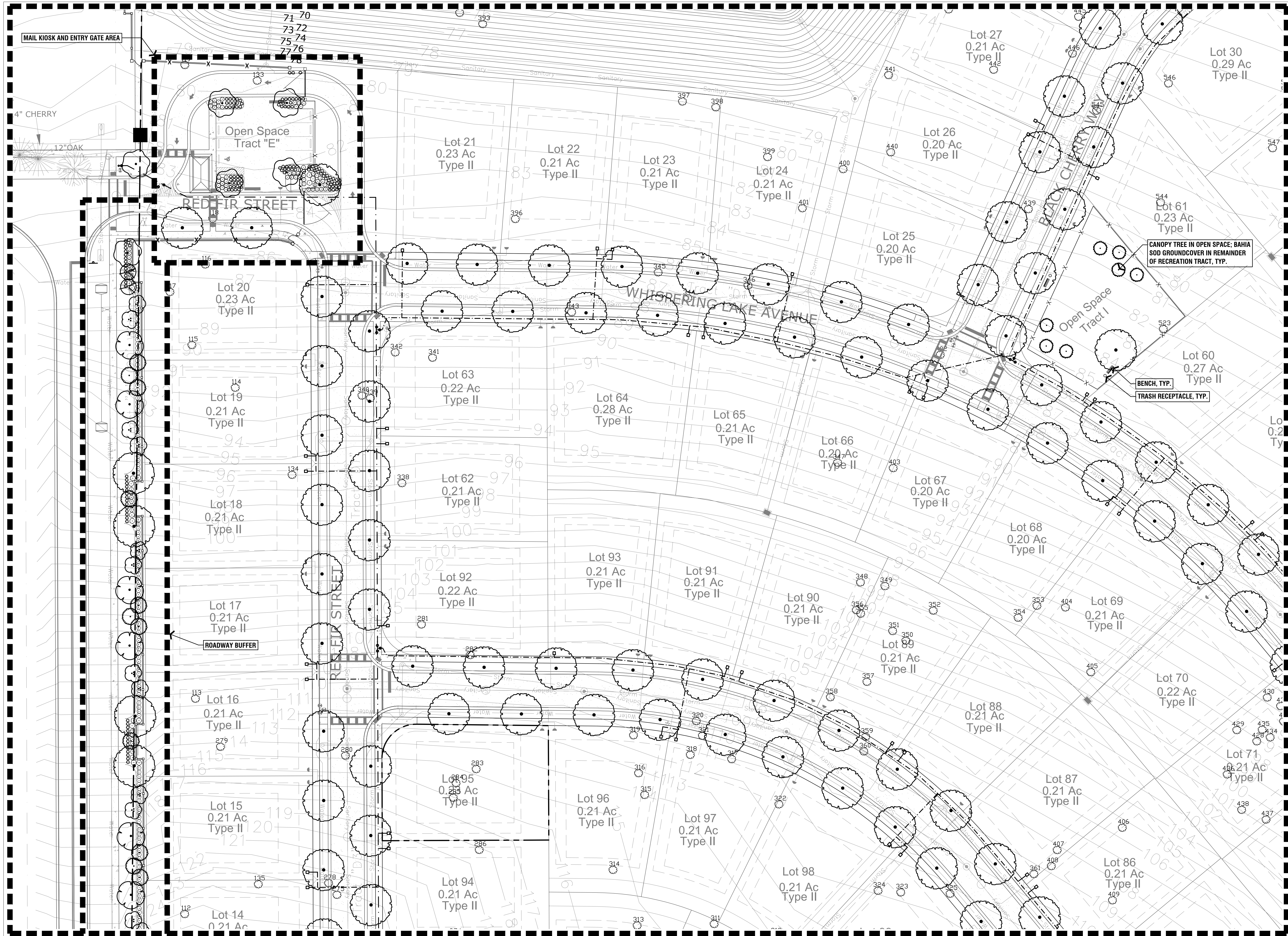
Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

Project No: 22-001
 Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
LANDSCAPE PLAN

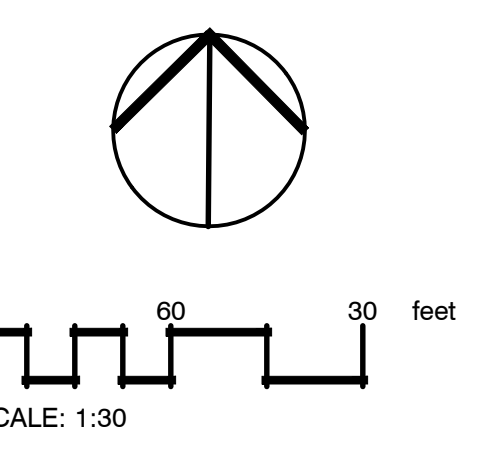
Designed: KMD	Sheet No.:
Drawn: ZRR	L201
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Date: 01/12/2022	



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No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

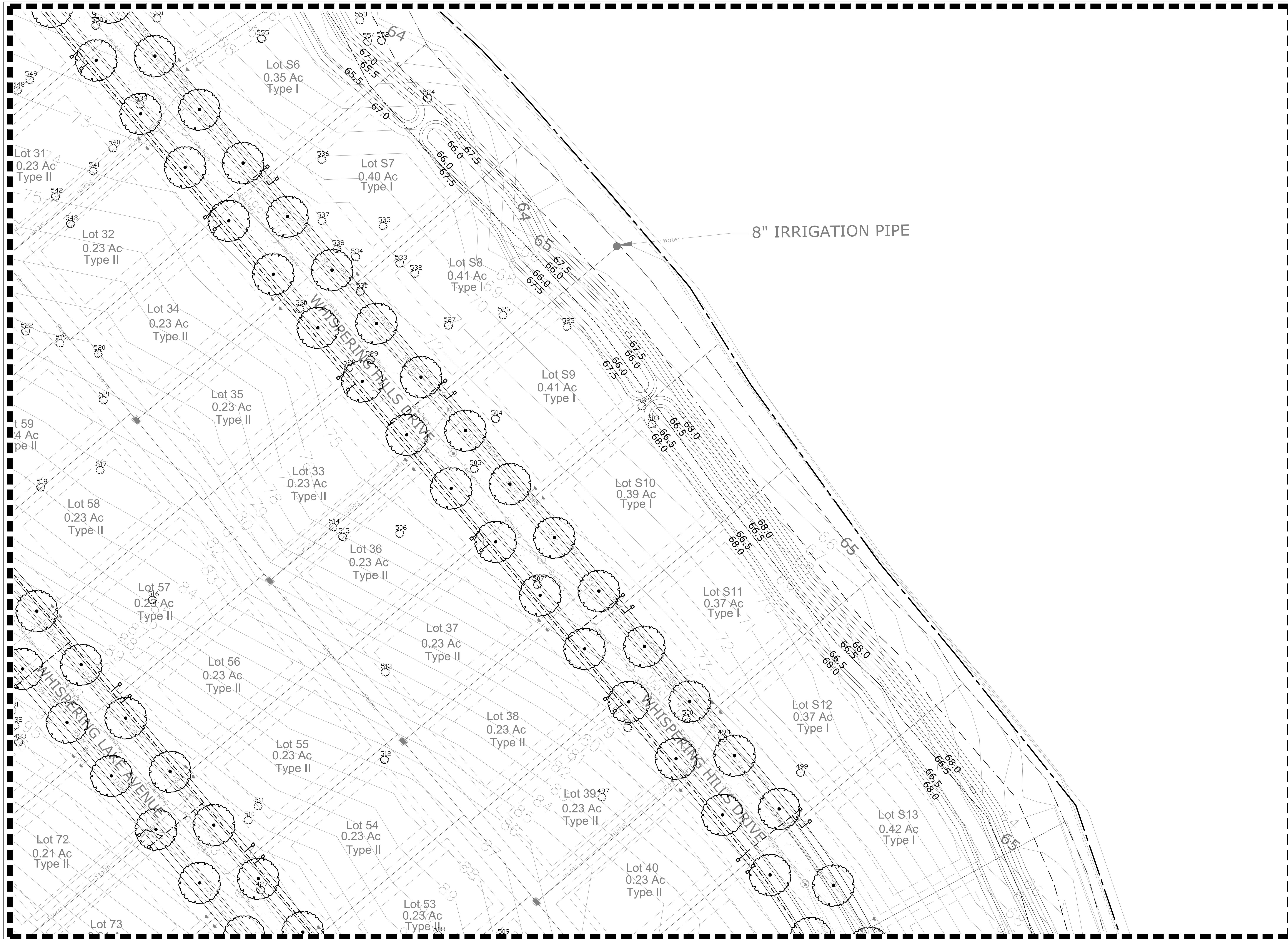
Kaley M. Dunlap, PLA
 Landscape Architect
 Project No: 22-001
 License No: LA6667256
 Certificate No.

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
LANDSCAPE PLAN

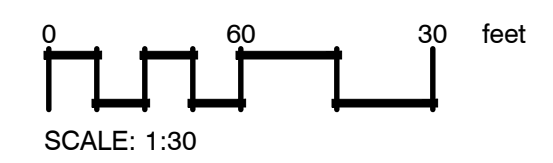
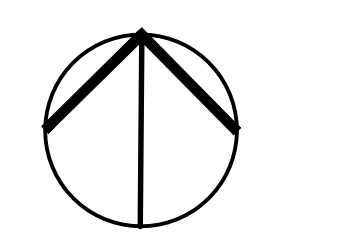
Designed: KMD
 Drawn: ZPR
 Checked: KMD
 Date: 01/12/2022
 Sheet No.:
L203



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SCALE: 1:30

No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

Project No: 22-001

Project Phase: CITY SUBMITTAL

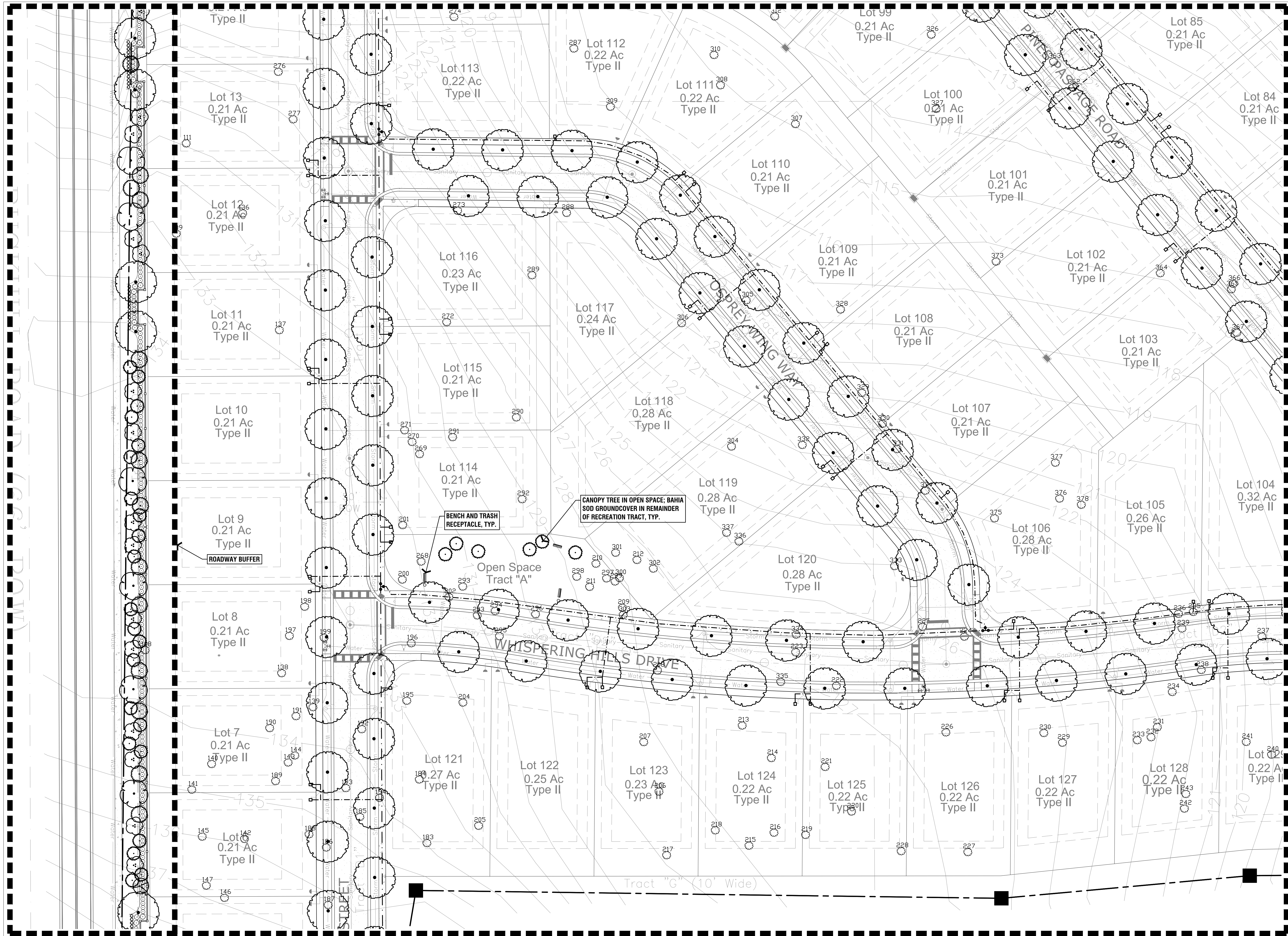
Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
LANDSCAPE PLAN

Designed: KMD Sheet No.:

Drawn: ZRR **L204**

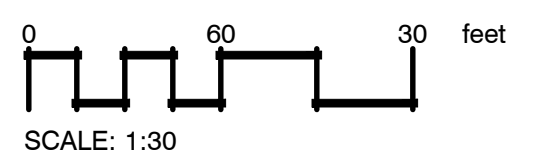
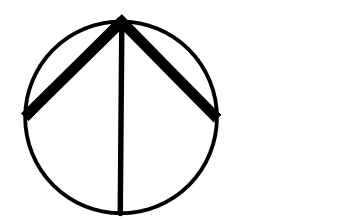
Checked: KMD
 Date: 01/12/2022



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No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

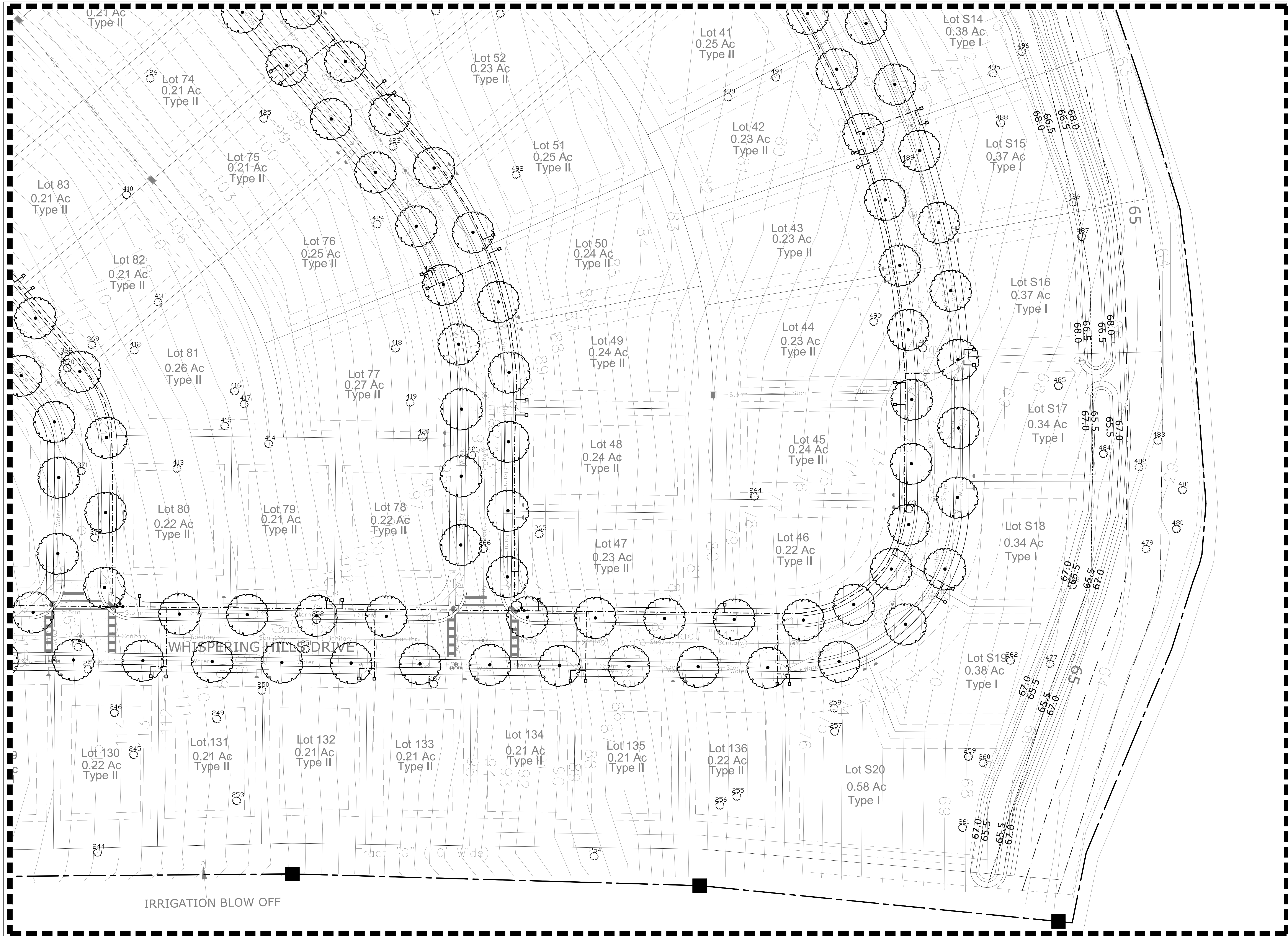
Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA
 Landscape Architect
 Project No. 22-001
 License No. LA6667256
 Certificate No.

Project Phase: CITY SUBMITTAL
 Project Title: **WHISPERING HEIGHTS SUBDIVISION HOWEY-IN-THE-HILLS, LAKE COUNTY, FLORIDA**

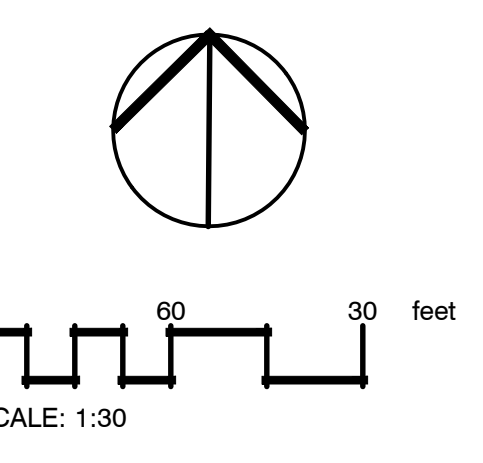
Sheet Title: **LANDSCAPE PLAN**

Designed: KMD
 Drawn: ZPR
 Checked: KMD
 Date: 01/12/2022
 Sheet No.: **L205**



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No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

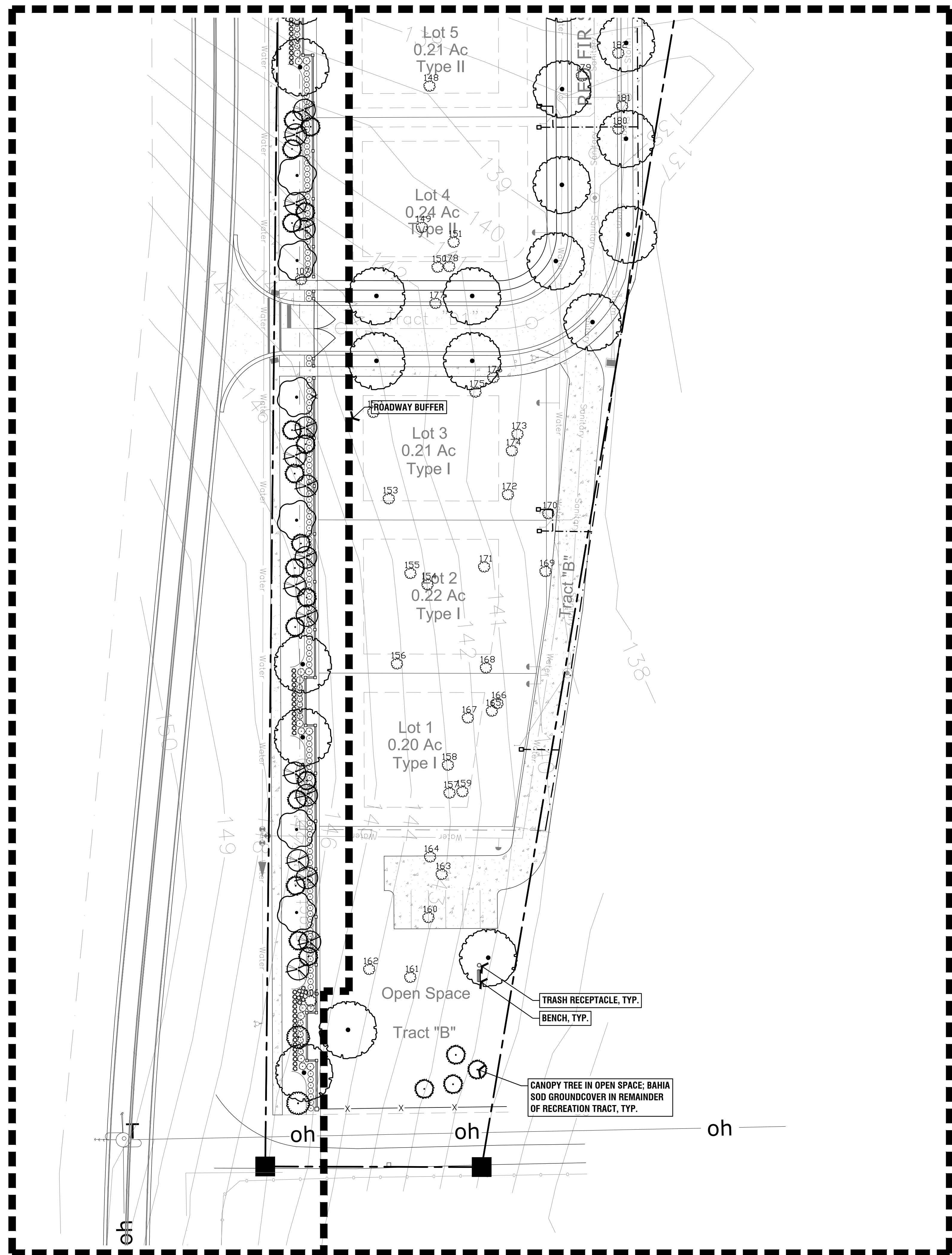
Kaley M. Dunlap, PLA
 Landscape Architect
 Project No. 22-001
 LA6667256
 Certificate No.

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
LANDSCAPE PLAN

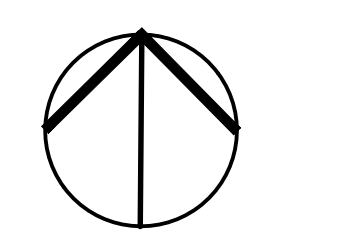
Designed: KMD
 Drawn: ZPR
 Checked: KMD
 Date: 01/12/2022
 Sheet No.:
L206



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 PHONE: 407-855-1136



0 60 30 feet
 SCALE: 1:30

No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

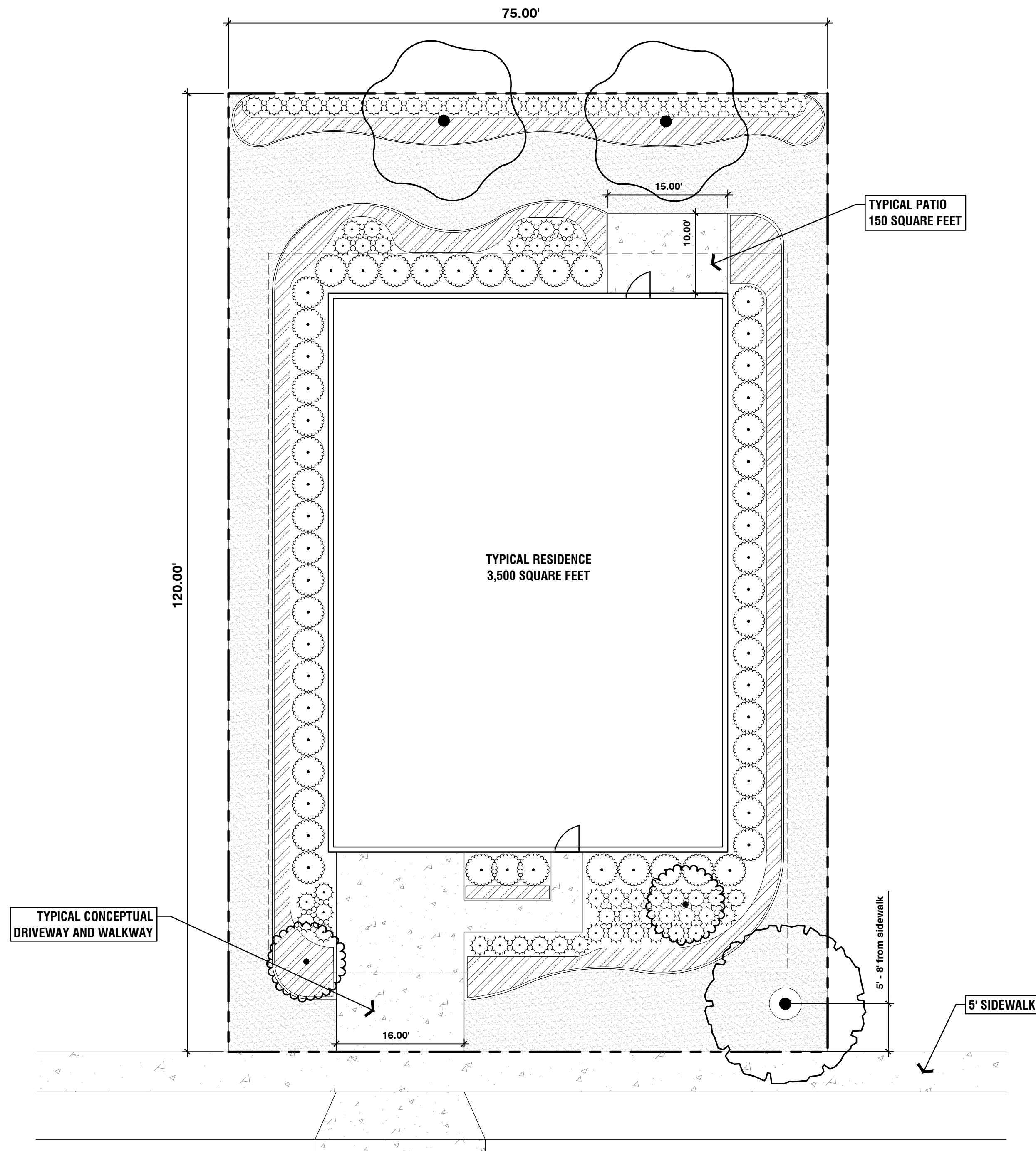
Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
LANDSCAPE PLAN

Designed: KMD	Sheet No.:
Drawn: ZRR	L207
Checked: KMD	
Date: 01/12/2022	



7.08.01 Required Landscaping

- A. For single family lots that are one half acre or less in size, a minimum of three (3) canopy trees is required. Each such single family lot will be required to have one tree with a caliper of at least four inches (4") and two (2) trees each with a caliper of at least two and one half inches (4 2½"). These trees shall have a minimum height of 10 feet at time of planting. These trees should be canopy trees as listed in this chapter. Existing trees may be counted as meeting this requirement, as long as they are of sufficient size and accepted species. One of the canopy trees on each such single-family lot shall be planted in the front yard, no less than 5 feet and no more than 8 feet from the sidewalk or lot line. These trees will help to form a canopy over the sidewalk and street sides. Corner lots are required to provide two such trees, one on the front and one on the side of the lot. Additionally, if the lot is more than 100 feet wide at the sidewalk, then the lot will be required to have two such trees. Existing trees in this specific area can be counted as meeting this requirement. These trees shall be coordinated with the placement of streetlights to prevent conflicts. A list of approved canopy trees is included in this chapter.
- B. A minimum of two (2) understory trees are required for single family lots of one-half acre or less in size. For lots greater than one half acre in size, an additional understory tree is required for each additional one quarter of an acre above the one-half acre, or portion thereof.
- C. A maximum of fifty percent (50%) of the landscaped area may be covered with other ground covers should be used to the extent possible.
- D. Shrubs and other plants shall be used as foundation plants along the outline of the house, except where doors or patios are located. Alternate plantings may be permitted if the architectural style of the house warrants it.
- E. A minimum of two areas of the yard that have at least 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required. For single family lots greater than one half acre in size, an additional 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required for each additional eighth of an acre, or portion thereof.
- F. At least 50% of the landscaped area for each single-family lot shall be drought tolerant or Florida Friendly plants. Florida Friendly plants require a minimum of irrigation and shall be grouped together on the lot in order to reduce the irrigation requirement for those zones.

TYPICAL CALCULATIONS

TOTAL LOT SIZE: 9,000 SQUARE FEET
 PERVIOUS AREA: 4,801 SQUARE FEET
 50% MAX SOD AREA: 2,400.5 SQUARE FEET

PROVIDED SOD AREA: 2,339 SQUARE FEET
 48.7% SOD AREA
REQUIREMENT SATISFIED.

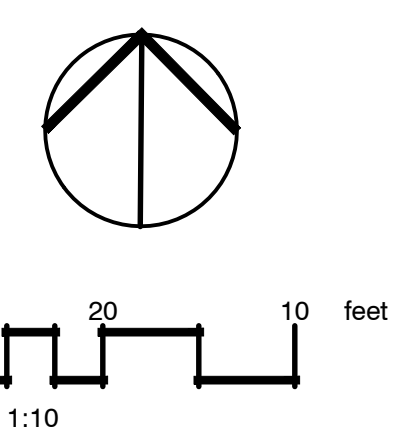
CONCEPT PLANT SCHEDULE TYPICAL LOT LAYOUT

	LARGE CANOPY Magnolia grandiflora / Southern Magnolia Quercus virginiana / Southern Live Oak	1	4" Cal., 10' Ht. 4" Cal., 10' Ht.
	SMALL CANOPY Acer rubrum / Red Maple Platanus occidentalis / American Sycamore Quercus shumardii / Shumard Oak	2	2.5" Cal., 10' Ht. 2.5" Cal., 10' Ht. 2.5" Cal., 10' Ht.
	UNDERSTORY Ilex opaca / American Holly Lagerstroemia indica / Multi-trunk Crape Myrtle Ligustrum japonicum / Multi-trunk Japanese Privet Sabal palmetto / Cabbage Palmetto	2	2.5" Cal., 8' Ht. 1.5" Cal. Canes, 8' Ht. 1.5" Cal. Canes, 8' Ht. FG, 8' Clear Trunk, Slick
	FOUNDATION SHRUB Hamelia patens 'Firefly' / Firefly Firebush Illicium floridanum / Florida Anise Viburnum suspensum / Sandankwa Viburnum	54	7 gal., 24"x24", Full 7 gal., 24"x24", Full 7 gal., 24"x24", Full
	SMALL SHRUBS AND GRASSES Hypericum perforatum / St. John's Wort Muhlenbergia capillaris / Pink Muhly Grass Rhapiolepis indica / Indian Hawthorn Sabal minor / Dwarf Palmetto Zamia pumila / Coontie Cycad	72	3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15"
	GROUNDCOVERS Arachis glabrata / Perennial Peanut Lantana camara / Lantana Liriope muscari / Lilyturf Trachelospermum asiaticum / Asiatic Jasmine	853 sf	1 gal. 1 gal. 1 gal. 1 gal.
	SOD Stenotaphrum secundatum / St. Augustine Grass	2,339 sf	---

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 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

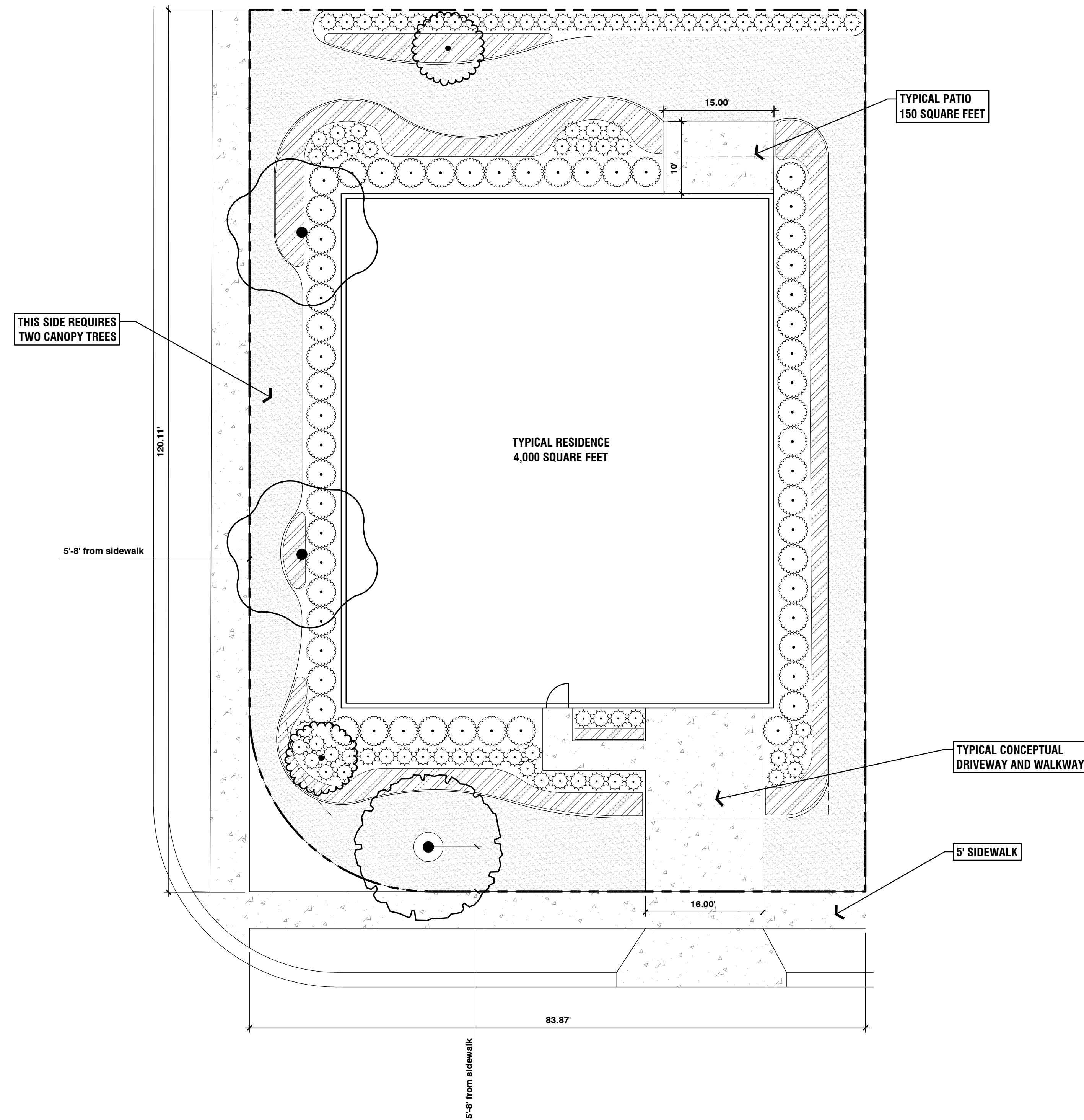
Project No: 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
**TYPICAL LOT
 LANDSCAPE PLAN**

Designed: KMD Sheet No:
 Drawn: ZRR
 Checked: KMD **L300**
 Date: 01/12/2022



7.08.01 Required Landscaping

- A. For single family lots that are one half acre or less in size, a minimum of three (3) canopy trees is required. Each such single family lot will be required to have one tree with a caliper of at least four inches (4") and two (2) trees each with a caliper of at least two and one half inches (4 2½"). These trees shall have a minimum height of 10 feet at time of planting. These trees should be canopy trees as listed in this chapter. Existing trees may be counted as meeting this requirement, as long as they are of sufficient size and accepted species. One of the canopy trees on each such single-family lot shall be planted in the front yard, no less than 5 feet and no more than 8 feet from the sidewalk or lot line. These trees will help to form a canopy over the sidewalk and street sides. Corner lots are required to provide two such trees, one on the front and one on the side of the lot. Additionally, if the lot is more than 100 feet wide at the sidewalk, then the lot will be required to have two such trees. Existing trees in this specific area can be counted as meeting this requirement. These trees shall be coordinated with the placement of streetlights to prevent conflicts. A list of approved canopy trees is included in this chapter.
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- C. A maximum of fifty percent (50%) of the landscaped area may be covered with other ground covers should be used to the extent possible.
- D. Shrubs and other plants shall be used as foundation plants along the outline of the house, except where doors or patios are located. Alternate plantings may be permitted if the architectural style of the house warrants it.
- E. A minimum of two areas of the yard that have at least 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required. For single family lots greater than one half acre in size, an additional 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required for each additional eighth of an acre, or portion thereof.
- F. At least 50% of the landscaped area for each single-family lot shall be drought tolerant or Florida Friendly plants. Florida Friendly plants require a minimum of irrigation and shall be grouped together on the lot in order to reduce the irrigation requirement for those zones.

TYPICAL CALCULATIONS

TOTAL LOT SIZE: 9,900 SQUARE FEET
 PERVIOUS AREA: 5,276 SQUARE FEET
 50% MAX SOD AREA: 2,638 SQUARE FEET

PROVIDED SOD AREA: 2,529 SQUARE FEET
 47.9% SOD AREA
REQUIREMENT SATISFIED.

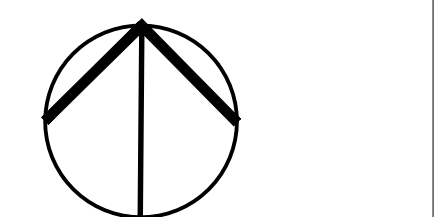
CONCEPT PLANT SCHEDULE TYPICAL CORNER LOT

	LARGE CANOPY Magnolia grandiflora / Southern Magnolia Quercus virginiana / Southern Live Oak	1	4" Cal., 10' Ht. 4" Cal., 10' Ht.
	SMALL CANOPY Acer rubrum / Red Maple Platanus occidentalis / American Sycamore Quercus shumardii / Shumard Oak	2	2.5" Cal., 10' Ht. 2.5" Cal., 10' Ht. 2.5" Cal., 10' Ht.
	UNDERSTORY Ilex opaca / American Holly Lagerstroemia indica / Multi-trunk Crape Myrtle Ligustrum japonicum / Multi-trunk Japanese Privet Sabal palmetto / Cabbage Palmetto	2	2.5" Cal., 8' Ht. 1.5" Cal. Canes, 8' Ht. 1.5" Cal. Canes, 8' Ht. FG, 8' Clear Trunk, Stick
	FOUNDATION SHRUB Hamelia patens 'Firefly' / Firefly Firebush Illicium floridanum / Florida Anise Viburnum suspensum / Sandankwa Viburnum	57	7 gal., 24"x24", Full 7 gal., 24"x24", Full 7 gal., 24"x24", Full
	SMALL SHRUBS AND GRASSES Hypericum perforatum / St. John's Wort Muhlenbergia capillaris / Pink Muhly Grass Raphiolepis indica / Indian Hawthorn Sabal minor / Dwarf Palmetto Zamia pumila / Coontie Cycad	78	3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15"
	GROUNDCOVERS Arachis glabrata / Perennial Peanut Lantana camara / Lantana Liriope muscari / Lilyturf Trachelospermum asiaticum / Asiatic Jasmine	798 sf	1 gal. 1 gal. 1 gal. 1 gal.
	SOD Stenotaphrum secundatum / St. Augustine Grass	2,529 sf	---

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0 20 10 feet
 SCALE: 1:10

No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

Project No: 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

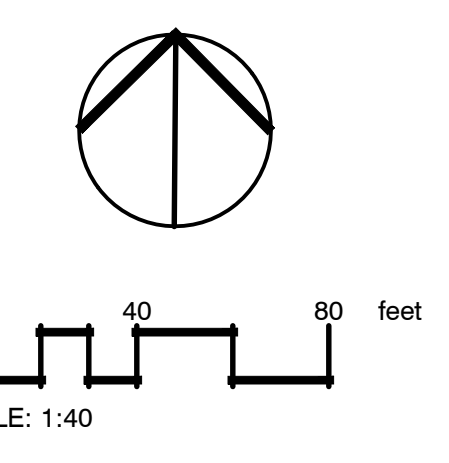
Sheet Title:
**TYPICAL LOT
 LANDSCAPE PLAN**

Designed: KMD Sheet No:
 Drawn: ZRR
 Checked: KMD **L301**
 Date: 01/12/2022



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 ORLANDO, FLORIDA 32409
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No.	Date	Comment

Professional Landscape Architect of Record:

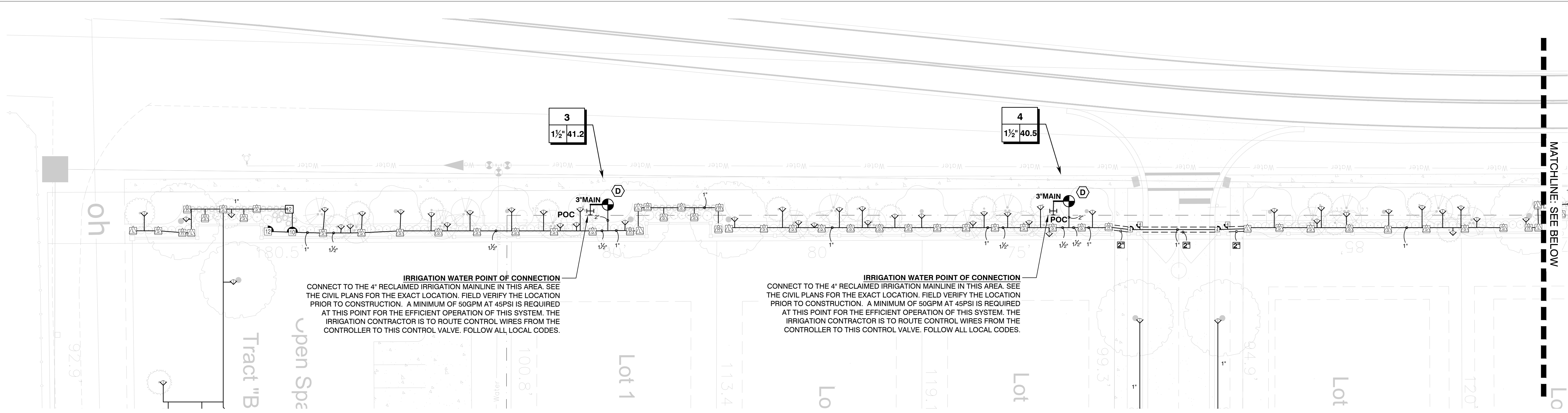
Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

Project No: 22-001
 Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HEIGHTS SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

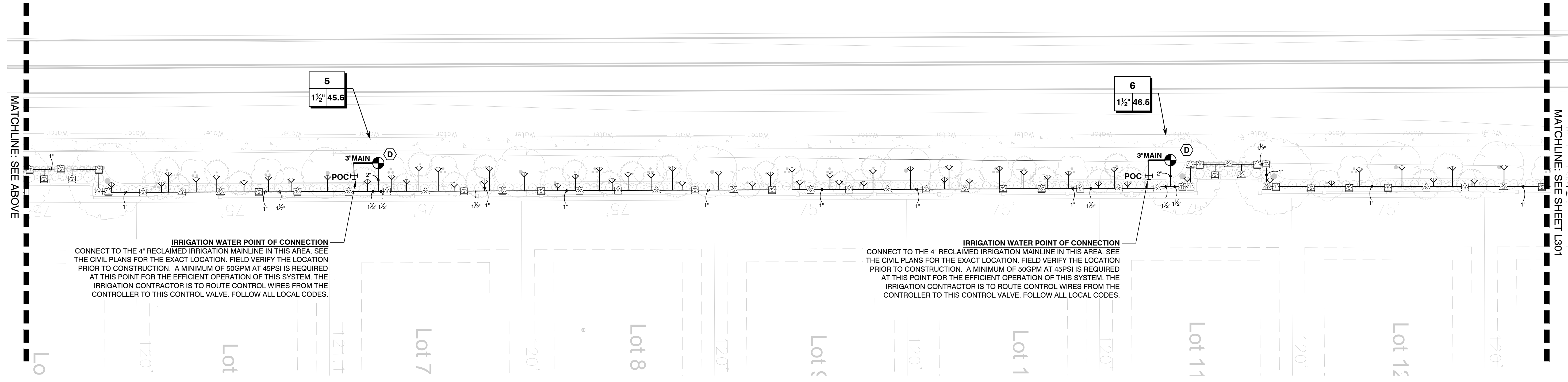
Sheet Title:
LANDSCAPE PLAN

Designed: KMD	Sheet No.:
Drawn: ZPR	L301
Checked: KMD	
Date: 01/12/2022	



IRRIGATION WATER POINT OF CONNECTION
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

IRRIGATION WATER POINT OF CONNECTION
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.



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IRRIGATION WATER POINT OF CONNECTION
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

MATCHLINE: SEE BELOW

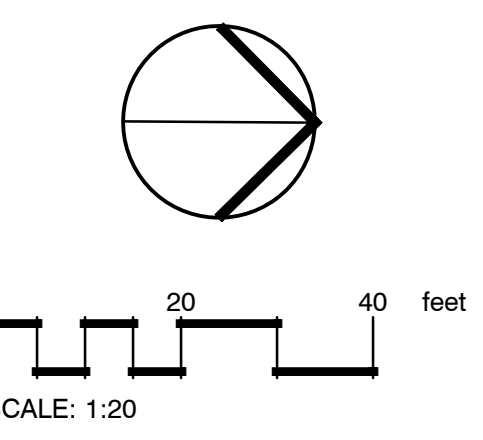
MATCHLINE: SEE ABOVE

MATCHLINE: SEE SHEET L301

PREPARED BY:

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 CONTACT: CLAY FRANKEL
 825 WALTHAM AVENUE
 ORLANDO, FLORIDA 32409
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
 Landscape Architect Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L300
Checked: KMD	
Date: 01/12/22	

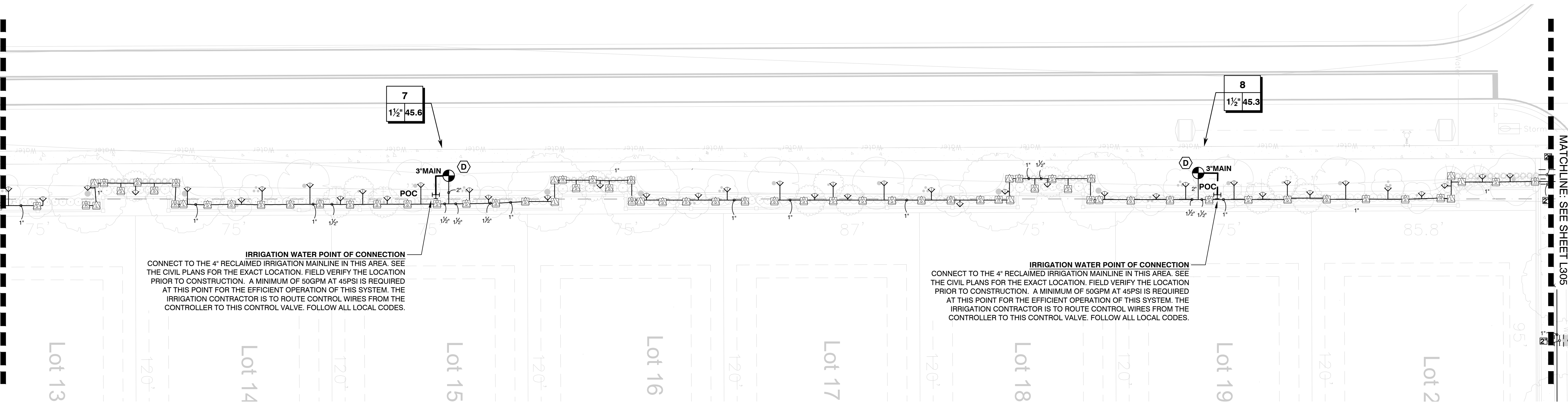
NOT FOR CONSTRUCTION.
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.



TWO DAYS BEFORE YOU DIG
 CALL TOLL FREE
 1.800.422.4133
 UNDERGROUND SERVICE ALERT

MATCHLINE: SEE SHEET L300

MATCHLINE: SEE SHEET L305



IRRIGATION WATER POINT OF CONNECTION
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

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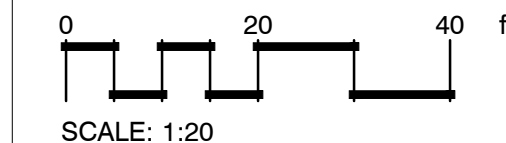
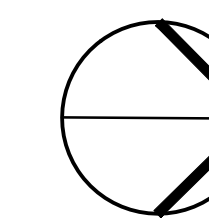
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floravie
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PREPARED FOR:

RED JACKET DEVELOPMENT
 CONTACT: CLAY FRANKEL
 825 WALTHAM AVENUE
 ORLANDO, FLORIDA 32409
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA
 Landscape Architect

LA0667256
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS

Drawn: CAZ

Checked: KMD

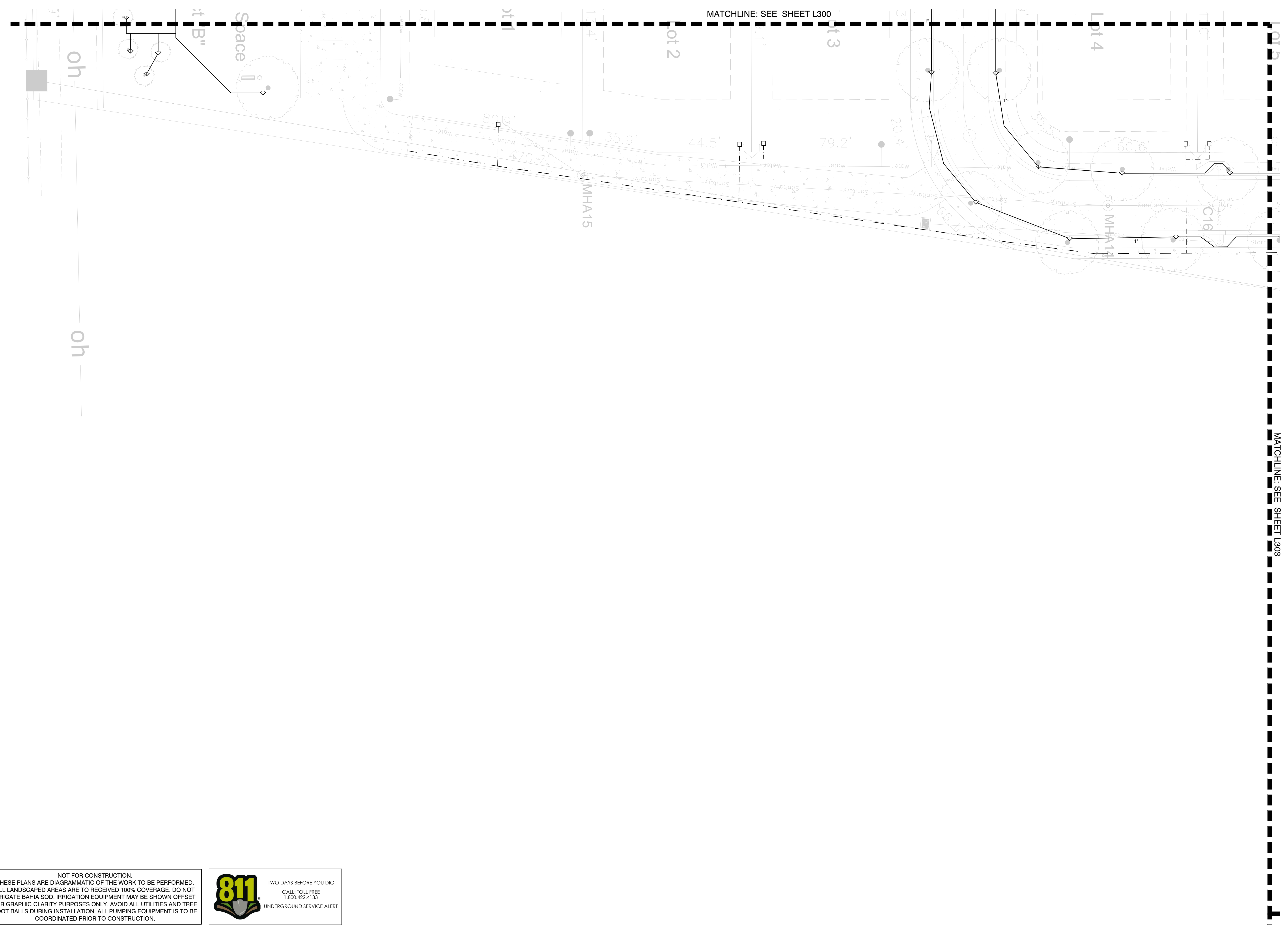
Date: 01/12/22

Sheet No.:

L301

NOT FOR CONSTRUCTION.
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MATCHLINE: SEE SHEET L300

MATCHLINE: SEE SHEET L303

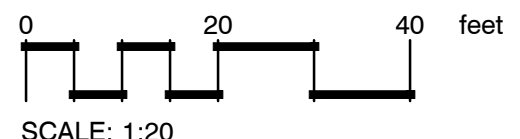
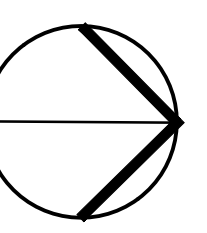
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SCALE: 1:20

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA
 Landscape Architect

LA0667256
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

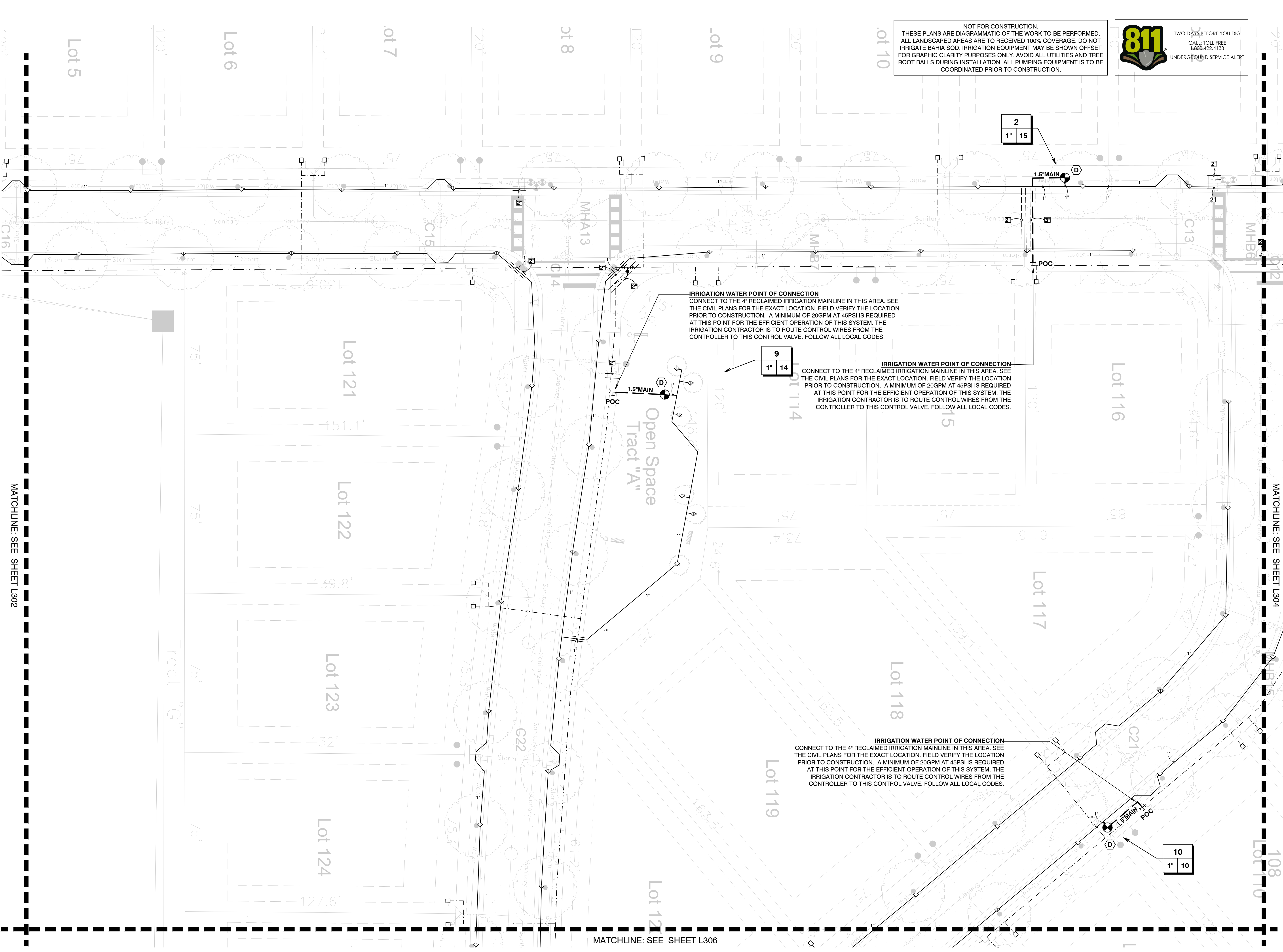
Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L302
Checked: KMD	
Date: 01/12/22	

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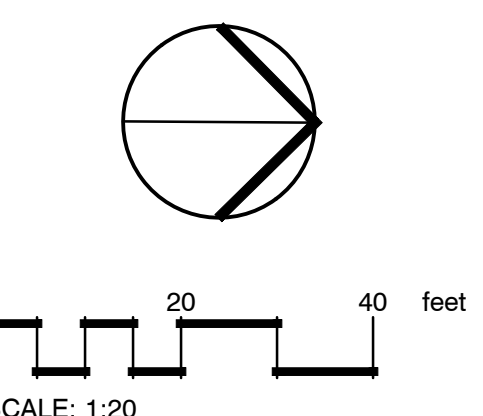
IRRIGATION WATER POINT OF CONNECTION
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Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS
 Drawn: CAZ
 Checked: KMD
 Date: 01/12/22

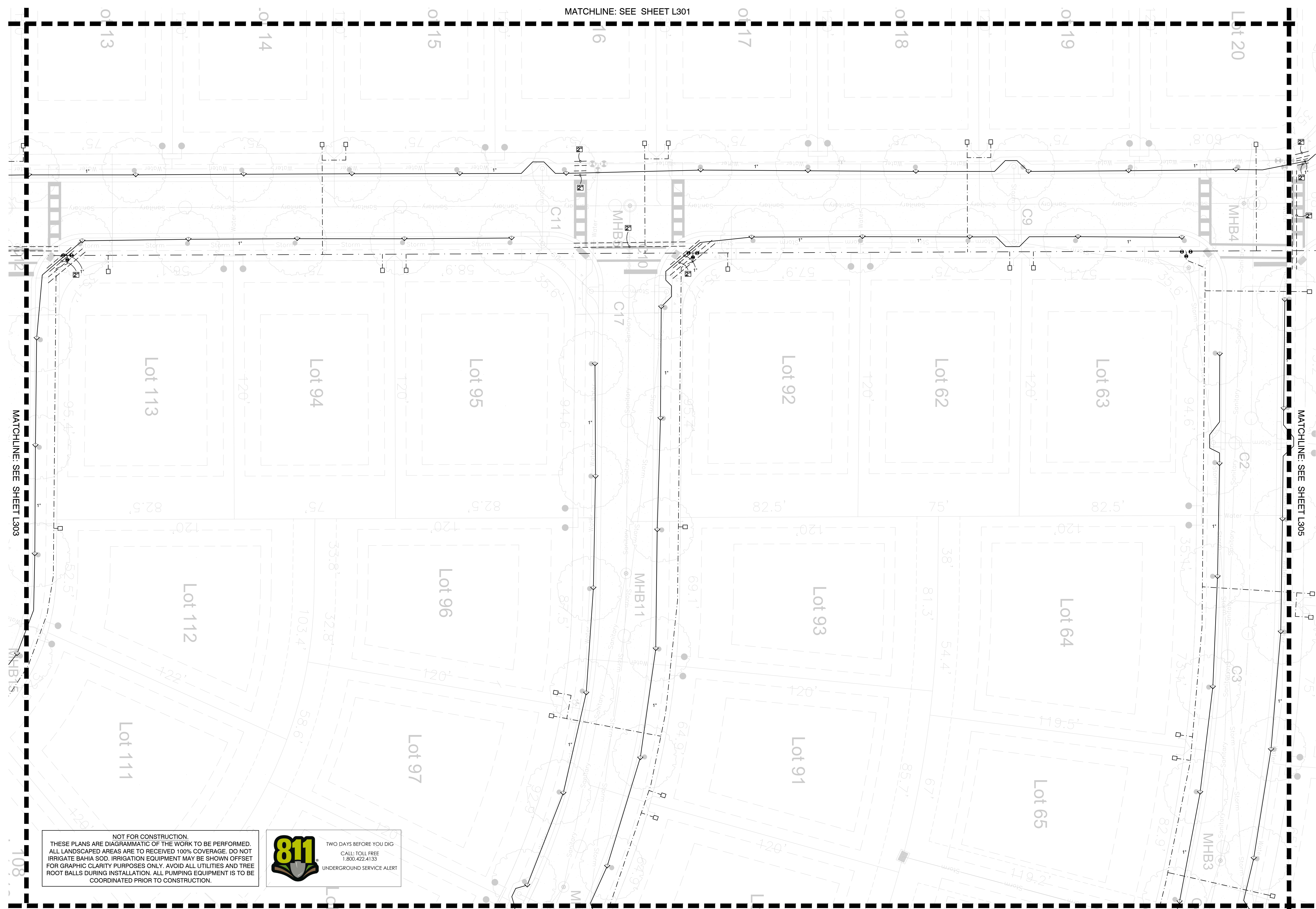
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L303

MATCHLINE: SEE SHEET L302

MATCHLINE: SEE SHEET L306

MATCHLINE: SEE SHEET L304

MATCHLINE: SEE SHEET L308



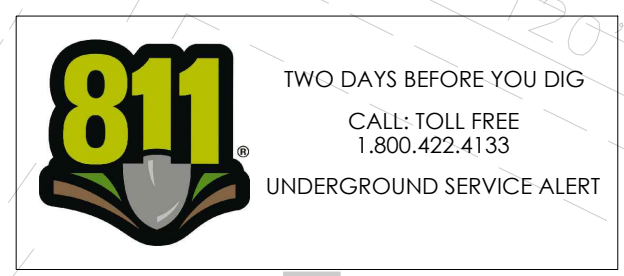
MATCHLINE: SEE SHEET L301

MATCHLINE: SEE SHEET L307

MATCHLINE: SEE SHEET L303

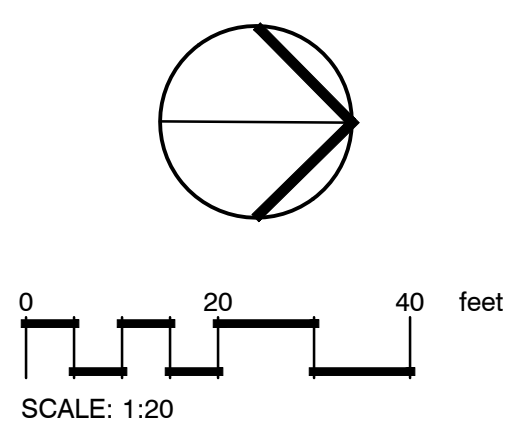
MATCHLINE: SEE SHEET L305

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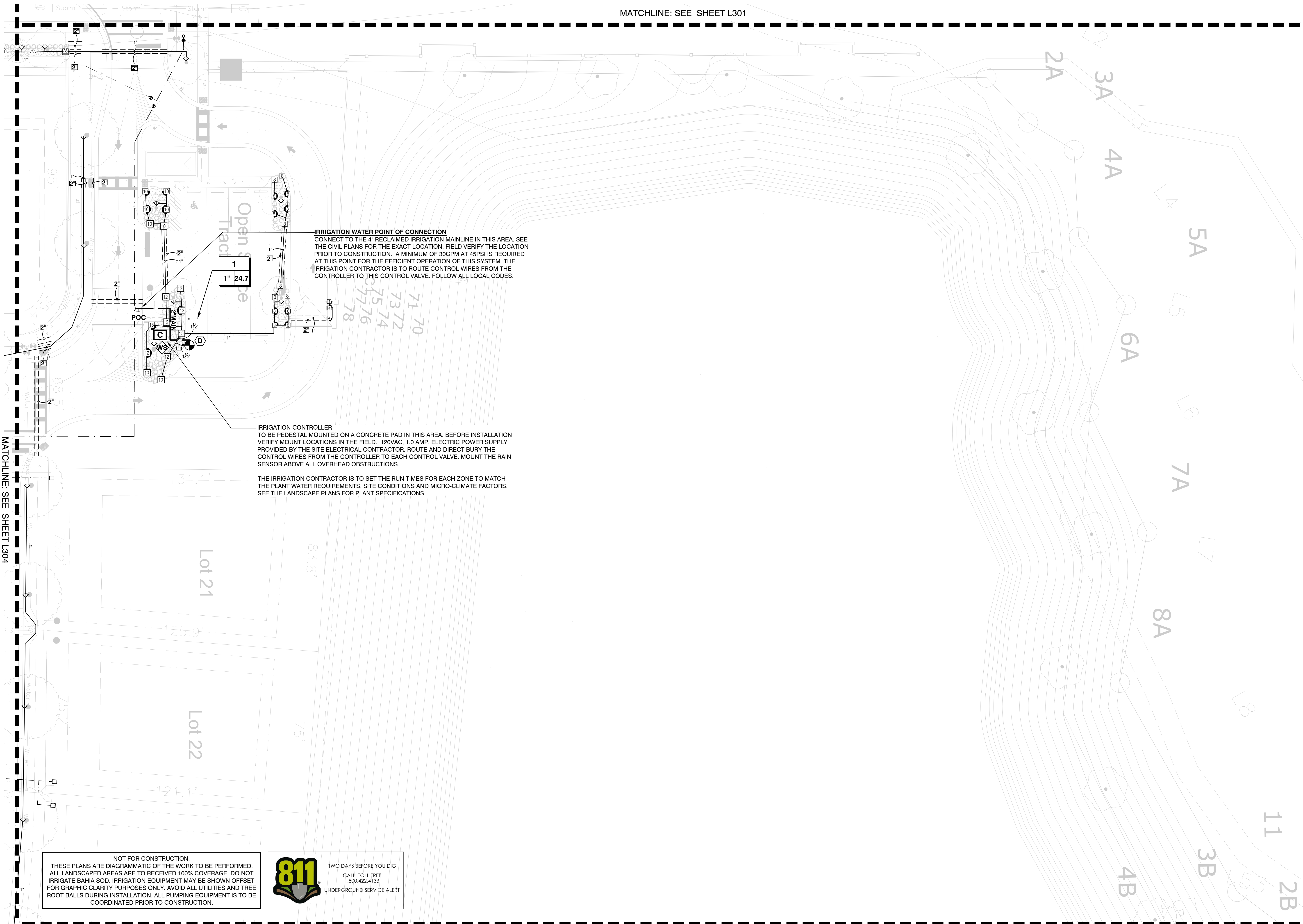
Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L304
Checked: KMD	
Date: 01/12/22	

MATCHLINE: SEE SHEET L301



IRRIGATION WATER POINT OF CONNECTION
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IRRIGATION CONTROLLER
 TO BE PEDESTAL MOUNTED ON A CONCRETE PAD IN THIS AREA. BEFORE INSTALLATION VERIFY MOUNT LOCATIONS IN THE FIELD. 120VAC, 1.0 AMP. ELECTRIC POWER SUPPLY PROVIDED BY THE SITE ELECTRICAL CONTRACTOR. ROUTE AND DIRECT BURY THE CONTROL WIRES FROM THE CONTROLLER TO EACH CONTROL VALVE. MOUNT THE RAIN SENSOR ABOVE ALL OVERHEAD OBSTRUCTIONS.

THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

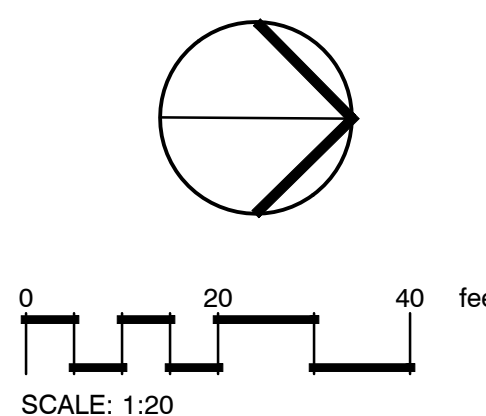
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MATCHLINE: SEE SHEET L308

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No.	Date	Comment

Professional Landscape Architect of Record:

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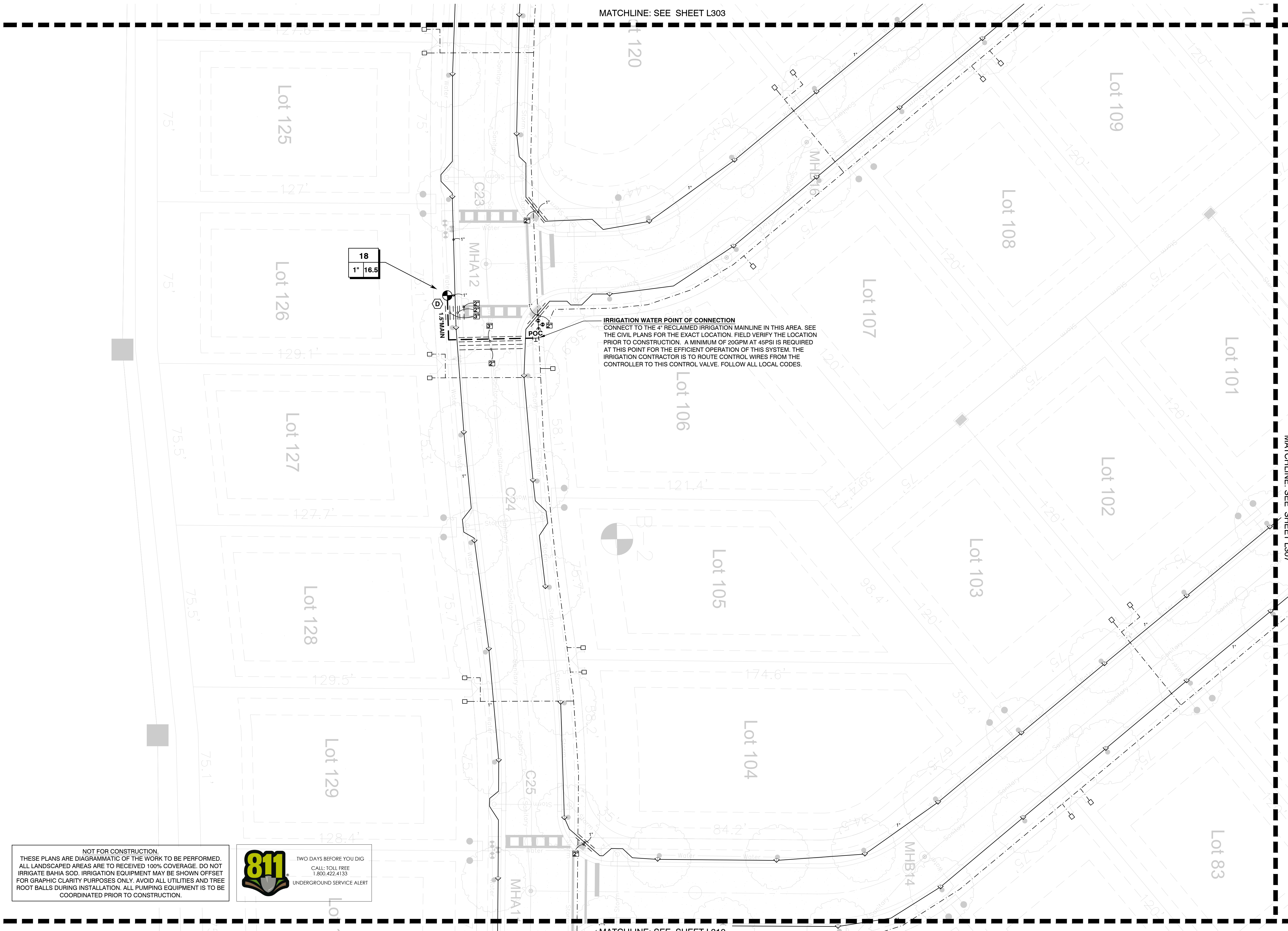
Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L305
Checked: KMD	
Date: 01/12/22	



MATCHLINE: SEE SHEET L303

MATCHLINE: SEE SHEET L307

MATCHLINE: SEE SHEET L310

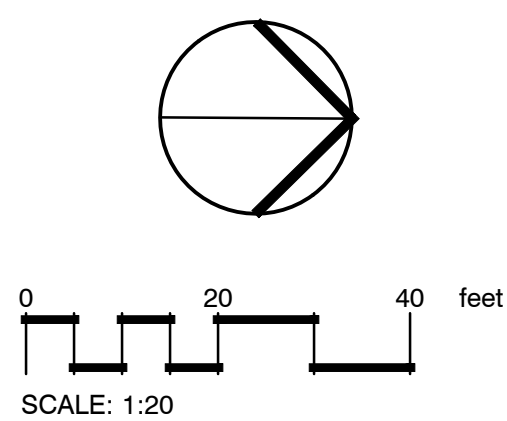
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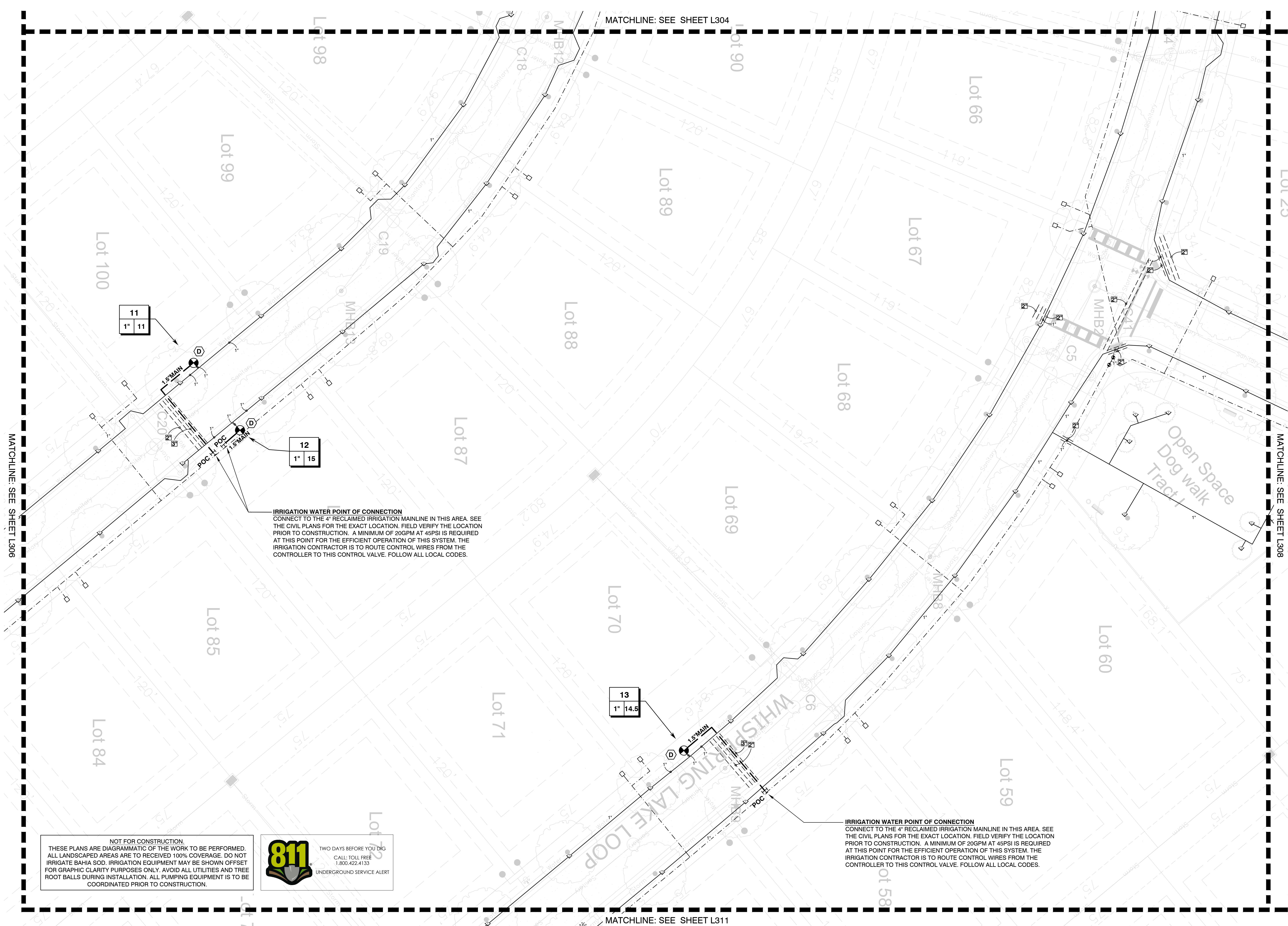
Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L306
Checked: KMD	
Date: 01/12/22	



MATCHLINE: SEE SHEET L306

MATCHLINE: SEE SHEET L308

MATCHLINE: SEE SHEET L304

MATCHLINE: SEE SHEET L311

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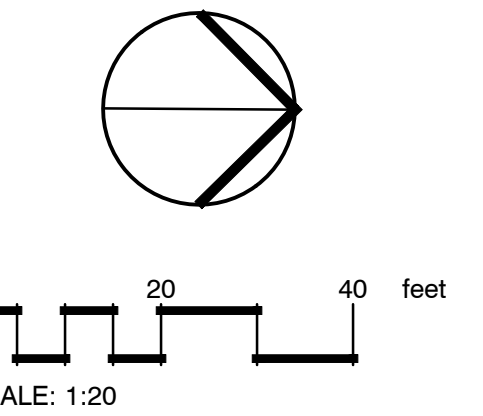
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 1.800.422.4133
 UNDERGROUND SERVICE ALERT

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No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA
 Landscape Architect
 Certificate No. LA6667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
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 LAKE COUNTY, FLORIDA**

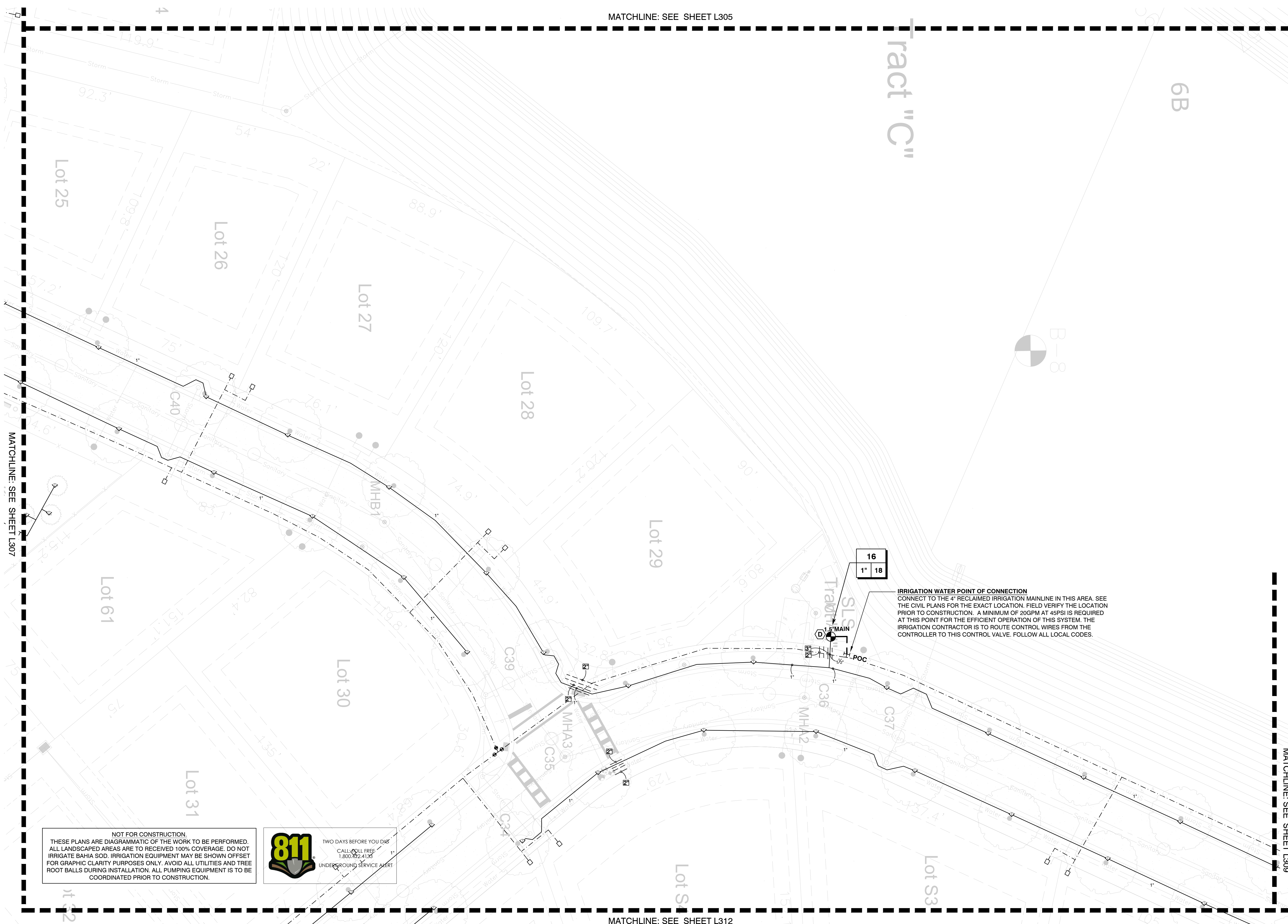
Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L307
Checked: KMD	
Date: 01/12/22	

MATCHLINE: SEE SHEET L305

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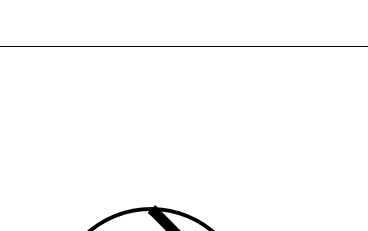
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SCALE: 1:20

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Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS
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Sheet No.:
L308

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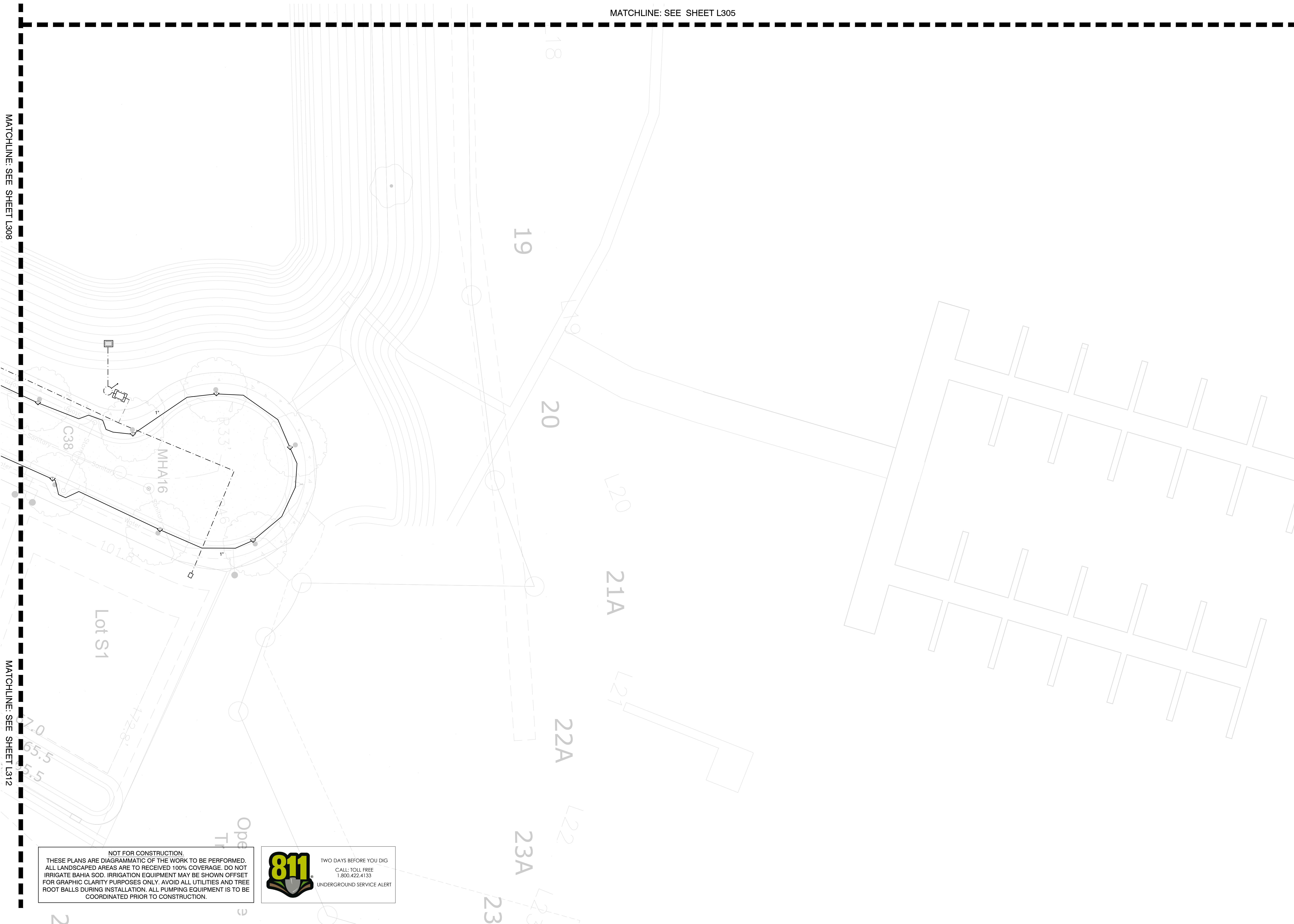
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MATCHLINE: SEE SHEET L305

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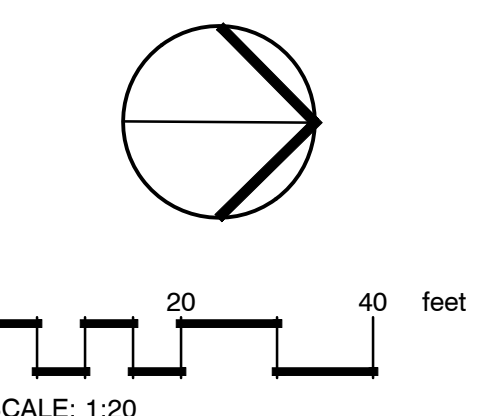
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Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:

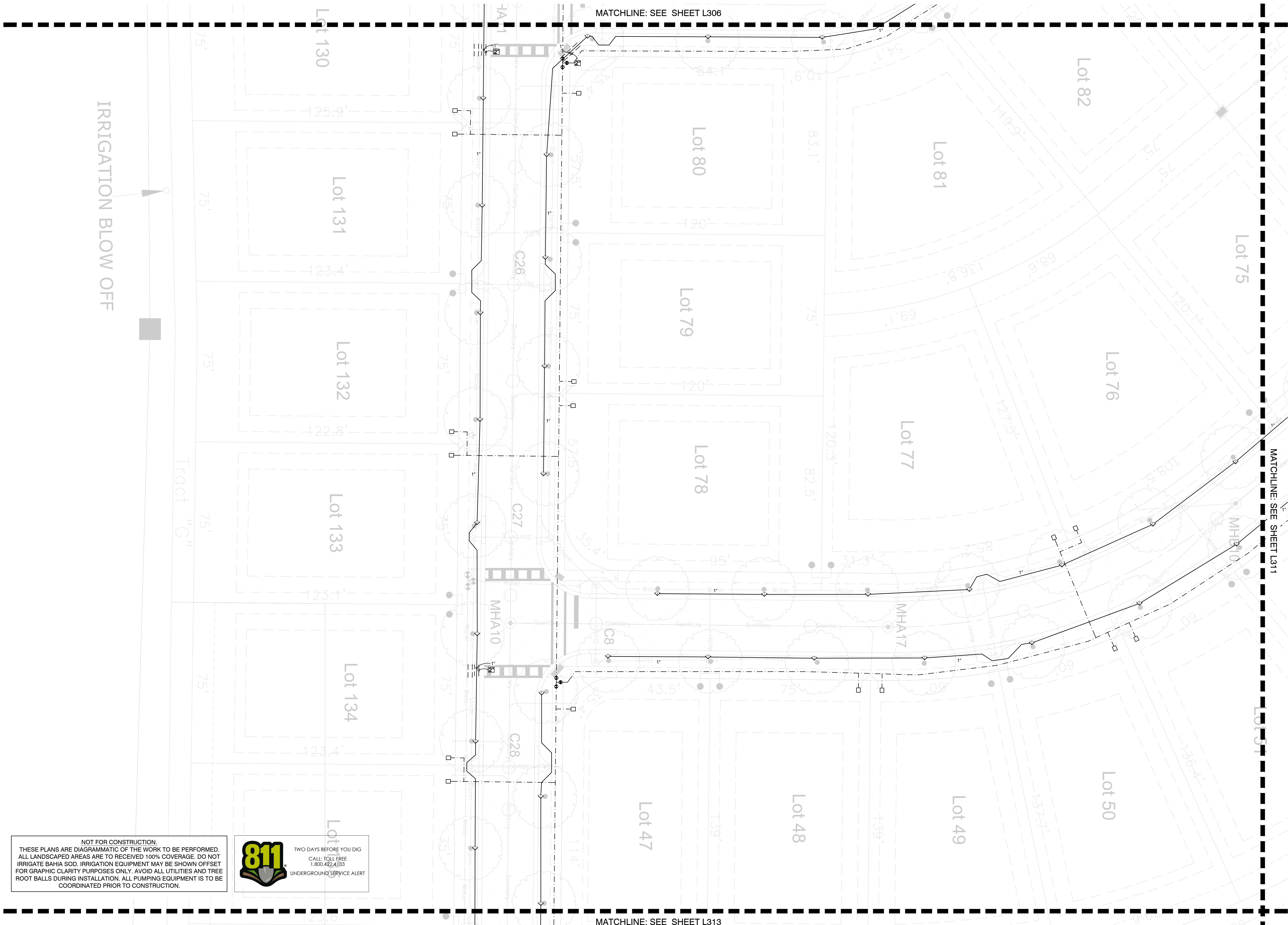
**WHISPERING HILLS
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HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA**

Sheet Title: IRRIGATION PLAN

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IRRIGATION BLOW OFF

MATCHLINE: SEE SHEET L306

MATCHLINE: SEE SHEET L311

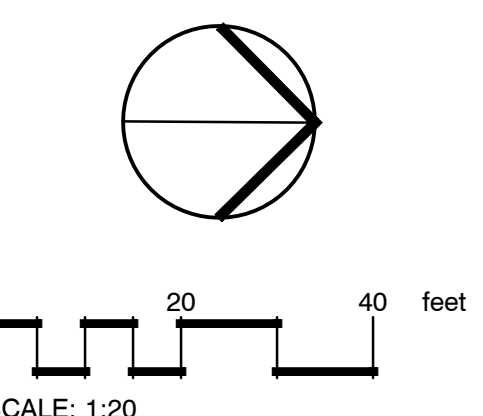
MATCHLINE: SEE SHEET L313

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Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
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 LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

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Date: 01/12/22	

MATCHLINE: SEE SHEET L307

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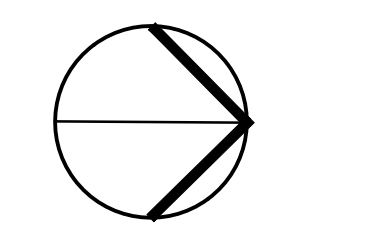
IRRIGATION WATER POINT OF CONNECTION
CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 20GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

MATCHLINE: SEE SHEET L314

PREPARED BY:
floravie
design

Contact: KALEY DUNLAP
916 VASSAR STREET
ORLANDO, FL 32804
TEL | 321-277-0826
kaley@floraviedesign.com

PREPARED FOR:
RED JACKET DEVELOPMENT
CONTACT: CLAY FRANKEL
825 WALTHAM AVENUE
ORLANDO, FLORIDA 32409
PHONE: 407-855-1136



0 20 40 feet
SCALE: 1:20

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA
Landscape Architect
Certificate No. LA6667256

Project No. 22-001

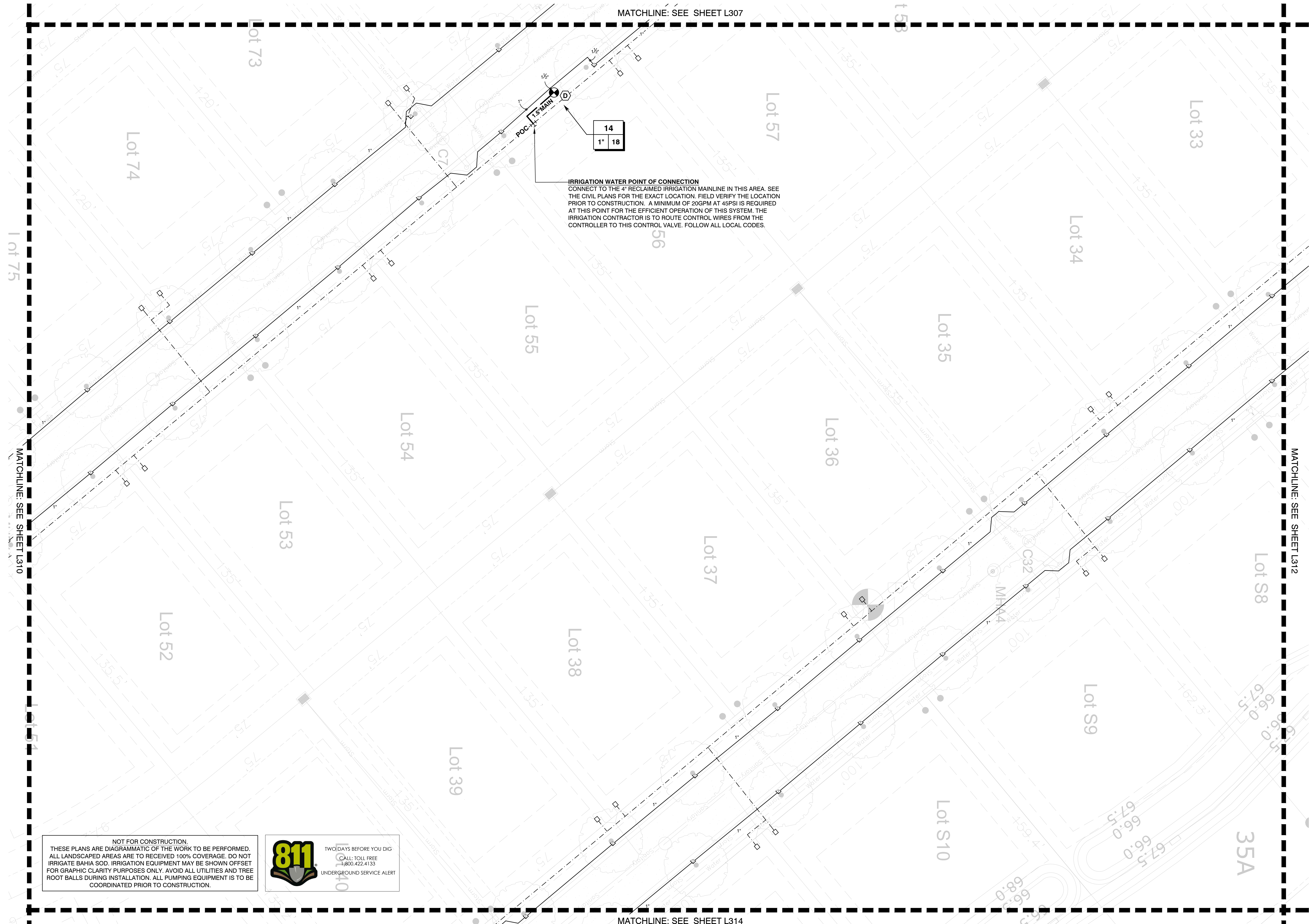
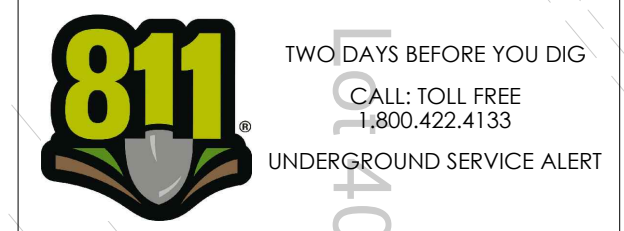
Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
SUBDIVISION
HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	L311
Checked: KMD	
Date: 01/12/22	

NOT FOR CONSTRUCTION.
THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.

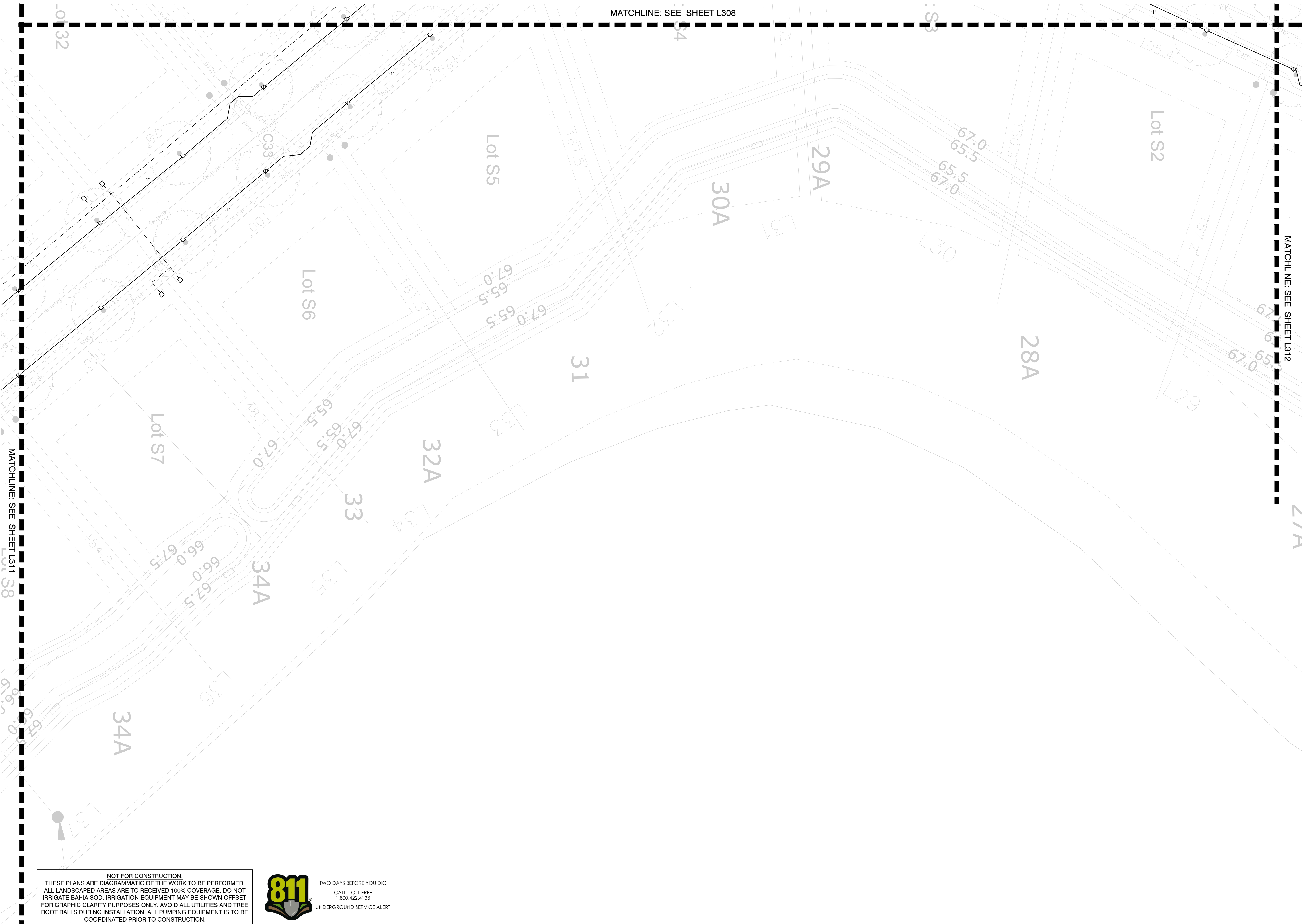


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MATCHLINE: SEE SHEET L312

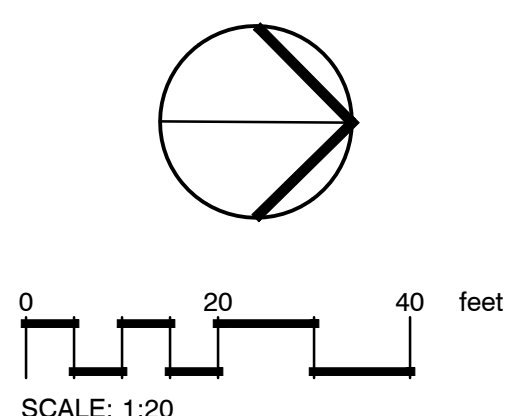
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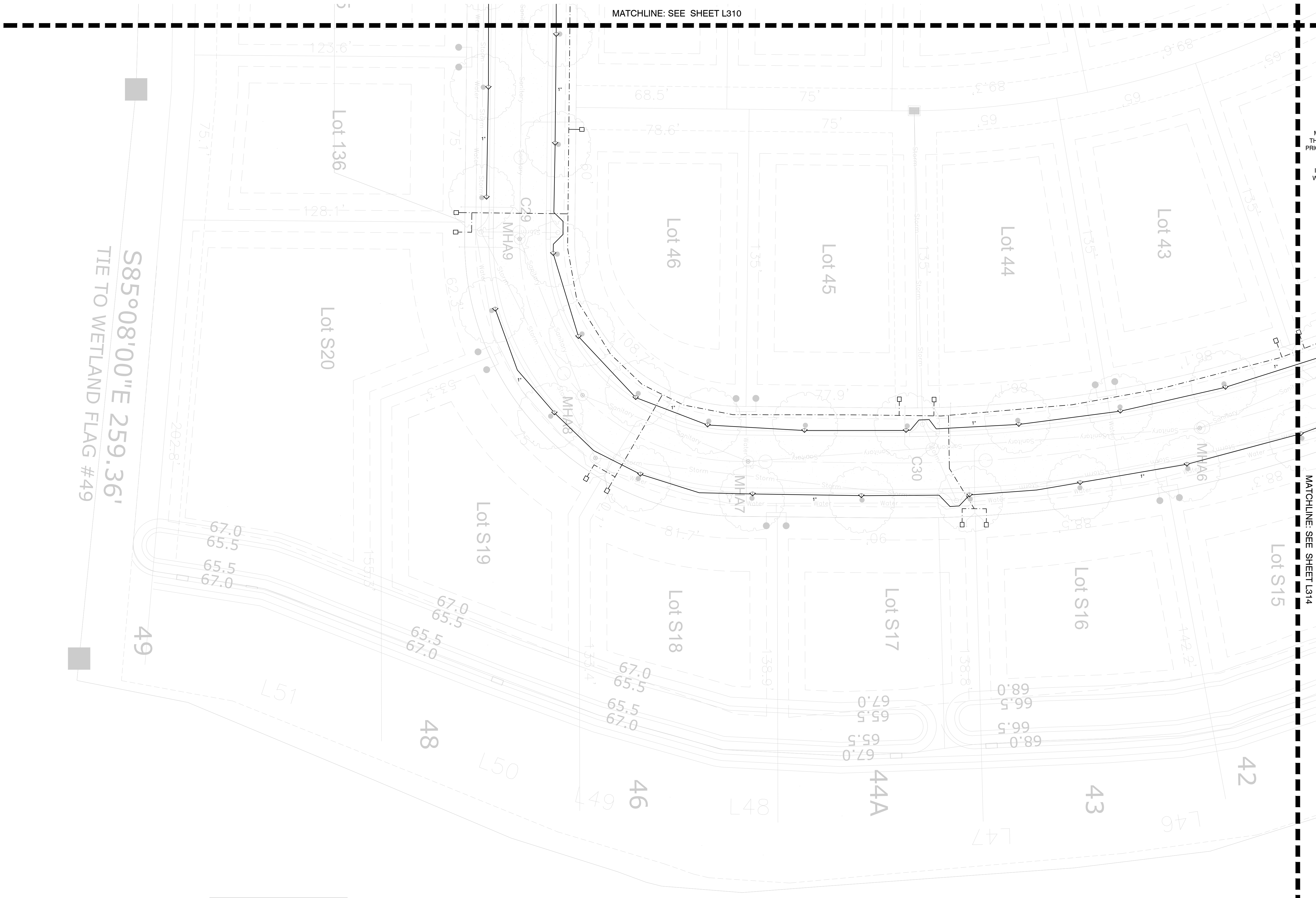
Project Title:
**WHISPERING HILLS
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 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title: IRRIGATION PLAN

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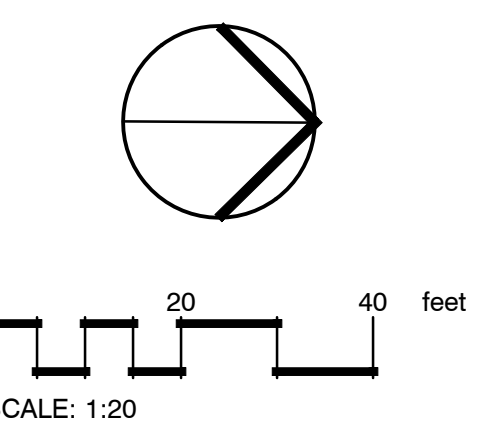
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MATCHLINE: SEE SHEET L314

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LA6667256
Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
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SUBDIVISION
HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA**

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MATCHLINE: SEE SHEET L311

IRRIGATION WATER POINT OF CONNECTION
CONNECT TO THE 4" RECLAIMED IRRIGATION
MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR
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EFFICIENT OPERATION OF THIS SYSTEM. THE
IRRIGATION CONTRACTOR IS TO ROUTE CONTROL
WIRES FROM THE CONTROLLER TO THIS CONTROL
VALVE. FOLLOW ALL LOCAL CODES.

15
1" 16.5

17
1" 14

MATCHLINE: SEE SHEET L313

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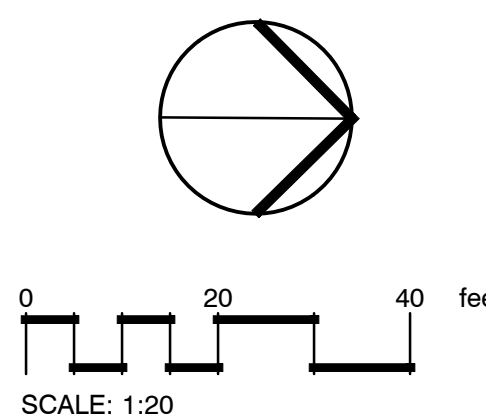


TWO DAYS BEFORE YOU DIG
CALL: TOLL FREE
1.800.422.4133
UNDERGROUND SERVICE ALERT

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**WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA**

Sheet Title: IRRIGATION PLAN

Designed: IDS
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 Checked: KMD
 Date: 01/12/22

Sheet No.: L314

IRRIGATION NOTES

- THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. SOME COMPONENTS MAY BE SHOWN OUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED.
- THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT LOCAL CODES, ORDINANCES, AND REGULATIONS.
- ALL IRRIGATION MAINLINE AND LATERAL LINES ARE TO NOT EXCEED A VELOCITY OF 5FPS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS WHEN INSTALLING IRRIGATION EQUIPMENT. CALL 811 AND REFER TO UTILITY PLANS PRIOR TO TRENCHING.
- IRRIGATION CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS.
- VERIFY THE REQUIRED MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE IRRIGATION DESIGN CONSULTANT AND LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE. SEE PLAN SHEET FOR REQUIREMENTS.
- WHERE EXISTING OR NEW TREES, LIGHT FIXTURES, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN WITHOUT DAMAGING THE OBSTRUCTION.
- 100% HEAD TO HEAD COVERAGE IS REQUIRED. ASSURE THAT ANY MODIFIED SPACING DOES NOT EXCEED THE SPACING SHOWN IN THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS TO AVOID OVER SPRAY ONTO IMPERVIOUS AREAS.
- ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW, IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THE PRODUCT MANUFACTURER.
- THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- THE IRRIGATION CONTRACTOR IS TO SUBMIT PRODUCT SPECIFICATION SHEETS FOR ALL IRRIGATION EQUIPMENT TO BE USED FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.
- ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN DEBRIS-FREE MATERIALS.
- IRRIGATION CONTRACTOR IS TO INSTALL CHRISTY ZONE TAGS WITH THE CORRESPONDING CONTROLLER ZONE NUMBER AT EACH CONTROL VALVE.
- WHEN THE IRRIGATION MAINLINE IS 3" OR LARGER, ALL CHANGES OF DIRECTION SHALL BE ACCOMPLISHED WITH THE USE OF DUCTILE IRON ELBOWS AND TEES W/ PROPER THRUST BLOCKING. INSTALL JOINT RESTRAINT FITTINGS AS NECESSARY.
- AS BUILT DOCUMENTS ARE TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT. THE MAINLINE, CONTROL VALVES, ISOLATION VALVES, GROUND RODS AND SPLICE BOXES SHALL BE LOCATED WITH A MEASUREMENT FROM TWO FIXED POINTS.
- THE IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF ON-SITE OPERATIONS.
- A MAINLINE PRESSURE TEST IS TO BE CONDUCTED BEFORE BACKFILLING. ALL FINDINGS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT WITHIN TWENTY FOUR HOURS POST TEST.
- ALL SLEEVES ARE TO BE TWO TIMES THE SIZE OF THE PIPE AND TO BE COORDINATED WITH THE HARDSCAPE CONTRACTORS PRIOR TO CONSTRUCTION.
- PROVIDE ALL NECESSARY EQUIPMENT FOR THE TWO-WIRE SYSTEM TO OPERATE EFFICIENTLY. SEE THE TWO-WIRE NOTES.



TWO-WIRE NOTES

DECODERS

CONTROLLER SHALL INTERFACE WITH HUNTER ICD DECODERS, EACH CAPABLE OF CONTROLLING 1, 2, 4, OR 6 VALVES (ICD-100, ICD-200, ICD-400, AND ICD-600)
 PROVIDE AN ICD-SEN SENSOR DECODER FOR FLOOD SENSOR(S) AND/OR CLIK SENSOR(S) ON TWO WIRE PATH
 WIRE CONNECTIONS FROM DECODER OUTPUT TO SOLENOID SHALL BE 14 AWG, TYPE PE
 WIRE DISTANCE FROM DECODER OUTPUT TO SOLENOID UNDER NORMAL CONDITIONS SHALL NOT EXCEED 150-FT [45-M]
 INSTALL IN VALVE BOX ON DECODER STAKE KIT (DECSTAKE-10) WITH BOTTOM OF DECODER FACING UP
 CONTRACTOR SHALL INDICATE ASSOCIATED VALVE NUMBER(S) ON MANUFACTURER PROVIDED LABEL ON DECODER WITH PERMANENT MARKER

WIRES

WIRE FOR TWO-WIRE PATH SHALL BE TWISTED AND JACKETED HUNTER IDWIRE, OR APPROVED EQUAL (PAIGE ELECTRIC P7354D); COATED WIRE SHALL NOT BE ACCEPTED AS AN EQUAL: ACCEPTABLE EQUAL PRODUCTS MUST CONSIST OF TWO SEPARATELY PE JACKETED WIRE TWISTED INSIDE OF A PE JACKET
 CONTRACTOR SHALL INSTALL IDWIRE1 (14 AWG) FOR WIRE PATH LENGTH UP TO 10,000-FT [3,048-M] AND IDWIRE2 (12 AWG) FOR WIRE PATH LENGTH UP TO 15,000-FT [4,572-M], WIRE PATH LENGTHS DECREASE WITH SUBSTITUTED WIRE
 WIRE JACKET COLORS SHALL BE SUCH TO FACILITATE THE IDENTIFICATION OF VARIOUS WIRE PATH ZONES; SEE WIRE JACKET CHART FOR WIRE TYPE, COLOR AND ASSOCIATED VALVES
 THE CONTROLLER ALLOWS UP TO THREE (3) TWO-WIRE PATHS PER OUTPUT MODULE, CONTRACTOR SHALL NOT CONNECT ANY TWO-WIRE PATH FROM ONE OUTPUT MODULE TO ANOTHER OUTPUT MODULE
 WIRE CONNECTION FROM DECODER OUTPUT TO SOLENOID SHALL BE COLORED TO MATCH THE ASSOCIATED DECODER OUTPUT STATION COLOR: RED AND BLUE COLORED WIRES SHALL NOT BE USED FOR CONNECTION BETWEEN DECODER OUTPUT AND SOLENOID

SPLICES

ALL CONNECTIONS AND SPLICES IN THE RED/BLUE TWO-WIRE PATH MUST BE MADE WITH 3M DBRY-6 WATERPROOF CONNECTORS INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN VALVE BOX WITH OPEN END OF CONNECTOR FACING DOWN
 CONTRACTOR SHALL PROVIDE 3/8-IN [1-M] LOOP OF SLACK WIRE, MEASURED FROM TOP OF VALVE BOX, NEATLY COILED INSIDE ALL SPLICE BOXES AND VALVE BOXES
 ANY SPLICES IN THE TWO-WIRE PATH NOT ASSOCIATED WITH A DECODER SHALL BE HOUSED IN SEPARATE VALVE BOXES WITH 3/8-IN [1-M] LOOP OF SLACK WIRE
 CONTRACTOR SHALL INDICATE TWO-WIRE PATH DIRECTIONS IN PERMANENT MARKER WITHIN 6-IN [2.5-CM] OF TWO-WIRE SPLICE ON WIRE JACKET OR ID TAG ZIP TIED TO WIRE: INCOMING WIRE SHALL BE MARKED "CONTROL" OR WIRE JACKET OR ID TAG AND MUST INCLUDE ZIP-TIE ATTACHED TO WIRE JACKET EACH OUTGOING TWO-WIRE PATH SHALL BE MARKED WITH CONNECTED VALVES ON WIRE JACKET
 CONTRACTOR SHALL ENSURE ALL CONNECTIONS TO BE WATERTIGHT WITH NO ELECTRICAL LEAKAGE TO GROUND OR SHORTING BETWEEN CONDUCTORS

GROUNDING

ALL GROUNDING AND INSTALLATION OF EQUIPMENT SPECIFIED SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS
 BOTH THE CONTROLLER AND THE DECODERS SHALL BE GROUNDED TO GROUND RODS OR PLATES WITH LESS THAN 10 OHMS RESISTANCE
 IRRIGATION CONTROLLER AND PAD SHALL NOT FALL WITHIN THE SPHERE OF INFLUENCE OF A GROUND ROD OR PLATE
 AT A MINIMUM, EARTH GROUND SHALL BE CONNECTED AT THE FIRST DECODER OF EACH WIRE PATH LEAVING THE CONTROLLER, AND EVERY 12TH VALVE/DECODER OR 1,000-FT [304-M] OF TWO-WIRE RUN (WHICHEVER IS SHORTER), AND AT THE LAST VALVE/DECODER IN ANY WIRE RUN EXCEEDING 50' FROM MAIN WIRE PATH
 FOR USE OF GROUNDING PLATE:

- SOLID COPPER GROUNDING PLATE SHALL HAVE A PRE-WELDED #6 AWG INSULATED GREEN-YELLOW WIRE
 GROUND PLATES ARE TO BE INSTALLED TO A MINIMUM DEPTH OF 30-IN [76-CM]
 GROUND PLATES SHALL BE MADE OF A COPPER ALLOY INTENDED FOR GROUNDING APPLICATIONS AND HAVE MINIMUM DIMENSIONS AS FOLLOWS:
 - FOR GROUNDING CONTROLLERS - 4-IN [10-CM] X 8-FT [1.2-M] X 0.0625-IN [1.5-MM] SOLID COPPER GROUNDING PLATE, WITH 25-FT [7.6-M] CONTINUOUS LENGTH OF 6 AWG, GREEN INSULATED, WITH EXTRUDED YELLOW STRIPE, SOLID BARE COPPER WIRE WELDED TO THE PLATE (PAIGE ELECTRIC 1821991C) AND TWO 50-LB [22.6-KG] BAGS OF POWERSSET EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820058) FOR POROUS SOILS OR TWO 50-LB [22.6-KG] BAGS OF POWERFILL EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820059) FOR NON-POROUS SOILS
 - FOR GROUNDING DECODERS - 4-IN [10-CM] X 3-FT [1-M] X 0.0625-IN [1.5-MM] SOLID COPPER GROUNDING PLATE, WITH 15-FT [4.5-M] CONTINUOUS LENGTH OF 10 AWG, GREEN INSULATED, WITH EXTRUDED YELLOW STRIPE, SOLID BARE COPPER WIRE IS WELDED TO THE PLATE (PAIGE ELECTRIC 1822011C) AND ONE 50-LB [22.6-KG] BAG OF POWERSSET EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820058) FOR POROUS SOILS OR ONE 50-LB [22.6-KG] BAG OF POWERFILL EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820059) FOR NON-POROUS SOILS FOR USE OF GROUNDING ROD: GROUND ROD SHALL BE 5/8-IN [15-MM] DIAMETER X 8-FT [1.2-M] LONG COPPER CLAD STEEL GROUND RODS WITH 15-FT [4.5-M] PRE-WELDED #6 AWG INSULATED GREEN-YELLOW WIRE (PAIGE ELECTRIC PART # 1820001C6)

GROUND ROD SHALL BE DRIVEN INTO THE GROUND IN A VERTICAL POSITION OR AN OBLIQUE ANGLE NOT TO EXCEED 45 DEGREES AT A LOCATION 10-FT [3-M] FROM THE ELECTRONIC EQUIPMENT, THE GROUND PLATE, OR THE WIRES AND CABLES CONNECTED TO EQUIPMENT BEING GROUNDED
 ADDITIONAL GROUND ROD IN DAISY CHAIN INSTALLATION SHALL BE 5/8-IN [15-MM] DIAMETER X 8-FT [1.2-M] LONG COPPER CLAD STEEL GROUND RODS WITH 25-FT [4.5-M] PRE-WELDED #6 AWG INSULATED GREEN-YELLOW WIRE (PAIGE ELECTRIC PART # 1820071C6)
 GROUND RODS SHALL BE COVERED BY A VALVE BOX
 ALL CIRCUIT COMPONENTS SHALL BE INSTALLED IN STRAIGHT LINES

GROUND ROD AND PLATE LOCATION

CONTRACTOR SHALL LOCATE AND INSTALL GROUND ROD AND/OR PLATE IN AREA OF MOIST SOIL TO MAXIMIZE ELECTRICAL CONDUCTIVITY

SURGE PROTECTION (LIGHTING ARRESTOR)

CONTRACTOR SHALL INSTALL PAIGE ELECTRIC 250090LED LIGHTENING ARRESTOR PER MANUFACTURERS SPECIFICATIONS AS CLOSE TO CONTROLLER POWER SOURCE AS POSSIBLE TO PROTECT THE IRRIGATION CONTROLLER FROM SURGES THROUGH 120 OR 240 VAC WIRES

TURN OVER ITEMS

CONTRACTOR SHALL PROVIDE PROJECT OWNER WITH THE FOLLOWING AT PROJECT COMPLETION AND TURN OVER: A2C-D SD CARD WITH SAVED STATION AND IRRIGATION PROGRAM INFORMATION
 PRODUCT MANUALS
 IN ADDITION TO IRRIGATION AS-BUILT REQUIREMENTS, THE CONTRACTOR SHALL INCLUDE IN THE AS-BUILT DRAWINGS OF IRRIGATION SYSTEM GRAPHICALLY DEPICTING LOCATION OF TWO-WIRE PATH(S), GROUNDING LOCATION AND TYPE, DECODERS, NON-DECODER WIRE SPLICES, INDICATION OF TWO-WIRE SPLICE TYPES (1-WAY, 2-WAY, 3-WAY, ETC), AND TERMINATION OF TWO-WIRE PATHS ICD-HP HANDHELD PROGRAMMER AND DIAGNOSTIC TOOL ROAM XL HANDHELD REMOTE AND RECEIVER

MANUFACTURER TRAINING

PRIOR TO INSTALLATION THE CONTRACTOR SHALL HAVE COMPLETED AND RECEIVED CERTIFICATION FOR THE FOLLOWING TRAINING MODULES PROVIDED BY HUNTER INDUSTRIES:
 DECODER SPECIALIST PROGRAM
 MULTIMETER BASICS COURSE
 EXPERT PROGRAM

PRE-CONSTRUCTION MEETING

PRIOR TO INSTALLATION OF TWO-WIRE IRRIGATION SYSTEM, A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH PROJECT OWNER'S REPRESENTATIVE, INSTALLING CONTRACTOR, AND IRRIGATION TWO-WIRE MANUFACTURER AT NO ADDITIONAL COST FROM MANUFACTURER

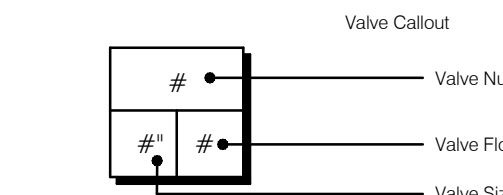
TECHNICAL SUPPORT

HUNTER INDUSTRIES (800) 733-2823

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	HUNTER PROS-12-PRS30-CV-F-R SHORT RADIUS NOZZLES SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	7	30
	HUNTER PROS-12-PRS30-CV-F-R 5' STRIP SPRAY SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	171	30
	HUNTER PROS-12-PRS30-CV-F-R 8' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	8	30
	HUNTER PROS-12-PRS30-CV-F-R 10' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	5	30
	HUNTER PROS-12-PRS30-CV-F-R 12' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	3	30
	HUNTER PROS-12-PRS30-CV-F-R 15' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	1	30
	HUNTER PROS-12-PRS30-CV-F-R ADJUSTABLE ARC SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	16	30
	HUNTER PCB-R FLOOD BUBBLER, 1/2" FIPT, WITH PURPLE CAP FOR RECLAIMED WATER USE.	477	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER ICD-100 SINGLE STATION DECODER W/SURGE SUPPRESSION AND GROUND WIRE, TO BE INSTALLED ON UNIVERSAL DECODER STAKE KIT (DECSTAKE10).	18
	HUNTER RAIN-CLICK RAIN SENSOR, WITH CONDUIT INSTALLATION, MOUNT AS NOTED, NORMALLY CLOSED SWITCH.	1
	HUNTER ACC-PED-A2C-75D-M 75-STATION DECODER CONTROLLER IN AN OUTDOOR METAL PEDESTAL.	1
	HUNTER ICD-100 POINT OF CONNECTION 1 1/2" CONNECT TO THE RECLAIMED MAINLINE PROPOSED BY THE CIVIL ENGINEER	18
— — — — —	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21-NP	19,375 L.F.
— — — — —	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21-NP	515.8 L.F.
— — — — —	PIPE SLEEVE: PVC SCHEDULE 40	1,040 L.F.



THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS. ALL PUMPING EQUIPMENT IS YET TO BE SPECIFIED AND COORDINATED.

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	HUNTER ICDV-G-R	1"	SHRUB SPRAY	24.72	33.1	33.7	1.81 in/h
2	HUNTER ICDV-G-R	1"	BUBBLER	15	35.8	35.9	1.7 in/h
3	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	41.16	34.1	34.8	1.96 in/h
4	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	40.45	34.2	35.6	2.14 in/h
5	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	45.55	33.9	37.4	1.82 in/h
6	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	46.5	34.7	39.9	1.91 in/h
7	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	45.55	33.9	40.7	2.59 in/h
8	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	45.3	34.5	42.7	2.25 in/h
9	HUNTER ICDV-G-R	1"	BUBBLER	14	38.5	38.5	1.7 in/h
10	HUNTER ICDV-G-R	1"	BUBBLER	10	33.9	33.9	1.7 in/h
11	HUNTER ICDV-G-R	1"	BUBBLER	11	34.1	34.1	1.7 in/h
12	HUNTER ICDV-G-R	1"	BUBBLER	15	35.9	35.9	1.7 in/h
13	HUNTER ICDV-G-R	1"	BUBBLER	14.5	35.4	35.5	1.7 in/h
14	HUNTER ICDV-G-R	1"	BUBBLER	18	37.6	37.8	1.7 in/h
15	HUNTER ICDV-G-R	1"	BUBBLER	16.5	36.4	36.5	1.7 in/h
16	HUNTER ICDV-G-R	1"	BUBBLER	18	36.8	37.1	1.7 in/h
17	HUNTER ICDV-G-R	1"	BUBBLER	14	36.5	36.6	1.7 in/h
18	HUNTER ICDV-G-R	1"	BUBBLER	16.5	36.3	36.4	1.7 in/h

THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

PREPARED BY:

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 kaley@floraviedesign.com

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 RED JACKET DEVELOPMENT
 CONTACT: CLAY FRANKEL
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 PHONE: 407-855-1136

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA
 Landscape Architect

LA6667256
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

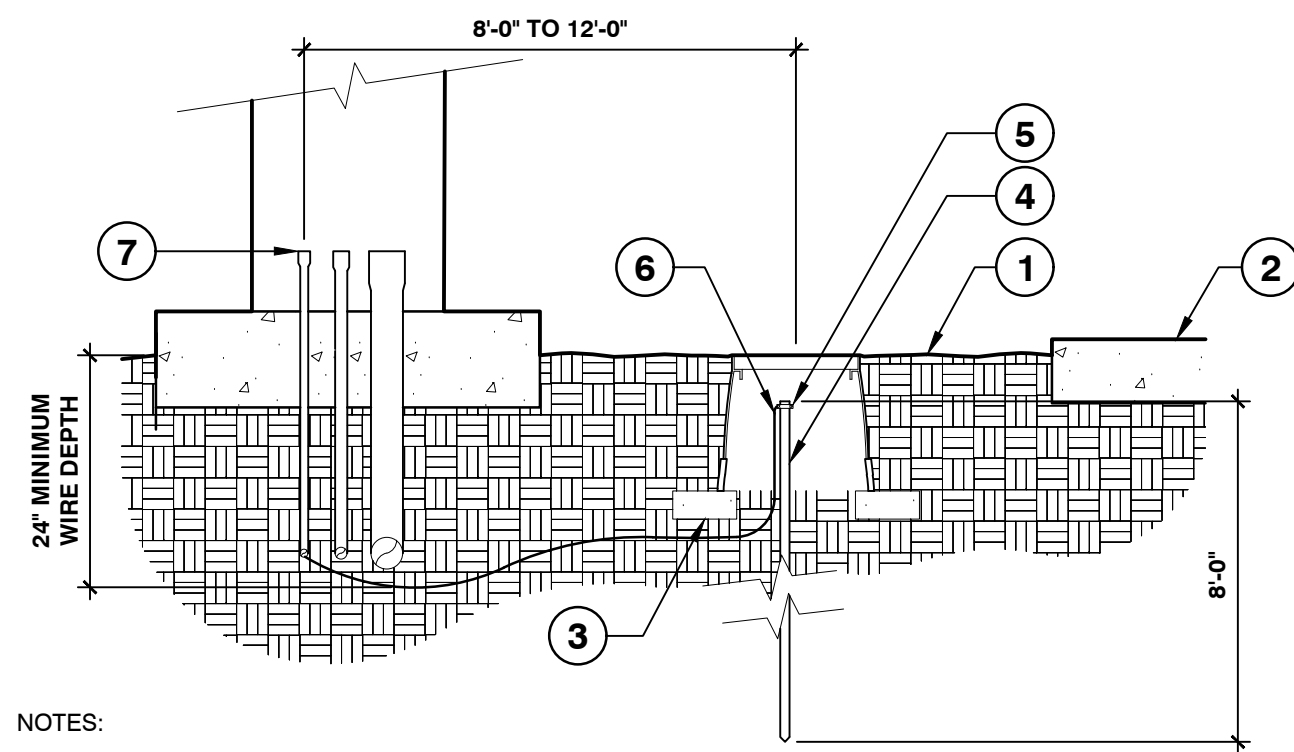
Project Title:

WHISPERING HILLS
 SUBDIVISION
 HOWEY-IN-THE-HILLS,
 LAKE COUNTY, FLORIDA

Sheet Title:

IRRIGATION NOTES & LEGEND

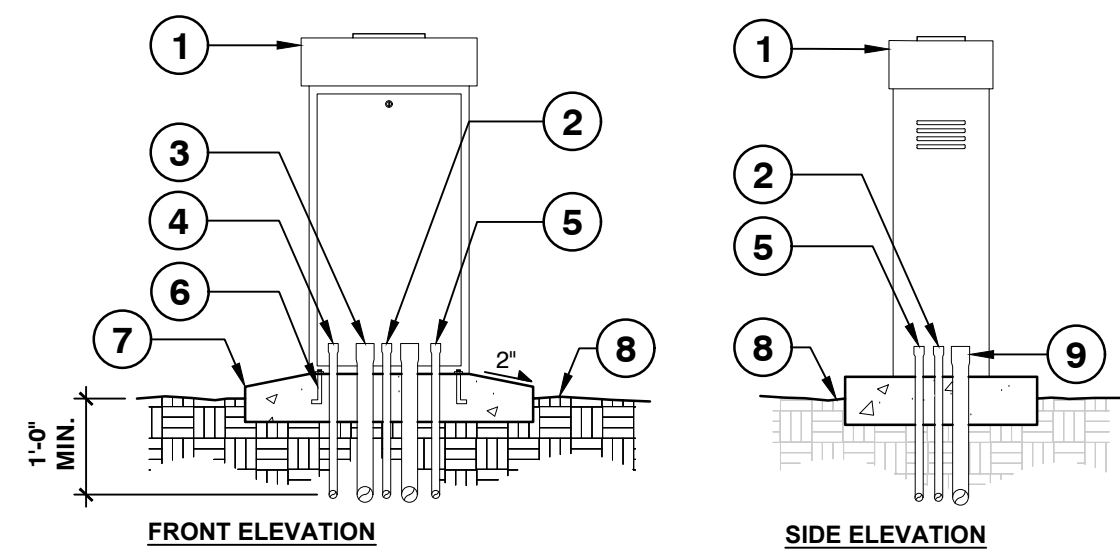
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Drawn: CAZ	L315
Checked: KMD	
Date: 01/12/22	



NOTES:

1. ALL GROUNDING REQUIREMENTS FOR CONTROLLERS SHALL CONFORM TO LOCAL ELECTRIC CODES.
 2. GROUNDING ROD SHALL NOT BE LOCATED IN THE SAME TRENCH AS IRRIGATION MAINLINES OR LATERAL LINES.
 3. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 4. INSTALL GROUNDING ROD PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 1 FINISH GRADE
 - 2 PAVEMENT
 - 3 THREE (3) 4" x 8" BRICKS
 - 4 5/8" x 8'-0" COPPER GROUNDING ROD
 - 5 GROUNDING ROD CLAMP
 - 6 #6 AWG BARE COPPER WIRE
 - 7 1/2" PVC ELECTRICAL CONDUIT AND SWEEP FOR EARTH GROUND

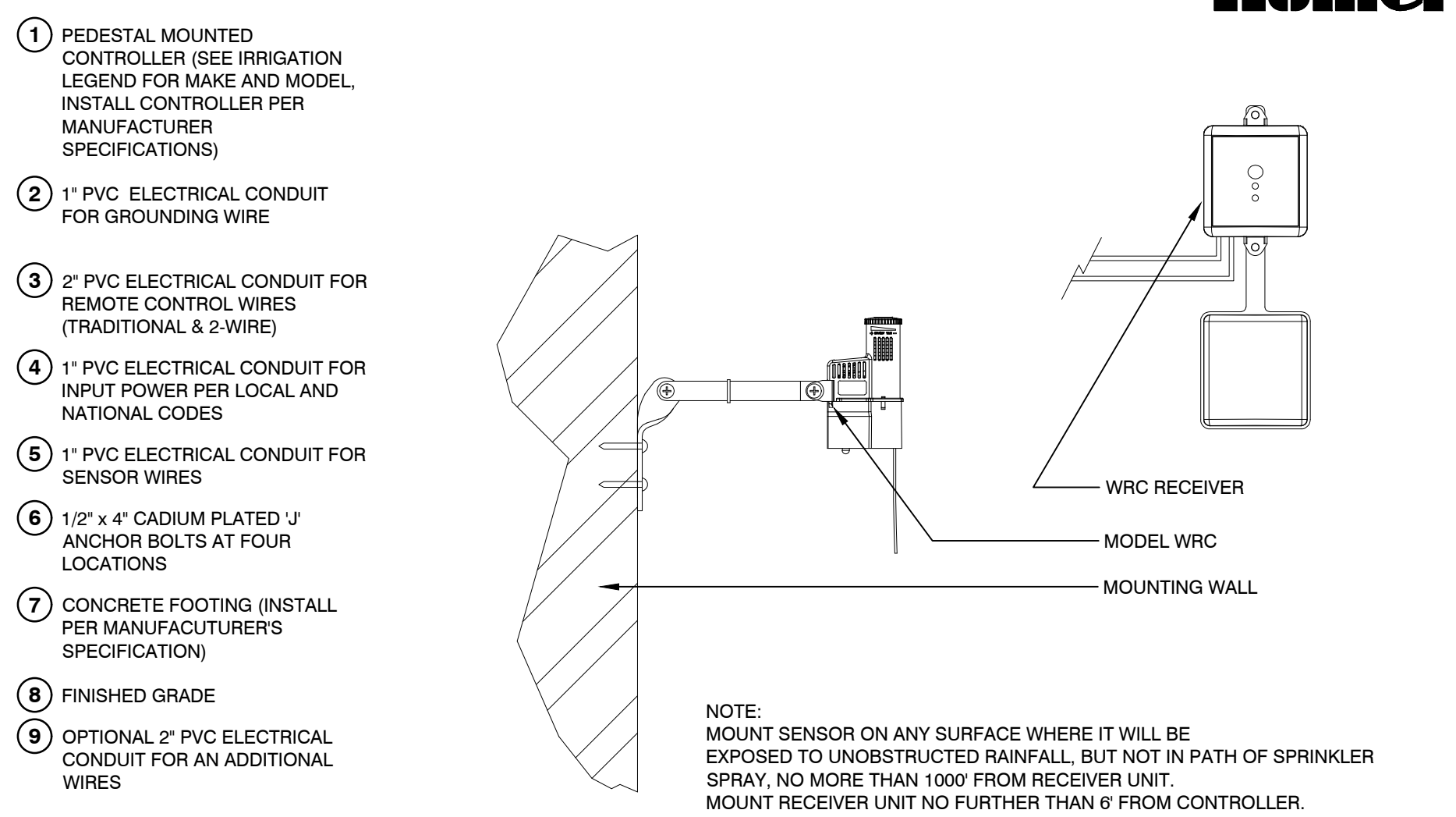
1 GROUNDING ROD
1" = 1'-0" FX-IR-FX-AUXEQ-01



NOTES:

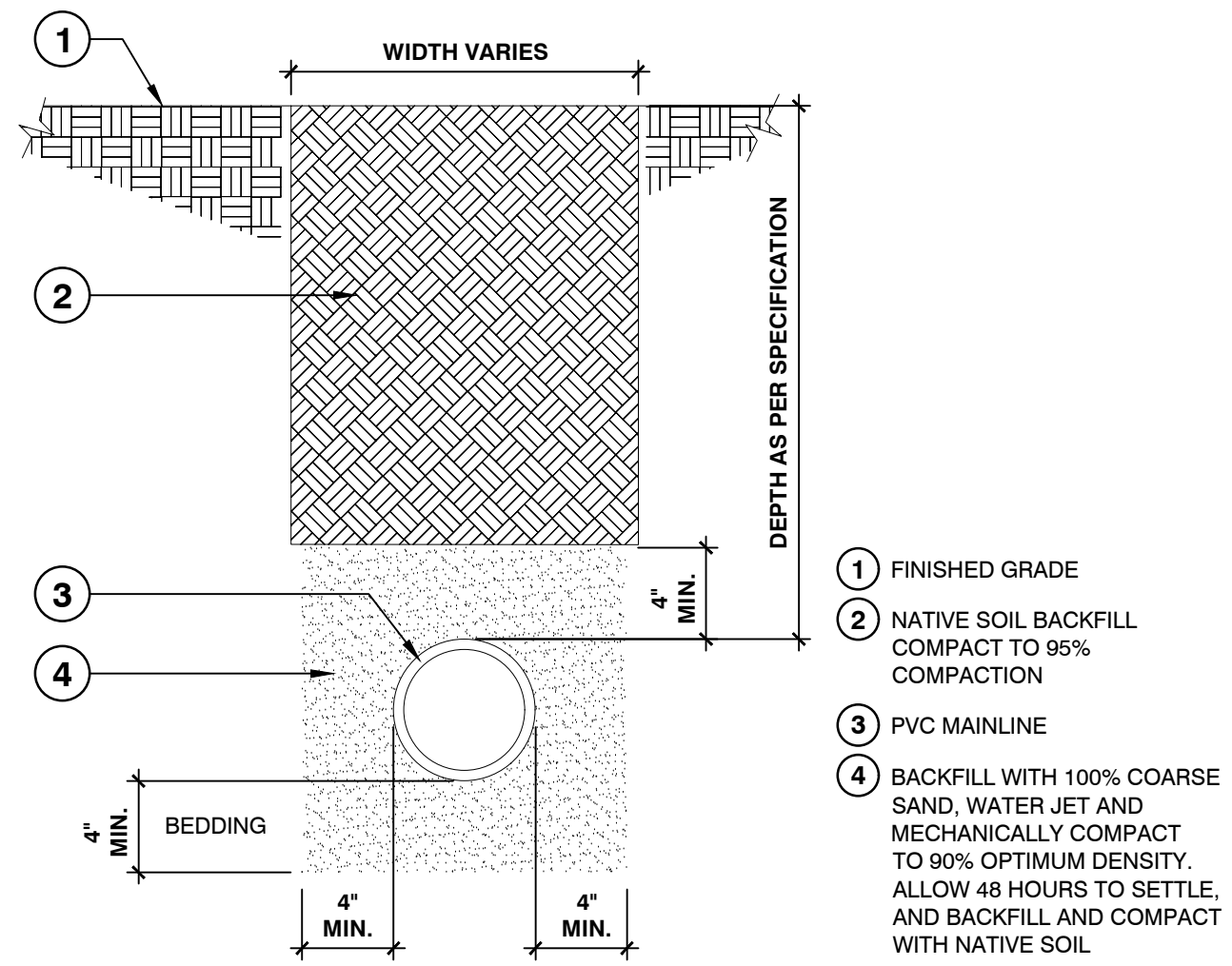
1. COMMON AND CONTROLLER WIRE TO BE BUNDLED USING ELECTRICAL TAPE AT 10'-0" ON CENTER.
2. GROUNDING RODS SHALL BE LOCATED BETWEEN 8'-0" AND 12'-0" AWAY FROM THE CONTROLLER. GROUNDING RODS SHALL BE 3/8" IN DIAMETER X 8' IN LENGTH. CONNECT THE GROUNDING ROD TO THE CONTROLLER USING 6 GAUGE BARE COPPER WIRE OR PER THE MANUFACTURER'S SPECIFICATIONS. SEE GROUNDING ROD DETAIL.
3. ET STATION TO BE INSTALLED NO FURTHER THAN 90' AWAY FROM THE CONTROLLER AND A MINIMUM OF 15' OFF OF THE GROUND, OUT FROM UNDER ANY OVERHEAD OBSTRUCTIONS SUCH AS, BUT NOT LIMITED TO BUILDING OVERHANGS, TREES, OR UTILITIES.

2 PEDESTAL MOUNTED CONTROLLER
1/2" = 1'-0" FX-IR-FX-CONT-04

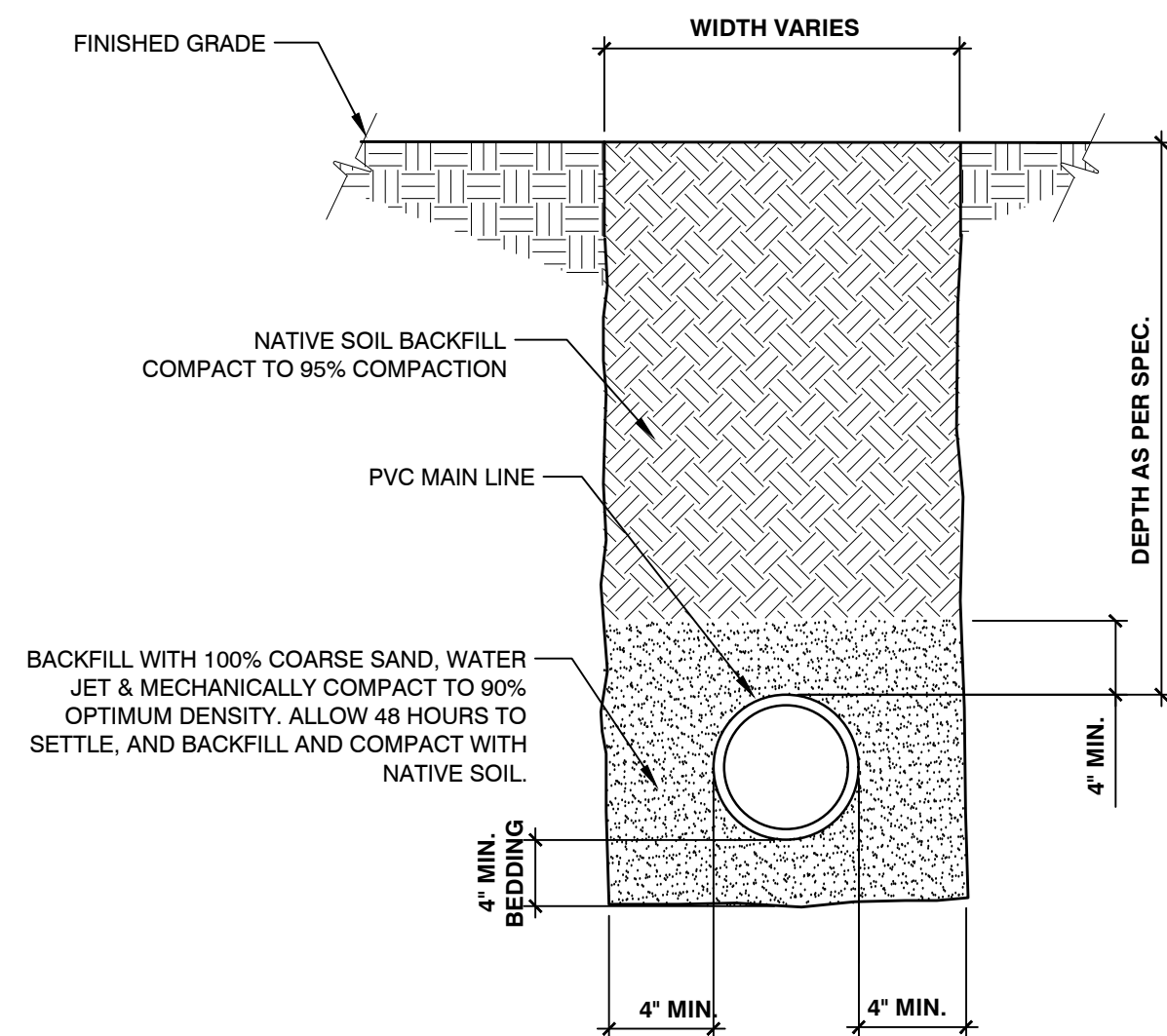


NOTE:
MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY, NO MORE THAN 1000' FROM RECEIVER UNIT. MOUNT RECEIVER UNIT NO FURTHER THAN 6' FROM CONTROLLER.

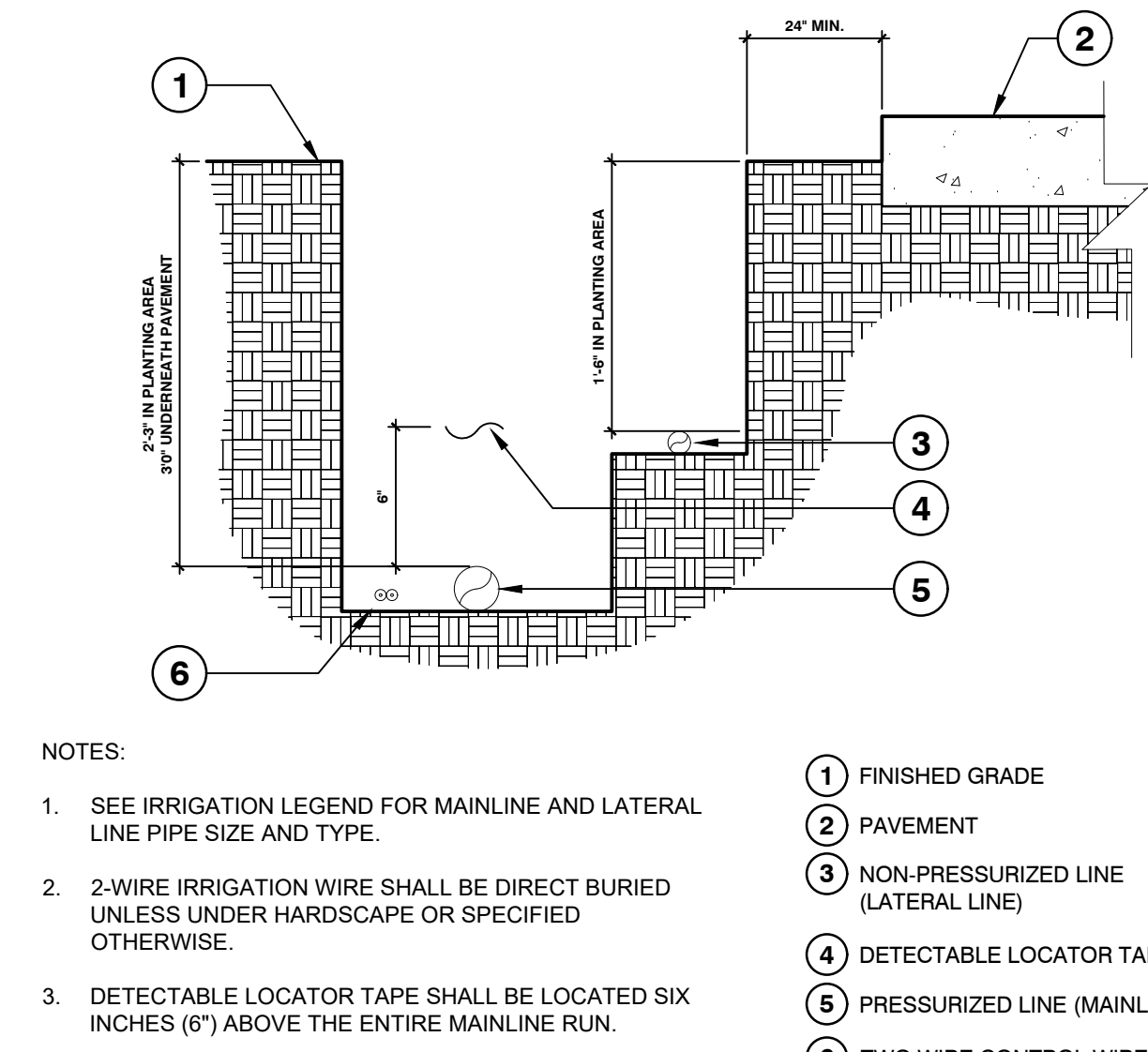
3 WIRELESS RAIN-CLICK
3" = 1'-0" FX-IR-HUNT-SENS-17



4 MAINLINE WITH SAND BEDDING
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-13

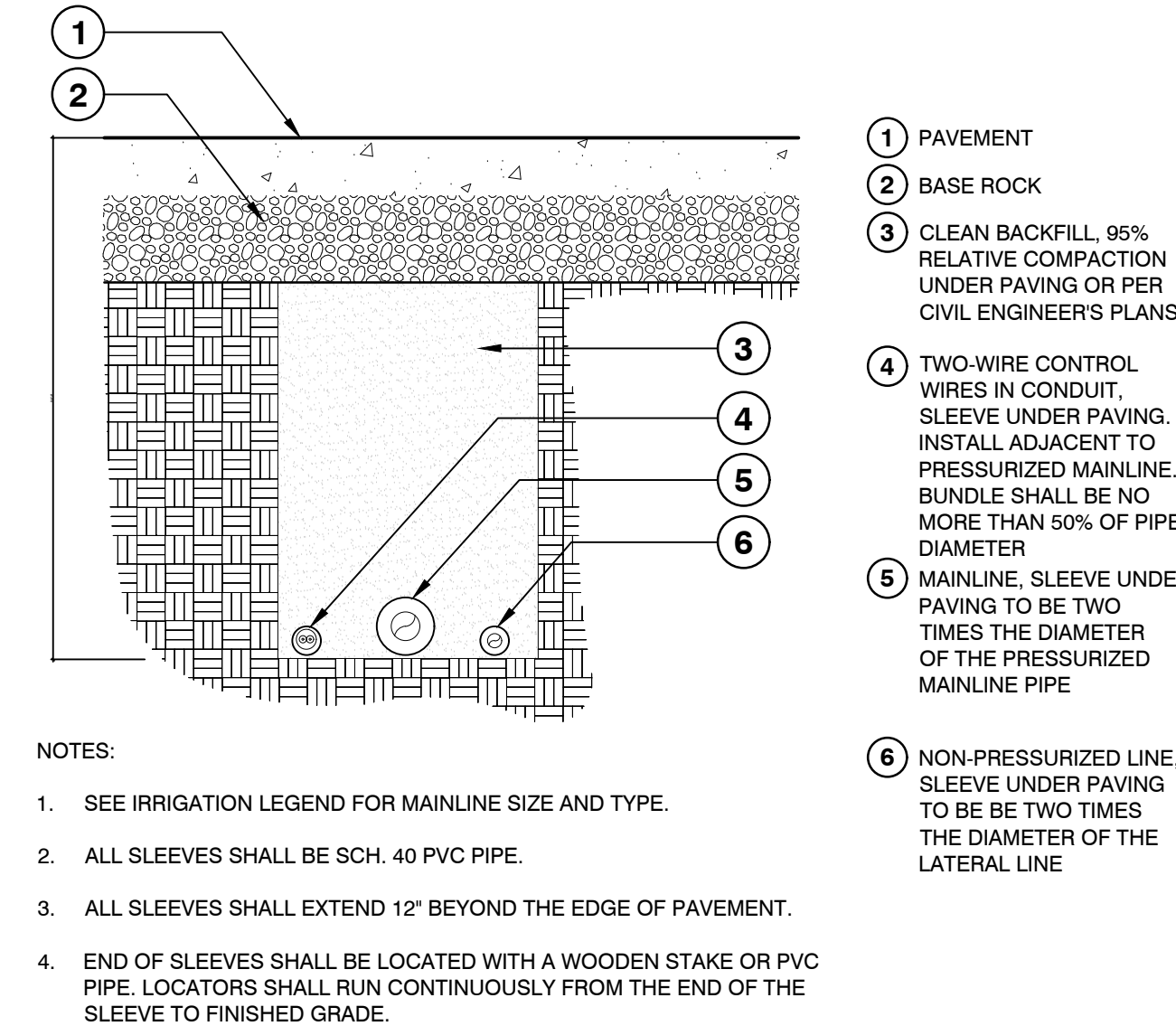


5 SLEEVE AT ROAD
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-15



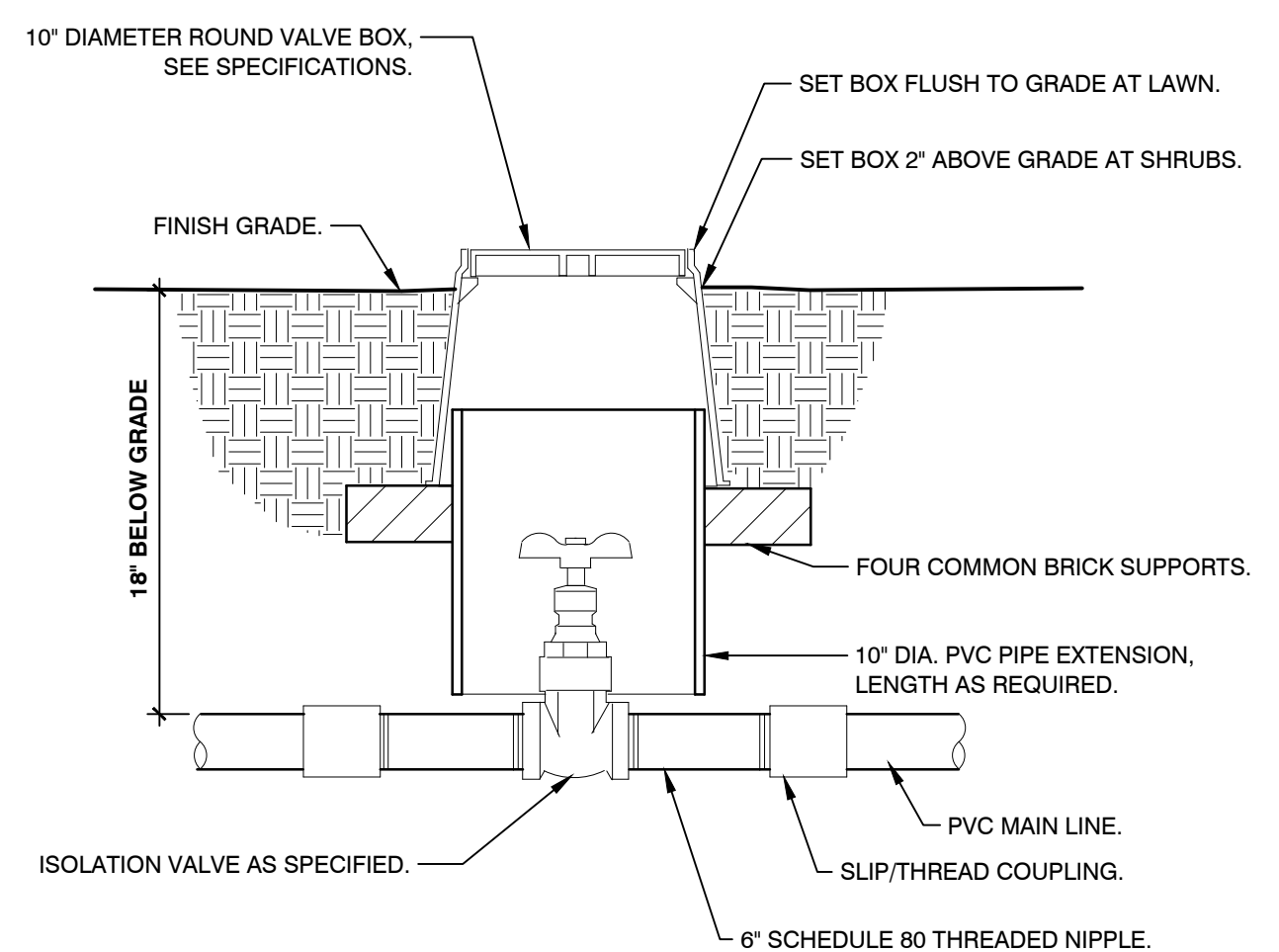
- NOTES:
1. SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
 2. 2-WIRE IRRIGATION WIRE SHALL BE DIRECT BURIED UNLESS UNDER HARDSCAPE OR SPECIFIED OTHERWISE.
 3. DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.

6 IRRIGATION TRENCHING - TWO WIRE - DIRECT BURY
N.T.S. I-09

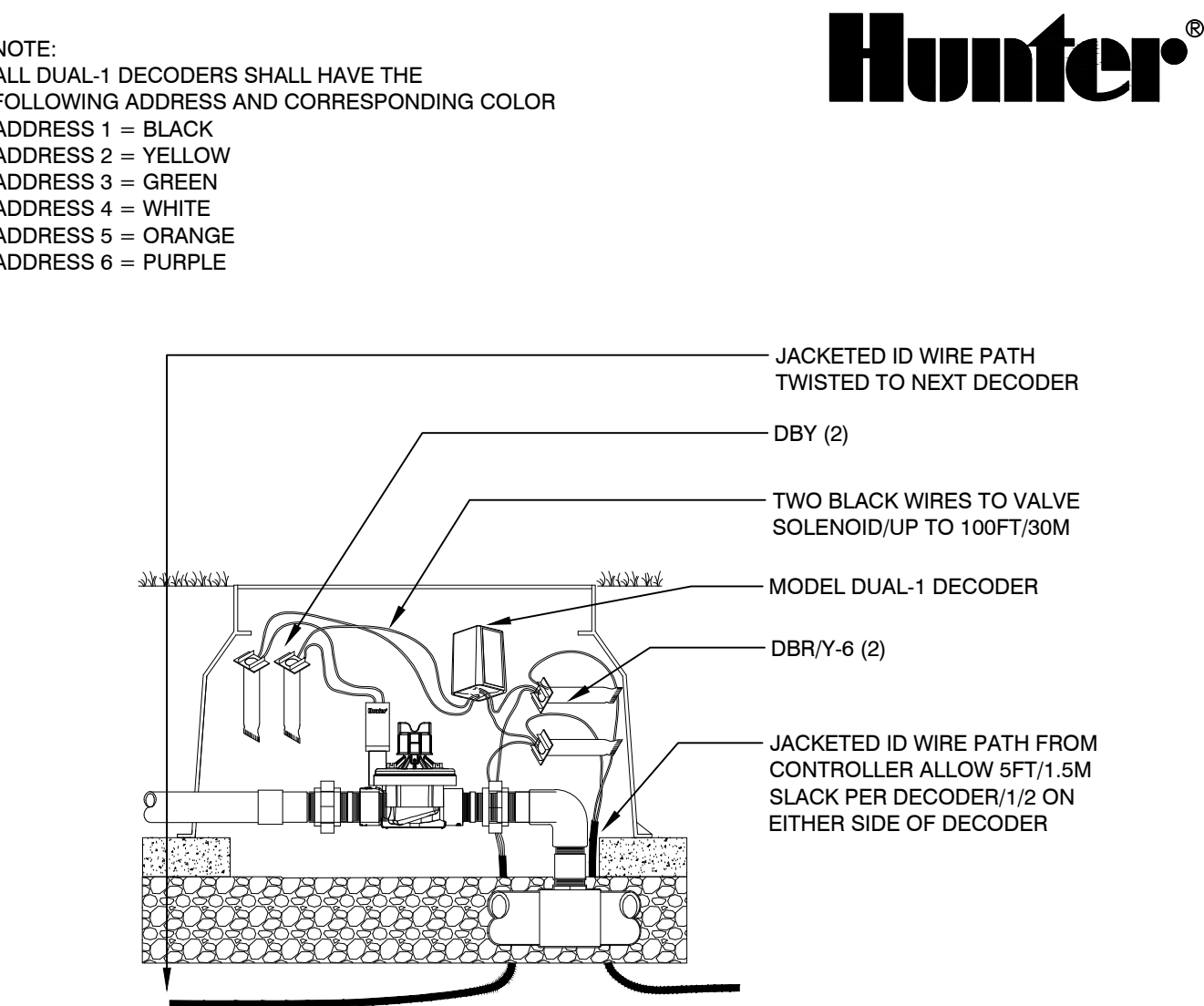


- NOTES:
1. SEE IRRIGATION LEGEND FOR MAINLINE SIZE AND TYPE.
 2. ALL SLEEVES SHALL BE SCH. 40 PVC PIPE.
 3. ALL SLEEVES SHALL EXTEND 12" BEYOND THE EDGE OF PAVEMENT.
 4. END OF SLEEVES SHALL BE LOCATED WITH A WOODEN STAKE OR PVC PIPE. LOCATORS SHALL RUN CONTINUOUSLY FROM THE END OF THE SLEEVE TO FINISHED GRADE.

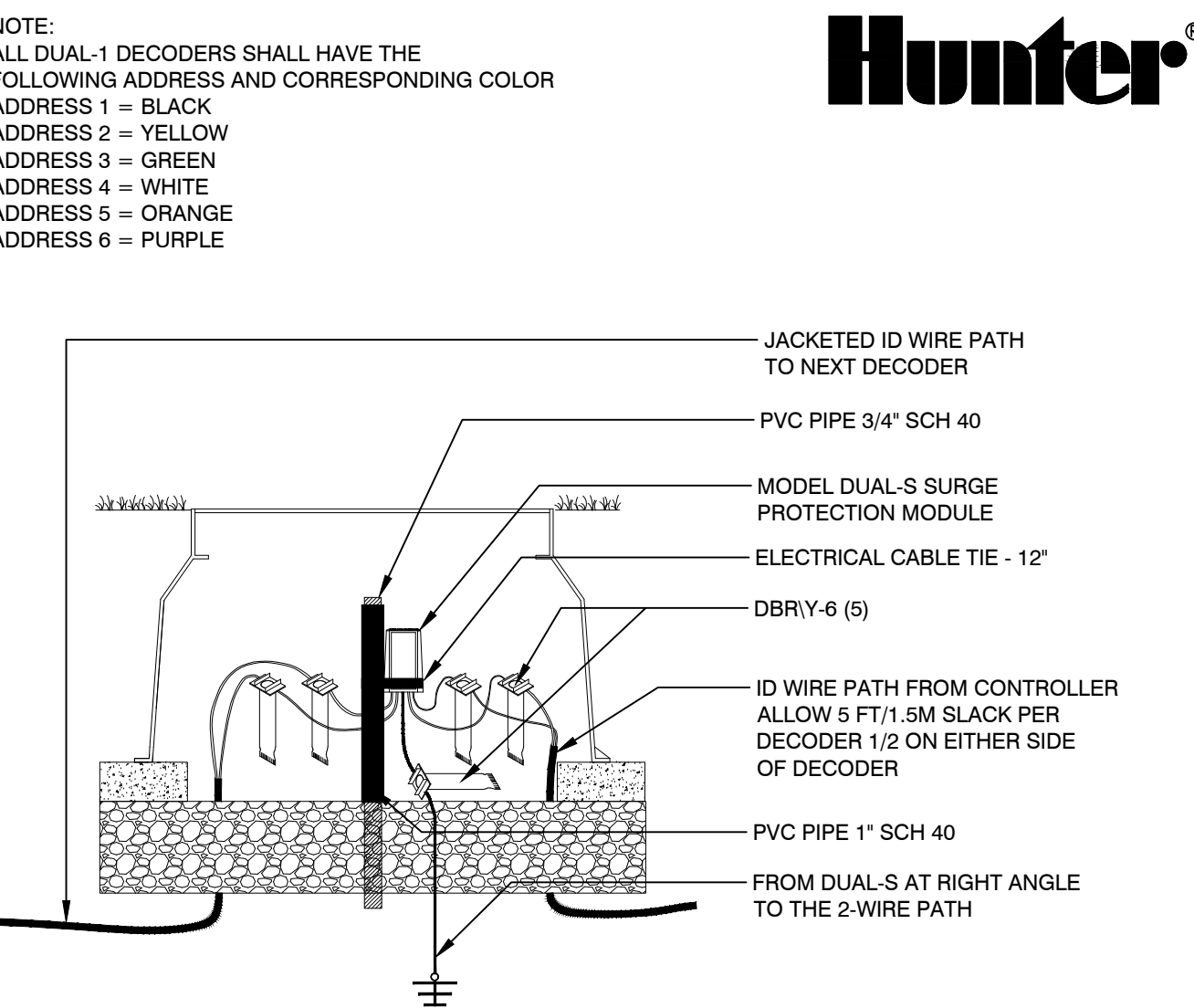
7 PIPE BENEATH PAVEMENT - TWO WIRE
N.T.S. I-04



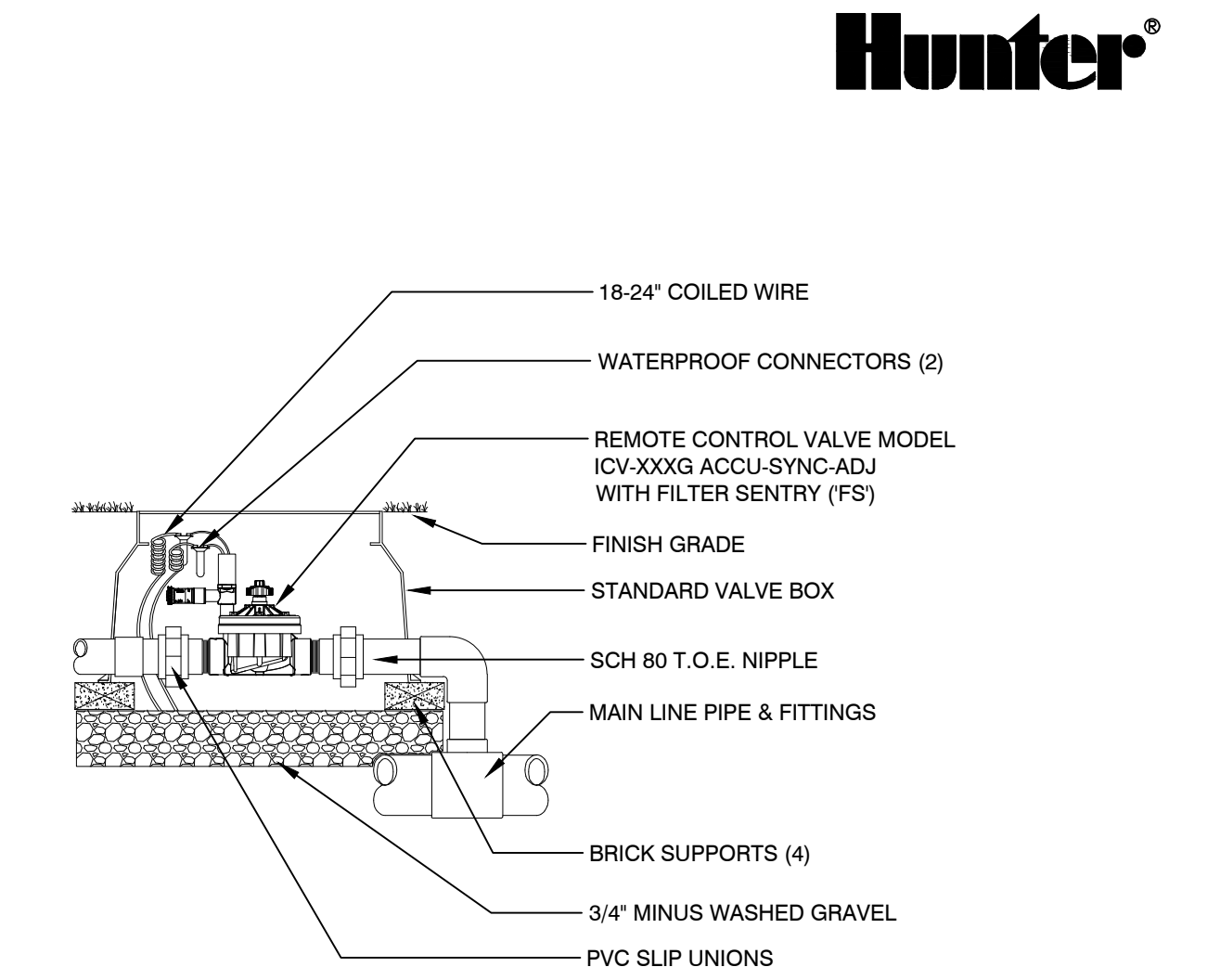
8 BRASS ISOLATION VALVE
1 1/2" = 1'-0" FX-IR-FX-ISOV-01



9 DUAL-1 DECODER
1 1/2" = 1'-0" FX-IR-HUNT-CONT-11



10 DUAL-S SURGE DEVICE
1 1/2" = 1'-0" FX-IR-HUNT-CONT-15



11 ICV GLOBE VALVE W/ ACCU-SYNC-ADJ AND UNIONS
1" = 1'-0" FX-IR-HUNT-VALV-19

Hunter®

Hunter®

Hunter®

Hunter®

NOTE:
ALL DUAL-1 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR
ADDRESS 1 = BLACK
ADDRESS 2 = YELLOW
ADDRESS 3 = GREEN
ADDRESS 4 = WHITE
ADDRESS 5 = ORANGE
ADDRESS 6 = PURPLE

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PHONE: 407-855-1136

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256
Landscape Architect Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

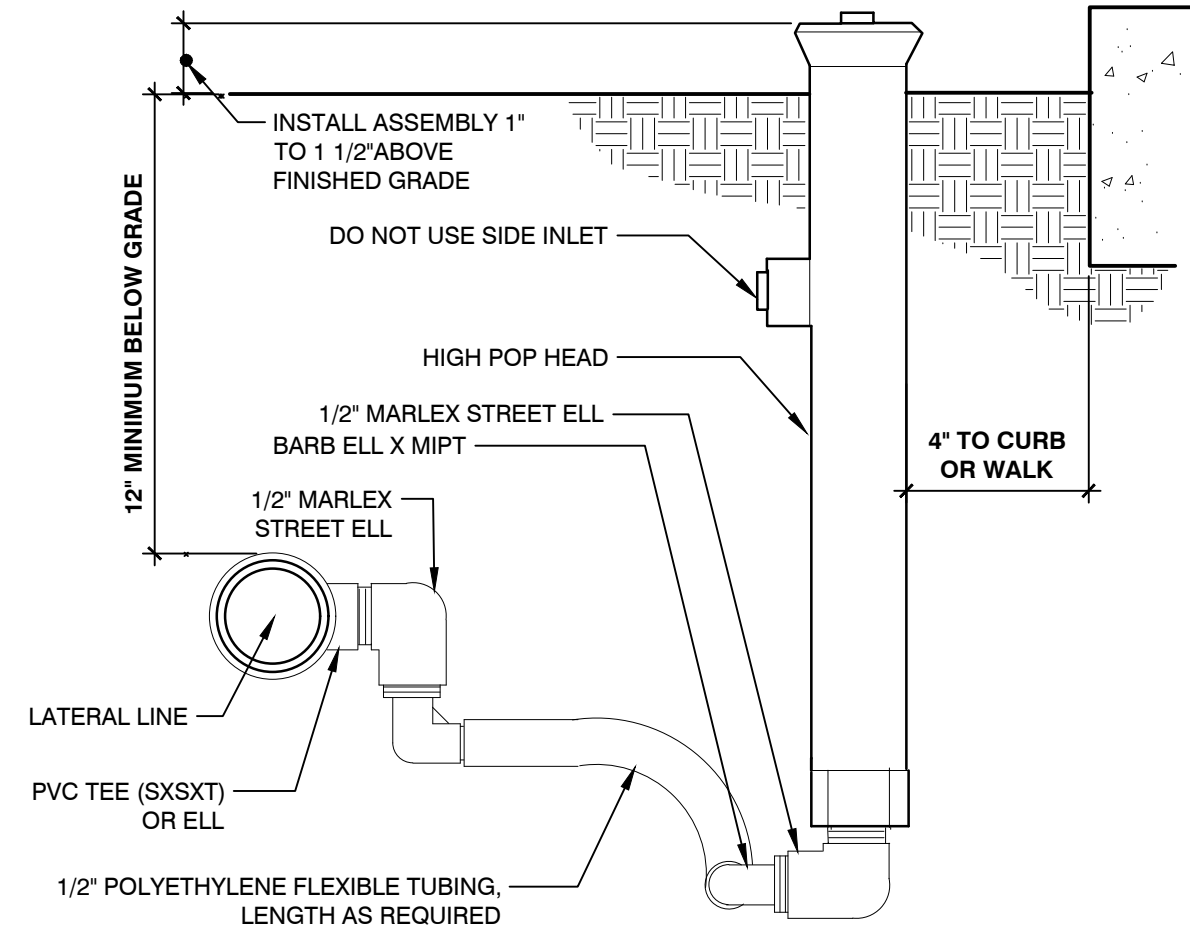
Project Title:

WHISPERING HILLS
SUBDIVISION
HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA

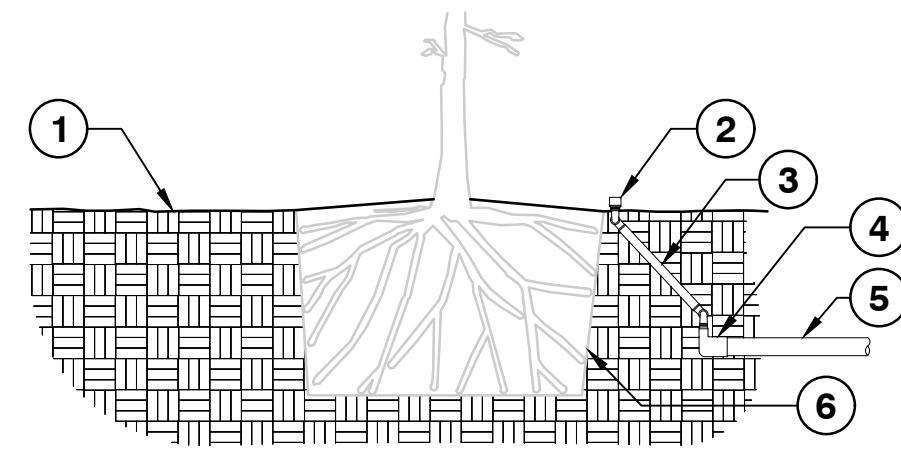
Sheet Title:

IRRIGATION DETAILS

Designed: IDS	Sheet No.:
Drawn: CAZ	L316
Checked: KMD	
Date: 01/12/22	

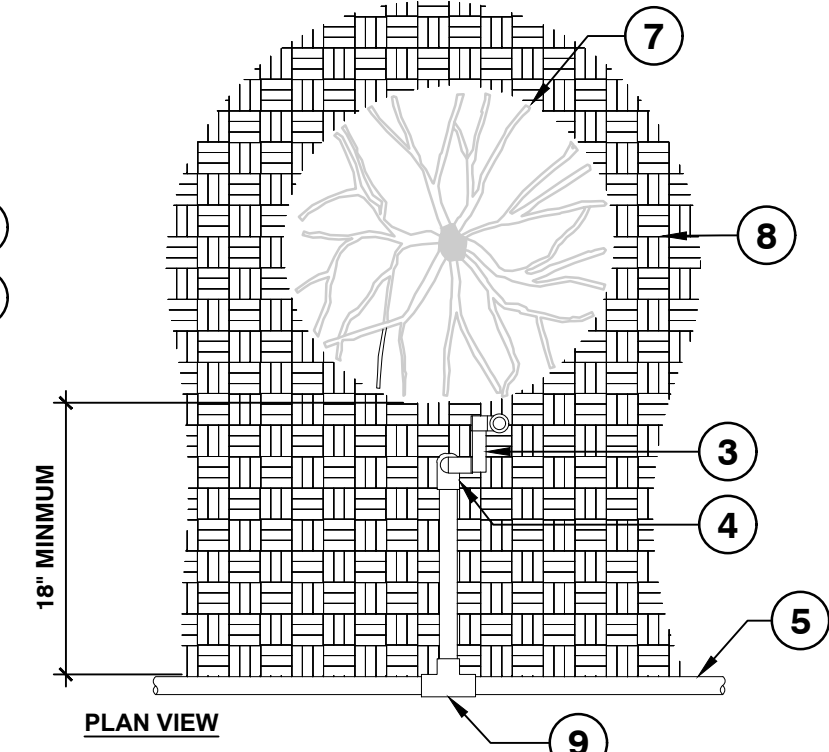


1 SHRUB SPRAY HIGHPOP W/FLEX ASSEMBLY
3" = 1'-0" FX-IR-FX-HEAD-08



- SECTION VIEW**
- 1 FINISHED GRADE
 - 2 PRESSURE COMPENSATING BUBBLER SHALL BE SET 1" ABOVE FINISHED GRADE (SEE IRRIGATION SCHEDULE FOR MAKE AND MODEL)
 - 3 SWING JOINT. SEE DETAIL
 - 4 SCH. 40 PVC 90° ELBOW SLIP TO THREAD
 - 5 LATERAL LINE IRRIGATION (SEE IRRIGATION PLANS FOR SIZING)
 - 6 EDGE OF ROOT BALL. SETTLE BACKFILL SO IRRIGATION FLOWS THROUGH ROOT BALL
 - 7 EDGE OF ROOT BALL
 - 8 EXISTING OR MODIFIED SOIL (SEE SPECIFICATIONS FOR SOIL MODIFICATION)
 - 9 SCH. 40 PVC TEE OR 90° ELBOW

2 IRRIGATION BUBBLER W/ LAYOUT
3/4" = 1'-0" FX-IR-FX-BUBB-04



- PLAN VIEW**
- NOTES:
1. ALL IRRIGATION FITTINGS SHALL BE SCH. 40 PVC UNLESS SPECIFIED OTHERWISE.
 2. ALL THREADED CONNECTIONS FROM SCH. 40 TO SCH. 80 PVC SHALL BE MADE USING TEFLON TAPE.
 3. CONTRACTOR SHALL SETTLE THE AREA AROUND THE BUBBLER AND EDGE OF THE ROOT BALL SO THAT ALL IRRIGATION FLOWS THROUGH THE ROOT BALL.

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LA0667256
Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:
**WHISPERING HILLS
SUBDIVISION
HOWEY-IN-THE-HILLS,
LAKE COUNTY, FLORIDA**

Sheet Title:
IRRIGATION DETAILS

Designed: IDS	Sheet No.:
Drawn: CAZ	L317
Checked: KMD	
Date: 01/12/22	

Legend & Abbreviations

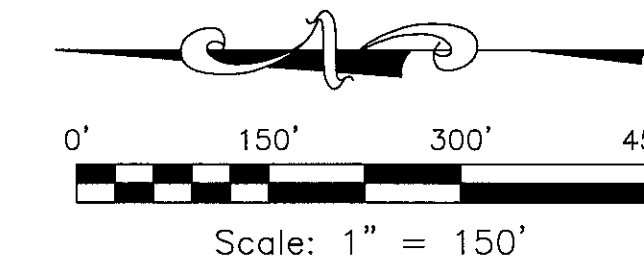
- Found Iron Rod or Pipe
- Found Concrete Monument
- ⊙ Found P.K. Nail & Disk
- × Found X-Cut
- Set 5/8" Capped Iron Rod
- ⊙ Set P.K. Nail & Disk
- (F) Field Measurement
- (D) Dead Reference
- (P) Plat Reference
- Power Pole
- Guy Wire
- Fence
- Overhead Utility Lines
- ⊕ Well

Boundary Survey

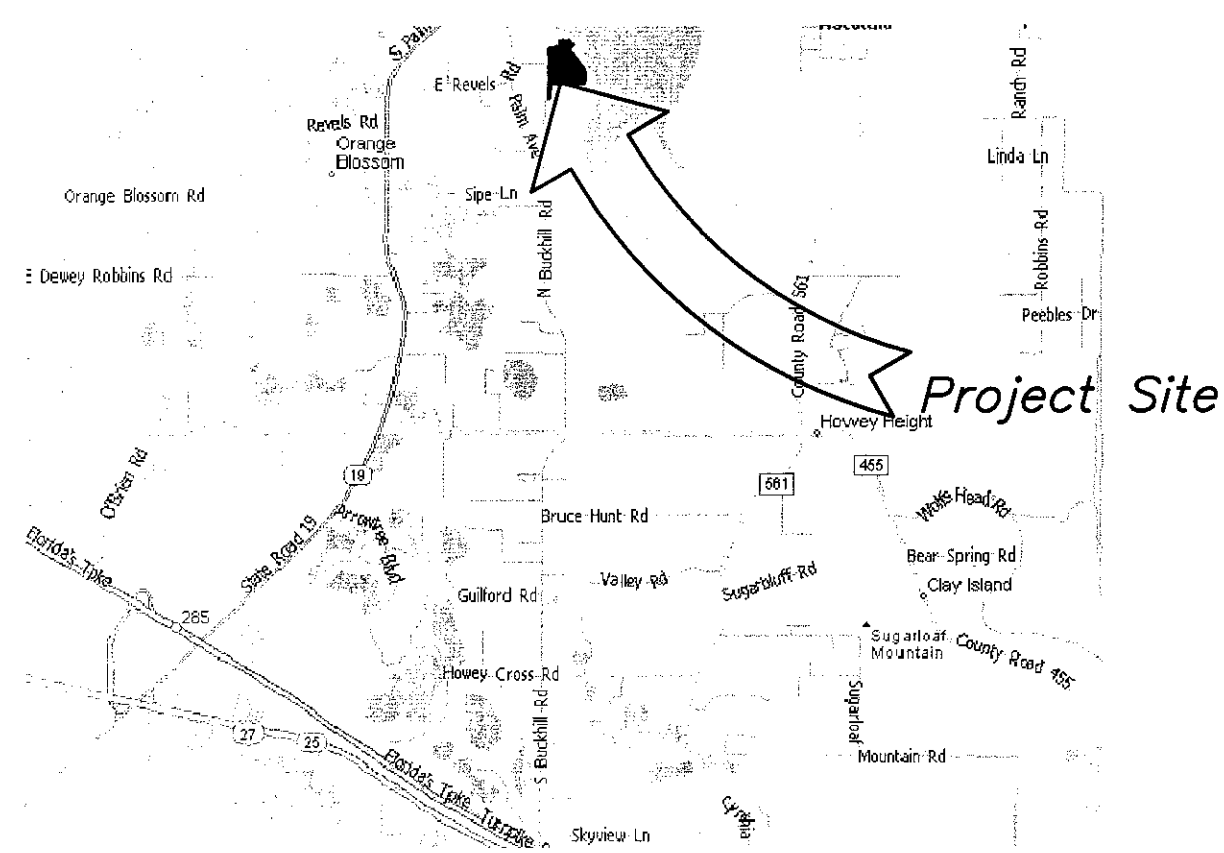
Section 36, Township 20 South, Range 25 East

Lake County, Florida

Whispering Hills



Vicinity Map



Description: Project Limits

A portion of Government Lots 5 and 6, in Section 36, Township 20 South, Range 25 East, Lake County, Florida,

more particularly described as follows:

Commence at the Southwest corner of the Southeast 1/4 of Section 36, Township 20 South, Range 25 East, Lake County, Florida; thence coincident with the South Boundary of said Southeast 1/4, S 89°50'08" E a distance of 32.78' feet to a point on the East Right-of-way Boundary of Buckhill Road per OSMREY HEIGHTS—PHASE 1A, as recorded in Plat Book 33, Page 66 of the public records of Lake County, Florida, said point being the POINT OF BEGINNING; thence departing said South Boundary, coincident with said East Right-of-way Boundary and the Northern extension thereof, N 00°38'32" E a distance of 2184.33 feet; thence N 47°09'43" E a distance of 28.30 feet; thence N 31°02'11" E a distance of 24.81 feet; thence N 86°55'48" E a distance of 40.31 feet; thence N 55°05'08" E a distance of 38.19 feet; thence S 71°01'20" E a distance of 52.29 feet; thence N 64°09'48" E a distance of 61.62 feet; thence S 79°41'54" E a distance of 70.94 feet; thence N 80°39'33" E a distance of 110.96 feet; thence N 36°52'01" E a distance of 81.94 feet; thence N 13°52'52" W a distance of 29.71 feet; thence N 14°17'52" W a distance of 61.64 feet; thence N 06°23'22" E a distance of 30.93 feet; thence N 18°45'59" E a distance of 28.88 feet; thence S 86°22'27" E a distance of 91.79 feet; thence N 16°19'52" E a distance of 66.74 feet; thence S 55°54'12" E a distance of 29.18 feet; thence S 70°43'29" E a distance of 52.36 feet; thence N 89°10'11" E a distance of 183.00 feet; thence N 82°49'33" E a distance of 87.24 feet; thence N 69°29'41" E a distance of 52.88 feet; thence S 00°53'22" W a distance of 108.93 feet to a point coincident with a non-tangent curve concave to the Southwest, said curve having a radius of 48.00 feet, a delta angle of 38°39'48" and being subtended by a chord bearing S 56°23'48" E for a distance of 30.46 feet; thence coincident with the arc of said curve a distance of 31.04 feet; thence S 70°02'13" E a distance of 36.99 feet; thence N 66°26'02" E a distance of 104.12 feet; thence N 16°19'52" E a distance of 108.8 feet, more or less, to the waters edge of Little Lake Harris; thence Southerly coincident with the waters edge of Little Lake Harris to the Northeast corner of the lands described in Official Records Book 1775, Page 275 of the Public Records of Lake County, Florida; thence departing said waters edge, coincident with the North Boundary of said lands for the following five (5) courses: 1.) N 84°17'12" W a distance of 269.90 feet; 2.) thence N 88°21'36" W a distance of 293.43 feet; 3.) thence S 89°30'46" W a distance of 224.96 feet; 4.) thence S 84°47'04" W a distance of 179.68 feet; 5.) thence N 89°13'45" W a distance of 421.83 feet to a point on the West Boundary of said lands; thence departing said North Boundary, coincident with said West Boundary, S 09°31'29" W a distance of 636.42 feet to a point on the aforementioned South Boundary of the Southeast 1/4 of said Section 36; thence coincident with said South Boundary, N 89°51'03" W a distance of 112.96 feet to the POINT OF BEGINNING.

Containing an area of 2651920.89 square feet, 60.880 acres more or less.

Curve Information: Field

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	TANGENT
C1	46.00'	31.04'	S 56°23'48" E	30.46'	38°39'48"	16.14'

Line Information: Field

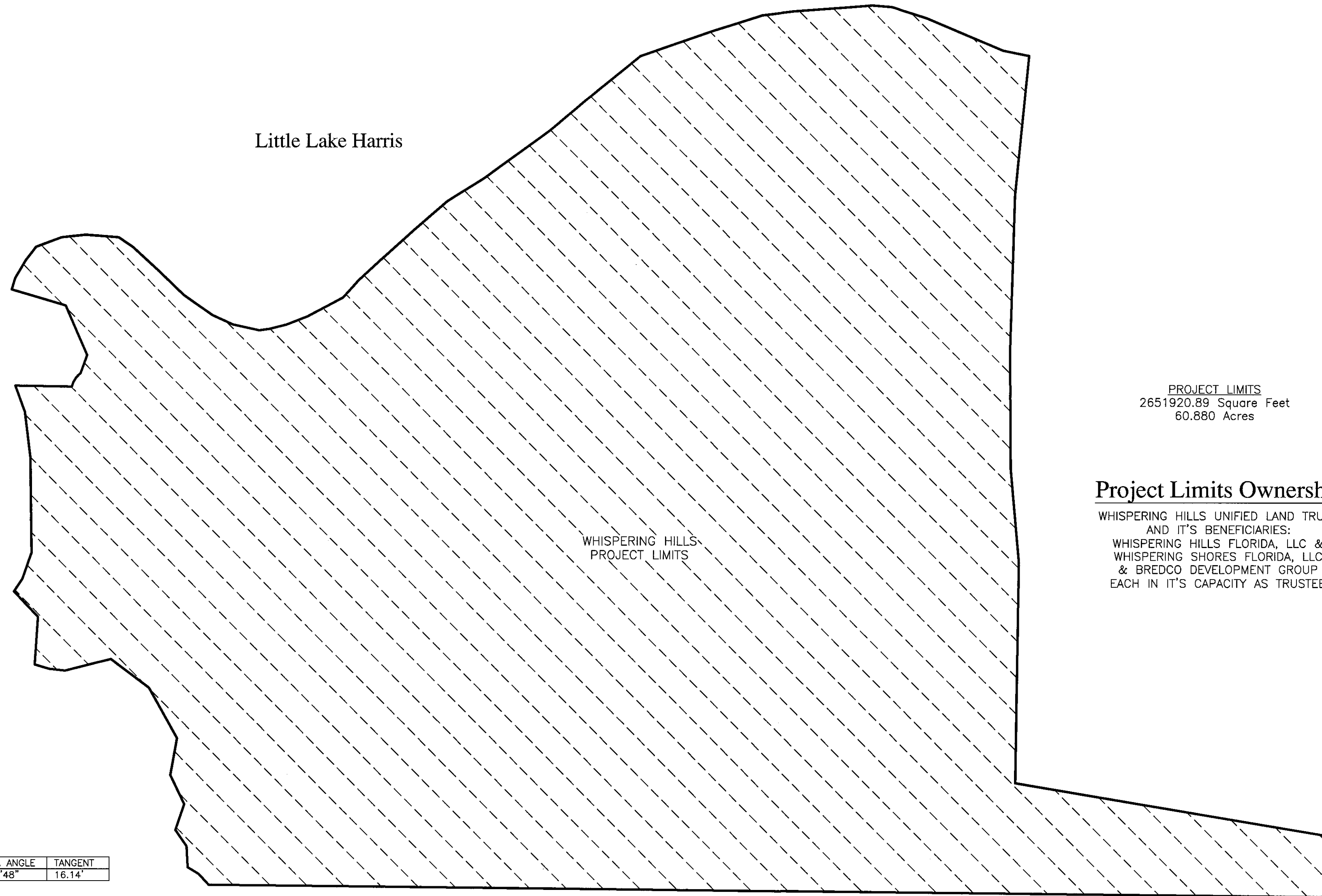
LINE	BEARING	DISTANCE
L1	S 89°50'08" E	32.78'
L2	N 89°36'12" W	33.26'
L3	S 59°21'44" E	39.46'
L4	S 51°48'39" E	32.32'
L5	S 20°06'30" E	52.66'
L6	S 05°48'50" E	46.69'
L7	S 04°14'38" W	63.65'
L8	S 33°26'19" W	33.87'
L9	S 42°12'38" W	63.00'
L10	S 43°27'07" W	70.97'
L11	S 34°38'41" W	66.78'
L12	S 24°34'08" W	43.64'
L13	S 12°12'12" W	51.72'
L14	S 07°46'34" E	19.89'
L15	S 14°19'43" E	34.15'
L16	S 21°00'25" E	43.53'
L17	S 27°45'01" E	76.71'
L18	S 47°28'28" E	45.18'
L19	S 42°26'57" E	51.56'
L20	S 41°22'02" E	87.92'
L21	S 40°24'32" E	86.99'
L22	S 32°00'05" E	82.70'
L23	S 35°51'18" E	158.38'
L24	S 39°44'36" E	86.83'
L25	S 38°30'16" E	48.41'
L26	S 38°37'19" E	88.55'
L27	S 18°50'58" E	150.83'
L28	S 17°00'24" E	31.36'
L29	S 17°24'59" E	66.00'
L30	S 06°59'58" E	62.36'
L31	S 04°11'13" E	110.04'
L32	S 04°23'45" E	41.16'
L33	S 04°33'28" W	36.78'
L34	S 14°23'11" W	7.18'
L35	S 20°10'10" W	13.99'
L36	S 17°31'58" W	50.58'
L37	S 22°56'32" W	68.25'
L38	S 22°36'46" W	91.03'
L39	S 11°13'03" W	51.32'

Line Information: Field

LINE	BEARING	DISTANCE
L40	N 89°51'03" W	112.96'
L41	N 47°09'43" E	28.30'
L42	N 31°02'11" E	24.81'
L43	N 86°55'48" E	40.31'
L44	N 55°05'08" E	38.19'
L45	S 71°01'20" E	52.29'
L46	N 64°09'48" E	61.62'
L47	S 79°41'54" E	70.94'
L48	N 60°39'33" E	110.96'
L49	N 36°52'01" E	91.94'
L50	N 13°52'52" W	29.71'
L51	N 14°17'52" W	61.64'
L52	N 06°23'22" E	30.93'
L53	N 18°45'59" E	28.88'
L54	S 86°22'27" E	91.79'
L55	N 45°57'51" E	86.74'
L56	S 55°54'12" E	29.18'
L57	S 70°43'29" E	52.36'
L58	N 89°10'11" E	183.00'
L59	N 82°49'33" E	87.24'
L60	N 69°29'41" E	52.88'
L61	S 00°53'22" W	108.93'
L62	S 70°02'13" E	36.99'
L63	N 66°26'02" E	104.12'
L64	N 16°19'52" E	108.8'±
L65	S 72°51'43" E	22.97'

Line Information: Dead

LINE	BEARING	DISTANCE
L66	N 89°17'20" E	146.00'



PROJECT LIMITS
2651920.89 Square Feet
60.880 Acres

Project Limits Ownership

WHISPERING HILLS UNIFIED LAND TRUST
AND ITS BENEFICIARIES:
WHISPERING HILLS FLORIDA, LLC &
WHISPERING SHORES FLORIDA, LLC
& BREDOCO DEVELOPMENT GROUP
EACH IN ITS CAPACITY AS TRUSTEE

Buckhill Road
Public Right-of-way width varies
Clay Road (width varies)

Surveyor's Notes

- 1.) Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.
- 2.) The coordinate and bearing structure for this survey is based on Florida State Plane Coordinate System, East zone, North American Datum of 1983 (NAD83), 1990 adjustment. Horizontal control station utilized was National Geodetic Survey (NGS) first (1st) order station LC 067.
- 3.) All utilities depicted hereon are from visible evidence only. Surveyor did not contact subsurface utility locator service.
- 4.) No underground foundations or footers were excavated or located for this survey.
- 5.) Boundary Survey has been performed without benefit of title policy or abstract. Therefore surveyor can make no guarantees to ownership or encumbrances.

(Signature)
Stacy L. Brown P.S.M. No. 6516
SurvTech Solutions, Inc. L.B. No. 7340

Project Name: **Whispering Hills** PROJECT NO.: **20060189**
Address: **North Buckhill Road** City: **Howey-in-the-Hills** State: **Florida**

REVISION	DATE	INITIALS
Revised parent parcel & project limits boundaries.	11/18/08	T.M.
Added wetland line.	5/14/09	S.B.
Added Army Corp of Engineers wetland areas.	9/9/10	S.B.
Added information for Parcels C, F, S & T.	3/31/11	T.M.
Revised legal descriptions.	12/12/11	T.M.
Removed all internal parcels	5/16/12	S.B.

SURVEYING TODAY WITH TOMORROW'S TECHNOLOGY

Drafted By: **S. Brown** Date Drafted: **7/07/07**
Approved By: **S. Brown** Date Approved: **7/09/07**
Field Date: **3/28/07**

Phase: **6**
Revision Date: **5/16/12**
Drawing Name: **20060189_GPI**
Scale: **1" = 100'**
Field Book/Page: **27-09/7**

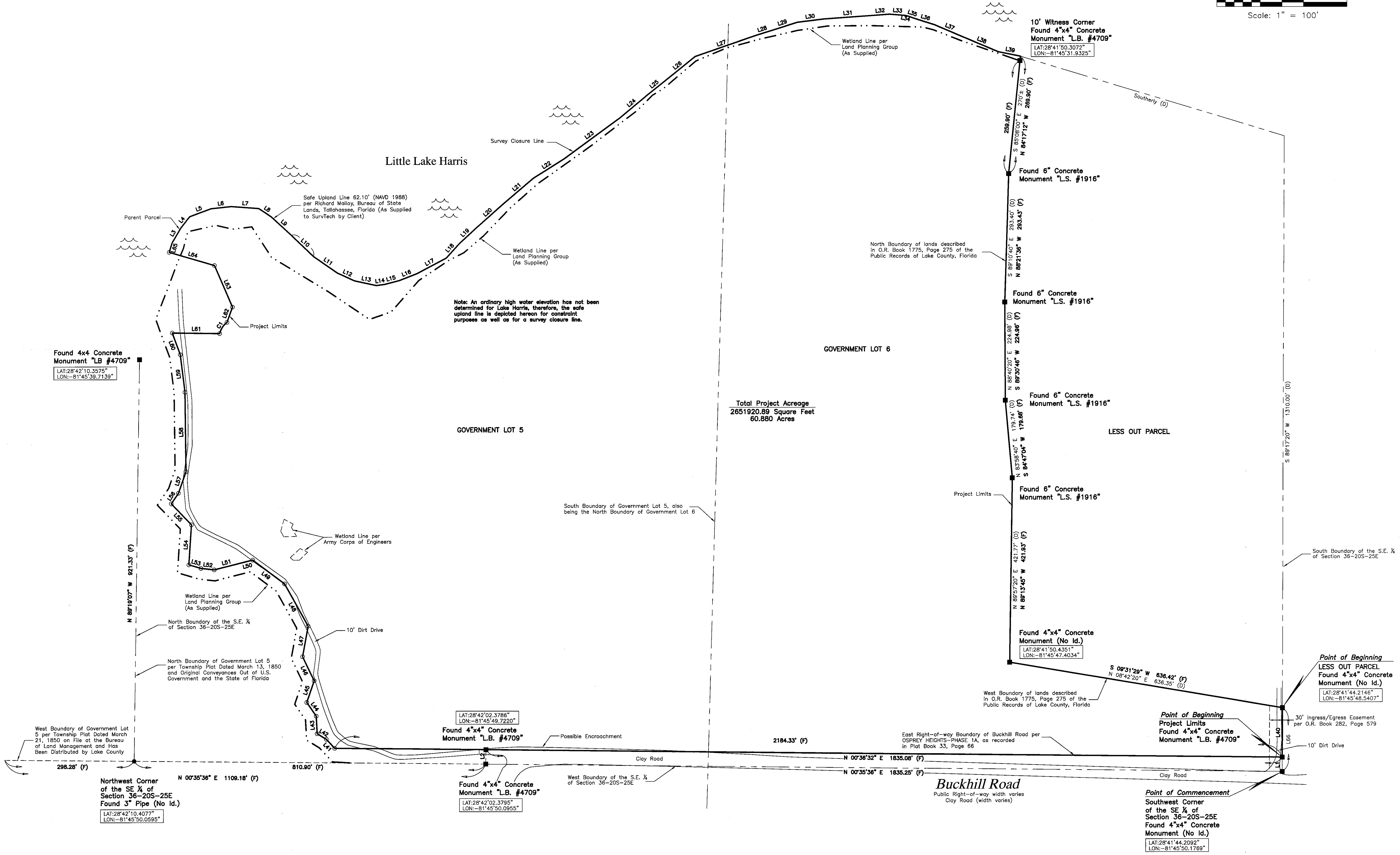
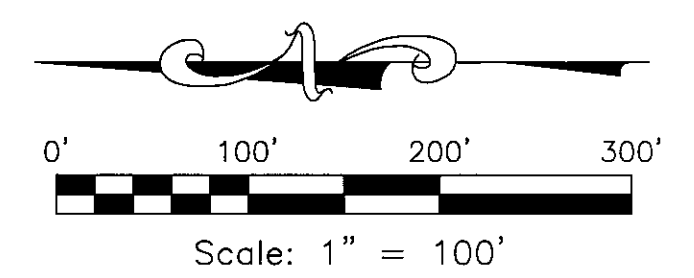
SURVTECH SOLUTIONS, INC.

10220 U.S. Highway 92 East
Tampa, FL 33610
Phone: (813)-621-4929
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Licensed Business #7340
email: sbrown@survtechsolutions.com
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Project Limits Boundary Detail Sheet

Whispering Hills

Little Lake Harris



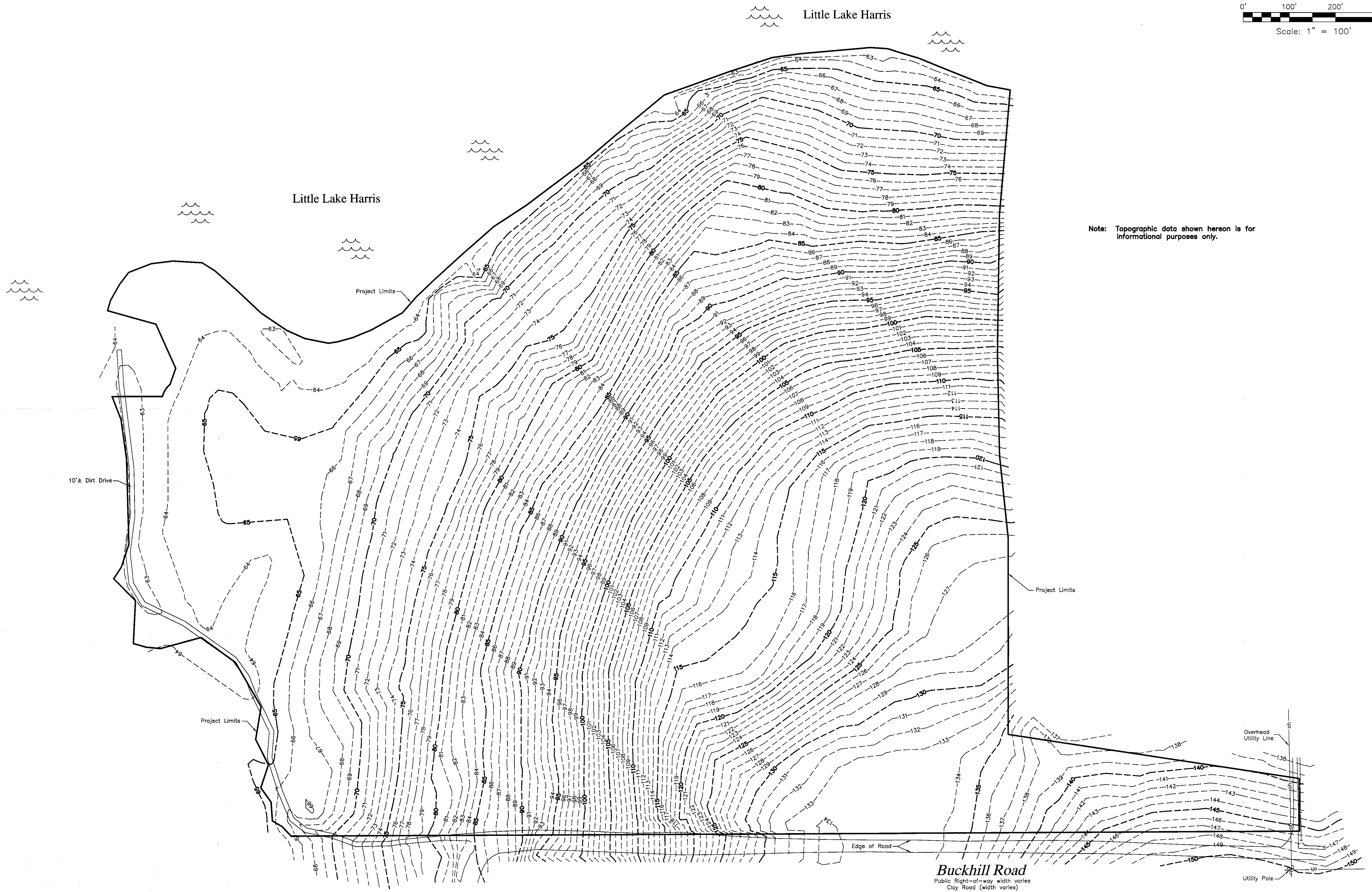
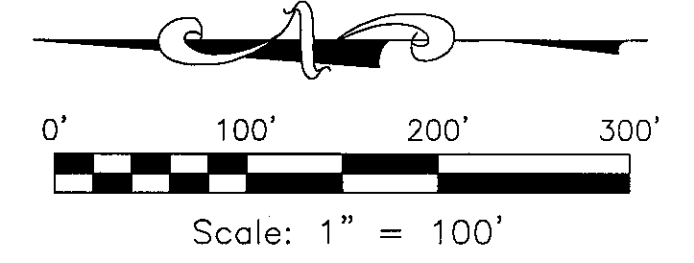
Total Project Acreage
2651920.89 Square Feet
60.880 Acres

Note: An ordinary high water elevation has not been determined for Lake Harris, therefore, the safe upland line is depicted hereon for constraint purposes as well as for a survey closure line.

Boundary Survey
PREPARED FOR:
Whispering Hills

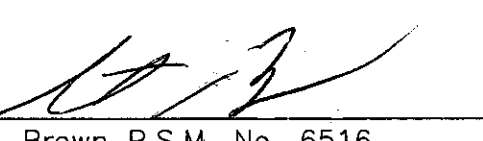
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Topographic Detail Sheet



Note: Topographic data shown hereon is for informational purposes only.

Buckhill Road
Public Right-of-way width varies
Clay Road (width varies)


Stacy L. Brown P.S.M. No. 6516
SurvTech Solutions, Inc. L.B. No. 7340

Boundary Survey
PREPARED FOR:
Whispering Hills

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