

Town Council Meeting

Asma Parcel – Ord. 23-009

Agenda Item 4

February 12, 2024

S. Brent Spain, Esquire

Board Certified Specialist by The Florida Bar in
City, County & Local Government Law

Nicole C. Gargasz, Principal

Gemini Land Development, Inc.



Asma Family – Local Roots

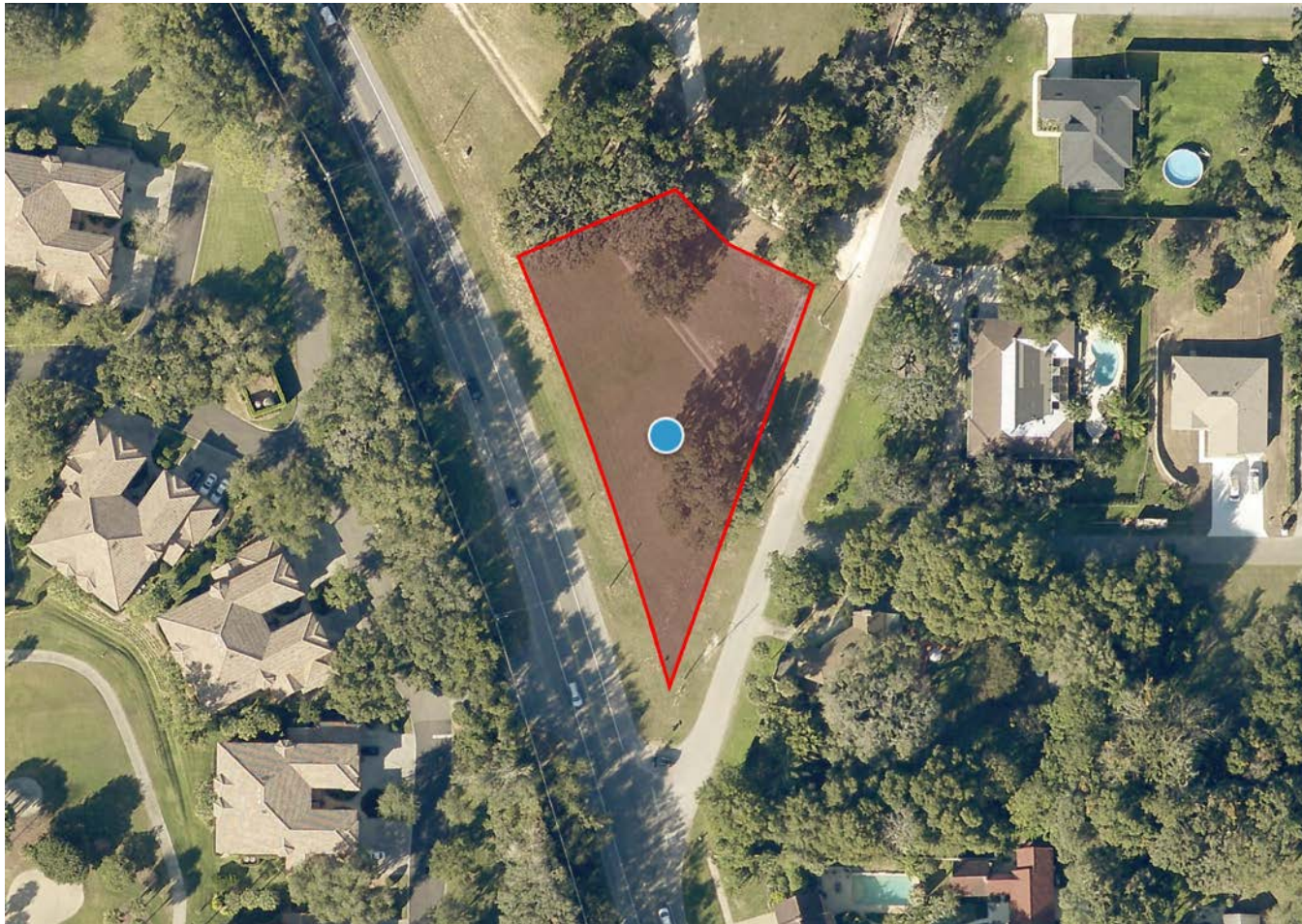


- ❑ The Grandmother of Nick and Neil Asma's mother moved to Central Florida/Winter Garden in the early 1900s.
- ❑ The family has continued to live in Winter Garden ever since. Nick Asma with Lakeview Investments lives in Winter Garden with his wife and children.

Existing Winter Garden Buildings



Site Location



- 0.69+/- acres
- Corner of SR 19 and Citrus Avenue
- Requesting a small-scale plan amendment and rezoning to allow the site to be developed with a single-story, 4,000+/- square foot professional office building.

Street View



Image capture: Jul 2023 © 2023 Google

- Existing large canopy trees obscure view of the Howey Mansion from southern approach on SR 19.

Street View

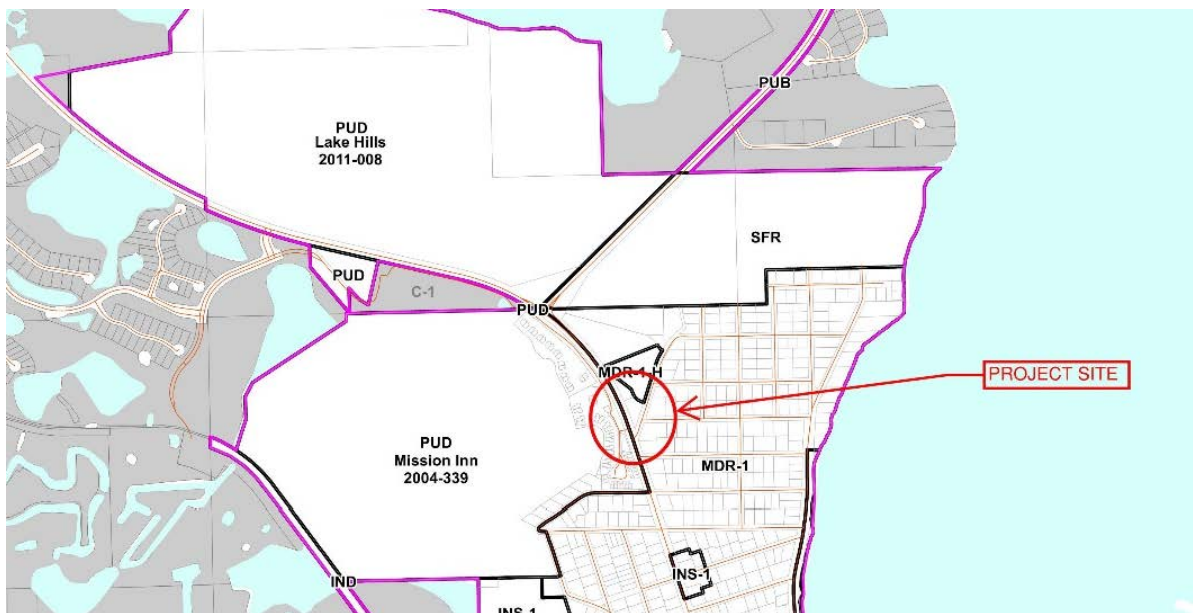


- Existing large canopy trees obscure view of the Howey Mansion from southern approach on SR 19.

Existing Land Use/Zoning

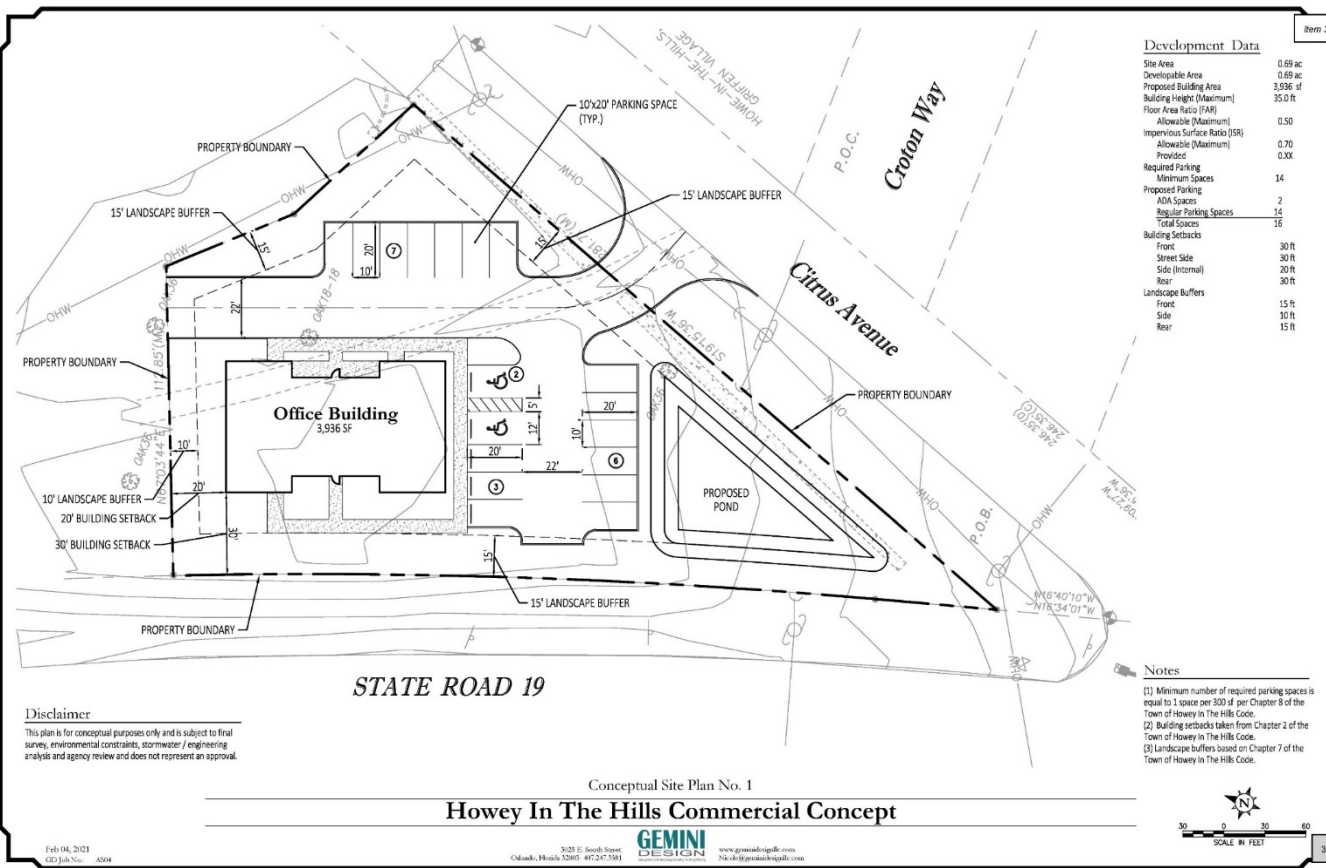


- Existing future land use is MDR which allows up to 4 du/acre (single-family detached or townhomes).
- Proposed future land use is Neighborhood Commercial, which authorizes “small neighborhood scale . . . professional offices.”



- Existing zoning is MDR-1 (4 du/ac). Could be developed for single-family residential use or a group home.
- Proposed zoning is Neighborhood Commercial (NC), which authorizes small professional office uses and “recognizes the desire for . . . services in close proximity to residential neighborhoods, provided that such uses are limited in intensity.” (2.02.05)

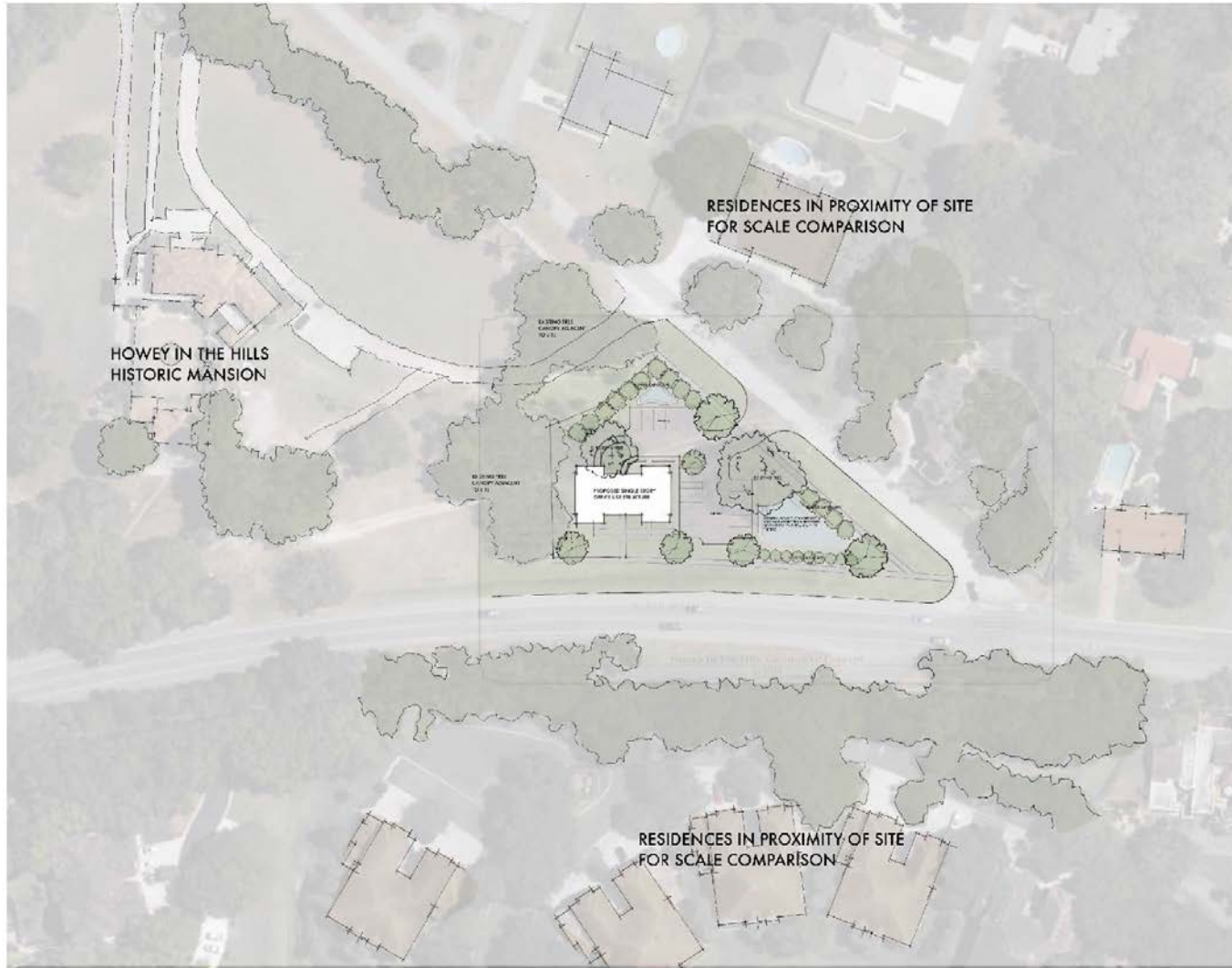
Conceptual Site Plan



- ❑ Staff – “The parcel size, shape and location make it a poor choice for single-family residential use.”
- ❑ The proposed single-story office building is located toward the northwestern portion of the site, furthest from Citrus Avenue.
- ❑ Staff – confirms the project complies with required setbacks, floor area ratio, building size, building height, and buffering.
- ❑ Open space is approximately 60% -- far exceeding 30% requirement.

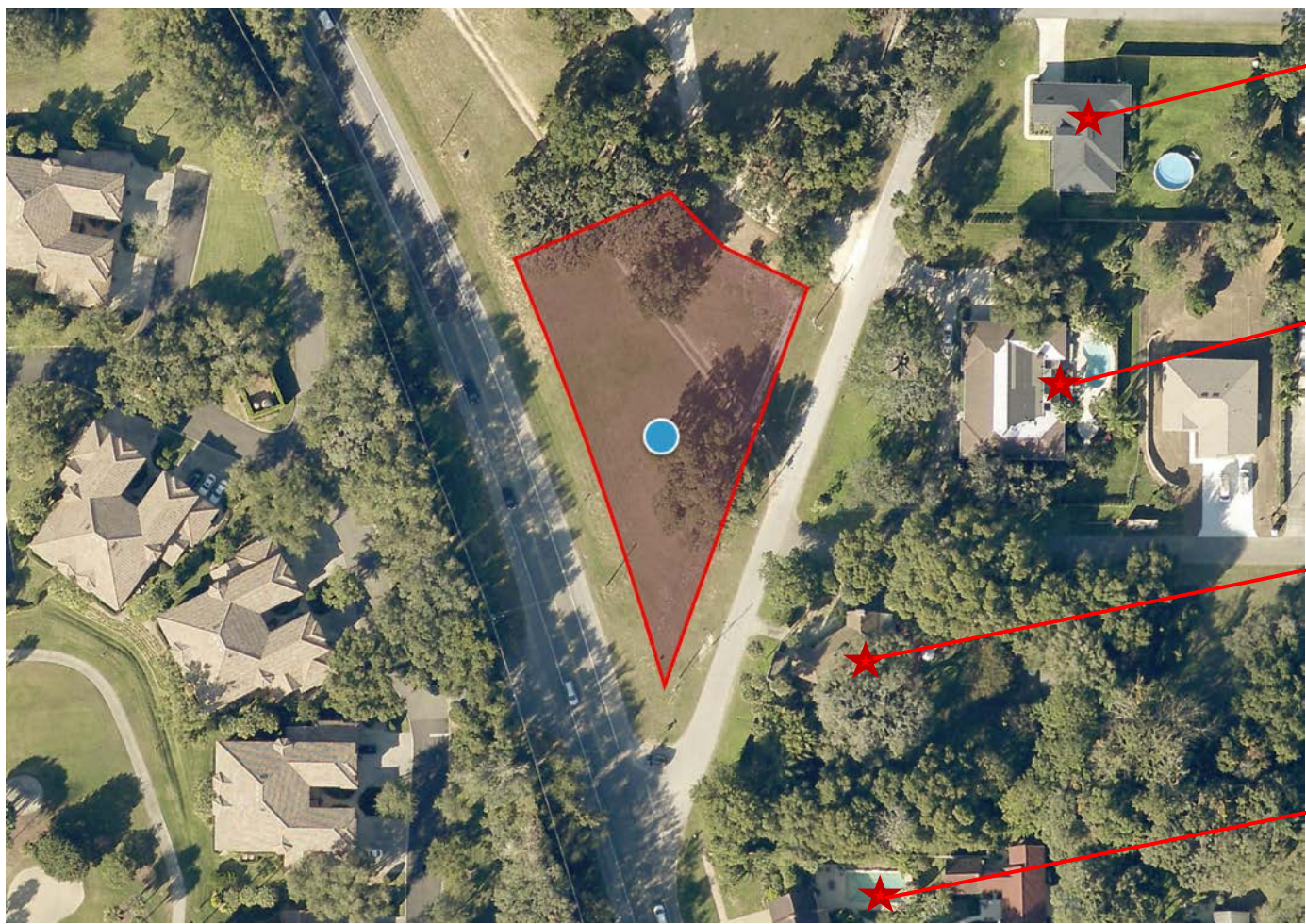
Disclaimer
 This plan is for conceptual purposes only and is subject to final survey, environmental constraints, stormwater / engineering analysis and agency review and does not represent an approval.

Conceptual Site Plan No. 1
Howey In The Hills Commercial Concept



SITE CONTEXT PLAN

- The proposed single-story office building is smaller than or similar in size and scale to surrounding structures, including nearby residential uses.
- Staff – “the use of the subject property as a low intensity office use is compatible with the existing activity at the Mansion.”



902 Citrus Ave
(3,237 square
feet under roof)

900 Citrus Ave
(4,268 total living
area)

800 Citrus Ave
(4,427 square
feet total living
area).

800 N. Palm Ave
(3,294 square
feet total living
area + 1,108
square feet living
area)





CONCEPTUAL SITE PLAN

- The proposed single-story office building will include perimeter landscape buffers along Citrus Avenue, portions of SR 19, and the northeastern boundary.

- Condition in proposed Development Agreement that buffer cannot impede or interfere with visibility triangle at intersection of Citrus Avenue and SR 19.

- Staff – “A single-family home in the same location is required substantially less landscaping.”



CONCEPTUAL ELEVATION

- ❑ The proposed single-story office building will feature an architectural that is consistent with and harmonious with the Howey Mansion and nearby residential uses.
- ❑ The applicant has committed that the other building facades (i.e., sides and rear) will incorporate design detail equivalent to the front facade pictured above.



CONCEPTUAL ELEVATIONS

CONCEPTUAL

Asma
Howey in the Hills
Office

MM

Date:
02-13-2024

Conceptual



WEST ELEVATION



EAST ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH | SOUTH ELEVATION



NORTH | SOUTH ELEVATION



CONCEPTUAL

Asma
Howey in the Hills
Office

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Date:
02-13-2024

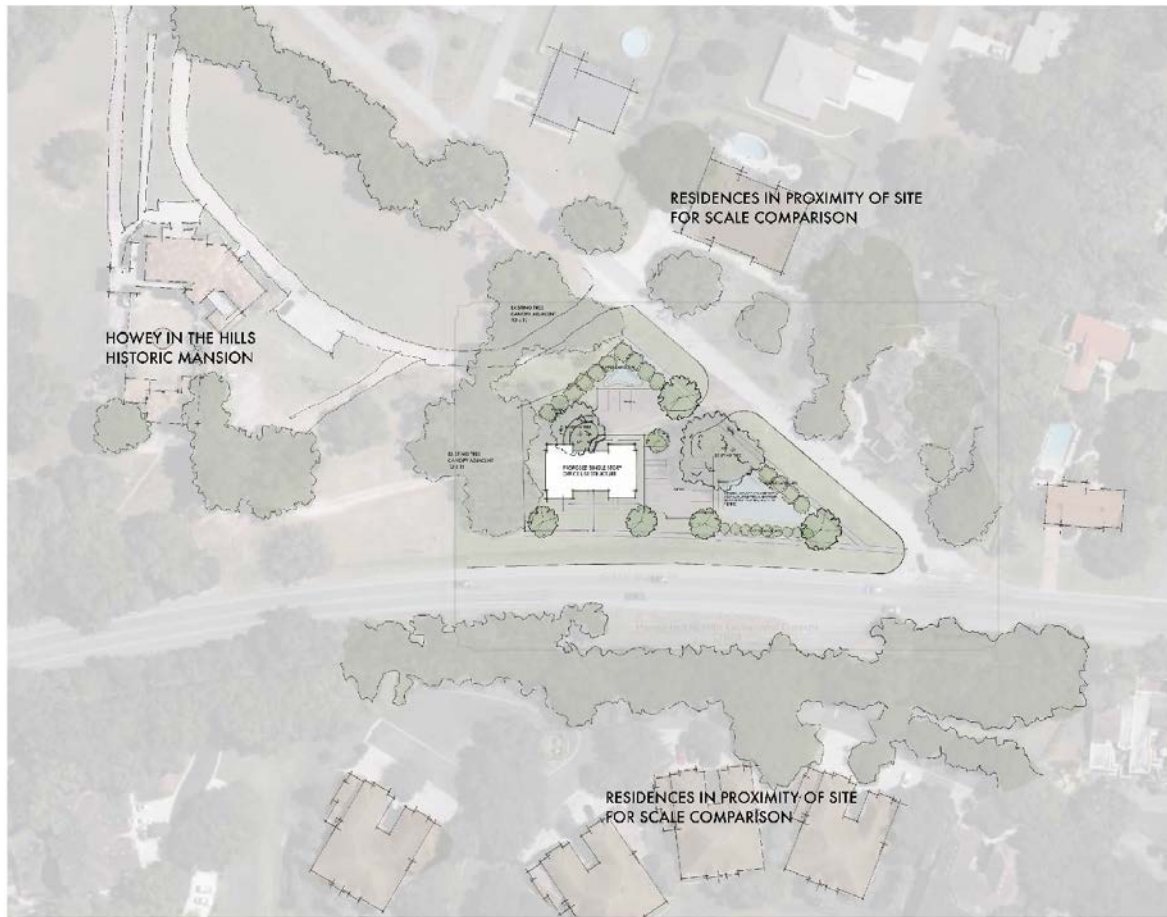
Conceptual

CONCEPTUAL ELEVATIONS



CONCEPTUAL ELEVATIONS

Trip Generation



SITE CONTEXT PLAN

- Staff – “[T]he site is small and the proposed office use is a relatively small traffic generator. . . [T]he total traffic volume is expected to be under 50 trips per day.”
- Staff – “Access from Citrus Avenue is preferred over SR-19 access, which FDOT is unlikely to approve with a reasonable alternative available.”
- Staff – “Site access from Citrus Avenue will be safer for traffic on SR 19 and, therefore, the site has been designed with access from Citrus Avenue.”
- Staff – “The proposed use is low intensity for a non-residential activity with limited traffic generation that is unlikely to impact the neighborhood to the east with much added traffic.”

Traffic Circulation

The Howey Mansion



Signature Weddings

This nearly 100 year old Mansion has been painstakingly restored to its magnificent grandeur and is the perfect backdrop for your wedding day. From intimate affairs of a dozen guests to grand gatherings for 200 or more, the unique historic grounds of the Howey Mansion Estate will be a magical setting, as you become one!



Historic Tours

After almost 10 years of complete abandonment, The Howey Mansion is starting a new chapter in its history. We invite you to explore the home and grounds in a 1+ hour guided historic tour. The tour includes all 24 rooms of the Mansion.



Galas & Fundraisers

The Howey Mansion Estate sits on more than three lush acres, perfect for events of 100 or even 1,000! Host a cocktail party in the Ballroom, a spectacular dinner under the stars in the Fountain Courtyard or on our Front Lawn.

- The peak direction traffic from the site (8 trips) is approximately 1.1% of the capacity for the segment of SR 19 from CR 48 to Central Avenue.
- Traffic analysis – “The local roadway network has adequate capacity to accommodate the new trips without reducing [LOS].”
- Citrus Avenue adequately accommodates non-residential/commercial-type traffic from the Howey Mansion.
- The proposed single-story office building has 16 parking spaces, with 2 ADA spaces. Thus, safe to say, it will not be hosting events for hundreds or even 1,000 people like the Howey Mansion.

Future Sewer Connection



- Staff – “There are no sewer lines available to the site and the likelihood that sewers lines will be extended to the site is remote. The site will need to be served by a septic system with a commitment to connect to sewer should it become *available*.”
- Staff – “The use of septic systems is common in this area of Town and the project will connect to central sewer should it become *available*.”
- The building is 4,000 sq. ft., so $0.334 \text{ ERU}/1,000 \text{ sq. ft.} = 1.34 \text{ ERU}$
 $\text{ERU} = 1.34 \text{ ERU} \times 300 \text{ gpd} = 400 \text{ gpd}$.
- Per Section 381.0065(2)(a)1., Florida Statutes, for a use with a sewage flow of 1,000 gpd or less, there needs to be gravity sewer in the abutting right-of-way for it to be “available” – which it is not in this case.

Proposed Development Agreement

4. **Project Description and Development Conditions.** Lakeview shall, at its expense, design, permit and develop the Property in accordance with the following terms and conditions:

- A. The use of the Property shall be limited to professional office uses only, such as legal, medical/dental, accounting, financial advisors, veterinarians (indoor facilities only), and other similar professional office uses. No neighborhood commercial uses other than professional office shall be permitted on the Property.
- B. The Property shall be developed with a reduced Floor Area Ratio (FAR) of 0.15, instead of 0.50 as otherwise allowed in the NC future land use district.
- C. The professional office building shall be limited to a maximum of 4,000 square feet.
- D. The professional office building shall be limited to one (1) story with a maximum building height of thirty-five (35) feet.
- E. All exterior building lighting and parking lot lighting on the Property shall meet dark sky standards.
- F. Prior to issuance of the final certificate of occupancy for the professional official building, Lakeview shall replace the sidewalk along the western side of Citrus Avenue for the length of the Property. Lakeview shall also install a sidewalk along the Property's frontage on SR 19 or make a payment in lieu thereof to the Town's sidewalk fund.
- G. The professional office building shall be constructed in substantial conformance with the conceptual architectural renderings attached hereto as Exhibit "B" ("Conceptual Renderings"), which depict the building in an architectural style designed to compliment the nearby Howey Mansion. Additionally, the sides and rear of the building shall feature architectural treatments consistent with the front elevation of the professional office building as shown on the Conceptual Renderings.
- H. The Property shall feature a perimeter landscaping buffer consistent with the Conceptual Renderings, which, at a minimum, shall have one (1) canopy tree, two (2) understory trees, and thirty (30) linear feet of shrubs for each fifty (50) foot length of buffer. The perimeter landscaping shall be installed in such a manner so as not to impede or otherwise interfere with the visibility triangle at the intersection of Citrus Avenue and SR 19.
- I. To the greatest extent possible, Lakeview shall preserve existing live oaks on the Property when developing the professional office building.
- J. Lakeview agrees to connect the Property and the professional office building to central sewer should such service become available to the Property as provided in Florida Statutes and the Town's Land Development Code.

Conclusion

- We support Staff's detailed findings in the Staff Report in support of the proposed plan amendment and rezoning to allow a small, single-story professional office building on the property, and respectfully request that the Town Council approve the proposed plan amendment and rezoning subject to and contingent upon the finalization of the proposed Development Agreement.
- The proposed plan amendment/rezoning is consistent with the Town's Comprehensive Plan.
- The proposed plan amendment/rezoning is consistent with the Town's LDC.
- Thank you for your time and support.

