

Watermark PUD Amendment

*Applicant: Revels Road
Investors, LLCs*

March 10, 2025 First Reading

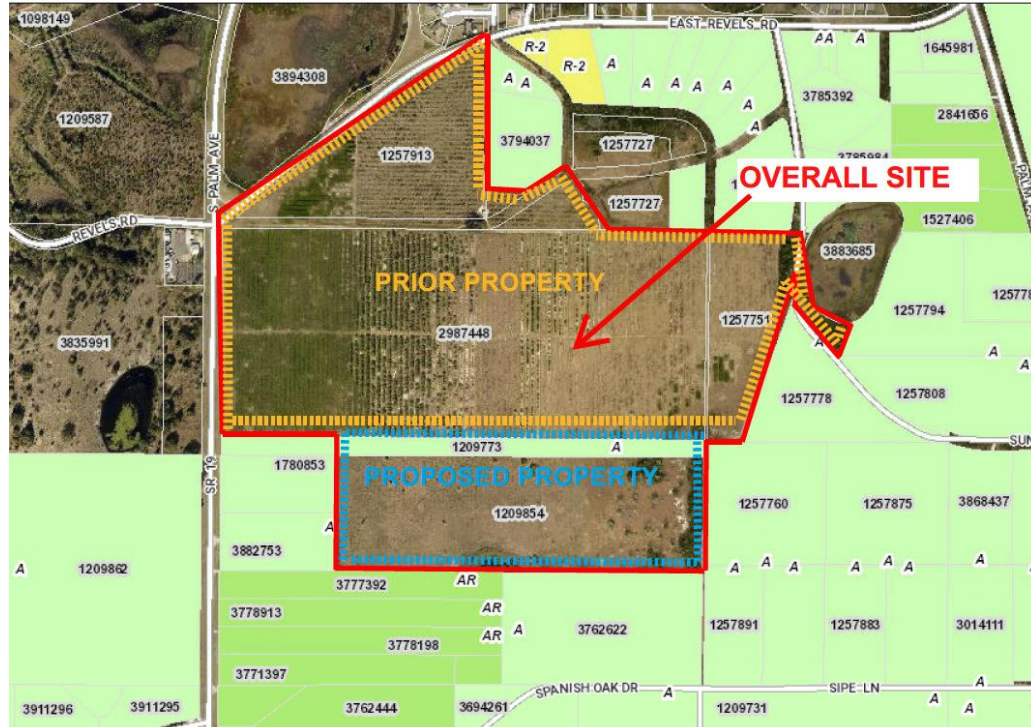
March 24, 2025 Second Reading

A large field of vibrant red poppies stretches towards a horizon where the sun is setting, casting a warm golden glow. The sky is filled with soft, wispy clouds. The scene is partially obscured by a black diagonal shape on the left side of the slide.

akerman

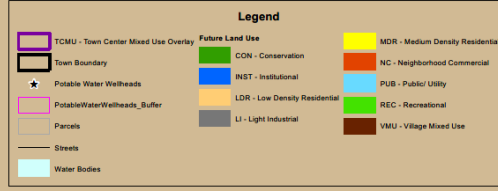
Planned Development Amendment

Purchase of additional land, located to the south of the existing PD prompted amendment

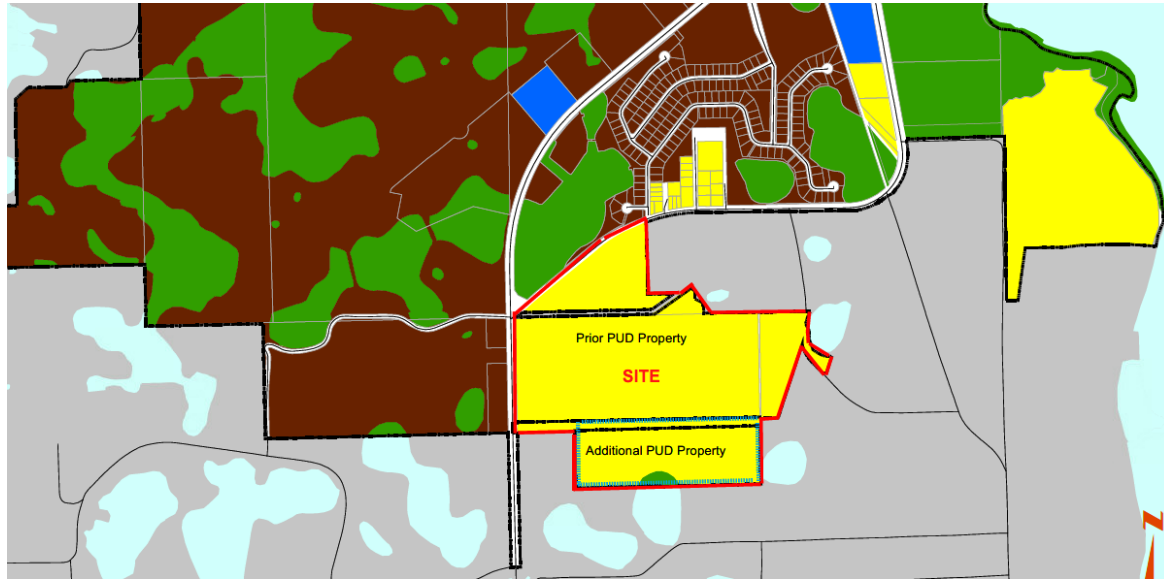


Existing Future Land Use

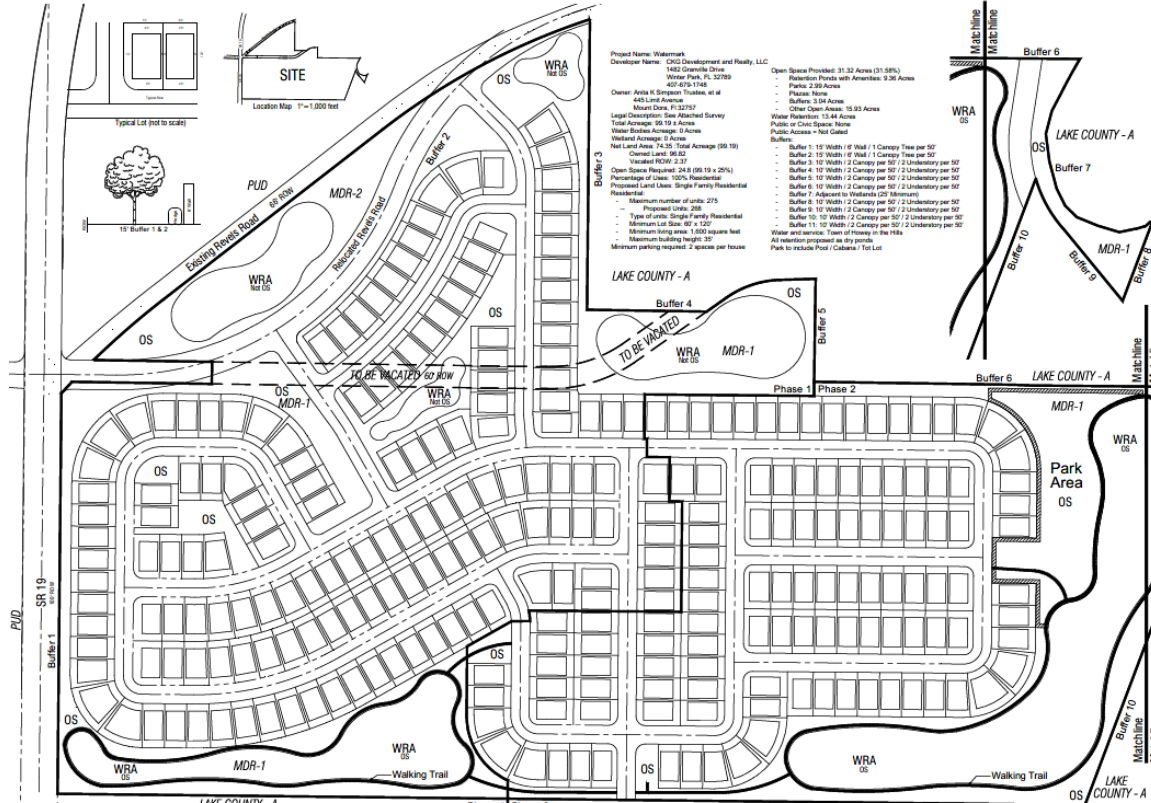
Town of Howey-in-the-Hills 2035 Future Land Use Map



For legal, engineering, or surveying purposes,
obtain the usability of the information.



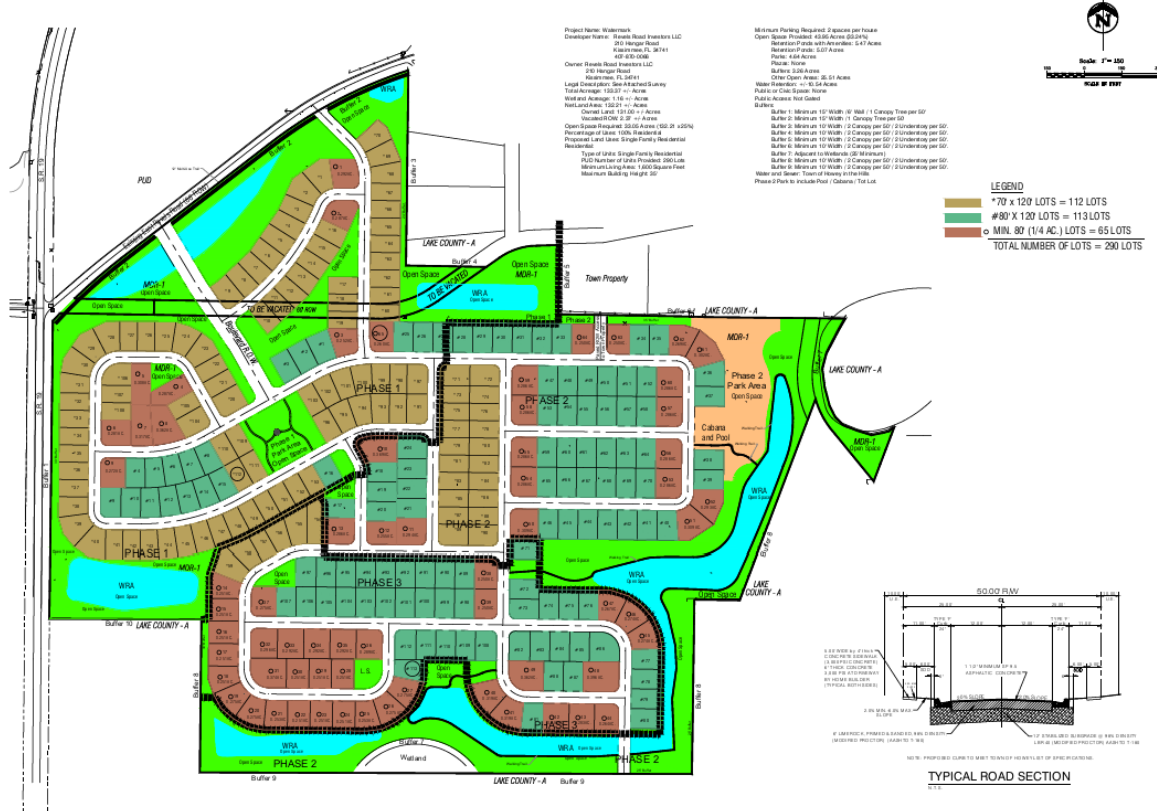
Existing Conceptual Land Use Plan



Project Name: Watermark
 Developer Name: CMC Development and Realty, LLC
 1482 Christie Drive
 Winter Park, FL 32789
 407-879-1748
 Owner: Anita K. Simpson Trustee, et al
 445 Lind Avenue
 Mount Dora, FL 32757
 Legal Description: See Attached Survey
 Total Acreage: 99.19 ± Acres
 Water Broken Acreage: 0 Acres
 Wetland Acreage: 0 Acres
 Net Land Area: 74.35 Total Acreage (99.19)
 Channel Length: 96.62
 Treated ROW: 2.37
 Open Space Required: 24.8 (99.19 ± 25%)
 Percentage of Open: 100% Residential
 Proposed Land Uses: Single Family Residential
 Residential:
 - Maximum number of units: 275
 - Proposed Units: 268
 - Type of Units: Single Family Residential
 - Minimum Lot Size: 61' x 120'
 - Minimum living area: 1,500 square feet
 - Minimum building height: 8'
 - Minimum parking required: 2 spaces per house

Open Space Provided: 31.32 Acres (31.58%)
 - Planting Credits with Penalties: 9.98 Acres
 - Parks: 2.99 Acres
 - Ponds: None
 - Buffers: 3.94 Acres
 - Other Open Areas: 15.93 Acres
 Water Retention: 13.44 Acres
 Public or Civil Space: None
 Public Access = Not Galat
 Buffers:
 - Buffer 1: 10' Width / 8' Wall / 1 Canopy Tree per 50'
 - Buffer 2: 10' Width / 8' Wall / 1 Canopy Tree per 50'
 - Buffer 3: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 - Buffer 4: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 - Buffer 5: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 - Buffer 6: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 - Buffer 7: Adjacent to Wetlands (25' Minimum)
 - Buffer 8: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 - Buffer 9: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 - Buffer 10: 10' Width / 2 Canopy per 50' / 2 Understory per 50'
 Water and aeration: Town of Winter, in the 1980s
 All retention proposed as dry ponds.
 Ponds to include Pond, Cisterns / Wet Lot

Proposed Conceptual Land Use Plan



Existing vs. Proposed PD

Development Condition	Existing PD	Proposed PD Amendment
Acreage	99.19 Acres	132.59 Acres
Maximum Density Allowed	298 DUs	396 DUs
Number of Units Proposed	225 DUs	290 DUs
Minimum Lot Size	70' x 120'	70' x 120'
Lot Size/Count Proposed	(112) 70' x 120' (113) 80' x 120'	(112) 70' x 120' (113) 80' x 120' (65) Min. ¼ Acre (10,890 SF)
Maximum Home Size	3,500 SF	70' & 80' Lots - 3,500 SF ¼ Acre (10,890 SF) Lots - None
Phases	Two	Three
Open Space	29.95 Acres (30%)	43.95 Acres (33%)
Bicycle/Pedestrian Path	10' wide	12' wide

Proposed Conceptual Land Use Plan Highlights

- All NEW units proposed will meet updated Town lot standards - minimum ¼ acre lots and a wider diversity of lot sizes
- Provides Additional Open Space – Approximately 43.95 Acres, will exceed 25% required
- Internal Parks and open space maximized, providing for connectivity within community
- No changes to setbacks, development in largely in keeping with prior approval – the sole change being to limit the maximum home size to the 70' x 120' and 80' x 120' lots
- Development connects to Town water and sewer
- Existing Revels Road / SR 19 Improvements – proportionate share of improvements, based on FDOT approval for intersection
- Termination of development based on the timing of Town's recently approved agreement with CDD for wholesale wastewaters