

CONSTRUCTION PLANS

FOR

Howey Self Storage

S.R. 19

HOWEY IN THE HILLS, FLORIDA

LAND DESCRIPTION (EAGLES LANDING AT OCOEE, INC. PARCEL)(VILLAGE 4 OF THE RESERVE AT HOWEY IN THE HILLS)

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY FLORIDA; THENCE RUN N89°21'35"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 35, 1487.79 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN N52°07'27"E ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 673.75 FEET TO THE POINT OF BEGINNING; THENCE RUN N37°53'02"W, 1008.88 FEET; THENCE RUN N00°35'47"E, 116.78 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 35; THENCE RUN S89°24'13"E ALONG SAID NORTH LINE, 270.08 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE RUN N00°35'58"E ALONG SAID WEST LINE, 256.12 FEET TO A POINT ON THE SOUTH LINE OF THE RESIDENCE OF DON WHITE; THENCE RUN S89°24'13"E ALONG SAID SOUTH LINE, 418.17 FEET; THENCE RUN S00°35'47"W, 709.10 FEET; THENCE RUN S37°52'33"E, 317.47 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN S52°07'27"W ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 329.54 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.978 ACRES MORE OR LESS.

LAND DESCRIPTION (HOWEY IN THE HILLS, LTD. PARCEL)

HOWEY FROM E 1/4 COR OF SEC 35-20-25 RUN N 89-21-35 W 1487.79 FT TO NWLY R/W LINE OF SR 19, N 52-07-27 E ALONG SAID NWLY R/W LINE 1003.29 FT FOR POB, RUN N 37-52-33 W 317.47 FT, N 0-35-47 E 709.10 FT, S 89-24-13 E TO NW COR OF LOT 1 BLK D-14 OF PALM GARDENS SUB, SE'LY ALONG SAID WLY LINE OF BLK D-14 OF PALM GARDENS SUB TO NWLY LINE OF SR 19, SWLY ALONG SAID R/W LINE TO POB ORB 3003 PG 1362 ORB 3446 PG 103

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.00 ACRES MORE OR LESS.



Location Map

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF HOWEY-IN-THE HILLS STANDARDS AND SPECIFICATIONS AND TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MOST RECENT EDITIONS.
- ALL DISTURBED AREAS SHALL BE GRASSED UPON COMPLETION OF CONSTRUCTION.
- ALL LANDSCAPING SHALL CONFORM TO THE TOWN OF HOWEY-IN-THE HILLS LANDSCAPE CODE, MOST RECENT ADDITION.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF THE SITE TO THE SPILLWAYS AS INDICATED BY GRADES AND FLOW ARROWS.
- UTILITIES SHOWN WERE LOCATED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION ALL UTILITY COMPANIES AND FOR THE LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST.
- EXISTING ZONING OF THE SUBJECT SITE IS PCD.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PHASE WHICH SHALL INCLUDE, BUT NOT LIMITED TO THE PLACEMENT OF SILT FENCES, STACKED HAY BALES OR OTHER SIMILAR STRUCTURES ALONG THE PERIMETER OF THE SITE. THIS WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AS OUTLINED IN F.D.O.T. STANDARD INDEX #102 & CITY CODE. THE CONTRACTOR SHALL PROVIDE AN EROSION PROTECTION PLAN, PRIOR TO PRE-CONSTRUCTION MEETING.
- REMOVE ALL STRIPPINGS AND UNCLASSIFIED MATERIALS OFFSITE AND DISPOSE OF IN LEGAL MANNER.
- FILL TO BE PLACED AND COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY (PER AASHTO T-180)
- JUNE ENGINEERING CONSULTANTS, INC. SHALL BE NOTIFIED IMMEDIATELY OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- ALL PAVEMENT SHALL BE GRADED TO OBTAIN A MINIMUM GRADE OF 0.50% AND SHALL DRAIN POSITIVELY TO ALL INLETS OR SPILLWAYS.
- CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT OF ANY REQUIRED UNDERGROUND CONDUITS NECESSARY FOR PLACEMENT OF UTILITIES (TELEPHONE, ELECTRIC, CABLE, ETC.) AND THE SPRINKLER SYSTEM.
- CONTRACTOR SHALL PROVIDE JUNE ENGINEERING CONSULTANTS WITH AS-BUILT INFORMATION ON THE FOLLOWING: LOCATIONS AND INVERTS OF ALL UTILITIES AND STORM STRUCTURES; PAVEMENT LOCATIONS AND GRADES; AND POND GRADES SHOWN ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION & PROTECTION OF ALL UTILITIES THAT MAY EXIST. WITHIN THE PROJECT LIMITS.

DEVELOPER:	HOWEY SELF STORAGE C/O P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
ENGINEER:	JUNE ENGINEERING CONSULTANTS P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
SURVEYOR:	BISHMAN SURVEYING & MAPPING 13610 GRANVILLE AVENUE CLERMONT, FL. 34711	(407) 905-8877
GEOTECHNICAL ENGINEER:	YOVAISH ENGINEERING SCIENCES, INC. 953 SUNSHINE LANE ALTAMONTE SPRINGS, FL. 32714	(407) 774-9383
ENVIRONMENTAL CONSULTANT:	BIO-TECH CONSULTING, INC. 2002 EAST ROBINSON STREET ORLANDO, FL. 32803	(407) 894-5969
UTILITIES	Water Town of Howey in the Hills Sewer Town of Howey in the Hills Telephone Centurylink Electric Duke Energy	

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February 4, 2008
Revised June 1, 2022

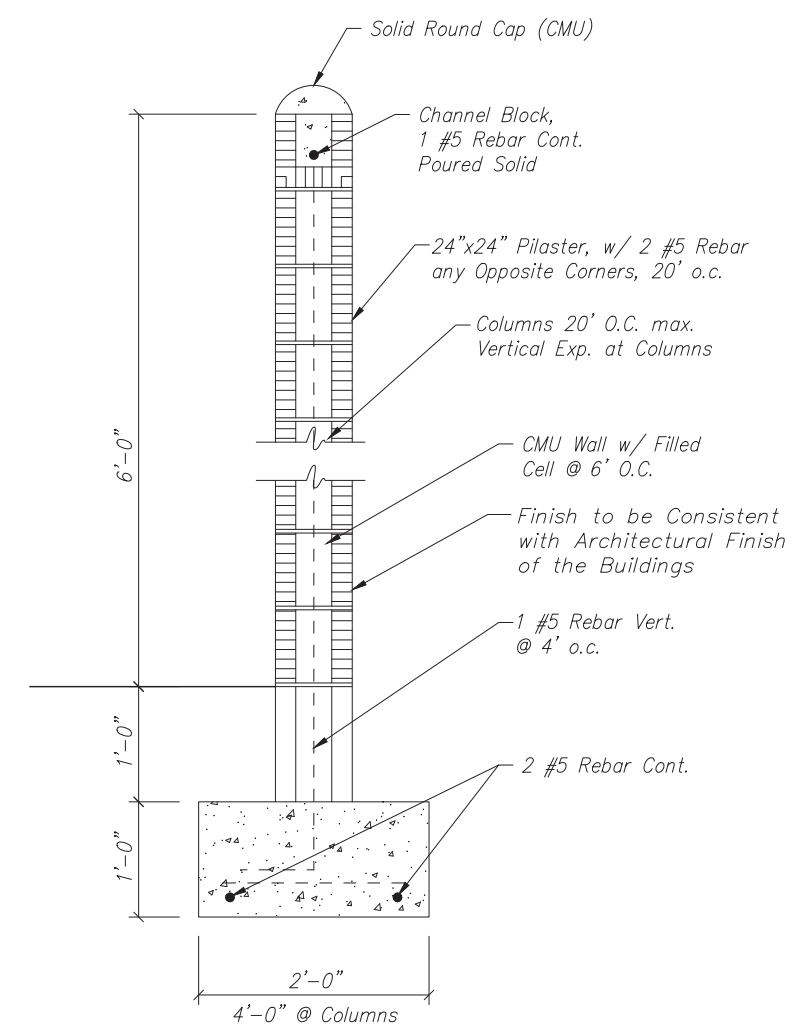


23 W. Joiner Street
Winter Garden, FL 34787
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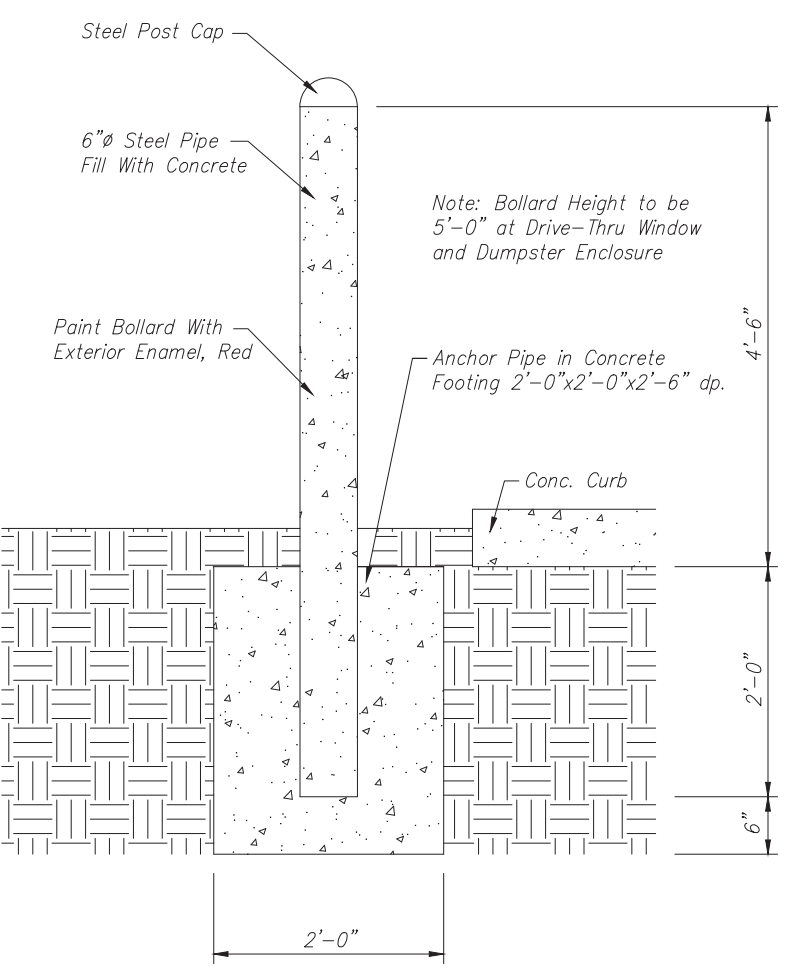
Certificate of Authorization #00031567

Digitally signed by
Jeffrey A Sedloff
DN: c=US, st=Florida,
l=Winter Garden,
o=June Engineering
Consultants, Inc.,
cn=Jeffrey A Sedloff,
email=jed@jec.com
Date: 2022.09.06
09:43:16 -0400

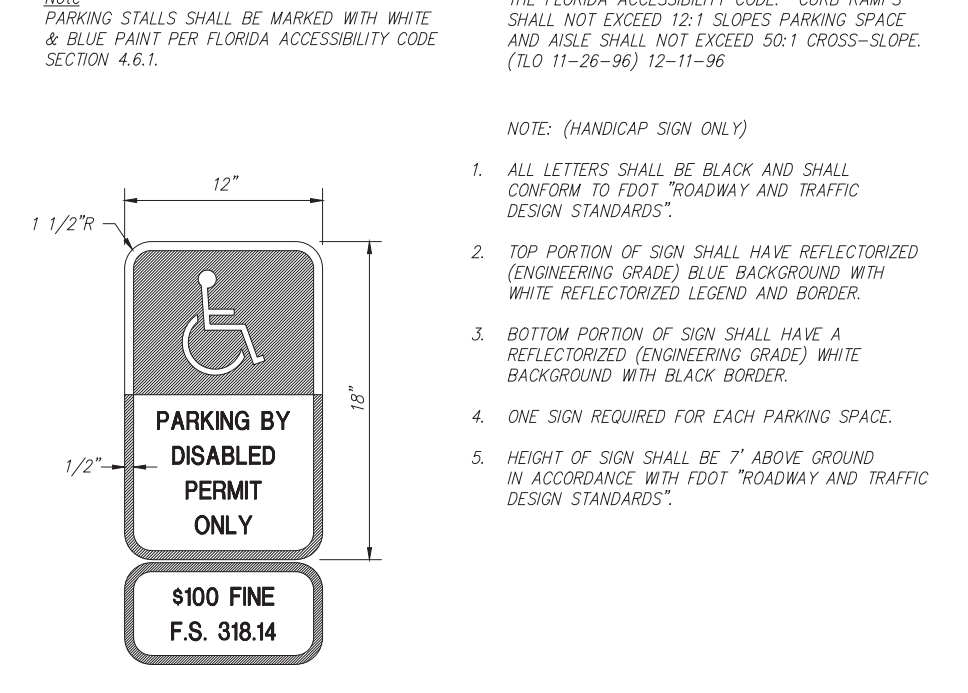
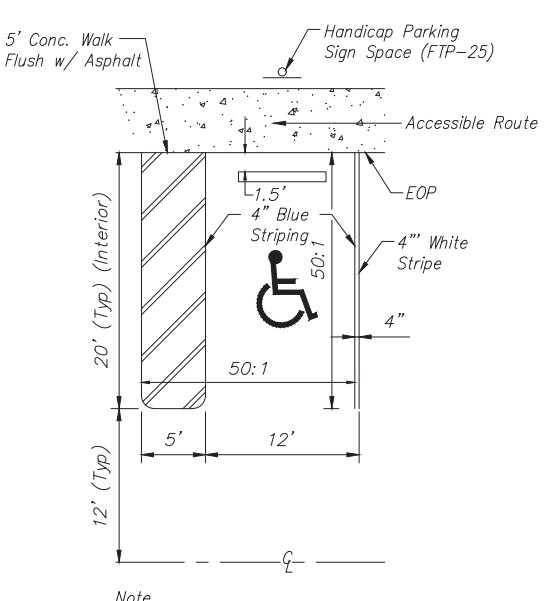
JEFFREY A. SEDLOFF
PE# 51506



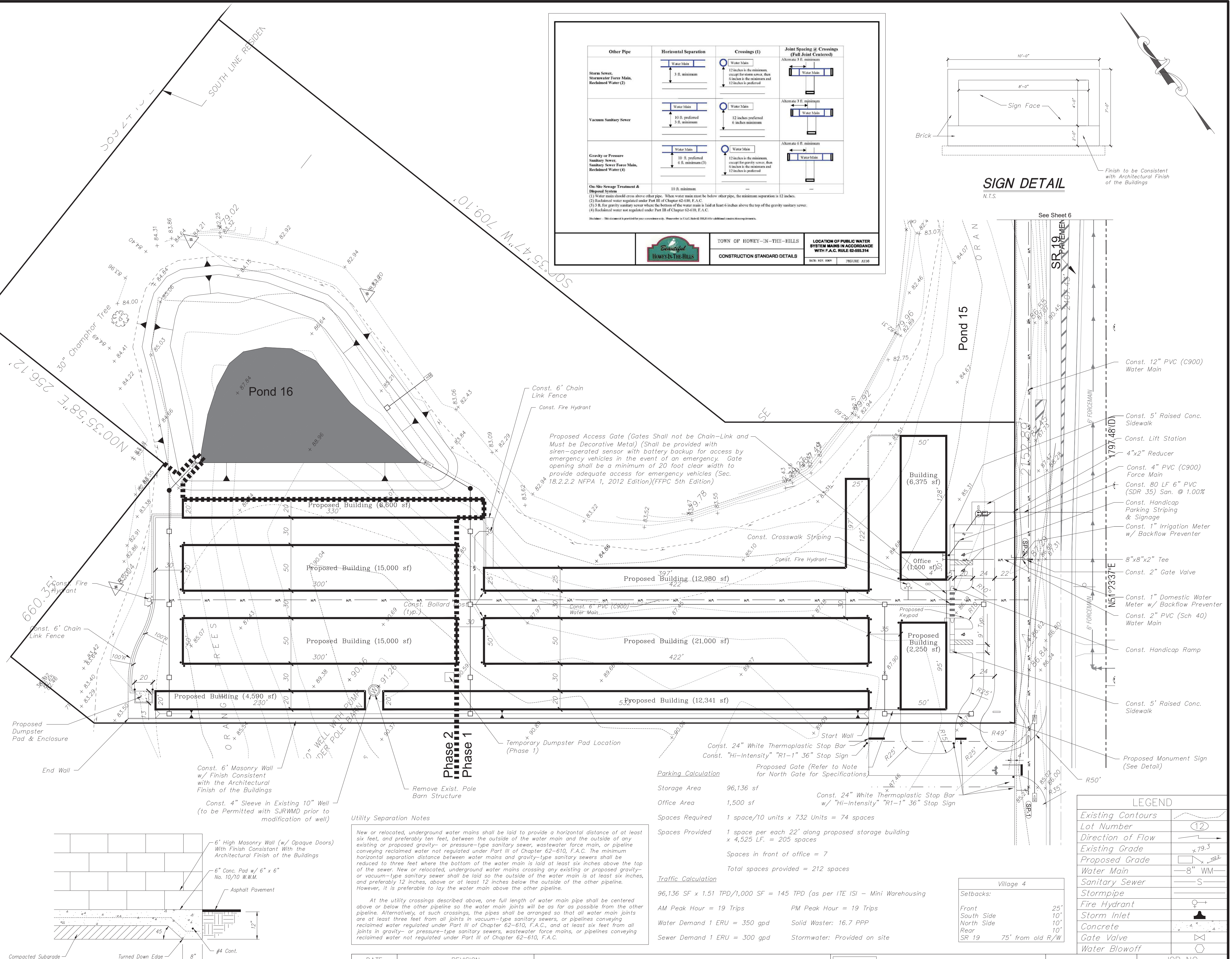
TYPICAL WALL SECTION
N.T.S.



STEEL PIPE BOLLARD DETAIL
N.T.S.



HANDICAP SYMBOL & SIGN
N.T.S.



Utility Separation Notes

New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer. New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

At the utility crossings described above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least three feet from all joints in vacuum-type sanitary sewers, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

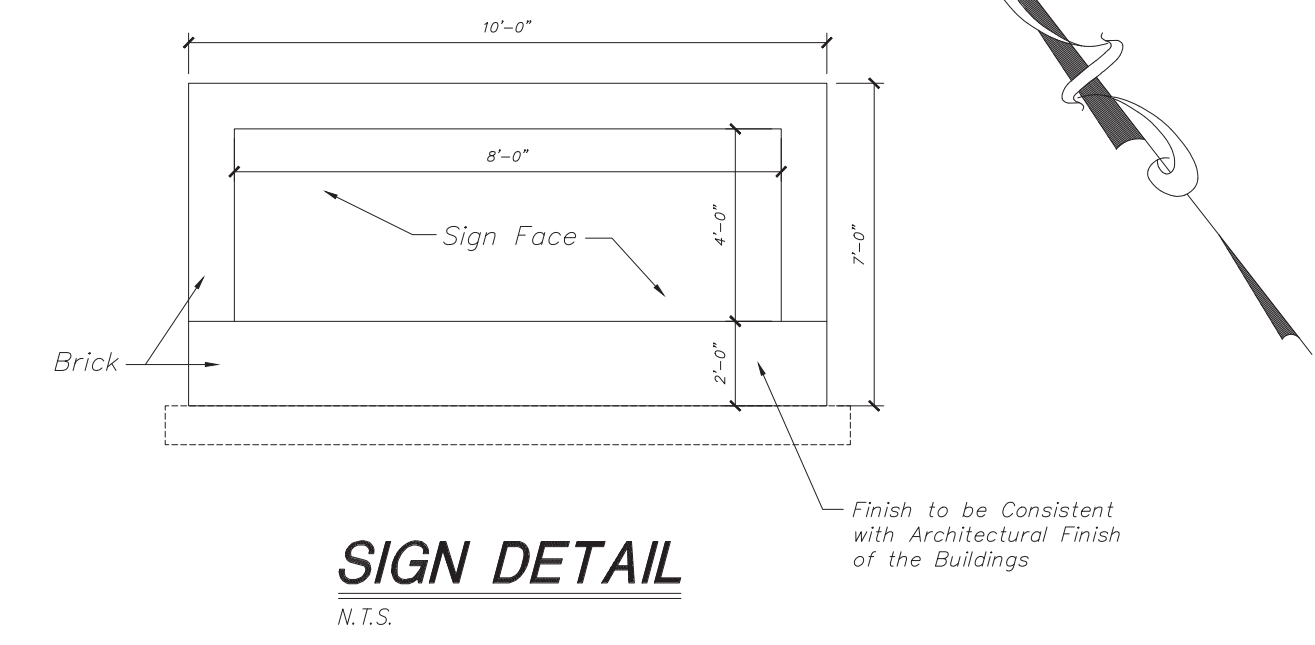
DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
2/16/22	Town Comments
6/1/22	Town/FDOT Comments

Site Plan - Utilities
Howey Self Storage

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches to the minimum, except for storm sewers, then 6 inches to the minimum and 12 inches to preferred	Alternate 3 ft. minimum Water Main
Vacuum Sanitary Sewer	Water Main 3 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum Water Main
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (2)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches to the minimum, except for storm sewers, then 6 inches to the minimum and 12 inches to preferred	Alternate 6 ft. minimum Water Main

On Site Sewage Treatment & Disposal System
(1) Water main should cross over other pipes. When water main must be below other pipes, the minimum separation is 12 inches.
(2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
(3) 12 inches for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
(4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Division: The information is provided for your convenience. Please refer to F.A.C. 62-610.02(1)(b) for additional rules and regulations.



SIGN DETAIL
N.T.S.

Parking Calculation

Storage Area	96,136 sf	Const. 24" White Thermoplastic Stop Bar	Const. "Hi-Intensity" "R1-1" 36" Stop Sign
Office Area	1,500 sf	Proposed Gate (Refer to Note for North Gate for Specifications)	
Spaces Required	1 space/10 units x 732 Units = 74 spaces		
Spaces Provided	1 space per each 22' along proposed storage building x 4,525 LF. = 205 spaces		
		Spaces in front of office = 7	
		Total spaces provided = 212 spaces	

Traffic Calculation

96,136 SF x 1.51 TPD/1,000 SF = 145 TPD (as per ITE ISI - Mini Warehousing)	
AM Peak Hour = 19 Trips	PM Peak Hour = 19 Trips
Water Demand 1 ERU = 350 gpd	Solid Waster: 16.7 PPP
Sewer Demand 1 ERU = 300 gpd	Stormwater: Provided on site

Village 4

Setbacks:	
Front	25'
South Side	10'
North Side	10'
Rear	10'
SR 19	75' from old R/W

LEGEND

Existing Contours	
Lot Number	12
Direction of Flow	
Existing Grade	+79.3
Proposed Grade	+79.3
Water Main	8" WM
Sanitary Sewer	S
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

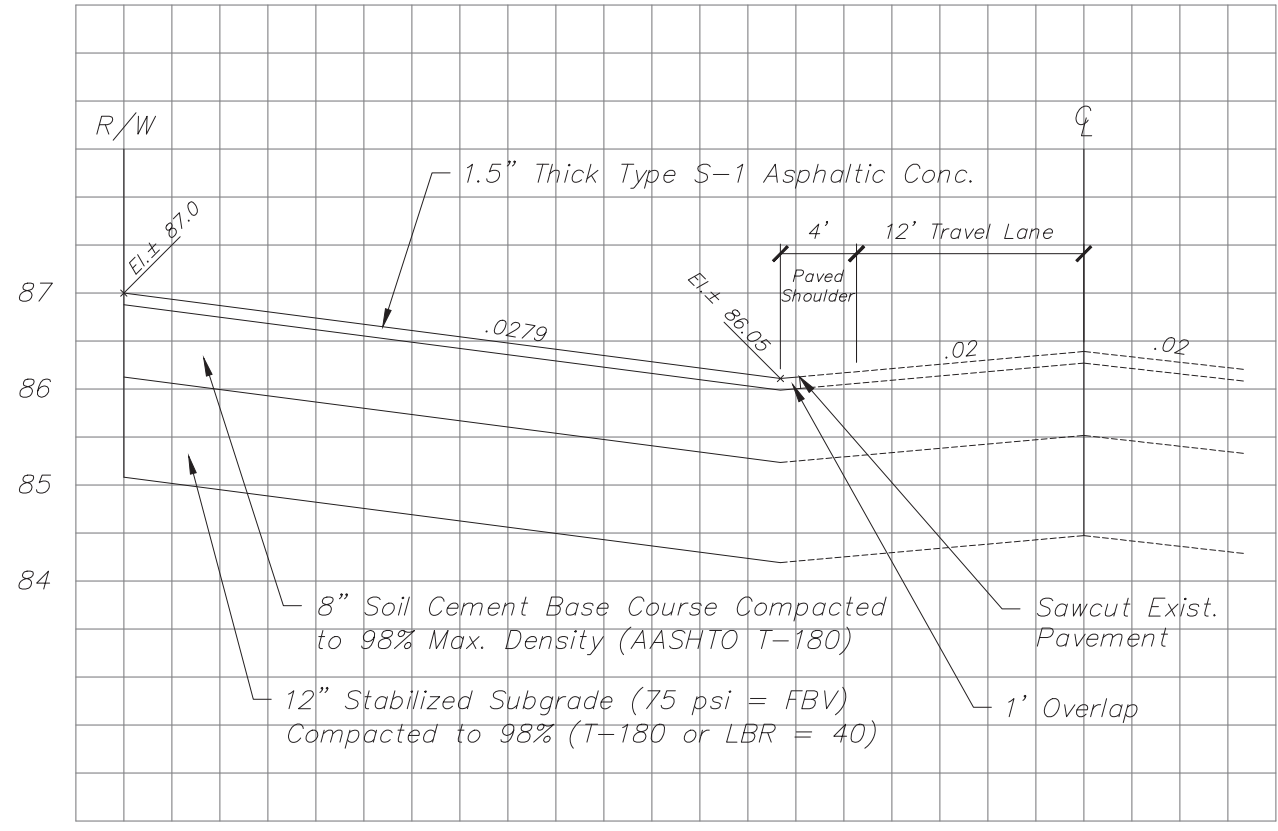
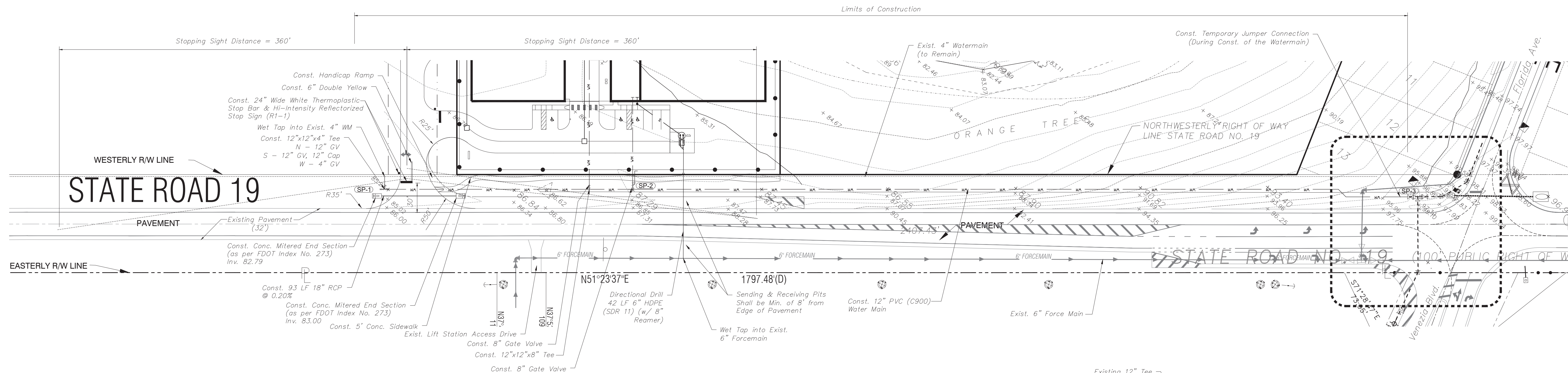
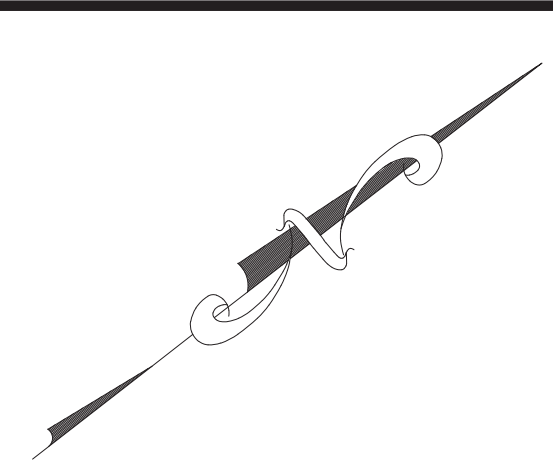
JEC June engineering consultants, inc. 23 W. Joiner Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232

Certificate of Authorization #00008507

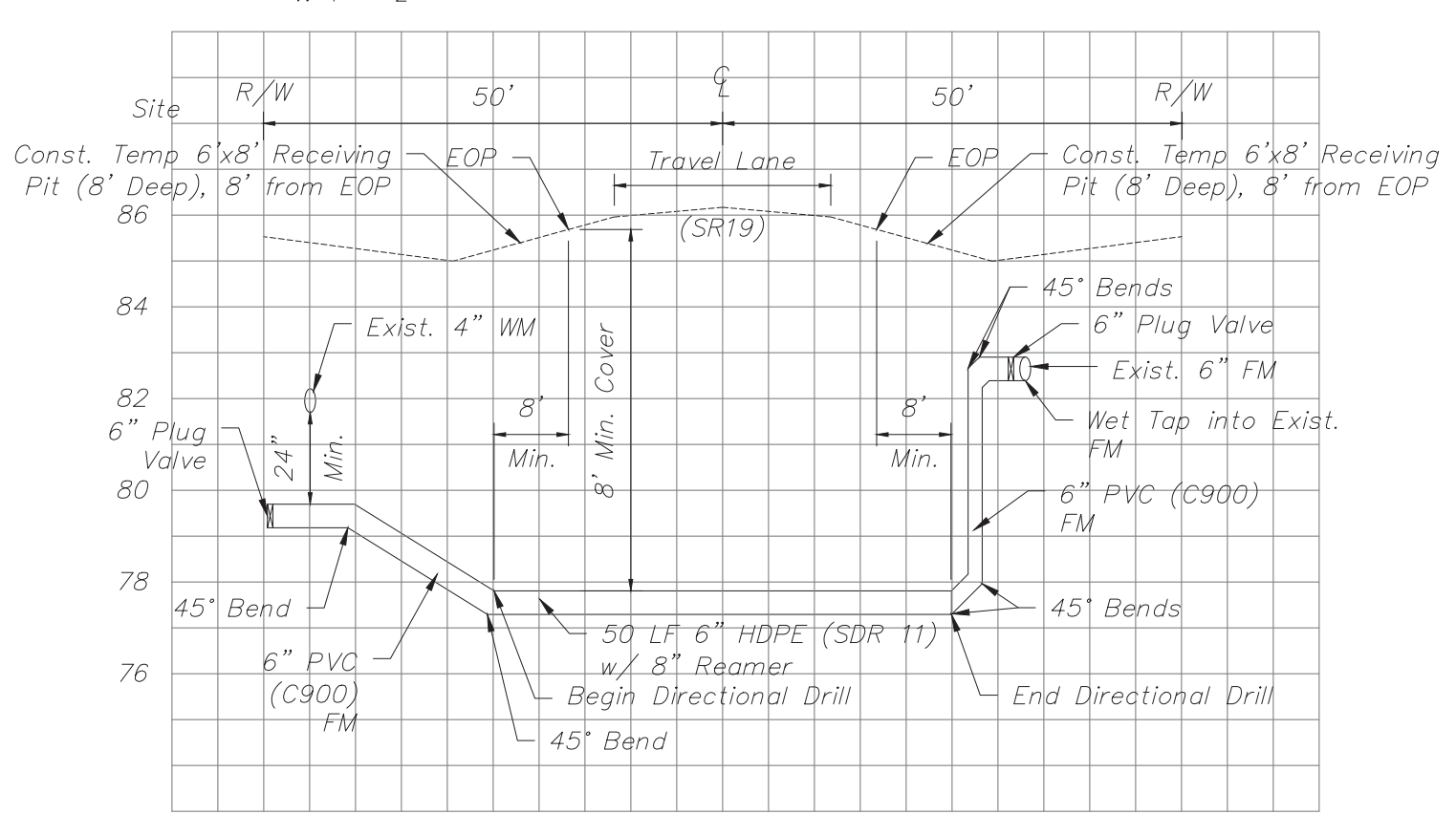
DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 50' DATE: 2/4/08 DATE: 2/4/08

JEFFREY A. SEDLOFF PE# 51506

JOB NO. 07-0398 SHEET 3 OF 10



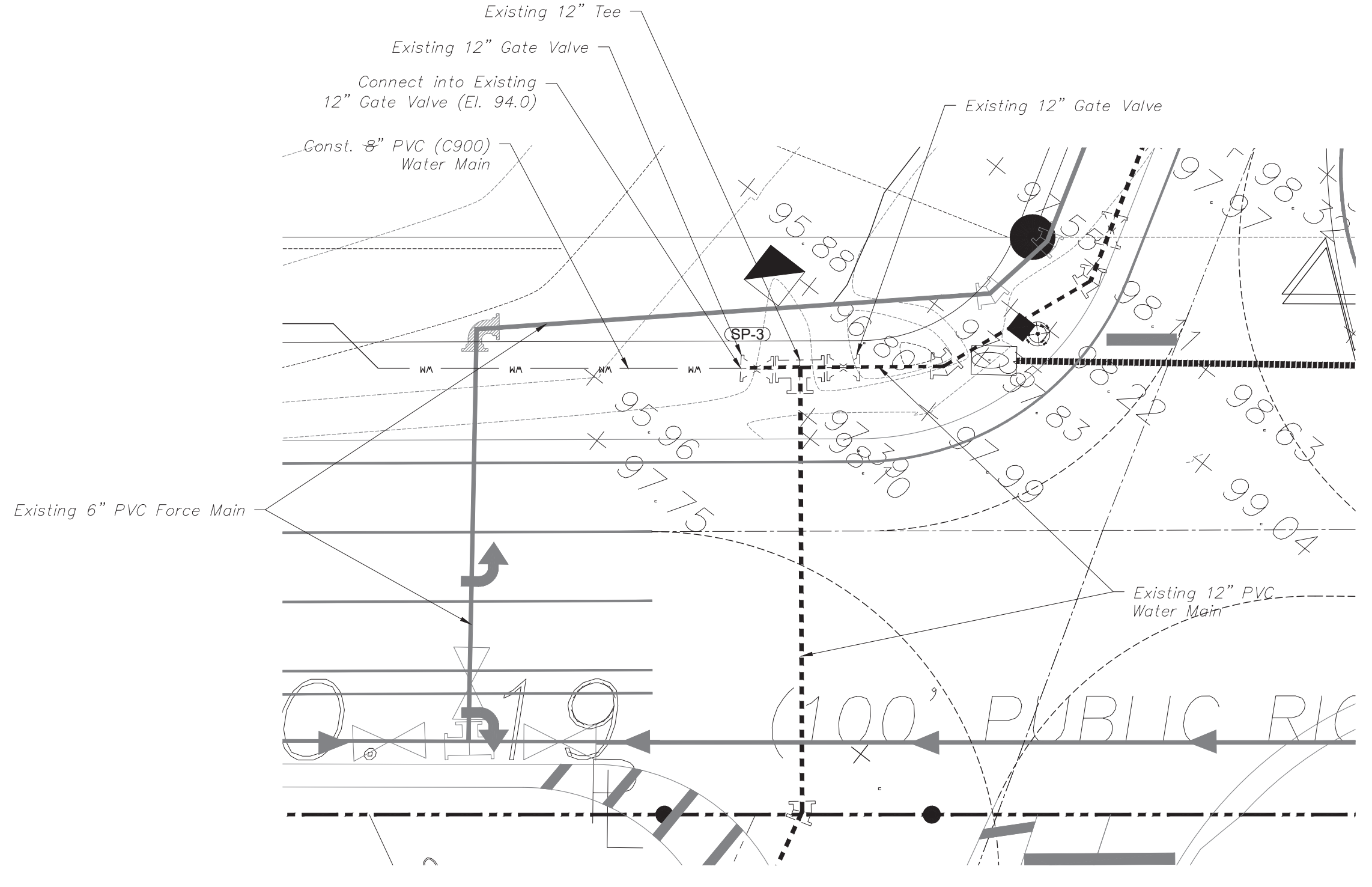
TYPICAL DRIVEWAY SECTION
 H: 1" = 10'
 V: 1" = 2'



TYPICAL SECTION - DIRECTIONAL DRILL
 H: 1" = 20'
 V: 1" = 4'

FDOT General Notes:

1. All striping shall conform to FDOT index No. 17346 and shall be thermoplastic with reflective pavement markers.
2. Turn lanes were designed based on a design speed of 55mph.
3. Use FDOT Index 526, Sheet 2 of 8 for roadway transitions, design speed = 45mph, center widening.
4. Use FDOT Index 301 for turn lanes, design speed = 45mph.
5. The contractor shall locate the exact location of the existing utilities within FDOT RW, prior to construction.
6. All construction in the FDOT ROW shall conform to the latest editions of the FDOT Design Standards (Indexes), the FDOT Standard Specifications for Road and Bridge Construction, and the FDOT Utility Accommodation Manual.
7. All disturbed area within the Department's Right of Way shall be graded and sodded with Argentine Bahia sod.
8. All striping within the Department's Right of Way shall be lead-free thermoplastic.
9. All maintenance of traffic shall adhere to the requirements of the Design Standards 600 indexes.
10. Paved shoulders need to be saw cut and removed prior to construction.
11. All sidewalks, ramps, and crosswalks shall be constructed and inspected to meet most current ADA Standards.
12. The elevations shown hereon are based on NGS-NOAA datum per Benchmark number A431, Elevation = 99.32 (NAVD88).



UTILITY CONNECTION DETAIL
 Scale: 1" = 20'

Note:
 Weld on MJ Fittings Shall be Used
 for all Directional Bore Piping

LEGEND	
Existing Contours	
Lot Number	
Direction of Flow	
Existing Grade	
Proposed Grade	
Water Main	
Sanitary Sewer	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

DATE	REVISION
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6/23/22	Town Comments

Offsite Improvements
 Howey Self Storage

JUNE engineering consultants, inc.	23 W. Joiner Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232	Certificate of Authorization #00008507	JOB NO. 07-0398
			SHEET 6 OF 10
DRAWN BY: CLK DATE: 2/4/08	CHECKED BY: RAJ DATE: 2/4/08	SCALE 1" = 50'	JEFFREY A. SEDLOFF PE# 51506