

NOTES

- * This survey is of existing parcels of land.
* All areas calculated by coordinate computation method.
* This property may be subject to rights-of-way, easements, reservations and restrictions, written and unwritten, recorded and unrecorded, not discovered during the course of this survey.
* The certification shown hereon is not a certification of title, zoning or freedom from encumbrances.
* This survey was conducted without benefit of title work.
* Adjoining property owner information taken from deeds and plats of record as referenced.
* This survey was conducted without benefit of title search.
* Underground utilities shown are based upon paint markings and above ground structures. Call 1-800-632-4949 before digging.
* All distances shown hereon are horizontal ground distances (U.S. Survey feet) unless otherwise noted. To obtain grid distances, utilize a combined factor of 0.999777000.
* According to Henderson County GIS, property is zoned C-15U (Central Business Special Use). No zoning report was provided and all zoning information shown hereon should be verified with the Henderson County Planning Department.
* No buildings were observed on the subject parcels.
* No wetland delineation was observed on site.
* There were no proposed changes in street right-of-way lines found or provided. No evidence of recent street or sidewalk construction or repairs was observed during the process of conducting the fieldwork.
* Property corner descriptions with "4" "2" describe the distance above or below the adjacent grade the monument was found.
* 90' right-of-way based on N.C. Board of Transportation Project No. 6.801904, Sheet 12 recorded in Henderson County Register of Deeds Office.



ABBREVIATION LEGEND

CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
N	NORTHING
E	EASTING
EL	ELEVATION
GNSS	GLOBAL NAVIGATION SATELLITE SYSTEM
INV	INVERT
@	AT
PIN	PARCEL IDENTIFIER NUMBER
S.R.	STATE ROAD
EB	ELECTRICAL BOX
EM	ELECTRICAL METER
TSB	TRAFFIC SIGNAL BOX
A.K.A.	ALSO KNOWN AS
EB	ELECTRICAL BOX
AG	ABOVE GRADE
BG	BELOW GRADE
TTL	TOTAL
D.B.	DEED BOOK
P.B.	PLAT BOOK
M.B.	MAP BOOK
PG	PAGE
SL	SLIDE
TOP	TRUNCATED DOME PLATE
CONC.	CONCRETE
RBC	REBAR WITH CAP FOUND
M.B.	MAP BOOK
IRF	IRON ROD FOUND
AI	ANGLE IRON FOUND
OIP	OPEN IRON PIPE FOUND
RR	RAILROAD

SYMBOL LEGEND

☐	CONCRETE RIGHT-OF-WAY MONUMENT FOUND
●	SURVEY CONTROL POINT
○	UNMARKED POINT
⊗	CHEELED X FOUND
○	MONUMENT FOUND (AS DESCRIBED)
○	5/8" REBAR WITH "ED HOLMES AND ASSOC." CAP SET
☐	NGS MONUMENT FOUND
▲	MAGNETIC NAIL FOUND
▲	MAGNETIC NAIL SET
▲	STORMWATER MANHOLE
▲	SANITARY SEWER MANHOLE
▲	SANITARY SEWER CLEANOUT
⊗	TELEPHONE MANHOLE
⊗	SIGN
⊗	WATER METER
⊗	WATER VALVE
⊗	FIRE HYDRANT
⊗	TELEPHONE PEDESTAL
⊗	UTILITY POLE
⊗	UTILITY POLE WITH GUY WIRE
⊗	LIGHT POLE (SINGLE HEAD)
⊗	BOLLARD
⊗	SPOT ELEVATION

LOT NUMBERS PLAT CAB B. SLD. 299A

LINE TYPE LEGEND

—	PROPERTY LINE (SURVEYED)
—	DEED / PLAT LINE (NOT SURVEYED)
—	UNDERGROUND WATER LINE
—	UNDERGROUND SANITARY SEWER LINE
—	OVERHEAD UTILITY LINE
—	UNDERGROUND STORMWATER LINE
—	EDGE OF CONCRETE
—	CONCRETE CURB
—	ROAD RIGHT-OF-WAY LINE
—	PERMANENT UTILITY EASEMENT LINE
—	PERMANENT DRAINAGE EASEMENT LINE
—	FENCE (AS DESCRIBED)
—	BUILDING SETBACK LINE
—	UNDERGROUND COMMUNICATIONS LINE
—	UNDERGROUND ELECTRIC LINE
—	UNDERGROUND GAS LINE

Boundary & Topographic Survey
for
Pardee Hospital
on property owned by
Bryan Easler Enterprises, Inc.

REFERENCES

Record Owner: Bryan Easler Enterprises, Inc.
PIN: 9578-41-6876, 9578-42-5074
Deed Book 1393, Page 180
Plat Cabinet B, Slide 299A
City of Hendersonville, Henderson County, NC
Field Work Completed: 7-21-2024
Drawn By: C. Ellison

JOB # 24156

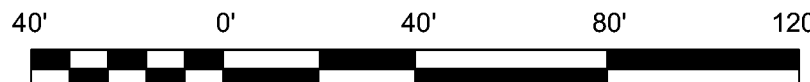
Robert C. Brown, PLS

bob@edholmessurveying.com

www.edholmessurveying.com

Company Licensure # C-2806

200 Ridgfield Court, Suite 208, Asheville, NC 28806
828.225.6562



SCALE 1" = 40'

REVISED 8/13/2024

CHANGED REFERENCE TO BLUE RIDGE AVENUE

D24-021

I, Robert C. Brown, certify that this plat was drawn under my supervision from an actual survey made under my supervision (using deed descriptions recorded in deed books and pages as noted), that the ground survey was completed on July 2nd, 2019, that the boundaries not surveyed are clearly indicated as drawn from information found in deed books and pages as noted; that the ratio of precision or positional accuracy as calculated is 1:20,000; that this plat was prepared in accordance with G.S. 47-30 as amended and is of the following category as described in G.S. 47-30(f)(11)

(c)(1) That the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. For the purposes of this subsection, an "existing parcel" or "existing easement" is an area of land described in a single, legal description or legally recorded subdivision that has been or may be legally conveyed to a new owner by deed in its existing configuration.

Furthermore, State Plane Coordinates for this survey were obtained by Global Navigation Satellite System (GNSS) Survey, and the following information was used to perform the GNSS survey:

Horizontal positional accuracy: 0.01m
Vertical positional accuracy: 0.01m
Type of GNSS field procedure: static (post-processed using Trimble Business Center)
Date of GNSS Survey: June 18th, 2024
Datum: horizontal = NAD83 (2011), Vertical = NAVD88
Grid model: GEOID 12b
Published/Fixed Horizontal Control: NGS Monument "Jimnee"
Localization point: N:581686 E:974645
Combined scale factor: 0.999777000
Units: U.S. Survey Feet

Witness my original signature, license number, and seal

this date: August 13, 2024

Robert C. Brown
Robert C. Brown, PLS
N.C. Professional Land Surveyor L-2748

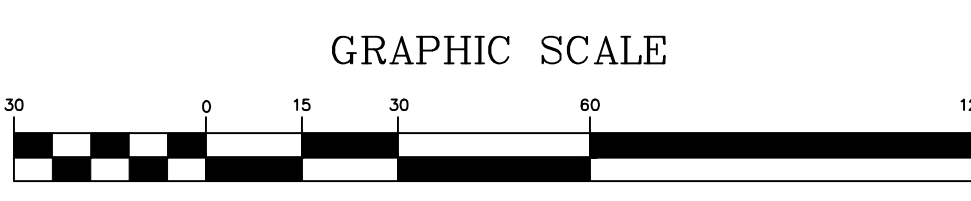


Ed Holmes & Associates
LAND SURVEYORS, P.A.



Submitted electronically by Ed Holmes and Associates Land
Surveyors, P.A. in compliance with North Carolina statutes
governing recordable documents and the terms of the submitter
agreement with the Henderson County Register of Deeds.

N:\VOBS\24156 Pardee Spartanburg Hwy\DWG\24156 Pardee Spartanburg Hwy Easler CE.dwg



PROJECT AREA SUMMARY:

PROJECT AREA:	204,675 SF	- 4.70 AC	- 100%
SITE COVERAGE - BUILDINGS:	19,180 SF	- 0.44 AC	- 9.37%
SITE COVERAGE - OPEN SPACE	69,022 SF	- 1.58 AC	- 33.72%
(30% MIN PER CHMU DISTRICT)			
SITE COVERAGE - STREETS AND PARKING	94,173 SF	- 2.16 AC	- 46.01%
SITE COVERAGE - COMMON SPACE	20,468 SF	- 0.47 AC	- 10%
(10% MIN PER CHMU DISTRICT)			
<u>PRE DEVELOPMENT GROUND COVER SUMMARY</u>			
GRASS/OPEN SPACE:	3.6 AC	±	(80.85%)
IMPERVIOUS:	0.9 AC	±	(19.15%)
<u>POST DEVELOPMENT GROUND COVER SUMMARY</u>			
GRASS/OPEN SPACE:	1.58 AC	±	(33.72%)










C-200

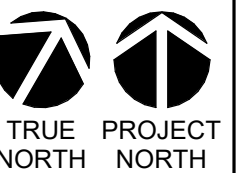
DESIGN DEVELOPMENT

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B1 DEPARTMENTAL PLAN- LEVEL 1
1/8" = 1'-0"

DEPARTMENTAL LEGEND

- | | |
|---|-----------------------------|
|  | BUILDING SUPPORT |
|  | COMMUNITY CONFERENCE CENTER |
|  | GENERAL STAFF SUPPORT |
|  | IMAGING |
|  | PHARMACY |
|  | PUBLIC |
|  | REHAB |
|  | VERT CIRC |
|  | UNASSIGNED/ ADD ALTERNATE |





14 O'HENRY AVENUE, SUITE 210
ASHEVILLE, NC 28801
TEL. 828.254.1963
WWW.LS3P.COM

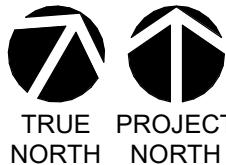
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**HENDERSON CO. & UNCH
PARDEE SH MOB**

1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

LS3P PROJECT: 0403-240301

[illegible]
$$1/8" = 1'-0"$$
$$1/8" = 1'-0"$$

FLOOR PLAN SHEET NOTES		EQUIPMENT & FURNITURE LEGEND		PARTITION GRAPHICS		# FLOOR PLAN NOTES BY NUMBER		# FLOOR PLAN NOTES BY NUMBER		# FLOOR PLAN NOTES BY NUMBER	
<p>A. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING. INTENDED DIMENSION FROM THE FACE OF MASONRY.</p> <p>B. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD.</p> <p>C. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINES OF COLUMNS, UNO.</p> <p>D. LOCATED INTERIOR DOOR OPENINGS 4" FROM NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE ON DOOR SCHEDULE OR DIMENSIONED OTHERWISE.</p> <p>E. RATE WALL PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE. ALL PENETRATIONS AND TERMINAL JOINTS ARE TO BE INSTALLED AS SHOWN IN APPLICABLE U.I. JOINT OR PENETRATION DETAIL.</p> <p>F. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.</p> <p>G. RATED WALLS INTERSECTING EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.</p> <p>H. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, TRIM, AND RELATED CONSTRUCTION.</p> <p>I. SEE FIRE SAFETY PLANS FOR LOCATIONS OF FIRE RATED AND SMOKE WALLS.</p> <p>J. SEE SHEET A-001 FOR CONSTRUCTION SUBSYSTEMS.</p> <p>K. SEE SHEET A-002, A-003 FOR PARTITION TYPES.</p> <p>L. SEE SHEET A-012 FOR INTERIOR ELEVATIONS, ACCESSORY DESCRIPTIONS & MOUNTING HEIGHTS.</p> <p>M. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.</p> <p>N. SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.</p> <p>O. FIELD VERIFY LOCATION OF INTERIOR WALL & CEILING CONTROL JOINTS REQUIRED IN THE SPECIFICATION WITH ARCHITECT PRIOR TO INSTALLATION.</p> <p>P. WALLS, INCLUDING GYP. BD. AT PERIMETER OF ROOMS/SPACES WITHOUT CEILINGS, i.e. EXPOSED STRUCTURE, SHALL EXTEND TO STRUCTURE ABOVE.</p> <p>Q. TO SUBMIT CONTROL JOINT SHOP DRAWINGS PROVIDING INTERIOR CONTROL JOINT LOCATIONS TO MEET ASTM C840.</p>		<p>IN THE SUBSEQUENT ROOM DATA SHEETS, REFER TO THIS SCHEDULE AND LEGEND FOR INFORMATION ON TAGGED EQUIPMENT.</p> <p>TOILET & OTHER ACCESSORIES. REFER TO RESPONSIBILITY MATRIX ON SHEET A-012 FOR OWNER OR CONTRACTOR RESPONSIBILITY.</p> <p>ARCHITECTURALLY-SIGNIFICANT EQUIPMENT, APPLIANCES AND/OR FURNISHINGS THAT REQUIRE BLOCKING, POWER, DATA AND/OR OTHER CONTRACTOR RESPONSIBILITIES FOR INSTALLATION. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONFIRM SPECIFICATIONS AND COORDINATE INSTALLATION REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION. REFER TO RESPONSIBILITY MATRIX ON SHEET A-004 FOR OWNER AND CONTRACTOR RESPONSIBILITY.</p> <p>ROLLER SHADES AT ALL WINDOWS: OWNER-FURNISHED, OWNER-INSTALLED. CONTRACTOR SHALL PROVIDE 9" GWB SOFFIT POCKET FOR RECESSED INSTALLATION AT ALL EXTERIOR WALL LOCATIONS.</p> <p>NON-ARCHITECTURALLY-SIGNIFICANT EQUIPMENT AND / OR FURNISHING. ALL ITEMS ARE OWNER FURNISHED, OWNER INSTALLED.</p>		<p>GRAPHIC SAMPLE: 1 HOUR RATED CMU FIRE/SMOKE BARRIER:</p> <p>1/2" MIN.</p> <p>COLOR LEGEND</p> <p>NON-RATED PARTITION TO 6" ABOVE CEILING, U.O.</p> <p>NON-RATED PARTITION TO DECK</p>		<p>01 PLUMBING FIXTURE SPECIFICATIONS SHALL BE COORDINATED WITH VENDOR-PROVIDED MILLWORK: CLARIFICATION OF RESPONSIBILITY OF SINK (OWNER VS. VENDOR) PROVIDED REGRID; CONTRACTOR SHALL, AT MINIMUM, PROVIDE PLUMBING SERVICE (SUPPLY AND WASTE) PIPING.</p> <p>02 ADD ALTERNATE: CARD READER</p> <p>03 ADD ALTERNATE: WAVE OPERATED DOOR AUTO-OPERATOR, BOTH SIDES OF DOOR</p> <p>04 CARD READER, SLIP PROFILE WHERE INSTALLED ON WINDOW MULLION; FOR AFTER-HOURS / STAFF ACCESS</p> <p>05 PLAIN BENCH, REFER TO DETAIL E5A-761; LOCATION IS APPROXIMATE</p> <p>06 WOOD VENEER BENCH, REFER TO DETAIL E5A-761; LOCATION IS APPROXIMATE</p> <p>07 ALL OUTLETS TO SERVE OWNER-PROVIDED EQUIPMENT SHALL BE 40" AFF FOR FULL LENGTH OF WALL BETWEEN VESTIBULE AND DRIVE-THROUGH WINDOW, PROVIDE WALL-BLOCKING VENDOR-PROVIDED SHIELDING</p> <p>08 OWNER-PROVIDED EQUIPMENT; COORDINATE STRUCTURAL AND MEP REQUIREMENTS WITH MANUFACTURER'S RECOMMENDATIONS; LEAD-LINING REQUIREMENTS SHALL BE DETERMINED BY OWNER'S PHYSICIST</p> <p>09 PLUMBING FIXTURES SHALL HAVE SHUT-OFF OPERABLE FROM LABORATORY SIDE FOR DRUG-TESTING</p> <p>10 PARTIAL HEIGHT WALL W/ SOLID SURFACE CAP</p> <p>11 PARTIAL HEIGHT WALL W/ SOLID SURFACE WATERFALL CAP AND SIDES; FRAMELESS SUSPENDED 3-FORM RESIN PANEL</p> <p>12 SHOREPOWER CONNECTION FOR MOBILE IMAGING</p> <p>13 ELEVATOR BASIS OF DESIGN: OTIS GENEDGE 4500 LB WITH FRONT OPENING 8'8" DOOR (CAB CLEAR DIMENSIONS: 7'-11" X 5'-6" X 7'-7 1/2"). NON-SEISMIC, TWO-STOP</p> <p>14 PLUG-MOLD AROUND PERIMETER OF ROOM</p> <p>15 PLUG-MOLD AROUND PERIMETER OF ROOM, REFER TO ELECTRICAL AND INTERIOR ELEVATIONS</p>		<p>15 PLUG-MOLD IN UPPER CABINETS FOR IPAD CHARGING</p> <p>16 CONTRACTOR SHALL PROVIDE 100 LF OF WALL BLOCKING IN THE PROJECT BUDGET FOR OWNER-PROVIDED WALL-MOUNTED EQUIPMENT. PRIOR TO INSTALLATION OF GWB, THE OWNER SHALL DETERMINE THE SPECIFIC LOCATIONS OF WALL BLOCKING WITHIN THIS ALLOWANCE</p> <p>17 PHARMACY SHALL BE OUTFIT BY OWNER-PROVIDED VENDOR. ALL MILLWORK AND SHELVING BY OTHERS. CONTRACTOR SHALL PROCURE BIDS FROM OWNER-SELECTED VENDORS AS OWNER-PREFERRED ALTERNATES</p> <p>18 RETAIL PHARMACY SERVICE WINDOW W/ OPERABLE PANE AND SECURITY HARDENER, PROVIDE CALL BUTTON ON EXTERIOR OF WINDOW TO NOTIFY PHARMACY SOMEONE IS WAITING</p> <p>19 ROOM SHALL HAVE RESILIENT CHANNEL WALL AND GASKETED DOOR FOR ENHANCED SOUND-PROOFING</p> <p>20 AT FREE END OF WING WALL, PROVIDE POST INSTALLED ANCHOR FOR ENHANCED RIGIDITY & STIFFNESS. REFER TO DETAIL, FREE STANDING BASE, ON SHEET D3A-003</p> <p>21 WALL MONITOR ON ARTICULATING ARM, BLOCKING AS REQUIRED. COORDINATE WITH MEP</p> <p>22 LADDER TO ROOF ACCESS; COORDINATE WITH STRUCTURAL</p> <p>23 ROOM POWER AND DATA SHALL BE PROVIDED SIMILAR TO NURSE WORK 2001. REFER TO ELECTRICAL FOR OUTLET LOCATIONS AND FLOOR BOXES REQUIRED TO SERVE DESK</p> <p>24 PROVIDE FLOOR DRAIN TO SERVE FUTURE OWNER-PROVIDED EQUIPMENT; COORDINATE LOCATION WITH OWNER</p> <p>25 UNDER-COUNTER PANIC BUTTON</p> <p>26 KNOX BOX; COORDINATE FINAL LOCATION WITH FIRE MARSHAL AND AHJ</p> <p>27 PROVIDE RECESSED FLOOR BOXES (SINGLE OR OUTLETS) FOR POWER UNDER TABLE. COORDINATE LOCATIONS W/ ELECTRICAL</p>		<p>29 PROVIDE RECESSED FLOOR BOXES FOR POWER UNDER TABLE. COORDINATE LOCATIONS W/ ELECTRICAL</p>	
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SHEET NAME:
REFERENCE PLAN-
LEVEL 1





ORIG 2025.04.14
SUBMISSION:

SHEET: **A-101B**

DESIGN DEVELOPMENT

[illegible]

DEPARTMENTAL LEGEND

 BLUE MD PRIMARY CARE
 BUILDING SUPPORT
 PUBLIC
 VERT CIRC

E

D1



D3



B1



A1

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CONSTRUCTION

**HENDERSON CO. & UNCH
PARDEE SH MOB**
1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

S3B RBO IECT: 0403 240301

SHEET NAME:
**BUILDING
ELEVATIONS &
PERSPECTIVES**

SHEET: **A-201**

DESIGN DEVELOPMENT

E



D1



D4



B1



A1

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CONSTRUCTION

**HENDERSON CO. & UNCH
PARDEE SH MOB**

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SHEET: **A-202**

DESIGN DEVELOPMENT

4/14/2025 11:32:54 AM

THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT LONG. SHEETS MUST BE CUT TO THIS SIZE.

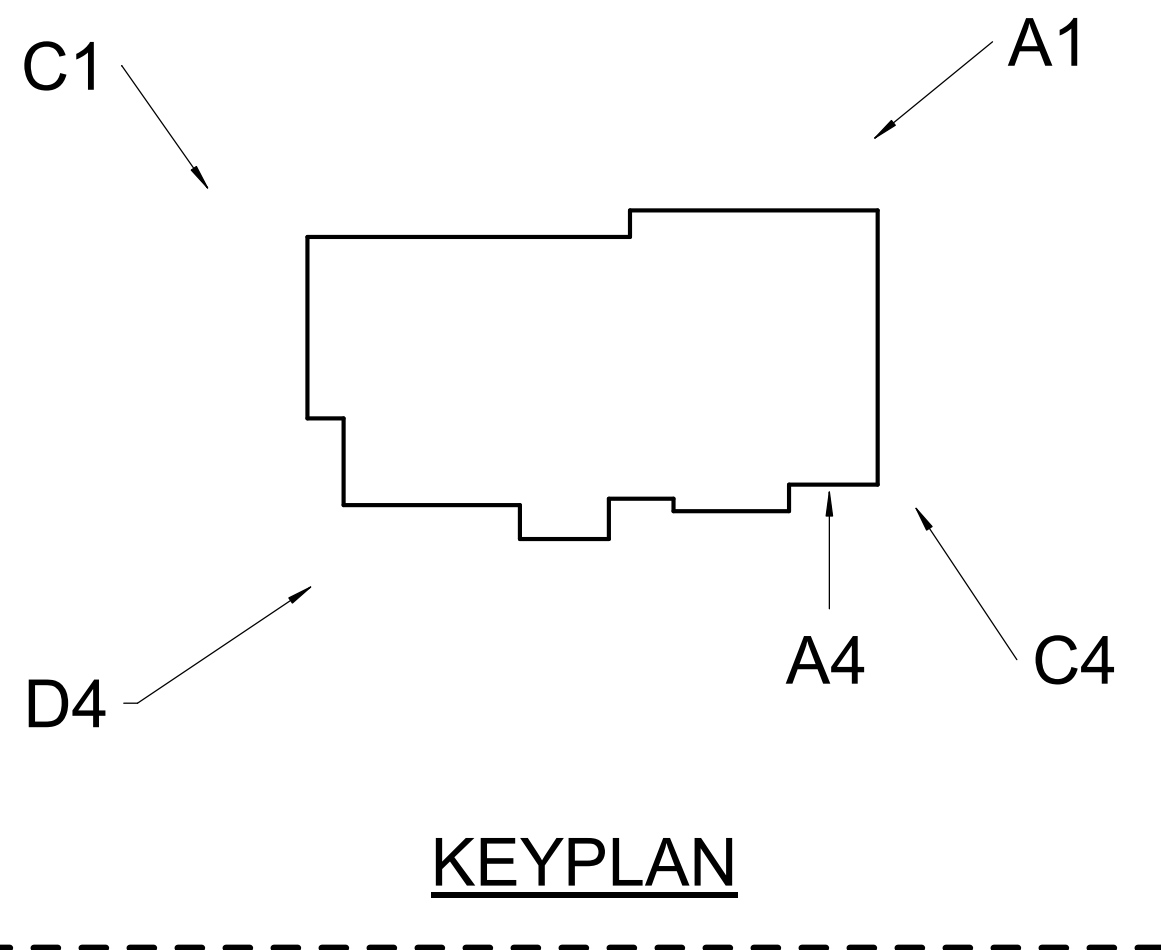
E

D

C

B

A



C1 EXTERIOR PERSPECTIVE - FROM THE NORTH WEST



A1 EXTERIOR PERSPECTIVE - FROM THE NORTHEAST



D4 EXTERIOR PERSPECTIVE - FROM THE SOUTHWEST



C4 EXTERIOR PERSPECTIVE - ENTRANCE



A4 EXTERIOR PERSPECTIVE - FROM THE SOUTHEAST



UNC
HEALTH
Pardee

LS3P

14 O'HENRY AVENUE, SUITE 210
ASHEVILLE, NC 28801
TEL. 828.254.1963
WWW.LS3P.COM

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HENDERSON CO. & UNCH
PARDEE SH MOB

1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

LS3P PROJECT: 0403-240301

DATE	DESCRIPTION

SHEET NAME:
BUILDING
PERSPECTIVES

ORIG SUBMISSION: 2025.04.14

SHEET:
A-203

DESIGN DEVELOPMENT

4/14/2025 11:33:03 AM

DESIGN DEVELOPMENT



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**HENDERSON CO. & UNCH
PARDEE SH MOB**

1427 OLD SPARTANBURG ROAD
SPARTANBURG, NC 29303

[illegible]

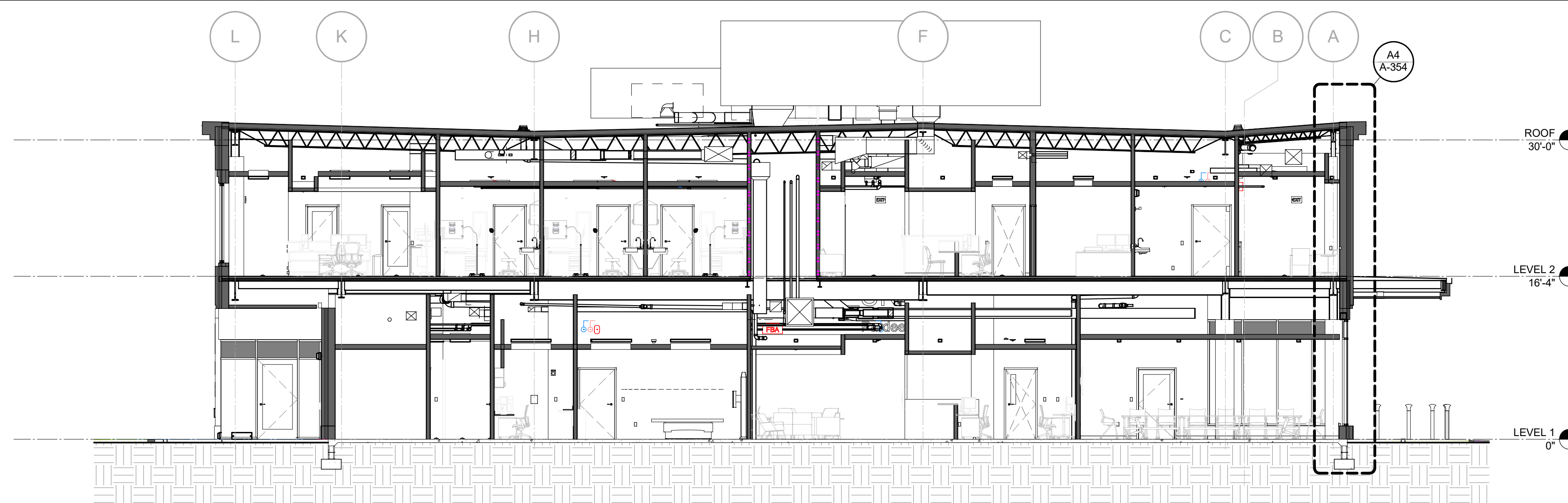
SHEET NAME:
**BUILDING
SECTIONS**

ORIG SUBMISSION: 2025.04.14

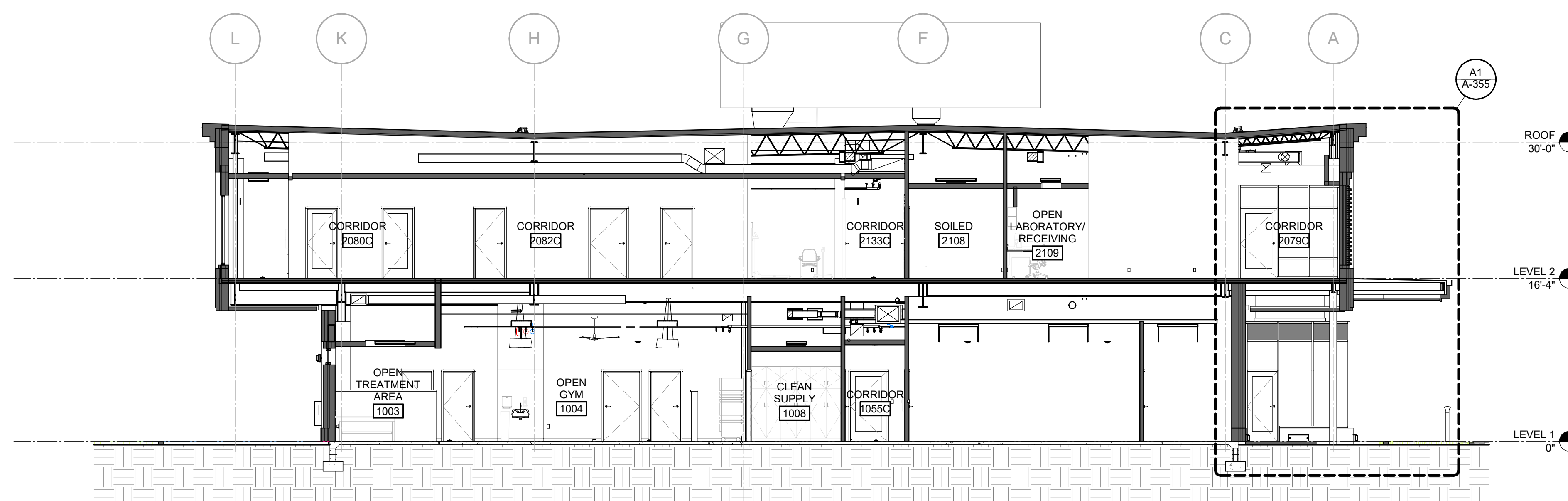
SHEET:

A-302

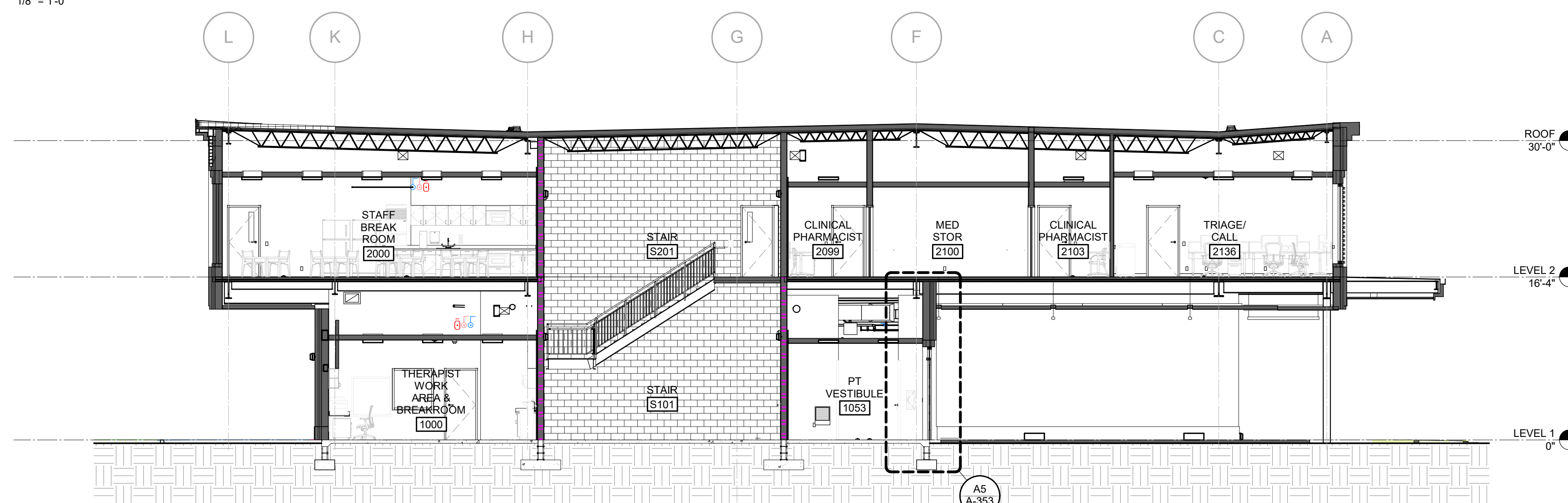
DESIGN DEVELOPMENT



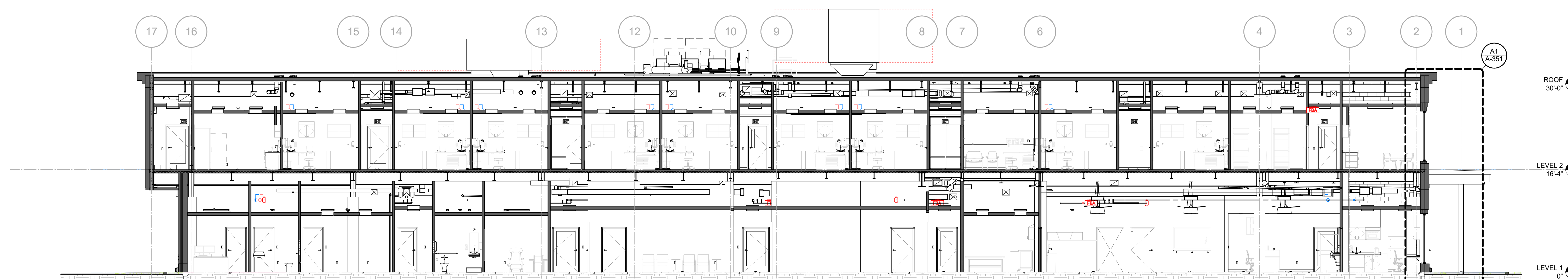
D2 CROSS SECTION BETWEEN GRIDS 8 AND 9



C2 CROSS SECTION BETWEEN GRIDS 4 AND 5
1/8" = 1'-0"



B2 CROSS SECTION BETWEEN GRIDS 2 AND 3
1/8" = 1'-0"



A1 SECTION BETWEEN GRIDS H AND K
1/8" = 1'-0"

THE LINE DRAWINGS ARE IN EXACTLY
ONE INCH PER FOOT UNLESS
OTHERWISE NOTED

E

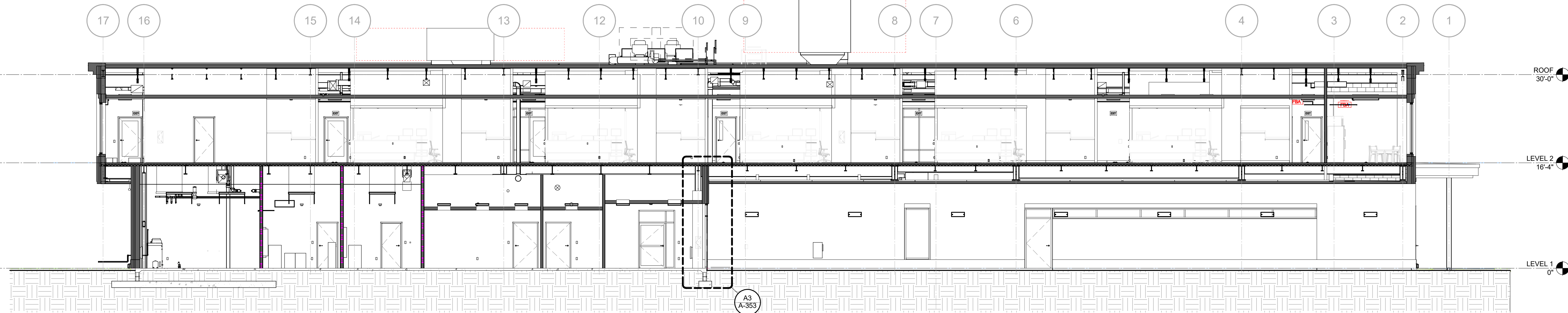
D

C

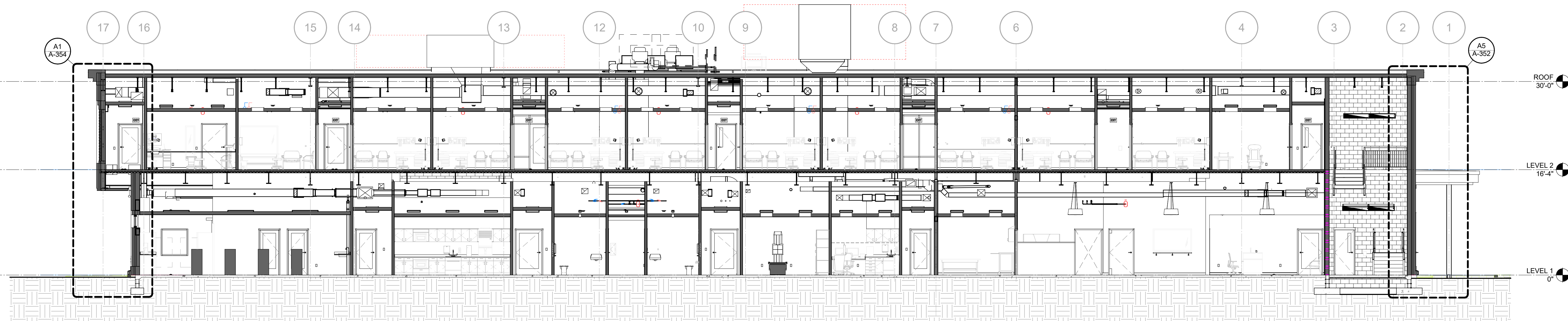
B

A

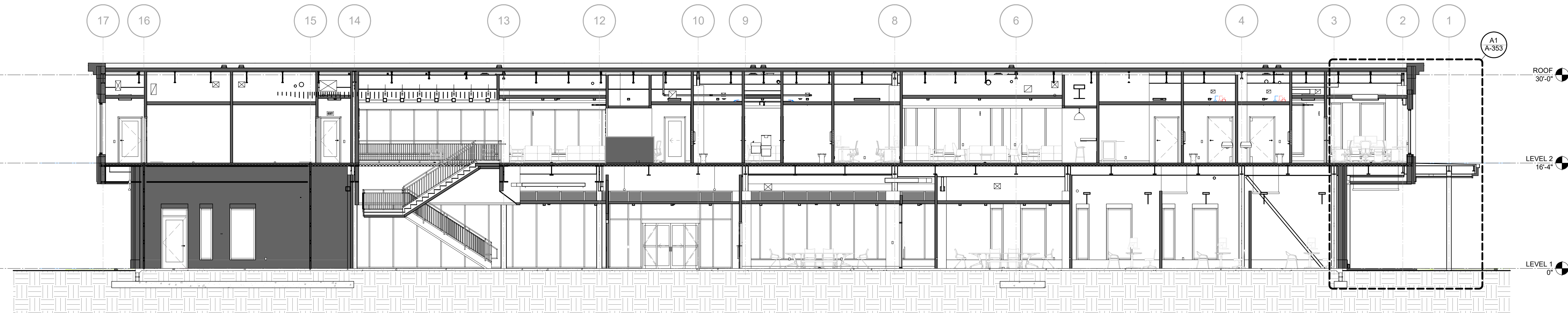
4/14/2025 11:34:14 AM



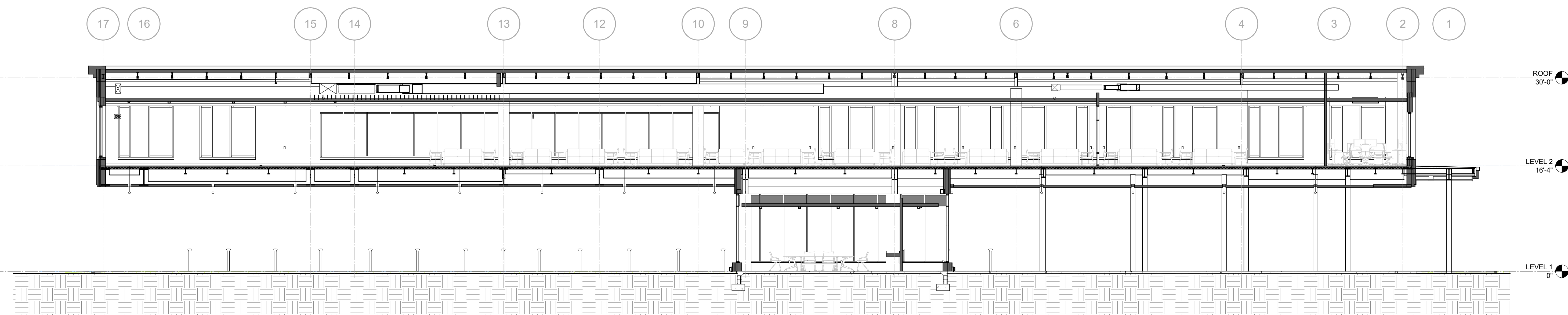
D1 SECTION BETWEEN GRIDS L AND K
1/8" = 1'-0"



C1 SECTION BETWEEN GRIDS H AND F
1/8" = 1'-0"



B1 SECTION BETWEEN GRIDS F AND C
1/8" = 1'-0"



A1 SECTION BETWEEN GRIDS C AND A
1/8" = 1'-0"



UNC
HEALTH
Pardee

LS3P

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HENDERSON CO. & UNCH
PARDEE SH MOB

1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

LS3P PROJECT: 0403-240301

DATE	DESCRIPTION

SHEET NAME:
BUILDING
SECTIONS

ORIG SUBMISSION: 2025.04.14

SHEET:

A-303

DESIGN DEVELOPMENT