

NOTES

- * This survey is of existing parcels of land.
* All areas calculated by coordinate computation method.
* This property may be subject to rights-of-way, easements, reservations and restrictions, written and unwritten, recorded and unrecorded, not discovered during the course of this survey.
* The certification shown hereon is not a certification of title, zoning or freedom from encumbrances.
* This survey was conducted without benefit of title work.
* Adjoining property owner information taken from deeds and plats of record as referenced.
* This survey was conducted without benefit of title search.
* Underground utilities shown are based upon paint markings and above ground structures. Call 1-800-632-4849 before digging.
* All distances shown hereon are horizontal ground distances (U.S. Survey feet) unless otherwise noted. To obtain grid distances, utilize a combined factor of 0.999777000.
* According to Henderson County GIS, property is zoned C-15U (Central Business Special Use). No zoning report was provided and all zoning information shown hereon should be verified with the Henderson County Planning Department.
* No buildings were observed on the subject parcels.
* No wetland delineation was observed on site.
* There were no proposed changes in street right-of-way lines found or provided. No evidence of recent street or sidewalk construction or repairs was observed during the process of conducting the fieldwork.
* Property corner descriptions with "*" describe the distance above or below the adjacent grade the monument was found.
* 90° right-of-way based on N.C. Board of Transportation Project No. 6.801904, Sheet 12 recorded in Henderson County Register of Deeds Office.

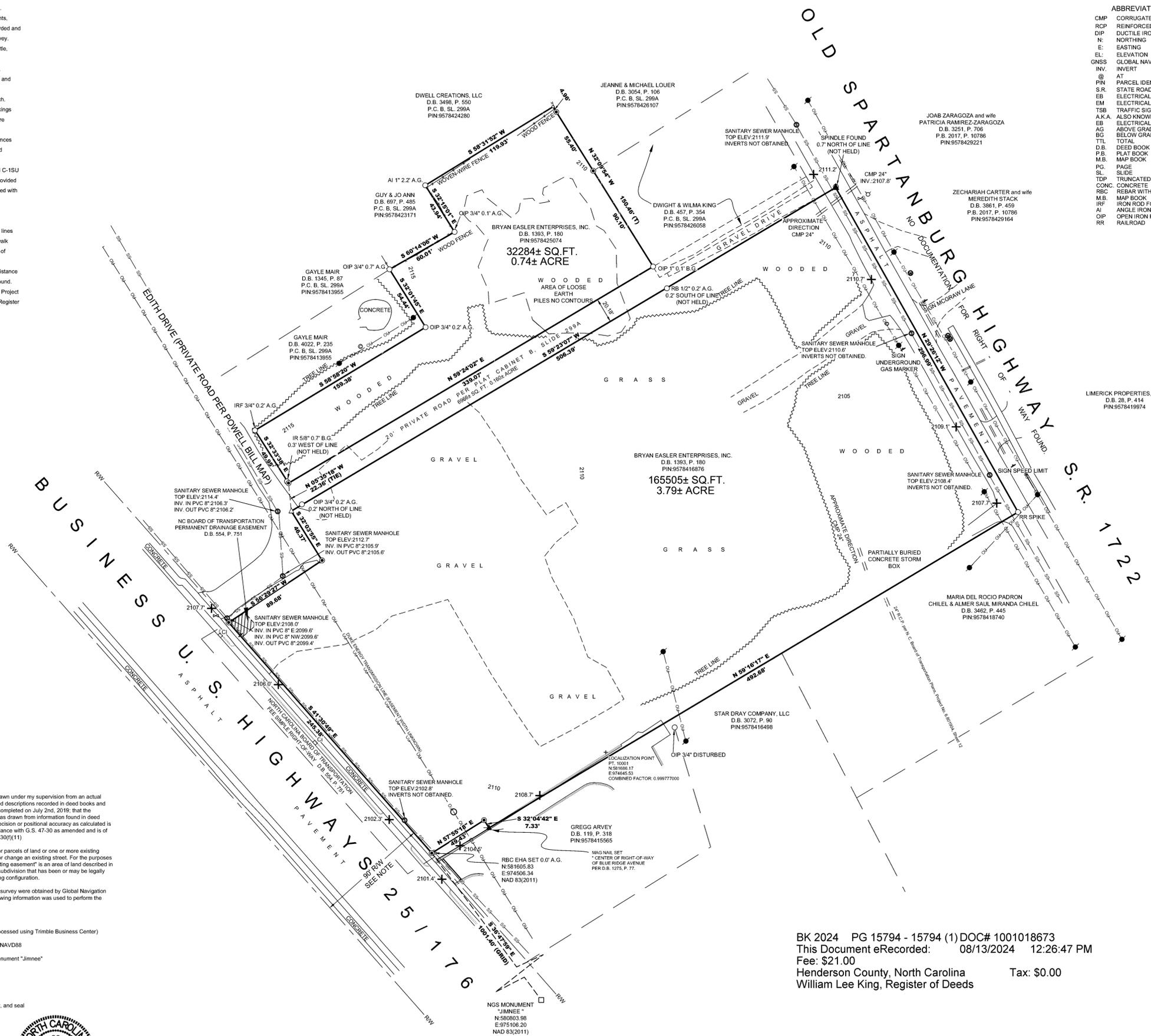
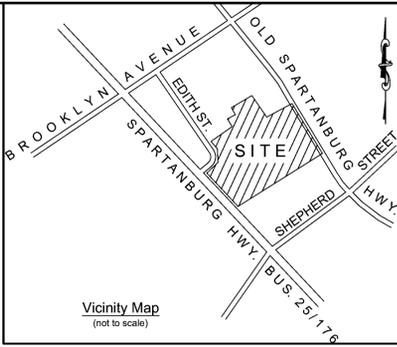
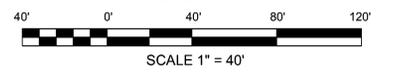


ABBREVIATION LEGEND
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONCRETE PIPE
DIP DUCTILE IRON PIPE
N: NORTHING
E: EASTING
EL: ELEVATION
GNSS GLOBAL NAVIGATION SATELLITE SYSTEM
INV. INVERT
AI PARCEL IDENTIFIER NUMBER
S.R. STATE ROAD
EB ELECTRICAL BOX
EM ELECTRICAL METER
TSB TRAFFIC SIGNAL BOX
A.K.A. ALSO KNOWN AS
EB ELECTRICAL BOX ABOVE GRADE
BG BELOW GRADE
TTL TOTAL
D.B. DEED BOOK
P.B. PLAT BOOK
M.B. MAP BOOK
PG. PAGE
SL. SLIDE
TDP TRUNCATED DOME PLATE CONCRETE
RBC REBAR WITH CAP FOUND
M.B. MAP BOOK
IRF IRON ROD FOUND
AI ANGLE IRON FOUND
OIP OPEN IRON PIPE FOUND
RR RAILROAD

SYMBOL LEGEND
CONCRETE RIGHT-OF-WAY MONUMENT FOUND
SURVEY CONTROL POINT
UNMARKED POINT
CHISEL X FOUND
MONUMENT FOUND (AS DESCRIBED)
S/B REBAR WITH 'ED HOLMES AND ASSOC.' CAP SET
S/B MONUMENT FOUND
MAGNETIC NAIL FOUND
MAGNETIC NAIL SET
STORMWATER MANHOLE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
TELEPHONE MANHOLE
SIGN
WATER METER
WATER VALVE
FIRE HYDRANT
TELEPHONE PEDESTAL
UTILITY POLE
UTILITY POLE WITH GUY WIRE
LIGHT POLE (SINGLE HEAD)
BOLLARD
PAINTED TRAFFIC ARROWS
SPOT ELEVATION
LOT NUMBERS PLAT CAB B. SLD. 299A

LINE TYPE LEGEND
PROPERTY LINE (SURVEYED)
DEED / PLAT LINE (NOT SURVEYED)
UNDERGROUND WATER LINE
UNDERGROUND SANITARY SEWER LINE
OVERHEAD UTILITY LINE
UNDERGROUND STORMWATER LINE
EDGE OF CONCRETE
CONCRETE CURB
ROAD RIGHT-OF-WAY LINE
PERMANENT UTILITY EASEMENT LINE
PERMANENT DRAINAGE EASEMENT LINE
FENCE (AS DESCRIBED)
BUILDING SETBACK LINE
UNDERGROUND COMMUNICATIONS LINE
UNDERGROUND ELECTRIC LINE
UNDERGROUND GAS LINE

Boundary & Topographic Survey for Pardee Hospital on property owned by Bryan Easler Enterprises, Inc.
REFERENCES
Record Owner: Bryan Easler Enterprises, Inc.
PIN: 9578-41-6876, 9578-42-5074
Deed Book 1393, Page 180
Plat Cabinet B, Slide 299A
City of Hendersonville, Henderson County, NC
Field Work Completed: 7-21-2024
Drawn By: C. Ellison
JOB # 24156
Robert C. Brown, PLS
bob@edholmessurveying.com
www.edholmessurveying.com
Company License # C-2806
200 Ridgfield Court, Suite 208, Asheville, NC 28806
828.225.6562



I, Robert C. Brown, certify that this plat was drawn under my supervision from an actual survey made under my supervision (using deed descriptions recorded in deed books and pages as noted); that the ground survey was completed on July 2nd, 2019; that the boundaries not surveyed are clearly indicated as drawn from information found in deed books and pages as noted; that the ratio of precision or positional accuracy as calculated is 1:20,000; that this plat was prepared in accordance with G.S. 47-30 as amended and is of the following category as described in G.S. 47-30(a)(11)

(c)(1) That the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. For the purposes of this subsection, an "existing parcel" or "existing easement" is an area of land described in a single, legal description or legally recorded subdivision that has been or may be legally conveyed to a new owner by deed in its existing configuration.

Furthermore, State Plane Coordinates for this survey were obtained by Global Navigation Satellite System (GNSS) Survey, and the following information was used to perform the GNSS survey:

Horizontal positional accuracy: 0.01m
Vertical positional accuracy: 0.01m
Type of GNSS field procedure: static (post-processed using Trimble Business Center)
Date of GNSS Survey: June 18th, 2024
Datum: horizontal = NAD83 (2011), Vertical = NAVD88
Geoid model: GEOID 12b
Published/Fixed Horizontal Control: NCGS Monument "Jimnee"
Localization point: N:581666.8 E:974645
Combined scale factor: 0.999777000
Units: U.S. Survey Feet

Witness my original signature, license number, and seal
this date: August 13, 2024



Ed Holmes & Associates
LAND SURVEYORS, P.A.

BK 2024 PG 15794 - 15794 (1) DOC# 1001018673
This Document eRecorded: 08/13/2024 12:26:47 PM
Fee: \$21.00
Henderson County, North Carolina Tax: \$0.00
William Lee King, Register of Deeds

Submitted electronically by Ed Holmes and Associates Land Surveyors, PA in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Henderson County Register of Deeds.



UNC HEALTH Pardee

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HENDERSON CO. & UNCH PARDEE SH MOB 1427 OLD SPARTANBURG ROAD HENDERSONVILLE, NC 28792 LS3P PROJECT: 0403-240136

Table with 2 columns: DATE, DESCRIPTION

SHEET NAME: PLANTING PLAN

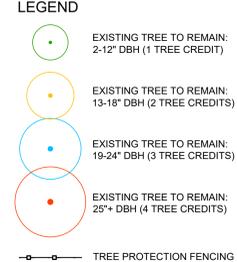
ORIG SUBMISSION: 2025.04.14

SHEET: L1.0

DESIGN DEVELOPMENT

THESE DRAWINGS ARE EXACTLY ONE HUNDRED PERCENT COMPLETE. DATE: 5/4/2023 4:11:49 PM

PLANT SCHEDULE CODE LANDSCAPE PLANTING. Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, HEIGHT, CONTAINER, REMARKS. Includes trees like Acer rubrum, Quercus alba, etc.



NOTES

- 1. ALL TREES WITHIN TREE CANOPY PROTECTION AREA MUST BE PROTECTED BY FENCING AS OUTLINED IN SECTION 15-40(1) IN THE CODE. PROTECTIVE BARRIERS SHALL CONSIST OF EITHER: 1.1. A FENCE WHICH IS AT LEAST THREE FEET HIGH AND CONSTRUCTED IN A POST AND RAIL CONFIGURATION... 1.2. A FENCE WITH TWO-BY-FOUR POSTS PLACED NO FURTHER THAN TEN FEET APART COVERED WITH A FOUR-FOOT ORANGE POLYETHYLENE LAMINAR SAFETY FENCING. 2. ALL PLANTINGS BELOW OVERHANG SHALL BE IRRIGATED VIA DRIP IRRIGATION LINES. 3. 20 TREES HAVE BEEN ADDED TO MEET COMMON SPACE TREE REQUIREMENTS (SECTION 5-27). THESE ARE NOTED ON THE SCHEDULE AS SUCH. THESE TREE AND SHRUB QUANTITIES ARE A PROPOSED ALTERNATIVE COMPLIANCE DUE TO RIGHTS-OF-WAY AND UTILITY EASEMENTS THAT HAVE CREATED LIMITATIONS FOR COMMON OPEN SPACE PLANTINGS. 4. 9 TREES AND 102 SHRUBS HAVE BEEN ADDED FOR COMMON OPEN SPACE REQUIREMENTS (SECTION 15-13) AND ARE NOTED ON THE SCHEDULE AS SUCH. THESE TREE AND SHRUB QUANTITIES ARE A PROPOSED ALTERNATIVE COMPLIANCE DUE TO RIGHTS-OF-WAY AND UTILITY EASEMENTS THAT HAVE CREATED LIMITATIONS FOR COMMON OPEN SPACE PLANTINGS.

PLANT SCHEDULE NON-CODE PLANTINGS. Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, SIZE, CONTAINER, REMARKS. Includes shrubs like Hamamelis virginiana, Hypericum prolificum, etc.

PROPERTY INFORMATION. Table with columns: PIN, EXISTING TREE CANOPY AREA (SF), TOTAL CANOPY, TIER ONE REQUIRED PRESERVATION (20%), TIER ONE ACTUAL PRESERVED.

TREE CANOPY PRESERVATION REQUIREMENTS

Table with columns: Option, Tier One Canopy Preserved, Tier Two Canopy Preserved, Tier Two New Canopy Installed Required.

NEW TREE CANOPY TO BE INSTALLED (TIER TWO)

Table with columns: Size of Tree, Tree Canopy Credit (SF), Quantity Provided, Area Provided (SF).

STREET TREES

WHERE OVERHEAD UTILITY LINES ARE PRESENT, STREET TREES SHALL BE PLANTED AT THE RATE OF 1 SMALL-MATURING TREE (<25 FEET IN HEIGHT) FOR EVERY 25 LINEAR FEET OF PROPERTY ADJUTING A STREET.

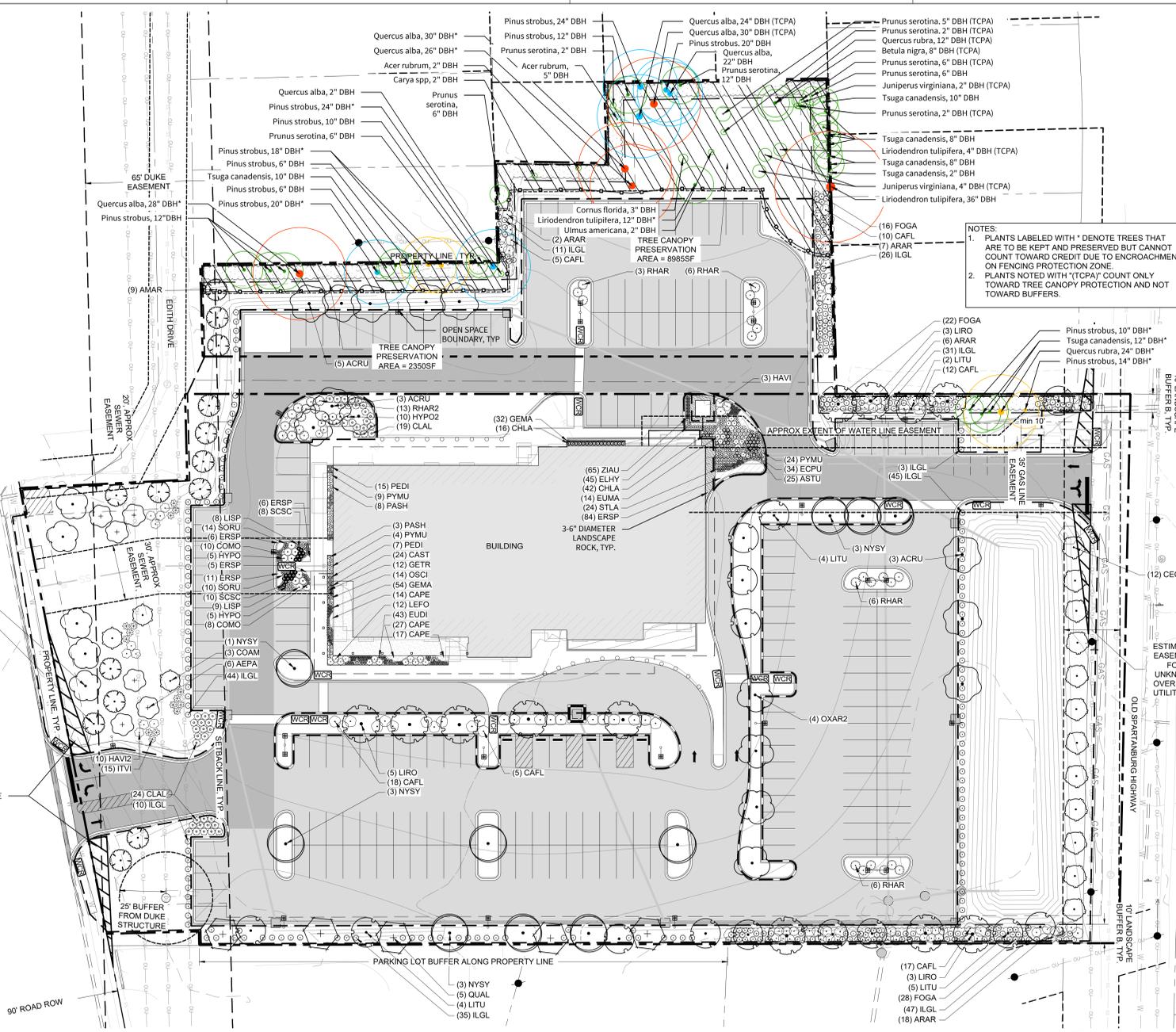
Table with columns: STREET NAME, LENGTH, TREES REQUIRED, TREES PROVIDED, TYPE. Lists streets like Spartanburg Highway, Edith Drive, Old Spartanburg Highway.

OPEN SPACE

30% OF SITE: 1 TREE AND 5 SHRUBS PER 4000SF; 50% OF TREES TO BE CANOPY TREES; 70% OF TREES LARGE MATURING AND REMAINING TO BE MEDIUM-MATURING

Table with columns: TOTAL SF REQUIRED, TOTAL TREES REQUIRED, TOTAL SHRUBS REQUIRED.

Table with columns: Section, SF, Provided Large-Maturing Evergreen Trees, Provided Large-Maturing Deciduous Trees, Provided Medium Maturing Trees, Provided Shrubs.



VEHICULAR USE AREA

Table with columns: TOTAL VEHICLE USE AREA, TOTAL QUANTITY, QUANTITY IN ISLANDS, BROADLEAF CANOPY (MIN 75%), Required Trees, Required Shrubs, Proposed Trees, Proposed Shrubs.

VEHICULAR USE AREA - BUFFERING FROM STREET

3' HEIGHT AT MATURITY; CAN INCLUDE PLANT MATERIAL OR A COMBINATION OF GRADE CHANGE AND PLANT MATERIAL. AT LEAST ONE EVERGREEN OR DECIDUOUS SHRUB PLANTED FOR EVERY 5' LF OF BUFFER REQUIRED.

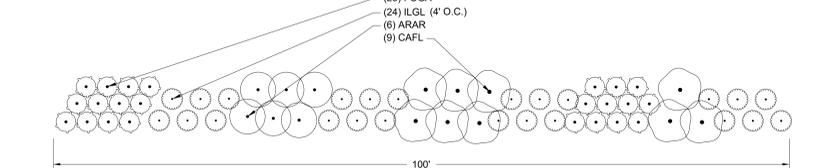
VEHICULAR USE AREA - BUFFERING ALONG PROPERTY LINE

Table with columns: Section Length, Required Trees, Required Shrubs, Provided Trees, Provided Shrubs.

COMMON SPACE

Table with columns: TOTAL SF REQUIRED, TOTAL TREES REQUIRED, Provided.

LANDSCAPE BUFFER B - SAMPLE SHRUB PLANTING



EXISTING TREE CREDITS

Table with columns: Size of Tree, Equivalent Credit (# of trees), Quantity Preserved (Landscape Buffer), Total Credits (Buffer), Quantity Preserved (TCPA only), Total Credits (TCPA).

LANDSCAPE BUFFER B

Table with columns: Section, Length, Required Trees, Required Evergreen Shrubs, Required Flowering Shrubs, Provided Trees (credit), Provided Trees (planted), Provided Evergreen Shrubs, Provided Flowering Shrubs.



UNC HEALTH Pardee

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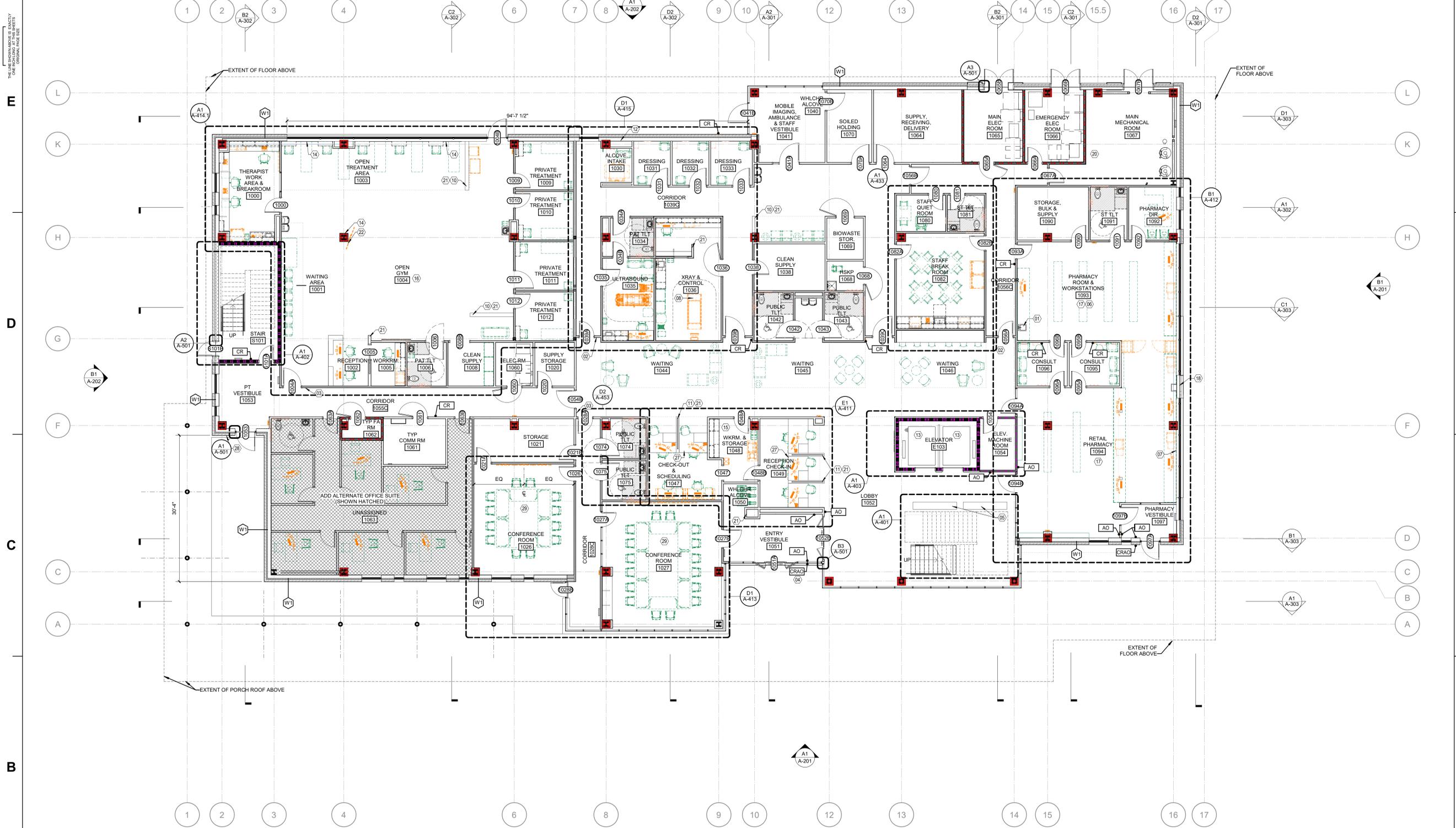
14 OHENRY AVENUE, SUITE 210 ASHEVILLE, NC 28801 TEL. 828.254.1963 WWW.LS3P.COM

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HENDERSON CO. & UNCH PARDEE SH MOB 1427 OLD SPARTANBURG ROAD HENDERSONVILLE, NC 28792

LS3P PROJECT: 0403-240301



B1 OVERALL FLOOR PLAN - LEVEL 1 1/8" = 1'-0"



| FLOOR PLAN SHEET NOTES | | EQUIPMENT & FURNITURE LEGEND | | PARTITION GRAPHICS | | FLOOR PLAN NOTES BY NUMBER | | FLOOR PLAN NOTES BY NUMBER | | FLOOR PLAN NOTES BY NUMBER | |
|---|--|---|--|---|--|---|--|---|--|--|--|
| <p>A. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING, INTENDED DIMENSION FROM THE FACE OF MASONRY.</p> <p>B. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD.</p> <p>C. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINES OF COLUMNS, UNO.</p> <p>D. LOCATE INTERIOR DOOR OPENINGS 4" FROM NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE ON DOOR SCHEDULE OR DIMENSIONED OTHERWISE.</p> <p>E. RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE. ALL PENETRATIONS AND TERMINAL JOINTS ARE TO BE INSTALLED AS SHOWN IN APPLICABLE UL JOINT OR PENETRATION DETAIL.</p> <p>F. RATED WALLS INTERSECTING EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.</p> <p>G. RATED WALLS INTERSECTING EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.</p> <p>H. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, TRIM, AND RELATED CONSTRUCTION.</p> <p>I. SEE LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED AND SMOKE WALLS.</p> <p>J. SEE SHEET A-001 FOR CONSTRUCTION SUBSYSTEMS.</p> <p>K. SEE SHEET A-002, A-003 FOR PARTITION TYPES.</p> <p>L. SEE SHEET A-012 FOR INTERIOR ELEVATIONS, ACCESSORY DESCRIPTIONS & MOUNTING HEIGHTS.</p> <p>M. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.</p> <p>N. SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.</p> <p>O. FIELD VERIFY LOCATION OF INTERIOR WALL & CEILING CONTROL JOINTS REQUIRED IN THE SPECIFICATION WITH ARCHITECT PRIOR TO INSTALLATION.</p> <p>P. WALLS, INCLUDING GYP. BD. AT PERIMETER OF ROOMS/SPACES WITHOUT CEILING, IS EXPOSED STRUCTURE. SHALL EXTEND TO STRUCTURE ABOVE.</p> <p>Q. GO TO SUBMIT CONTROL JOINT SHOP DRAWINGS PROVIDING INTERIOR CONTROL JOINT LOCATIONS TO MEET ASTM C840.</p> | | <p>IN THE SUBSEQUENT ROOM DATA SHEETS, REFER TO THIS SCHEDULE AND LEGEND FOR INFORMATION ON TAGGED EQUIPMENT.</p> <p>TOILET & OTHER ACCESSORIES, REFER TO RESPONSIBILITY MATRIX ON SHEET A-012 FOR OWNER OR CONTRACTOR RESPONSIBILITY.</p> <p>ARCHITECTURALLY-SIGNIFICANT EQUIPMENT, APPLIANCES AND/OR FURNISHINGS THAT REQUIRE BLOCKING, POWER, DATA, AND/OR OTHER CONTRACTOR RESPONSIBILITIES FOR INSTALLATION. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONFIRM SPECIFICATIONS AND COORDINATE INSTALLATION REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION. REFER TO RESPONSIBILITY MATRIX ON SHEET A-004 FOR OWNER AND CONTRACTOR RESPONSIBILITY.</p> <p>ROLLER SHADES AT ALL WINDOWS, OWNER-FURNISHED, OWNER-INSTALLED. CONTRACTOR SHALL PROVIDE 9" GWB SOFFIT POCKET FOR RECESSED INSTALLATION AT ALL EXTERIOR WALL LOCATIONS.</p> <p>NON-ARCHITECTURALLY-SIGNIFICANT EQUIPMENT AND / OR FURNISHING. ALL ITEMS ARE OWNER FURNISHED, OWNER INSTALLED.</p> | | <p>GRAPHIC SAMPLE: 1 HOUR RATED CMU FIRE/SMOKE BARRIER:</p> <p>SEE FILL PATTERN LEGEND FOR FIRE-RESISTANCE RATING</p> <p>SEE COLOR LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE</p> <p>ADD ALTERNATE: CARD READER INFORMATION</p> <p>COLOR LEGEND</p> <p>NON-RATED PARTITION TO 6" ABOVE CEILING, U.N.O.</p> <p>NON-RATED PARTITION TO DECK</p> | | <p># FLOOR PLAN NOTES BY NUMBER</p> <p>01 PLUMBING FIXTURE SPECIFICATIONS SHALL BE COORDINATED WITH VENDOR-PROVIDED MILLWORK. CLARIFICATION OF RESPONSIBILITY OF SINK (OWNER VS. VENDOR) PROVIDED IS REQ'D. CONTRACTOR SHALL, AT MINIMUM, PROVIDE PLUMBING SERVICE (SUPPLY AND WASTE) PIPING</p> <p>02 ADD ALTERNATE: CARD READER</p> <p>03 ADD ALTERNATE: WAVE OPERATED DOOR AUTO-OPERATOR, BOTH SIDES OF DOOR</p> <p>04 CARD READER, SLIM PROFILE WHERE INSTALLED ON WINDOW MULLION; FOR AFTER-HOURS / STAFF ACCESS</p> <p>05 PLAM BENCH, REFER TO DETAIL ES/A-761. LOCATION IS APPROXIMATE</p> <p>06 WOOD VENEER BENCH, REFER TO DETAIL ES/A-761. LOCATION IS APPROXIMATE</p> <p>07 ALL OUTLETS TO SERVE OWNER-PROVIDED EQUIPMENT SHALL BE 40" AFF FOR FULL LENGTH OF WALL BETWEEN VESTIBULE AND DRIVE-THROUGH WINDOW, PROVIDE WALL-BLOCKING FOR VENDOR-PROVIDED SHELVING</p> <p>08 OWNER-PROVIDED EQUIPMENT, COORDINATE STRUCTURAL AND MEP REQUIREMENTS WITH MANUFACTURER'S RECOMMENDATIONS. LEAD-LINING REQUIREMENTS SHALL BE DETERMINED BY OWNER'S PHYSICIST</p> <p>09 PLUMBING FIXTURES SHALL HAVE SHUT-OFF OPERABLE FROM LABORATORY SIDE FOR DRUG-TESTING</p> <p>10 PARTIAL HEIGHT WALL W/ SOLID SURFACE CAP</p> <p>11 PARTIAL HEIGHT WALL W/ SOLID SURFACE WATERFALL CAP AND SIDES; FRAMELESS SUSPENDED 3-FORM RESIN PANEL</p> <p>12 SHOREPOWER CONNECTION FOR MOBILE IMAGING</p> <p>13 ELEVATOR BASIS OF DESIGN: OTIS GENEDGE 4500 LB WITH FRONT OPENING 48" DOOR (CAS CLEAR DIMENSIONS: 7'-11"D X 5'-9"W X 7'-7"H), NON-SEISMIC, TWO-STOP</p> <p>14 PLUG-MOLD AROUND PERIMETER OF ROOM</p> <p>15 PLUG-HOLD AROUND PERIMETER OF ROOM, REFER TO ELECTRICAL AND INTERIOR ELEVATIONS</p> | | <p># FLOOR PLAN NOTES BY NUMBER</p> <p>15 PLUG-MOLD IN UPPER CABINETS FOR IPAD CHARGING</p> <p>16 CONTRACTOR SHALL PROVIDE 100 LF OF WALL BLOCKING IN THE PROJECT BUDGET FOR OWNER-PROVIDED WALL-MOUNTED EQUIPMENT. PRIOR TO INSTALLATION OF GWB, THE OWNER SHALL DETERMINE THE SPECIFIC LOCATIONS OF WALL BLOCKING WITHIN THIS ALLOWANCE</p> <p>17 PHARMACY SHALL BE OUTFIT BY OWNER-PROVIDED VENDOR; ALL MILLWORK AND SHELVING BY OTHERS. CONTRACTOR SHALL PROCURE BIDS FROM OWNER-SELECTED VENDORS AS OWNER-PREFERRED ALTERNATES</p> <p>18 RETAIL PHARMACY SERVICE WINDOW W/ OPERABLE PANE AND SECURITY DRAWER. PROVIDE CALL BUTTON ON EXTERIOR OF WINDOW TO NOTIFY PHARMACY SOMEONE IS WAITING</p> <p>19 ROOM SHALL HAVE RESILIENT CHANNEL WALL TYPE AND GASKETED DOOR FOR ENHANCED SOUND-PROOFING</p> <p>20 AT FREE END OF WING WALL, PROVIDE POST INSTALLED ANCHOR FOR ENHANCED RIGIDITY & STIFFNESS, REFER TO DETAIL, FREE STANDING BASE, ON SHEET 03/A-003</p> <p>21 WALL MONITOR ON ARTICULATING ARM. BLOCKING AS REQUIRED. COORDINATE WITH MEP.</p> <p>22 LADDER TO ROOF ACCESS. COORDINATE WITH STRUCTURAL</p> <p>23 ROOM POWER AND DATA SHALL BE PROVIDED SIMILAR TO NURSE WORK 2061. REFER TO ELECTRICAL FOR OUTLET LOCATIONS AND FLOOR BOXES REQUIRED TO SERVE DESK</p> <p>24 PROVIDE FLOOR DRAIN TO SERVE FUTURE OWNER-PROVIDED EQUIPMENT, COORDINATE LOCATION WITH OWNER</p> <p>25 UNDER-COUNTER PANIC BUTTON</p> <p>26 KNOX BOX; COORDINATE FINAL LOCATION WITH FIRE MARSHAL AND AHJ</p> <p>27 PROVIDE RECESSED FLOOR BOXES (SINGLE OUTLETS) FOR POWER UNDER TABLE, COORDINATE LOCATIONS W/ ELECTRICAL</p> | | <p># FLOOR PLAN NOTES BY NUMBER</p> <p>29 PROVIDE RECESSED FLOOR BOXES FOR POWER UNDER TABLE, COORDINATE LOCATIONS W/ ELECTRICAL</p> | |

SHEET NAME: REFERENCE PLAN-LEVEL 1

ORIG SUBMISSION: 2025.04.14

SHEET: A-101B

DESIGN DEVELOPMENT

