

REZONING: STANDARD REZONING –QUATTLEBAUM PROPERTIES F LLC  
(SHEETZ UPWARD ROAD) (25-37-RZO) CITY OF HENDERSONVILLE -  
COMMUNITY DEVELOPMENT STAFF REPORT

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## PROJECT SUMMARY

- Project Name & Case #:
  - Quattlebaum Properties F LLC (Sheetz Upward Road)
  - 25-37-RZO
- Applicant & Property Owner:
  - City of Hendersonville [Applicant]
- Property Address:
  - 0 Upward Road
- Project Acreage:
  - 2.65 Acres
- Parcel Identification (PIN):
  - 9588-40-7325
- Current Parcel Zoning:
  - RC – Regional Commercial (County Zoning)
- Future Land Use Designation:
  - Mixed-Use Commercial
- Requested Zoning:
  - CHMU – Commercial Highway Mixed Use
- Requested Uses:
  - Convenience stores with gasoline sales

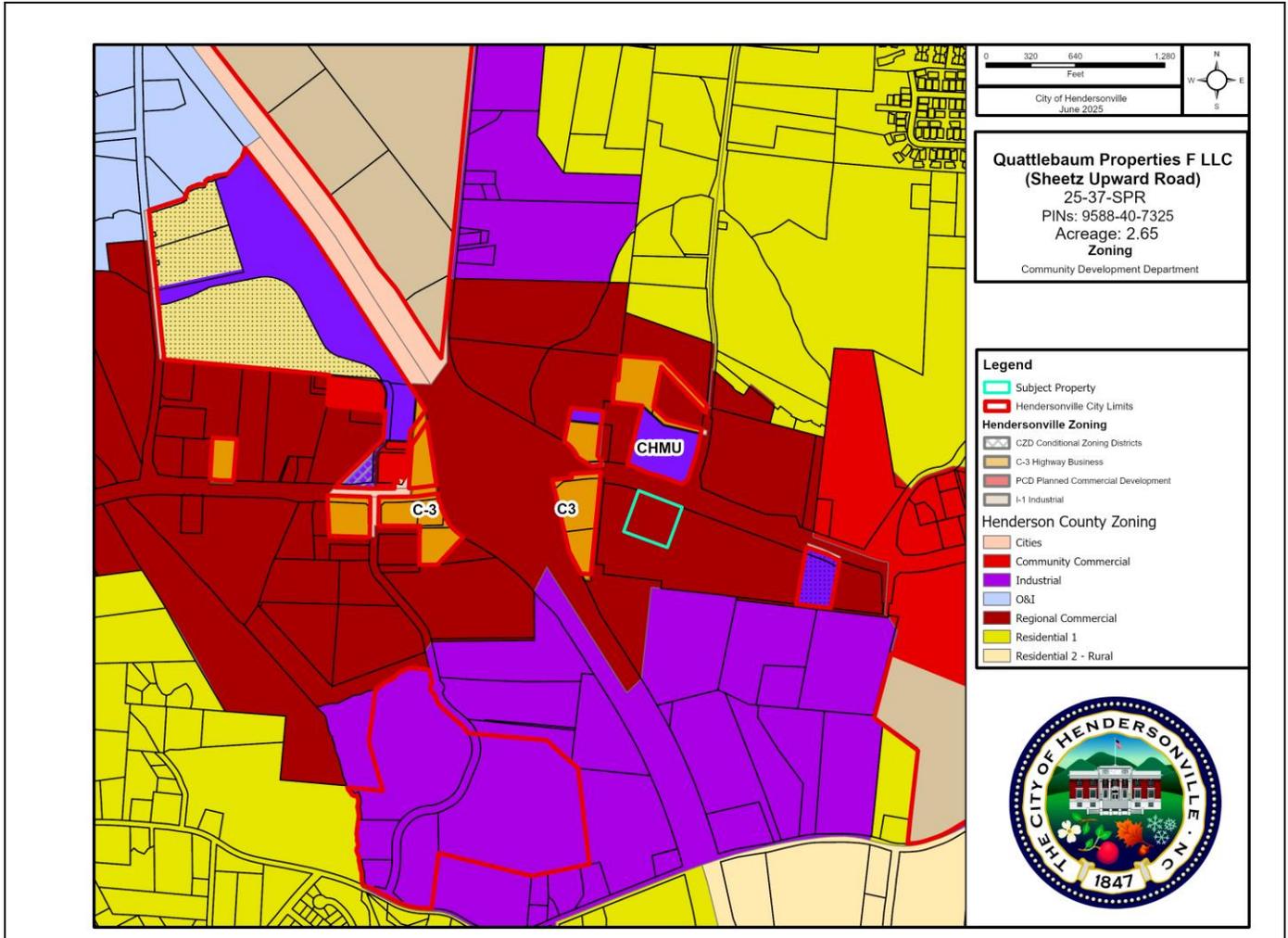


SITE VICINITY MAP

*The City of Hendersonville has initiated a standard rezoning for a property located along Upward Road. The property owner has submitted a petition to annex the parcel, identified as PIN 9588-40-7325. If annexed into the City, the property must be assigned a zoning designation. Because the applicant did not request a specific zoning district in the annexation petition, the City has proposed CHMU (Commercial Highway Mixed Use) zoning.*

*CHMU was established specifically for properties along the Upward Road corridor. The proposed use for the property—a gas station—is permitted within the CHMU district. Additionally, surrounding parcels that have been annexed into the City through satellite annexations are also zoned CHMU.*

EXISTING ZONING & LAND USE



**City of Hendersonville Current Zoning & Land Use Map**

*The subject property is currently zoned Henderson County RC – Regional Commercial, given that it is located within the County jurisdiction. If annexed, there are several other satellite annexations that have occurred in the surrounding area. The zoning districts for these properties include CHMU, C-3, and PCD.*

*In 2011, City planning staff brought forward a proposal for the creation of the Commercial Highway Mixed Use District. Additionally, City Council created the Upward Road Planning District in line with the City’s sewer extension policy.*

SITE IMAGES



*View of property looking east from Upward Road.*



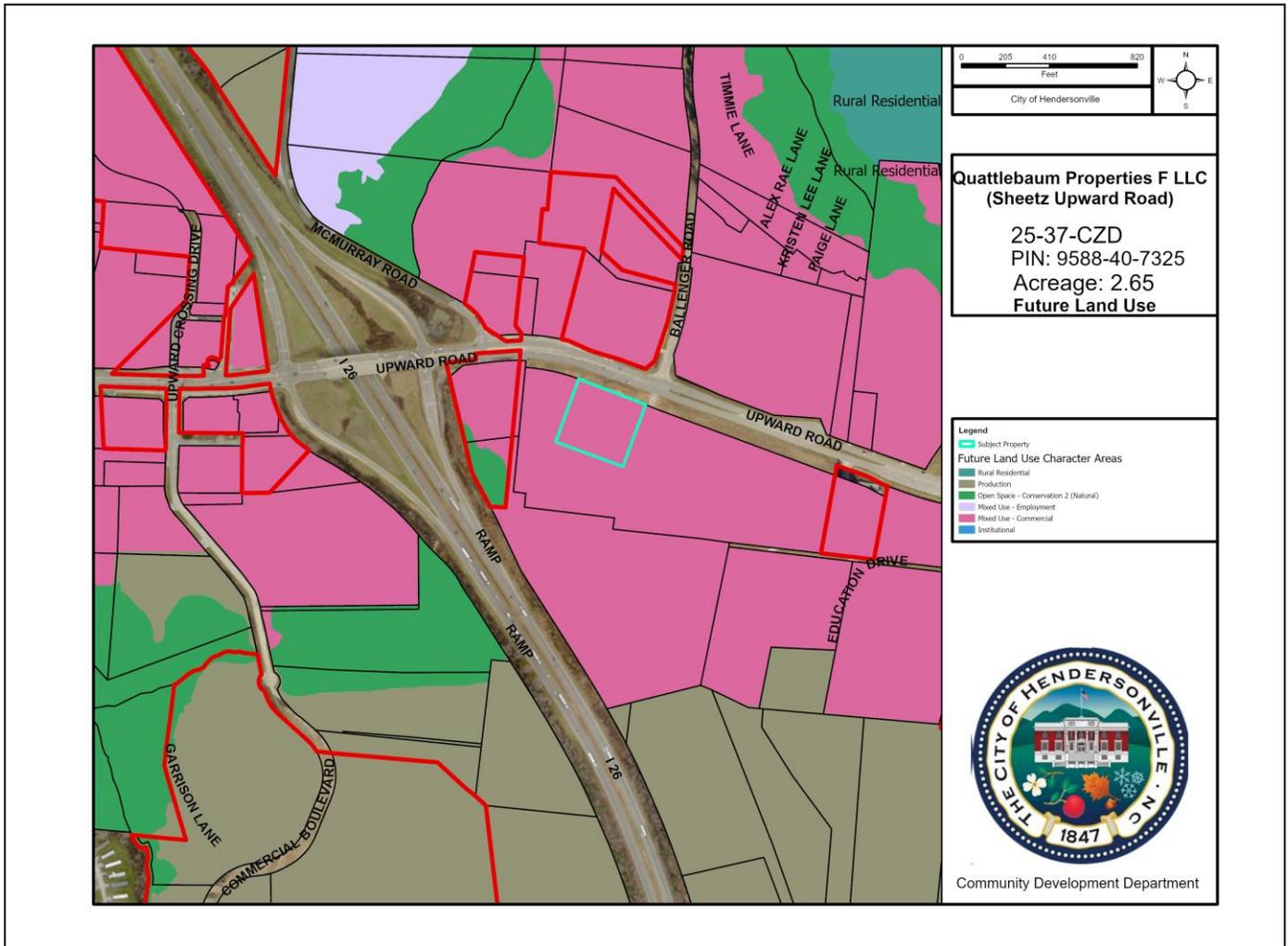
*View south onto property from Upward Road.*

SITE IMAGES



*View west onto property from Upward Road.*

FUTURE LAND USE



City of Hendersonville Future Land Use Map

*The subject property is designated as mixed-use commercial in the future land use map in the Gen H Comprehensive Plan. Almost all of the parcels along Upward Road are classified as this in the comprehensive plan. The designation states, “These areas are centers of activity with a mix of retail, restaurant, service, office, and civic uses, as well as various residential housing types. The mix can be horizontal or vertical, with changes in use between floors of the same building. Buildings of two or more stories are common, and streets feature short block lengths and pedestrian facilities. Open spaces include plazas, formal greens, and pocket parks. This activity center is intended to be the City’s most intense district outside of the Downtown character area.”*

<b>GENERAL REZONING STANDARDS</b>	
<b>1) Comprehensive Plan Consistency</b>	<p><b><u>LAND SUPPLY, SUITABILITY &amp; INTENSITY</u></b></p> <p>The subject property is was excluded from the analysis for the Land Supply Map and therefore is not ranked for Suitability for Residential, Commercial and Industrial uses.</p> <p>The subject property is located in an area designated as “High” for Development Intensity.</p> <p>The subject property is not located in one of the the 5 Focus Areas.</p> <p>The subject property is located in a Focused Intensity Node. A Focused Intensity Node is classified as: “Concentration of more intense development are envisioned for key nodes where ‘Mixed-Use Commercial Center (MU-C)’ character areas are delineated on the Future Land Use Map. These nodes are intended to be the largest activity centers outside of downtown and support a broad range of compatible uses.”</p> <p><b><u>FUTURE LAND USE &amp; CONSERVATION MAP</u></b></p> <p><b>Character Area Designation:</b> Mixed Use - Commercial</p> <p><b>Character Area Description:</b> Consistent</p> <p><b>Zoning Crosswalk:</b> Consistent</p> <p><b>Focus Area Map:</b> NA</p>
<b>2) Compatibility</b>	<p><b>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –</b></p> <p>The proposed use as a gas station is compatible with other uses along this corridor. Additionally, the zoning to CHMU is compatible with the City’s desire to utilize this zoning district along this corridor.</p>
<b>3) Changed Conditions</b>	<p><b>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</b></p> <p>The property is currently going through the annexation process.</p>
<b>4) Public Interest</b>	<p><b>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</b></p> <p>Rezoning to this zoning district will enable this corridor to be developed in the same zoning district over time, ensuring cohesive progression of development.</p>
<b>5) Public</b>	<p><b>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and</b></p>

<p><b>Facilities</b></p>	<p><b>police protection and transportation are available to support the proposed amendment</b></p> <p>If annexed, the parcel would have the option to access City sewer. The property would be able to access City water without annexation.</p>
<p><b>6) Effect on Natural Environment</b></p>	<p><b>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</b></p> <p>The development must comply with all the City of Hendersonville zoning ordinance provisions regarding the protection of the natural environment.</p>

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

*The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.*

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

*DRAFT [Rationale for Approval]*

- *The proposed map amendment would rezone the property to an appropriate zoning district meant for the Upward Road corridor.*
- *The adjacent property uses are congruent with the proposed use.*

*DRAFT [Rational for Denial]*

- *The proposed zoning district and rezoning is not appropriate for the type of development in this area.*