

# 715 GREENVILLE HWY APARTMENTS

APARTMENTS

CITY OF HENDERSONVILLE

## NOTES

### SITE NOTES:

- PROJECT ADDRESS: 715 GREENVILLE HWY, HENDERSONVILLE NC 28792
- TOTAL ACREAGE: 9.01 AC
- ZONING: PCD
- PROJECT PIN NUMBER(S): 9568832082, 9568834302, 9568832474
- EXISTING TOPO INFO SHOWN WAS PROVIDED BY: JOHN COLE
- EXISTING BOUNDARY INFO PROVIDED BY: JOHN COLE
- FEMA FLOOD PANEL: 3700956800J
- RECEIVING STREAM: JOHNSON DRAINAGE DITCH
- SOIL TYPE(S): SOIL TYPES
- DEED BOOK / PAGE: DEED BK / PG
- LATITUDE / LONGITUDE: 35.3034 / -82.4580
- DISTURBED ACREAGE: 6.0 AC
- EROSION CONTROL REVIEW: HENDERSON COUNTY
- STORMWATER MANAGEMENT REVIEW: CITY OF HENDERSONVILLE

### GENERAL NOTES:

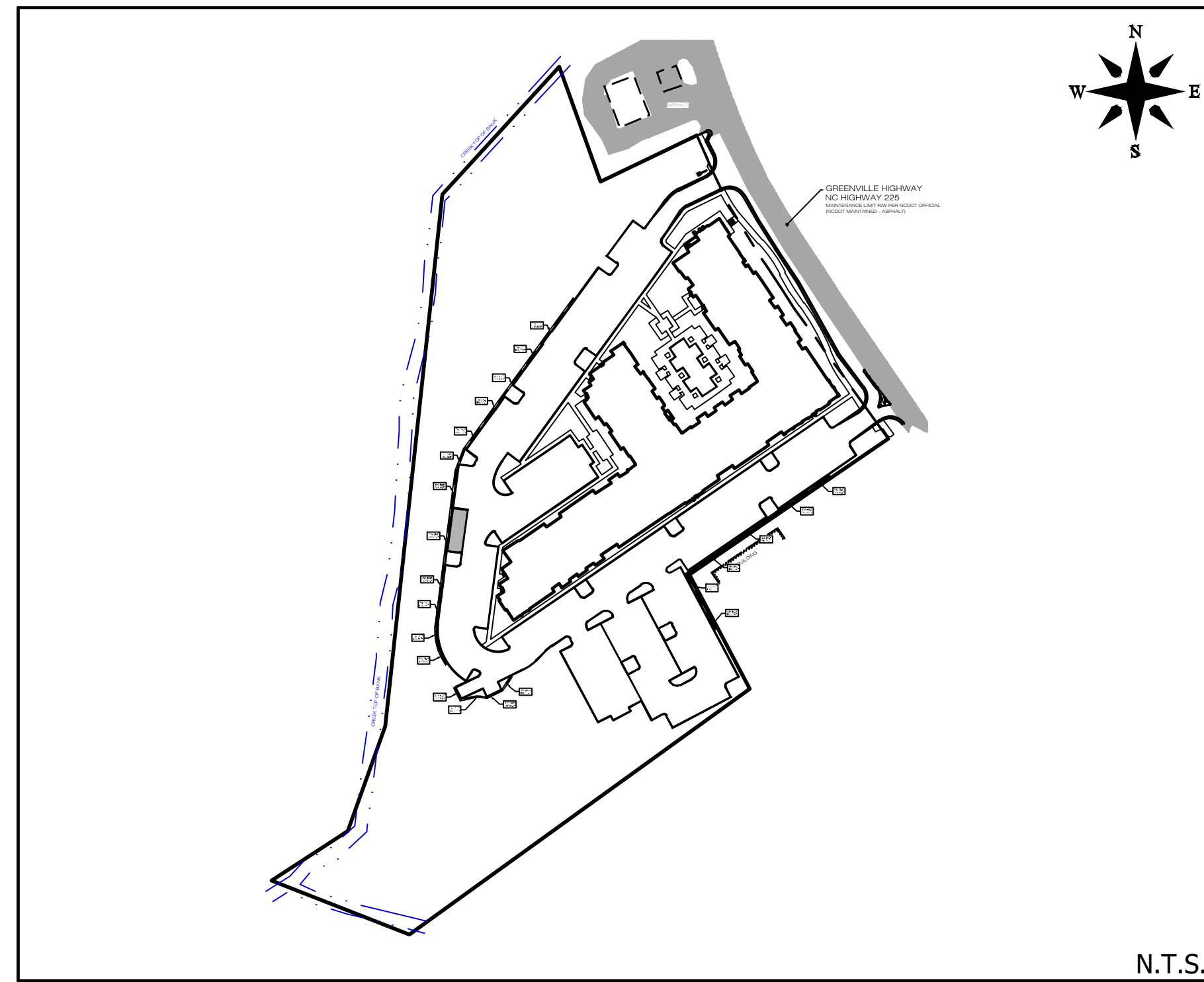
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND/OR MOVEMENT OF ANY SURVEY-LOCATED CONSTRUCTION STAKES. CONSTRUCTION STAKING SHALL REMAIN IN PLACE AND BE PROTECTED UNTIL THE OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD TO SUPERVISE CONSTRUCTION. IT IS SPECIFICALLY UNDERSTOOD THAT THE ENGINEERING FIRM DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION MEANS AND METHODS AND/OR SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION.
- THE ENGINEERING FIRM IS NOT RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS AND/OR ALL APPLICABLE REGULATORY RULES. THE ENGINEERING FIRM MAY BE CONTRACTED TO OBSERVE CONSTRUCTION AND ADVISE WITH REGARD TO ADHERENCE TO THE CONSTRUCTION DOCUMENTS AND REGULATORY COMPLIANCE, BUT NO RESPONSIBILITY WITH REGARD TO THE CONTRACTOR'S PERFORMANCE IS PROVIDED OR IMPLIED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW IMPROVEMENTS ON THE SUBJECT SITE AND ADJACENT PROPERTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES WHICH OCCUR DURING CONSTRUCTION.
- LOCATION OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE PROVIDED BY THE PROJECT SURVEYOR. THE LOCATION AND ANY INCLUSION OR OMISSION OF UNDERGROUND OR OVERHEAD UTILITIES IS THE SOLE RESPONSIBILITY OF THE PROJECT SURVEYOR AND NO WARRANTY IS PROVIDED OR IMPLIED BY THE LOCATION REFLECTED IN THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE, SIZE AND LOCATION OF ALL UTILITIES AND OTHER FEATURES WHICH MAY AFFECT CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION IF EXISTING CONDITIONS DIFFER FROM THOSE INDICATED IN THE PLANS.
- NO STREAM OR WETLAND DISTURBANCE SHALL OCCUR WITHOUT THE APPLICABLE PERMITTING FROM THE ARMY CORPS OF ENGINEERS AND STATE AND LOCAL AGENCIES.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, ANY LAND DISTURBING ACTIVITIES. EROSION CONTROL IS A REQUIREMENT REGARDLESS OF PERMIT REQUIREMENTS AND MEASURES SHOWN OR NOT SHOWN IN THESE PLANS.
- ANY EXCESS CUT/SPOIL MATERIAL DEVELOPED IN THE CONSTRUCTION OF THIS SITE SHALL BE DISPOSED OF AT AN APPROPRIATELY PERMITTED SPOIL SITE. CONTRACTOR TO PROVIDE PROOF OF PERMITS PRIOR TO PLACEMENT AT AN OFF-SITE LOCATION.
- ANY ALTERATION TO THE PLANS MUST BE APPROVED BY THE PROJECT ENGINEER AND/OR APPROPRIATE REGULATORY AGENCY PRIOR TO THE COMMENCEMENT OF WORK.

### INSPECTION SCHEDULE:

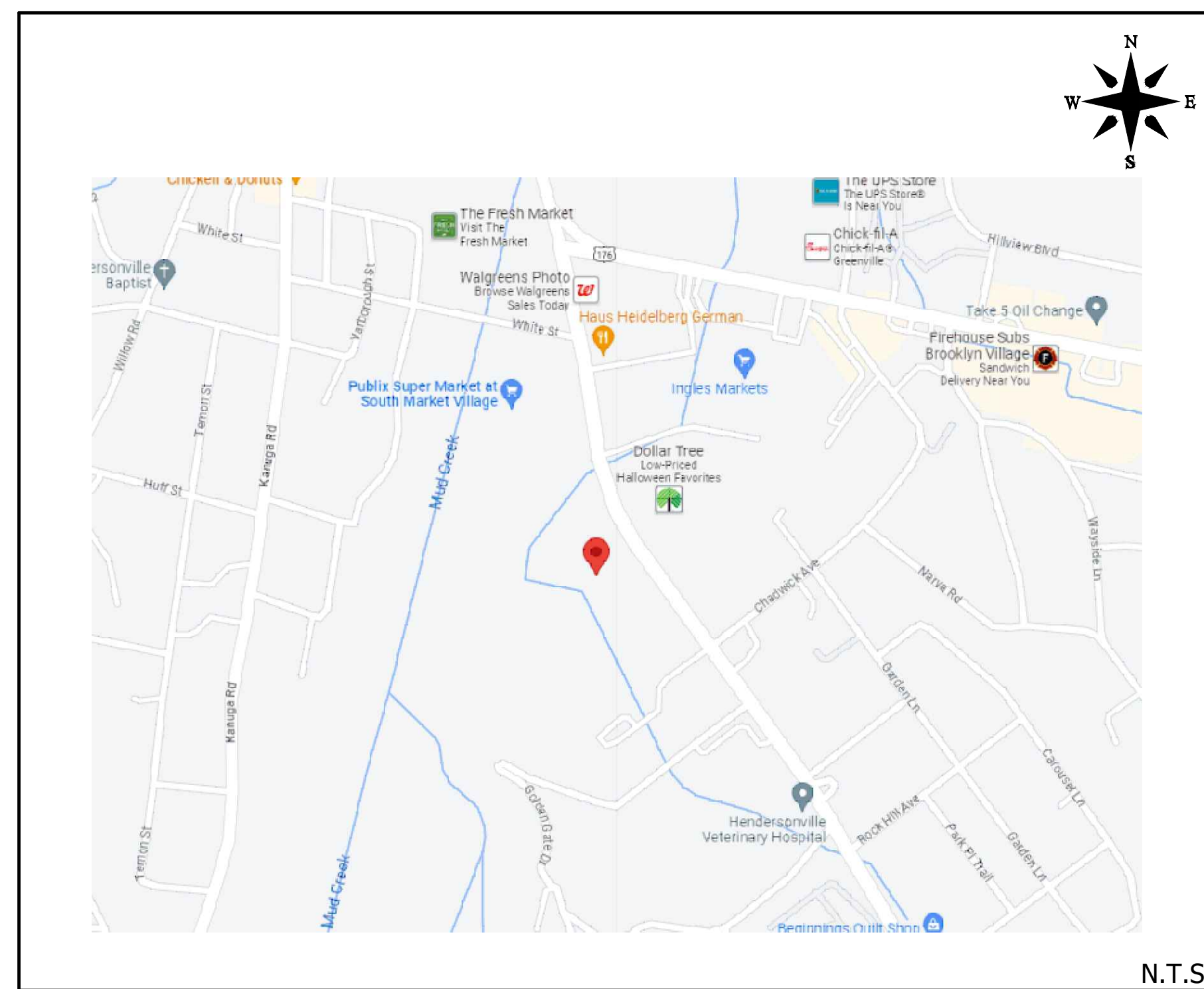
- NO CONSTRUCTION SHALL COMMENCE PRIOR TO A PRECONSTRUCTION MEETING WITH THE OWNER, THE CONTRACTOR, THE ENGINEER, AND A REPRESENTATIVE OF THE APPROVING JURISDICTION.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED AT OR PRIOR TO THE PRECONSTRUCTION MEETING.
- ENGINEER TO BE CALLED FOR PERIODIC INSPECTIONS.
- CALL ENGINEERING PRIOR TO COVERING UNDERGROUND STRUCTURES FOR FINAL INSPECTIONS.
- REFER TO MANUFACTURER'S SPECIFICATION MANUAL AND STATE AND LOCAL STANDARDS FOR ADDITIONAL REQUIREMENTS AND STANDARDS.



## PROJECT MAP



## VICINITY MAP



## CONTACTS

<b>DEVELOPER:</b> CREST RESIDENTIAL LLC	<b>CONTACT INFO:</b> BENTLEY NELSON BENTLEY@CRESTRES.COM 205-567-1467 500 OFFICE PARK DRIVE, SUITE 215 BIRMINGHAM, AL 35223
<b>OWNER:</b> SOUTH MARKET, LLC	<b>CONTACT INFO:</b> RICHARD HERMAN --- 828-577-4201 2809 HAMPTON DRIVE HENDERSONVILLE NC 28792
<b>ENGINEER:</b> BROOKS ENGINEERING ASSOCIATES, PA	<b>CONTACT INFO:</b> JOHN KINNAIRD JKINNAIRD@BROOKSEA.COM (828) 232-4700 15 ARLINGTON STREET ASHEVILLE, NC 28801
<b>SURVEYOR:</b> COLE SURVEY & DESIGN	<b>CONTACT INFO:</b> JOHN COLE N/A 549 ELK PARK DRIVE, SUITE 707 ASHEVILLE NC 28804
<b>LANDSCAPE ARCHITECT:</b> FIND THE LINE STUDIOS	<b>CONTACT INFO:</b> ROB DULL ROB@FINDTHELINESTUDIOS.COM 305 POLE CREAMS ROAD ASHEVILLE NC 28806

## SHEET INDEX

### NO.: TITLE:

C-0	COVER SHEET
C-1-0	MASTER PLAN
C-2-0	EXISTING CONDITIONS / SURVEY
C-5-0	OVERALL STORMWATER PLAN
C-7-0	UTILITY PLAN
L-200	OVERALL SITE PLAN
L-201	PRELIMINARY SITE PLAN
L-202	PRELIMINARY SITE PLAN
L-203	PRELIMINARY SITE PLAN
L-300	OVERALL LANDSCAPE PLANS
L-301	PRELIMINARY LANDSCAPE PLAN
L-302	PRELIMINARY LANDSCAPE PLAN
L-303	PRELIMINARY LANDSCAPE PLAN
ES-11	PHOTOMETRIC SITE PLAN
ES-12	SITE LIGHT FIXTURE SPECIFICATIONS
A1.01	OVERALL FLOOR PLAN - LEVEL 1
A2.01	ELEVATIONS - E FACADE & NE CORNER
A2.02	ELEVATIONS - S FACADE

### DEVELOPER PROPOSED CONDITIONS

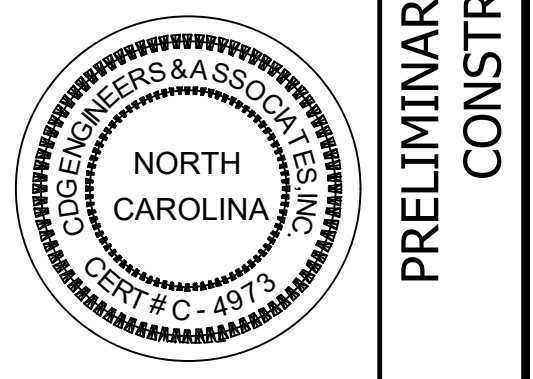
- PARKING SPACES**  
The number of permitted parking spaces shall be 288 (approx. 1.56 spaces per unit), as shown on the Site Plan. See Sec. 5-5 (providing a minimum requirement of 1 to 1.5 spaces per unit); Sec. 5-25-5.16 (providing that the applicant must demonstrate that parking is "adequate," while also providing that the number of parking spaces "should not exceed the minimum requirements" found in Sec. 6-5).
- TREE PLANTINGS**  
The number, size, and type of tree plantings required by Section 5-25-5.20 shall be planted. However, due to planting limitations within the floodway and conservation easement areas on the Project site, some of the 2" caliper trees required by Section 5-25-5.20 shall be planted in areas that also qualify for Vehicular Use Area plantings, as shown on the Landscape Plan.
- BUILDING FACADE**  
Facade setbacks along the East Elevation may exceed the 16 ft. offset requirement provided in Section 5-25-12(b) as shown on the Site Plan and Elevations. No wall shall exceed 26 feet in length without an offset. Offsets may be provided either in exterior walls or at balconies.
- BUS SHELTER**  
A bus shelter (Sec. 5-25-5.13) shall not be required due to the proximity of an existing bus shelter on a neighboring property (Henderson County PIN #5568-82-7951) to the south of the Project site.
- INCLUSION OF NATURAL RESOURCE / AGRICULTURAL LAND**  
The area of the Project site designated by the Comprehensive Plan as "Natural Resource/Agricultural Land" shall be included in the Urban Residential (C2 District, with development limited as shown and referenced on the Site Plan. See Sec. 5-25-2.
- FLOODWAY PLANTINGS / MAINTENANCE**  
To the extent practicable within the limitations of the Floodplain Development Permit required by the attached site plan and grading plan, Developer shall implement a vegetative planting and management plan that will create and enhance the existing wetland and wildlife habitat of the open space areas outside the footprint of the developed area, stream buffer(s) and the Wetland Conservation Area. The plan should include diverse and appropriate species of native upland and/or wetland shrubs, appropriate trees and perennial herbaceous plants (including warm season grasses, sedges, and plants important to pollinators), and all planted species shall be selected from the City's Recommended Landscape Species List for Street Trees and Land Development Projects. No turf grasses may be used. The plan shall be developed by a qualified landscape architect (with wildlife habitat management expertise), and shall incorporate an appropriate long-term invasive species management and control plan.

### CITY PROPOSED CONDITIONS

- Developer shall install all recommended traffic mitigations found in the approved Traffic Impact Analysis, in accordance with City and NCDOT requirements prior to final certificate of occupancy.

No.	REVISIONS/SUBMISSIONS	Date
1	PRELIMINARY SUBMITTAL	11/29/2023
2	PLANNING AND ZONING SUBMITTAL	1/02/2024

PRELIMINARY - NOT FOR CONSTRUCTION



Designed: JHK	Reviewed: JHK
Drawn: JHK	Scale: AS NOTED
Checked: JHK	Date: 12/15/2023
15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com	

CDG ENGINEERS AND ASSOCIATES, INC

Project No: 597223	715 GREENVILLE HWY APARTMENTS CITY OF HENDERSONVILLE	NORTH CAROLINA
C-0	COVER SHEET	Drawing Title:

**MASTER PLAN LEGEND**

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- EXIST. BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXIST. CURB
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW EASEMENT
- BUILDING SETBACK LINE
- NEW LANDSCAPE BUFFER
- NEW COMMON OPEN SPACE
- NEW BUILDING
- NEW PAVEMENT
- NEW HD PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW WALL (BY OTHERS)

**IMPERVIOUS AREA SUMMARY:**  
 Proposed Impervious Area: 184,401sf  
 Proposed Impervious Percent: 47.0%

**DEVELOPER PROPOSED CONDITIONS**

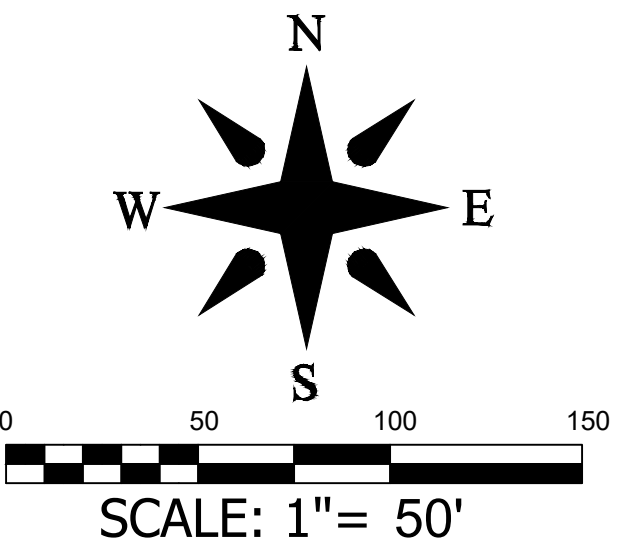
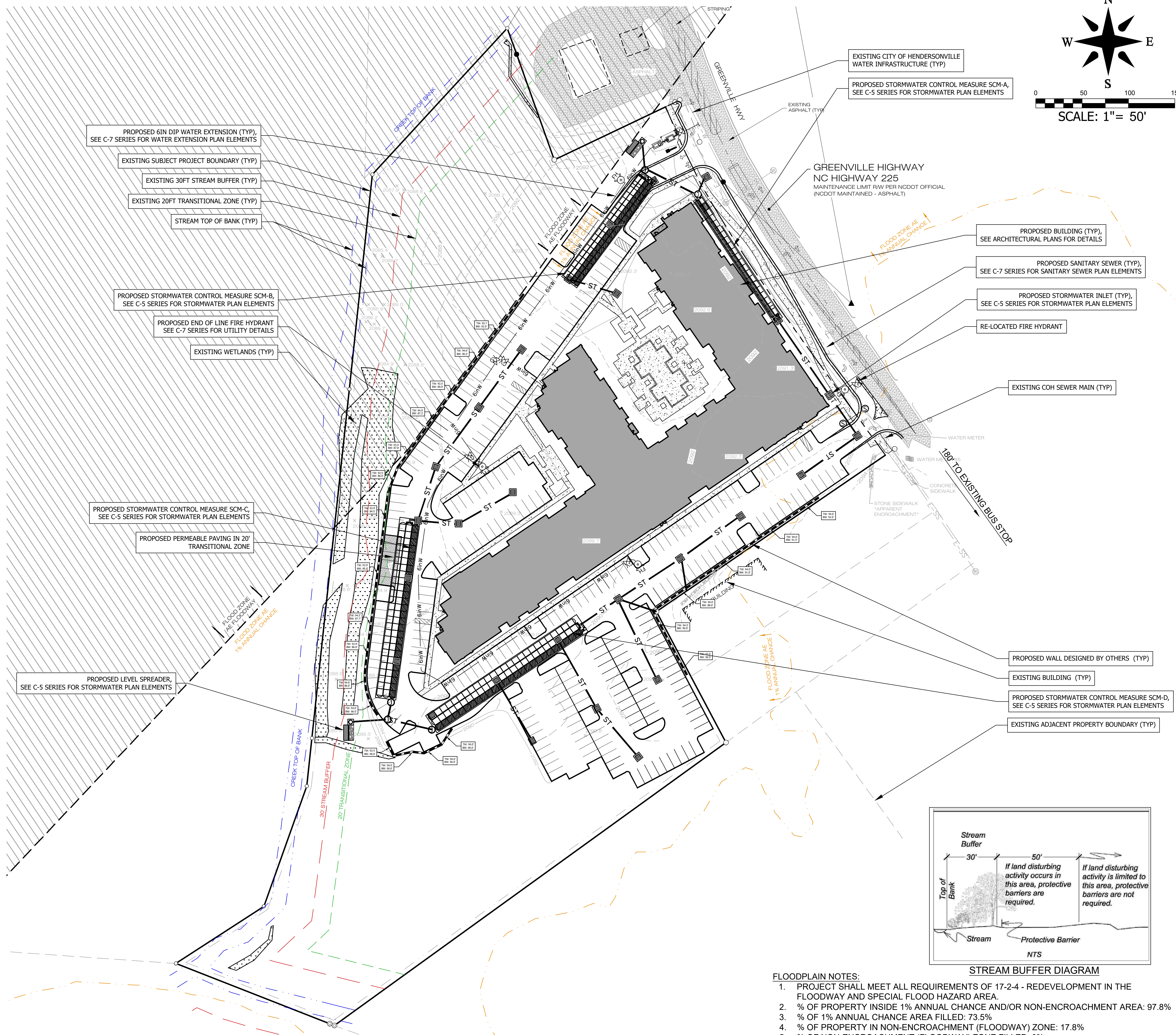
- 1. PARKING SPACES**  
 The number of permitted parking spaces shall be 288 (approx. 1.56 spaces per unit), as shown on the Site Plan. See Sec. 6-5 (providing a minimum requirement of 1 to 1.5 spaces per unit); Sec. 5-25-5.10 (providing that the applicant must demonstrate that parking is "adequate," while also providing that the number of parking spaces "should not exceed the minimum requirements" found in Sec. 6-5).
- 2. TREE PLANTINGS**  
 The number, size, and type of tree plantings required by Section 5-25-5.20 shall be planted. However, due to planting limitations within the floodway and conservation easement areas on the Project site, some of the 3" caliper trees required by Section 5-25-5.20 shall be planted in areas that also qualify for Vehicular Use Area plantings, as shown on the Landscape Plan.
- 3. BUILDING FAÇADE**  
 Façade offsets along the East Elevation may exceed the 16 ft. offset requirement provided in Section 5-25-21(b) as shown on the Site Plan and Elevations. No wall shall exceed 26 feet in length without an offset. Offsets may be provided either in exterior walls or at balconies.
- 4. BUS SHELTER**  
 A bus shelter (Sec. 5-25-5.13) shall not be required due to the proximity of an existing bus shelter on a neighboring property (Henderson County PIN #9568-82-7951) to the south of the Project site.
- 5. INCLUSION OF NATURAL RESOURCE / AGRICULTURAL LAND**  
 The area of the Project site designated by the Comprehensive Plan as "Natural Resource/Agricultural Land" shall be included in the Urban Residential CZ District, with development limited as shown and referenced on the Site Plan. See Sec. 5-25-2.
- 6. FLOODWAY PLANTINGS / MAINTENANCE**  
 To the extent practicable within the limitations of the Floodplain Development Permit required by the attached site plan and grading plan, Developer shall implement a vegetative planting and management plan that will create and enhance the existing wetland and wildlife habitat of the open space area outside the footprint of the developed area, stream buffer(s) and the Wetland Conservation Area. The plan should include diverse and appropriate species of native upland and/or wetland shrubs, appropriate trees and perennial herbaceous plants (including warm season grasses, sedges, and plants important to pollinators), and all planted species shall be selected from the City's Recommended Landscape Species List for Street Trees and Land Development Projects. No turf grasses may be used. The plan shall be developed by a qualified landscape architect (with wildlife habitat management expertise), and shall incorporate an appropriate long-term invasive species management and control plan.

**CITY PROPOSED CONDITIONS**

1. Developer shall install all recommended traffic mitigations found in the approved Traffic Impact Analysis, in accordance with City and NCDOT requirements prior to final certificate of occupancy.

**DEVELOPMENT DATA**

PROPERTY ADDRESS: 715 GREENVILLE HWY  
 HENDERSONVILLE NC 28792  
 PIN NUMBER: 9568832082, 9568834302, 9568832474  
 PROPERTY SIZE: 9.01 AC  
 ZONING REVIEW: CITY OF HENDERSONVILLE  
 EROSION CONTROL REVIEW: HENDERSON COUNTY  
 STORMWATER REVIEW: CITY OF HENDERSONVILLE  
 ZONING CLASSIFICATION: PCD  
 PROPOSED NUMBER OF UNITS: 185  
 PROPOSED DENSITY: 20.55 UNITS / AC  
 PROPERTY OWNER: SOUTH MARKET, LLC  
 CONTACT: RICHARD HERMAN  
 ADDRESS: 2809 HAMPTON DRIVE  
 HENDERSONVILLE NC 28792  
 EMAIL: ----  
 PHONE: 828-577-4201  
 DEVELOPER: CREST RESIDENTIAL LLC  
 CONTACT: BENTLEY NELSON  
 ADDRESS: 600 OFFICE PARK DRIVE, SUITE 215  
 BIRMINGHAM, AL 35223  
 EMAIL: BENTLEY@CRESTRES.COM  
 PHONE: 205-567-1467  
 ENGINEER: BROOKS ENGINEERING ASSOCIATES  
 CONTACT: JOHN KINNAIRD  
 ADDRESS: 15 ARLINGTON ST  
 ASHEVILLE, NC 28801  
 EMAIL: JKINNAIRD@BROOKSEA.COM  
 PHONE: 828-232-4700  
 LANDSCAPE ARCH: FIND THE LINE STUDIOS  
 CONTACT: ROB DULL  
 ADDRESS: 305 POLE CREAMS ROAD  
 ASHEVILLE NC 28806  
 EMAIL: ROB@FINDTHELINESTUDIOS.COM  
 PHONE: 828-674-5592



No.	REVISIONS/SUBMISSIONS	Date
1	PRELIMINARY SUBMITTAL	11/29/2023
2	PLANNING AND ZONING SUBMITTAL	1/02/2024

**CDG ENGINEERS & ASSOCIATES, INC.**  
 NORTH CAROLINA  
 CERT. # C-4573

**PRELIMINARY - NOT FOR CONSTRUCTION**

Design:	Reviewed:
JHK	JHK
Drawn:	Scale:
JHK	AS NOTED
Checked:	Date:
JHK	12/15/2023

15 Arlington Street  
 Asheville, N.C. 28801  
 Phone: 1-828-232-4700  
 Fax: 1-828-232-1331  
 www.brooksea.com

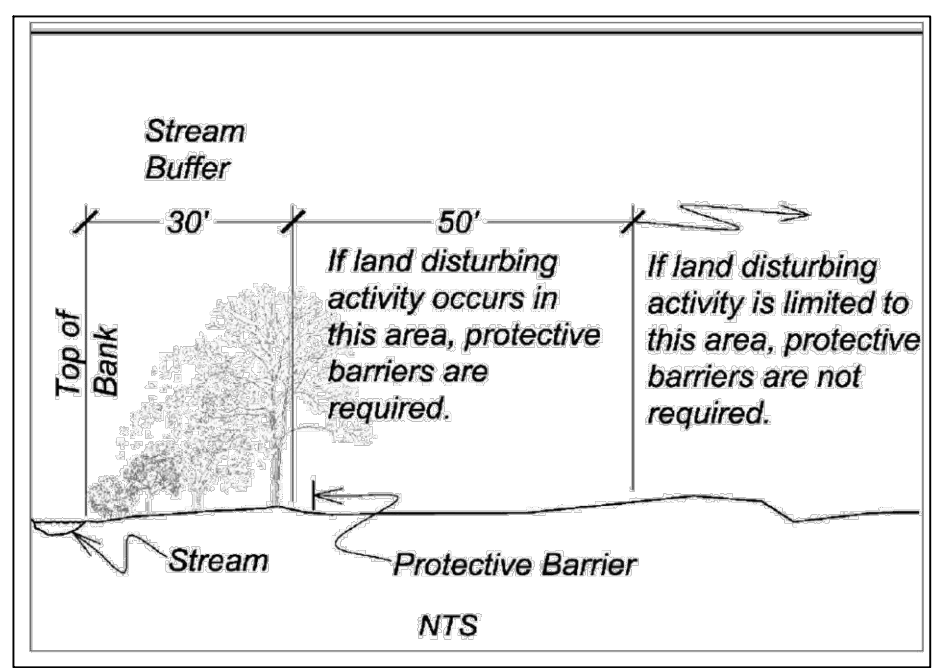
**CDG ENGINEERS AND ASSOCIATES, INC.**

715 GREENVILLE HWY  
 APARTMENTS  
 CITY OF HENDERSONVILLE  
 NORTH CAROLINA

Project No: 597223  
 Drawing Title: MASTER PLAN

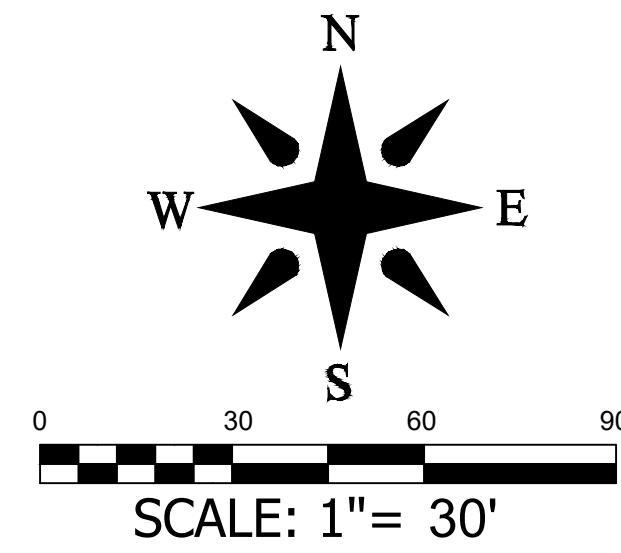
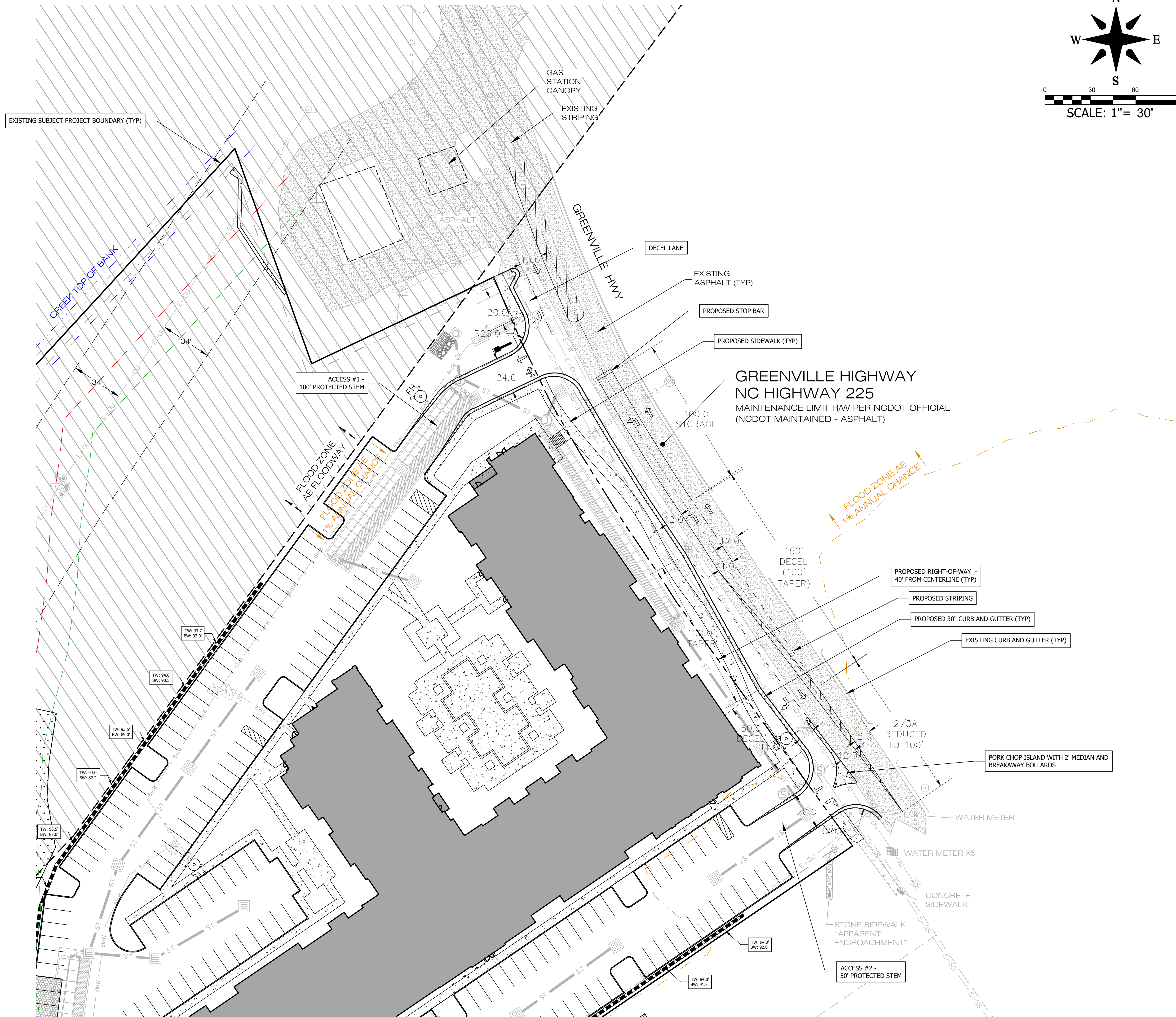
**FLOODPLAIN NOTES:**

1. PROJECT SHALL MEET ALL REQUIREMENTS OF 17-2-4 - REDEVELOPMENT IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA.
2. % OF PROPERTY INSIDE 1% ANNUAL CHANCE AND/OR NON-ENCROACHMENT AREA: 97.8%
3. % OF 1% ANNUAL CHANCE AREA FILLED: 73.5%
4. % OF PROPERTY IN NON-ENCROACHMENT (FLOODWAY) ZONE: 17.8%
5. % OF NON-ENCROACHMENT (FLOODWAY) ZONE FILLED: 0%



**MASTER PLAN LEGEND**

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- FEMA FLOOD HAZARD AREA (1%)
- FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- EXIST. BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXIST. CURB
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW EASEMENT
- BUILDING SETBACK LINE
- NEW LANDSCAPE BUFFER
- NEW COMMON OPEN SPACE
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- NEW CONCRETE SIDEWALK
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- NEW WALL (BY OTHERS)



**DEVELOPMENT DATA**

PROPERTY ADDRESS: 715 GREENVILLE HWY  
 HENDERSONVILLE NC 28792

PIN NUMBER: 9568832082, 9568834302, 9568832474

PROPERTY SIZE: 9.01 AC

ZONING REVIEW: CITY OF HENDERSONVILLE

EROSION CONTROL REVIEW: HENDERSON COUNTY

STORMWATER REVIEW: CITY OF HENDERSONVILLE

ZONING CLASSIFICATION: PCD

PROPOSED NUMBER OF UNITS: 185

PROPOSED DENSITY: 20.55 UNITS / AC

PROPERTY OWNER: SOUTH MARKET, LLC

CONTACT: RICHARD HERMAN  
 ADDRESS: 2809 HAMPTON DRIVE  
 HENDERSONVILLE NC 28792

EMAIL: ---

PHONE: 828-577-4201

DEVELOPER: CREST RESIDENTIAL LLC

CONTACT: BENTLEY NELSON  
 ADDRESS: 500 OFFICE PARK DRIVE, SUITE 215  
 BIRMINGHAM, AL 35223

EMAIL: BENTLEY@CRESTRES.COM

PHONE: 205-567-1467

ENGINEER: BROOKS ENGINEERING ASSOCIATES

CONTACT: JOHN KINNAIRD  
 ADDRESS: 15 ARLINGTON ST  
 ASHEVILLE, NC 28801

EMAIL: JKINNAIRD@BROOKSEA.COM

PHONE: 828-232-4700

LANDSCAPE ARCH: FIND THE LINE STUDIOS

CONTACT: ROB DULL  
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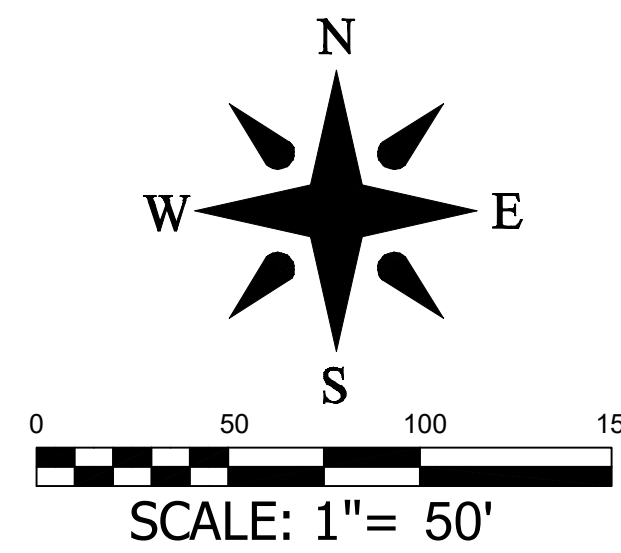
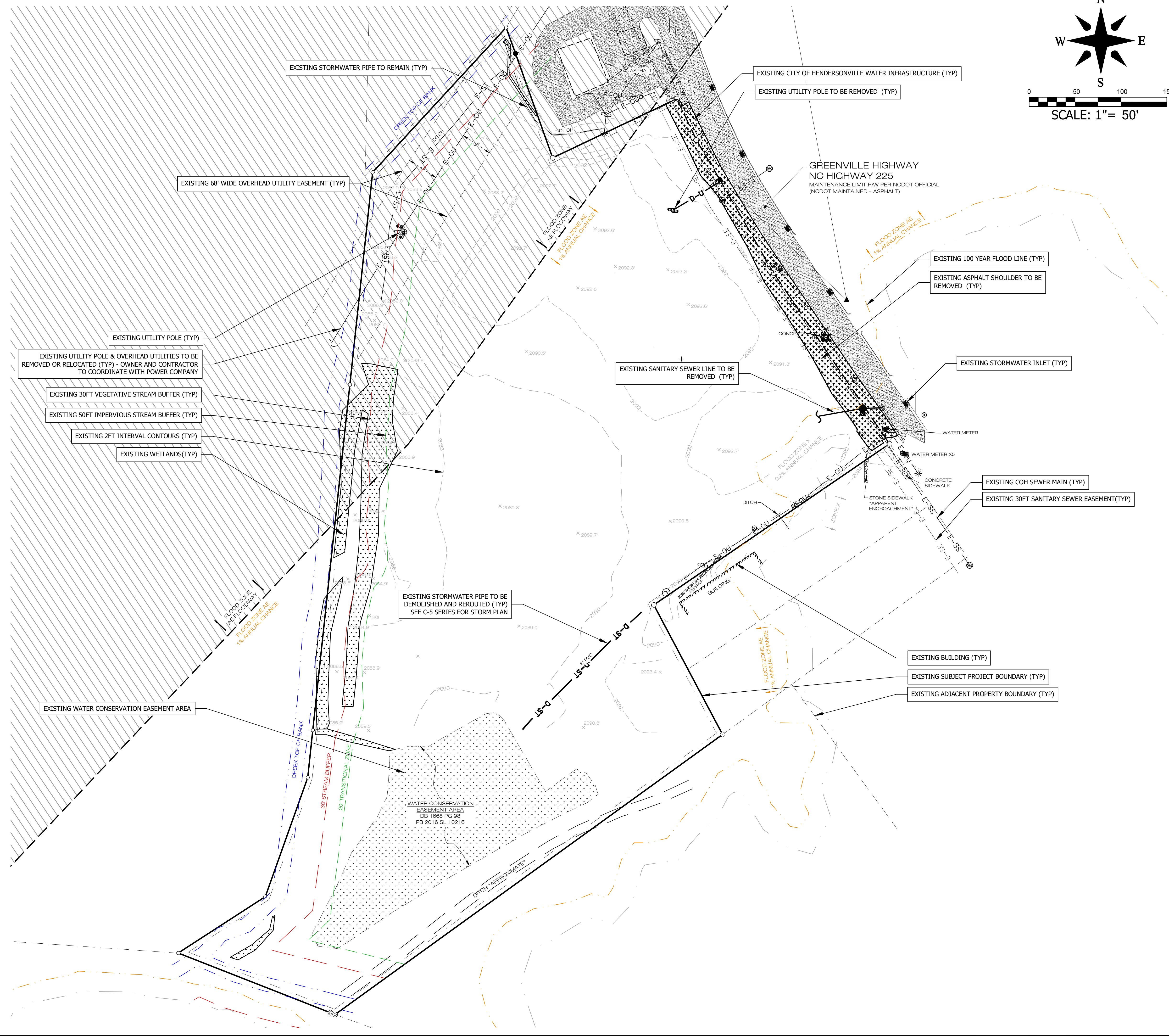
Project No: <b>597223</b>	Drawing Title: <b>C-1.1</b>	City of Hendersonville NORTH CAROLINA	715 GREENVILLE HWY APARTMENTS	Planning • Engineering • Surveying • Environmental Services •	BROOKS ENGINEERING ASSOCIATES NORTH CAROLINA CERT. # C-3725	Preliminary - NOT FOR CONSTRUCTION
		Project Location: brookseaserver-L2023 Projects\597223 Crest Residential_715 Greenville Hwy Civil & Permitting\DWG\Civil-Base-597223.dwg				
Date: 11/29/2023	Revisions/Submissions: PRELIMINARY SUBMITTAL PLANNING AND ZONING SUBMITTAL	No.: 1 2	Date: 12/15/2023 12/15/2023	Reviewed: JHK Scale: AS NOTED Drawn: JHK Checked: JHK Date: 12/15/2023	Designed: JHK Scale: AS NOTED Drawn: JHK Checked: JHK Date: 12/15/2023	15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brookseas.com

**EXIST. CONDITIONS LEGEND**

- EXIST. BOUNDARY
- - - EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CORNER TREE FOUND
- - - EXIST. STREAM
- - - EXIST. STREAM BUFFER
- - - EXIST. WETLAND
- - - EXIST. FEMA NON-ENCROACHMENT
- - - EXIST. FEMA FLOOD HAZARD AREA (1%)
- - - EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- - - EXIST. RIGHT OF WAY
- - - EXIST. EASEMENT
- - - EXIST. BUILDING SETBACK
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. MANHOLE
- - - EXIST. SANITARY SEWER
- - - EXIST. SEWER CLEAN OUT
- - - EXIST. WATER LINE
- EXIST. WATER METER
- HYD ○ EXIST. FIRE HYDRANT
- WV ○ EXIST. WATER VALVE
- - - EXIST. OVERHEAD UTILITIES
- - - EXIST. POWER POLE
- - - EXIST. UNDERGRND UTILITIES
- - - EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. JUNCTION BOX
- EXIST. DROP INLET
- EXIST. TELE MANHOLE
- EXIST. DROP INLET
- EXIST. TRANSFORMER
- EXIST. LIGHT POLE
- - - EXIST. MINOR CONTOUR
- - - EXIST. MAJOR CONTOUR
- - - ABANDON EASEMENT
- - - ABANDON PROPERTY LINE
- DEMO BUILDING
- DEMO CONCRETE
- DEMO PAVEMENT
- DEMO GRAVEL
- DEMO CURB
- - - DEMO SANITARY SEWER
- - - DEMO WATER LINE
- - - DEMO OTHER UTILITIES
- - - DEMO STORM DRAIN
- EXISTING TREELINE
- TREE TO REMAIN
- TREE TO BE REMOVED
- EXIST. FENCE

**DEVELOPMENT DATA**

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 HENDERSONVILLE NC 28792  
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No.	REVISIONS/SUBMISSIONS	Date
1	PRELIMINARY SUBMITTAL	11/29/2023
2	PLANNING AND ZONING SUBMITTAL	1/02/2024

**PRELIMINARY - NOT FOR CONSTRUCTION**

Reviewed: JHK  
 Scale: AS NOTED  
 Date: 12/15/2023  
 Drawn: JHK  
 Checked: JHK  
 15 Arlington Street  
 Asheville, N.C. 28801  
 Phone: 1-828-232-4700  
 Fax: 1-828-232-1331  
 www.brooksea.com

**CDG ENGINEERS AND ASSOCIATES, INC**

Project No: 597223  
 Drawing Title: C-2.0 EXISTING CONDITIONS AND SURVEY  
 715 GREENVILLE HWY APARTMENTS  
 CITY OF HENDERSONVILLE NORTH CAROLINA

File Location: \\brooksma\Server\CD23 Projects\597223 Crest Residential\_715 Greenville Hwy Civil & Permitting\DWG\CivilBase-597223.dwg

GRADING AND STORMWATER LEGEND

- EXIST. BOUNDARY
EXIST. ADJOINER
EXIST. STREAM
EXIST. STREAM BUFFER
EXIST. WETLAND
EXIST. FEMA NON-ENCROACHMENT
EXIST. FLOOD HAZARD AREA (1%)
EXIST. FLOOD HAZARD AREA (0.2%)
EXIST. RIGHT OF WAY
EXIST. EASEMENT
EXIST. BUILDING SETBACK
EXISTING BUILDING
EXISTING SIDEWALK
EXISTING PAVEMENT
EXIST. CURB
EXIST. MANHOLE
EXIST. SANITARY SEWER
EXIST. SEWER CLEAN OUT
EXIST. WATER LINE
EXIST. WATER METER
EXIST. FIRE HYDRANT
EXIST. WATER VALVE
EXIST. OVERHEAD UTILITIES
EXIST. POWER POLE
EXIST. UNDERGRND UTILITIES
EXIST. STORM DRAIN
EXIST. CURB INLET
EXIST. JUNCTION BOX
EXIST. DROP INLET
EXIST. TELE MANHOLE
EXIST. DROP INLET
EXIST. TRANSFORMER
EXIST. LIGHT POLE
EXIST. MINOR CONTOUR
EXIST. MAJOR CONTOUR
NEW BUILDING
NEW PAVEMENT
NEW HD PAVEMENT
NEW CONCRETE SIDEWALK
NEW GRAVEL
NEW CURB & GUTTER
NEW YARD INLET
NEW DROP INLET
NEW CURB INLET
NEW JUNCTION BOX
NEW HEADWALL
NEW FLARED END SECTION
NEW RIP-RAP OUTLET PROTECTION
NEW STORM PIPE
GRASS-LINED DITCH WITH MATTING
RIP-RAP LINED DITCH
NEW MINOR CONTOUR
NEW MAJOR CONTOUR
NEW SPOT GRADE
NEW PROPERTY LINES
NEW RIGHT OF WAY
NEW WATER DISTRIBUTION MAIN
NEW WATER FIRE HYDRANT
NEW MANHOLE
NEW SEWER LINE
LIMITS OF DISTURBANCE
NEW WALL (BY OTHERS)
TEMP. TREE PROTECTION FENCE

GRADING AND STORMWATER NOTES

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AND AN AMENDED PLAN BE SUBMITTED AND APPROVED SHOWING MODIFIED EROSION CONTROL DEVICES.
3. THE SITE SHALL RECEIVE TEMPORARY/PERMANENT SEEDING WITHIN 7 DAYS OF COMPLETION OF GRADING OPERATIONS IN AN AREA. SEEDING MIXES SHALL CONFORM WITH SPECIES DESIGNATIONS AS OUTLINED IN THE TABLE PROVIDED IN THE PLANS. ALL GRADED SLOPES INCLUDING TOPSOIL ARE TO HAVE A GROUND COVER ESTABLISHED WITHIN 21 CALENDAR DAYS.
4. FOR ALL CONSTRUCTED SEVERE SLOPES GREATER THAN 2:1, THE SLOPE SHALL BE DESIGNED BY A NORTH CAROLINA REGISTERED ENGINEER WITH GEOTECHNICAL EXPERTISE. FOR ALL CONSTRUCTED SEVERE SLOPES GREATER THAN 2:1 AND GREATER THAN 5' IN HEIGHT, AN INSPECTION AND A STABILITY CERTIFICATE BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE IS REQUIRED. FOR ALL CONSTRUCTED SEVERE SLOPES WITHIN PROPOSED OR EXISTING PUBLIC RIGHTS-OF-WAY, PERIODIC INSPECTIONS AND COMPACTION REPORTS BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE ARE REQUIRED. THE OWNER SHALL BE RESPONSIBLE FOR ENGAGING THESE SERVICES.
5. ALL FILL SLOPES SHALL BE COMPACTED FULL DEPTH TO NOT LESS THAN 95 PERCENT MAXIMUM DENSITY (STANDARD PROCTOR), SHALL BE PLACED ON A SURFACE CLEAR OF GROWTH AND DEBRIS AND BE PROPERLY BENCHED AND DRAINED.
6. FOR FILL MATERIALS: UNLESS A PERMIT TO OPERATE A LANDFILL FROM NCDEQ - DIVISION OF WASTE MANAGEMENT IS ON FILE FOR THE OFFICIAL SITE, ACCEPTABLE FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DEGRADABLE MATERIALS, MASONRY, CONCRETE/BRICK IN SIZES EXCEEDING 12 INCHES, AND ANY MATERIALS WHICH WOULD CAUSE THE SITE TO BE REGULATED AS A LANDFILL BY THE STATE OF NORTH CAROLINA.
7. ALL SLOPES GREATER THAN 4:1 SHALL BE SEEDED AND COVERED WITH NORTH AMERICAN GREEN SC150 (UNLESS OTHERWISE SPECIFIED) OR APPROVED EQUAL EROSION CONTROL MATTING AND SECURED TO MANUFACTURER'S SPECIFICATIONS.
8. AN APPROVED GRADING PERMIT IS REQUIRED FOR THE BORROW OR WASTE SITE PRIOR TO INITIATION OF ANY LAND DISTURBING ACTIVITY.
9. ALL STORMWATER MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NCDEQ SPECIFICATIONS AND DETAILS.
10. ALL STRUCTURAL SCMS SHALL BE IN ACCORDANCE WITH NCDEQ SPECIFICATIONS AND DETAILS.
11. ALL STORMWATER PIPES MUST MEET THE MINIMUM REQUIREMENTS OF 2 FEET OF COVER IN LOAD-BEARING AREAS AND 1 FT COVER IN NON-LOAD BEARING AREAS OR AS SPECIFIED BY THE PIPE MANUFACTURER.
12. ALL DEVELOPMENT, REDEVELOPMENT, AND LAND DISTURBING ACTIVITY WHICH REQUIRE STRUCTURAL SCM(S) OR STORMWATER MANAGEMENT CONTROL FACILITIES SHALL REQUIRE A MAINTENANCE AND ACCESS EASEMENT WHICH MUST BE SHOWN ON THE AS-BUILT DRAWINGS AND RECORDED AT THE REGISTER OF DEEDS OFFICE AS PART OF THE PROCESS TO CLOSE THE PERMIT AND OBTAIN A CERTIFICATE OF OCCUPANCY. MAINTENANCE AND ACCESS EASEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE COH STANDARD SPECIFICATIONS AND DETAILS MANUAL FOR THE SPECIFIC TYPE OF SCM.
13. AN OPERATION AND MAINTENANCE (O&M) PLAN SHALL BE PROVIDED DURING CLOSEOUT FOR THE PROJECT. THE O&M PLAN SHALL SPECIFY ALL OPERATION AND MAINTENANCE WORK NECESSARY FOR THE FUNCTION OF ALL SCM COMPONENTS, INCLUDING THE STORMWATER CONVEYANCE SYSTEM, PERIMETER DEVICES, INLETS AND STABILIZING VEGETATION. THE O&M PLAN SHALL SPECIFY METHODS TO BE USED TO MAINTAIN OR RESTORE THE SCM(S) TO DESIGN SPECIFICATIONS IN THE EVENT OF FAILURE. O&M PLANS SHALL BE SIGNED BY THE OWNER AND NOTARIZED. THE OWNER SHALL KEEP MAINTENANCE RECORDS AND THESE SHALL BE AVAILABLE UPON REQUEST BY THE PARTY RESPONSIBLE FOR ENFORCING THE STORMWATER PROGRAM UNDER WHICH THE SCM(S) WERE APPROVED.
14. STORMWATER CLOSEOUT DOCUMENTS ARE REQUIRED WHEN THE PROJECT IS COMPLETE AND BEFORE A PERMANENT CERTIFICATE OF OCCUPANCY CAN BE ISSUED. ALL CLOSEOUT DOCUMENTS WILL BE SUBMITTED IN ONE PACKAGE. AN INCOMPLETE SUBMITTAL WILL NOT BE ACCEPTED AND WILL RESULT IN A DELAY IN THE CLOSEOUT PROCEDURES FOR THE PROJECT.
15. AN OPERATION AND MAINTENANCE AGREEMENT AND EASEMENTS SHALL BE RECORDED AT THE REGISTER OF DEEDS OFFICE ALONG WITH THE AS-BUILT DRAWINGS.

PROPOSED BUILDING (TYP) - ALL ROOF LEADERS AND OTHER IMPERVIOUS AREAS ARE TO BE DIRECTED TOWARDS STORMWATER COLLECTION SYSTEM FOR TREATMENT/DETENTION UTILIZING ROOF LEADERS, POP-UP DRAINAGE EMITTERS, OR SIMILAR RUNOFF CONTROL DEVICES

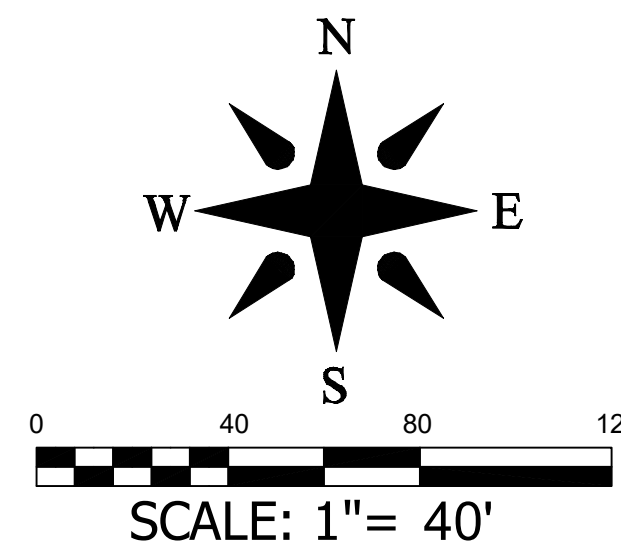
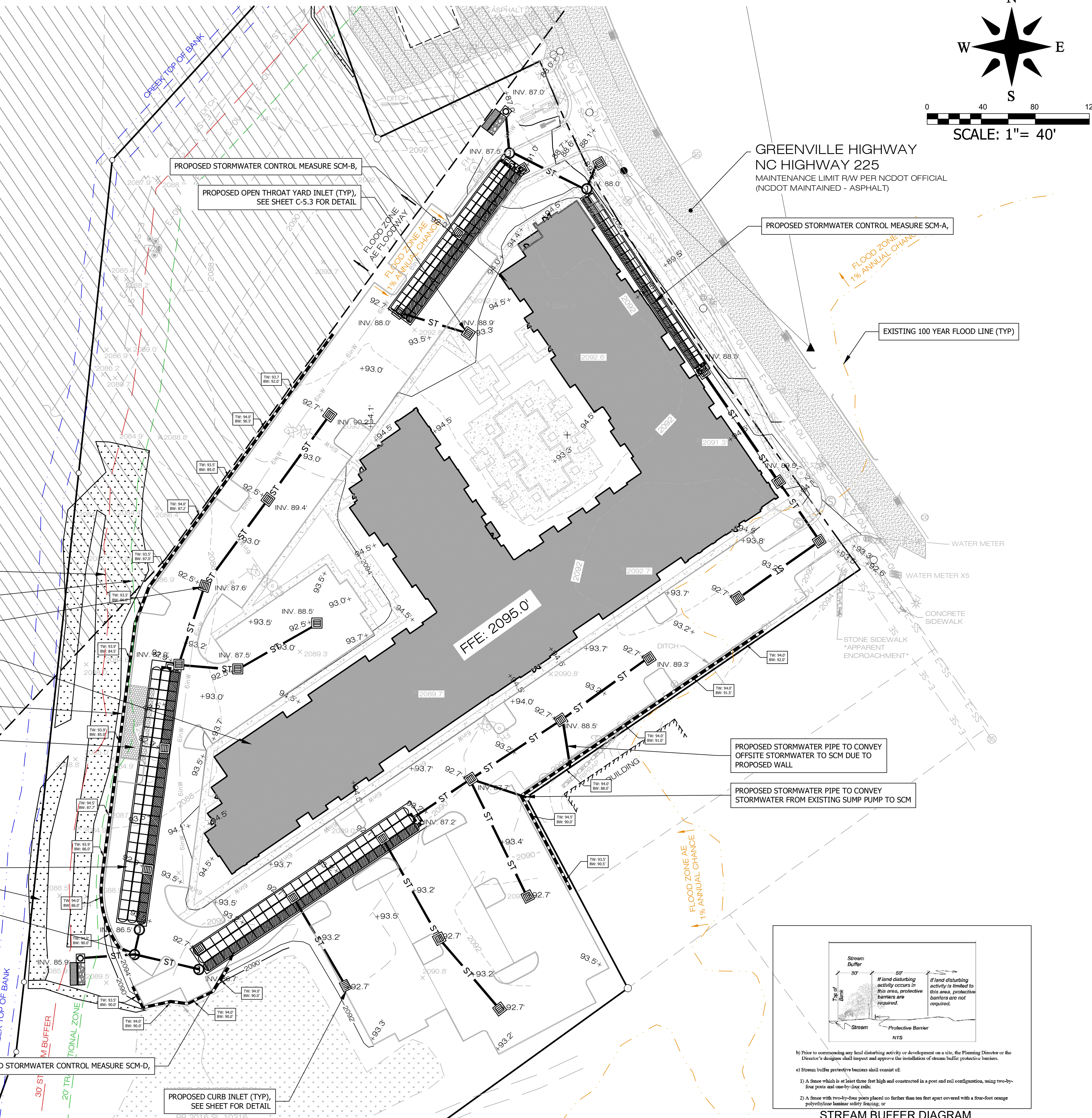
PROPOSED RETAINING WALL (TYP), SPECIFICATIONS AND DESIGN BY OTHERS, SEE C-5 SERIES SHEETS FOR HEIGHTS
PROPOSED PERMEABLE PAVING IN 20' TRANSITIONAL ZONE

EXISTING 30FT STREAM BUFFER (TYP)
EXISTING 20FT TRANSITIONAL ZONE(TYP)
PROPOSED GRATED DROP INLET (TYP)

PROPOSED STORMWATER CONTROL MEASURE SCM-C,
EXISTING WETLANDS (TYP)
PROPOSED JUNCTION MANHOLE (TYP), SEE SHEET FOR DETAIL

PROPOSED STORMWATER CONTROL MEASURE SCM-D,
PROPOSED CURB INLET (TYP), SEE SHEET FOR DETAIL

PROPOSED STORMWATER CONTROL MEASURE SCM-B,
PROPOSED OPEN THROAT YARD INLET (TYP), SEE SHEET C-5.3 FOR DETAIL



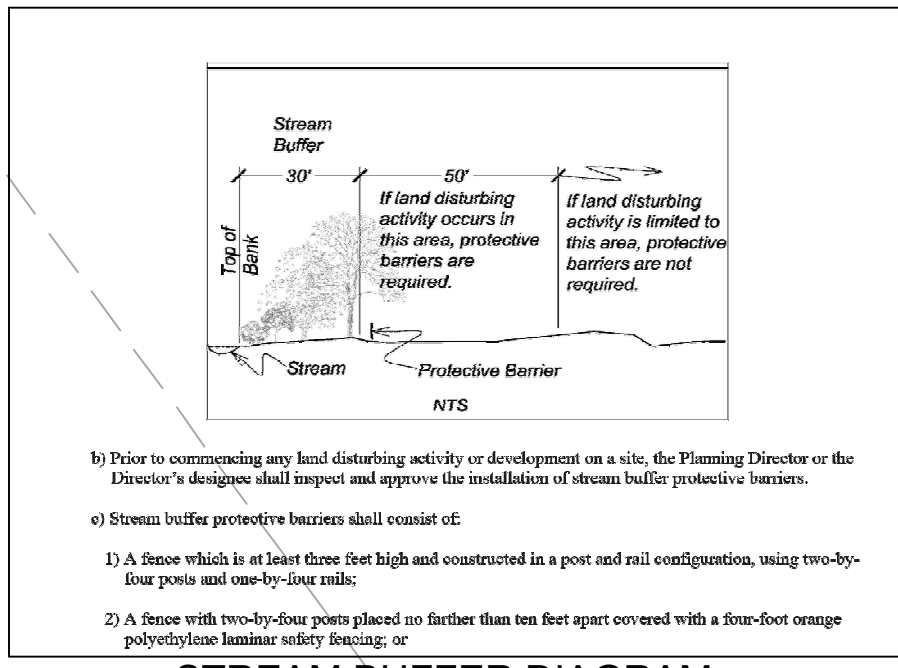
GREENVILLE HIGHWAY
NC HIGHWAY 225
MAINTENANCE LIMIT RW PER NCDDOT OFFICIAL (NCDDOT MAINTAINED - ASPHALT)

PROPOSED STORMWATER CONTROL MEASURE SCM-A,

EXISTING 100 YEAR FLOOD LINE (TYP)

WATER METER
WATER METER X5
CONCRETE SIDEWALK
STONE SIDEWALK
APPARENT ENCROACHMENT\*

PROPOSED STORMWATER PIPE TO CONVEY OFFSITE STORMWATER TO SCM DUE TO PROPOSED WALL
PROPOSED STORMWATER PIPE TO CONVEY STORMWATER FROM EXISTING SUMP PUMP TO SCM



STREAM BUFFER DIAGRAM

FLOODPLAIN NOTES:

- 1. PROJECT SHALL MEET ALL REQUIREMENTS OF 17-24 - REDEVELOPMENT IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA.
2. % OF PROPERTY INSIDE 1% ANNUAL CHANCE AND/OR NON-ENCROACHMENT AREA: 97.8%
3. % OF 1% ANNUAL CHANCE AREA FILLED: 73.5%
4. % OF PROPERTY IN NON-ENCROACHMENT (FLOODWAY) ZONE: 17.8%
5. % OF NON-ENCROACHMENT (FLOODWAY) ZONE FILLED: 0%

DEVELOPMENT DATA

PROPERTY ADDRESS: 715 GREENVILLE HWY HENDERSONVILLE NC 28792
PIN NUMBER: 9568832082 9568834302, 9568832474
PROPERTY SIZE: 9,011 AC
ZONING REVIEW: CITY OF HENDERSONVILLE
EROSION CONTROL REVIEW: HENDERSON COUNTY
STORMWATER REVIEW: CITY OF HENDERSONVILLE
ZONING CLASSIFICATION: PCD
PROPOSED NUMBER OF UNITS: 185
PROPOSED DENSITY: 20.55 UNITS / AC
PROPERTY OWNER: SOUTH MARKET, LLC
CONTACT: RICHARD HERMAN
ADDRESS: 2809 HAMPTON DRIVE HENDERSONVILLE NC 28792
EMAIL:
PHONE: 828-577-4201
DEVELOPER: CREST RESIDENTIAL LLC
CONTACT: BENTLEY NELSON
ADDRESS: 500 OFFICE PARK DRIVE, SUITE 215 BIRMINGHAM, AL 35223
EMAIL: BENTLEY@CRESTRES.COM
PHONE: 205-567-1467
ENGINEER: BROOKS ENGINEERING ASSOCIATES
CONTACT: JOHN KINNAIRD
ADDRESS: 15 ARLINGTON ST ASHEVILLE, NC 28801
EMAIL: JKINNAIRD@BROOKSEA.COM
PHONE: 828-232-4700
LANDSCAPE ARCH: FIND THE LINE STUDIOS
CONTACT: ROB DULL
ADDRESS: 305 POLE CREAMAN ROAD ASHEVILLE NC 28806
EMAIL: ROB@FINDTHELINESSTUDIOS.COM
PHONE: 828-674-5592

IMPERVIOUS AREA SUMMARY:
Proposed Impervious Area: 184,401sf
Proposed Impervious Percent: 47.0%

Table with columns for Project No. (597223), Date (11/29/2023), Design, Drawn, Checked, Scale, Date, and Project Name (715 GREENVILLE HWY APARTMENTS). Includes logos for CDG ENGINEERS AND ASSOCIATES, INC. and NORTH CAROLINA PROFESSIONAL ENGINEERS & ARCHITECTS. A large vertical stamp reads 'PRELIMINARY - NOT FOR CONSTRUCTION'.

UTILITIES LEGEND	
	EXIST. BOUNDARY
	EXIST. ADJOINER
	EXIST. STREAM
	EXIST. STREAM BUFFER
	EXIST. WETLAND
	EXIST. FEMA NON-ENCROACHMENT
	FEMA FLOOD HAZARD AREA (1%)
	FEMA FLOOD HAZARD AREA (0.2%)
	EXIST. RIGHT OF WAY
	EXIST. EASEMENT
	EXIST. BUILDING SETBACK
	EXISTING BUILDING
	EXISTING SIDEWALK
	EXISTING PAVEMENT
	EXIST. CURB
	EXIST. MANHOLE
	EXIST. SANITARY SEWER
	EXIST. SEWER CLEAN OUT
	EXIST. WATER LINE
	EXIST. WATER METER
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. OVERHEAD UTILITIES
	EXIST. POWER POLE
	EXIST. UNDERGRND UTILITIES
	EXIST. STORM DRAIN
	EXIST. CURB INLET
	EXIST. JUNCTION BOX
	EXIST. DROP INLET
	EXIST. TELE MANHOLE
	EXIST. DROP INLET
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. SEWER EASEMENT
	EXIST. WATER EASEMENT
	EXIST. MINOR CONTOUR
	EXIST. MAJOR CONTOUR
	NEW BUILDING
	NEW PAVEMENT
	NEW CONCRETE SIDEWALK
	NEW GRAVEL
	NEW CURB & GUTTER
	NEW YARD INLET
	NEW DROP INLET
	NEW CURB INLET
	NEW JUNCTION BOX
	NEW HEADWALL
	NEW FLARED END SECTION
	NEW STORM PIPE
	RIP RAP LINED DITCH
	NEW MINOR CONTOUR
	NEW MAJOR CONTOUR
	NEW PROPERTY LINES
	NEW RIGHT OF WAY
	NEW WATER DISTRIBUTION MAIN
	NEW WATER FIRE HYDRANT
	NEW WATER VALVE
	NEW AIR/VAC RLS VALVE
	NEW WATER BLOW-OFF VALVE
	NEW WATER DOMESTIC METER
	NEW WATER EASEMENT
	NEW MANHOLE
	NEW SEWER LINE
	NEW SANITARY CO / SERVICE
	NEW SEWER EASEMENT
	NEW WALL (BY OTHERS)

**DEVELOPMENT DATA**

PROPERTY ADDRESS: 715 GREENVILLE HWY  
HENDERSONVILLE NC 28792

PIN NUMBER: 9568832082, 9568834302, 9568832474

PROPERTY SIZE: 9.01 AC

ZONING REVIEW: CITY OF HENDERSONVILLE

EROSION CONTROL REVIEW: HENDERSON COUNTY

STORMWATER REVIEW: CITY OF HENDERSONVILLE

ZONING CLASSIFICATION: PCD

PROPOSED NUMBER OF UNITS: 185

PROPOSED DENSITY: 20.55 UNITS / AC

PROPERTY OWNER: SOUTH MARKET, LLC

CONTACT: RICHARD HERMAN

ADDRESS: 2809 HAMPTON DRIVE  
HENDERSONVILLE NC 28792

EMAIL: ---

PHONE: 828-577-4201

DEVELOPER: CREST RESIDENTIAL LLC

CONTACT: BENTLEY NELSON

ADDRESS: 500 OFFICE PARK DRIVE, SUITE 215  
BIRMINGHAM, AL 35223

EMAIL: BENTLEY@CRESTRES.COM

PHONE: 205-367-1467

ENGINEER: BROOKS ENGINEERING ASSOCIATES

CONTACT: JOHN KINNAIRD

ADDRESS: 15 ARLINGTON ST  
ASHEVILLE, NC 28801

EMAIL: JKINNAIRD@BROOKSEA.COM

PHONE: 828-232-4700

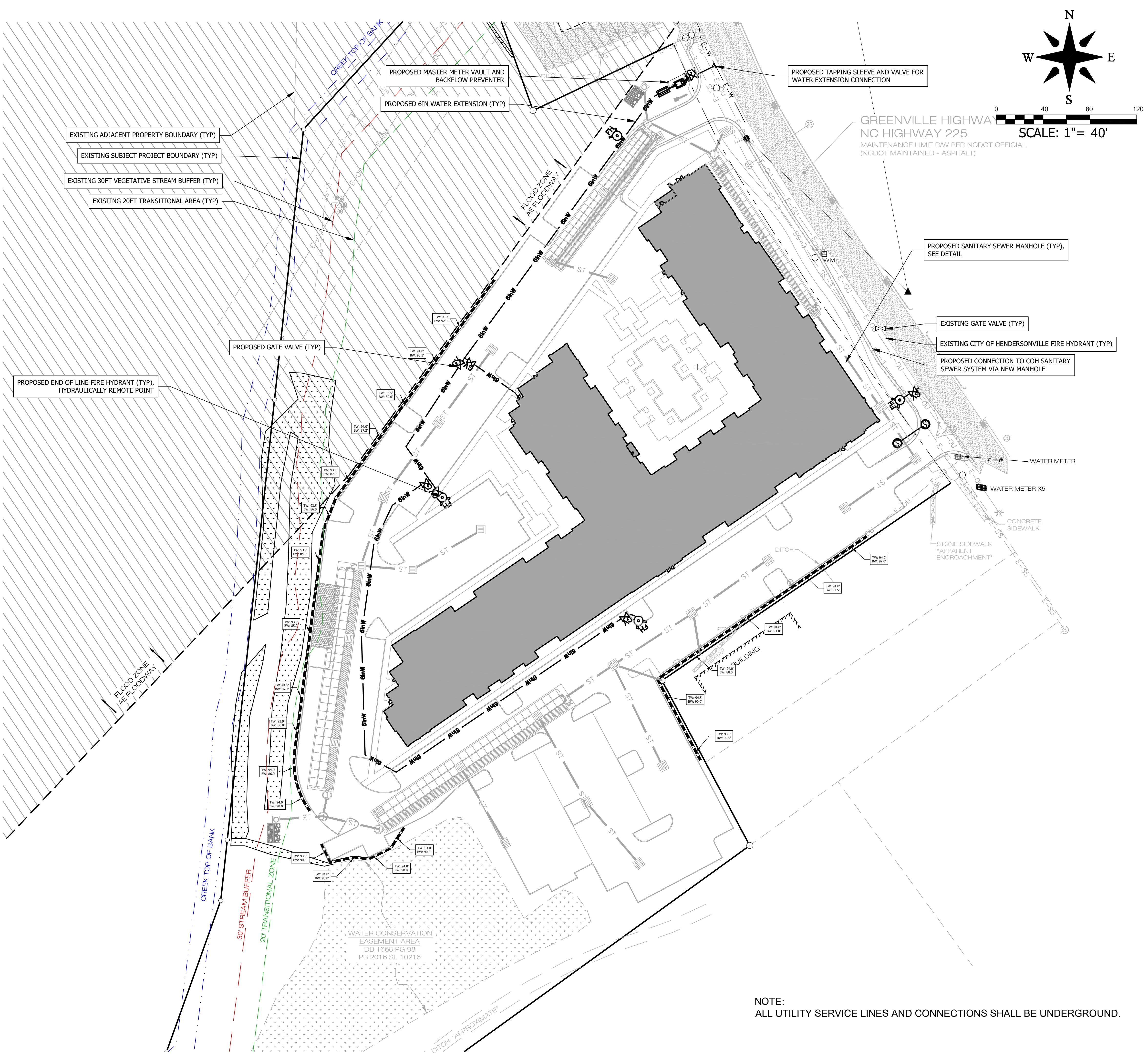
LANDSCAPE ARCH.: FIND THE LINE STUDIOS

CONTACT: ROB DULL

ADDRESS: 305 POLE CREAMAN ROAD  
ASHEVILLE NC 28806

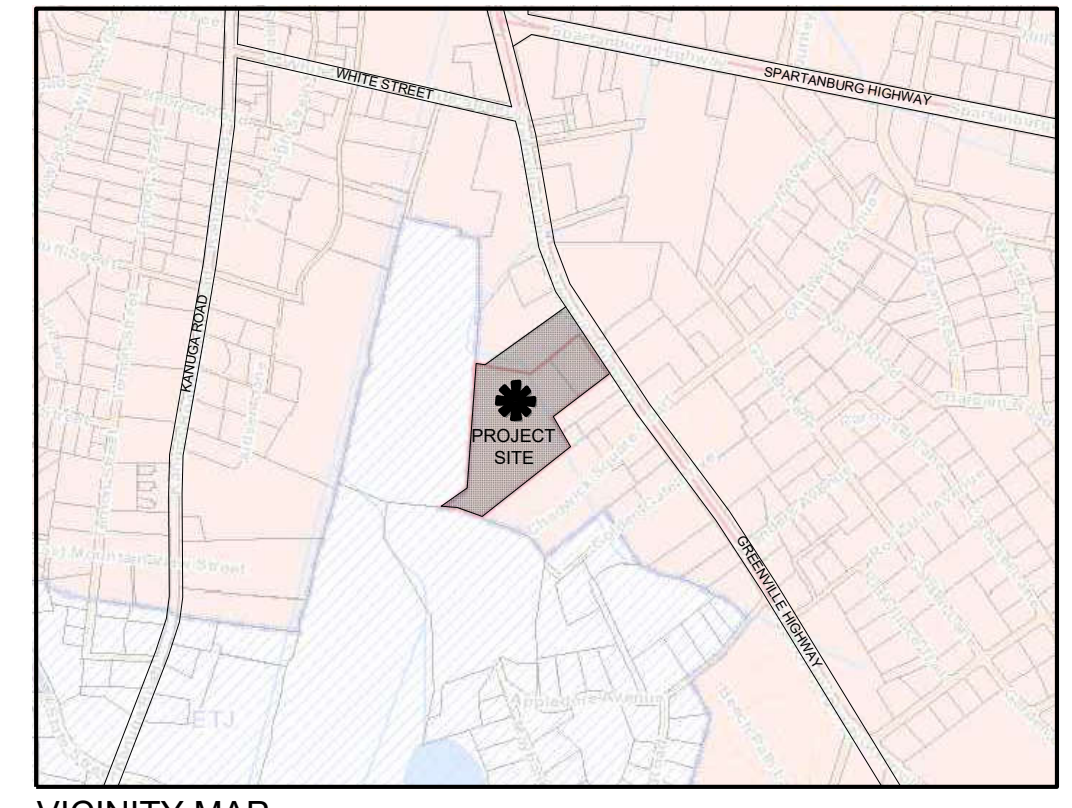
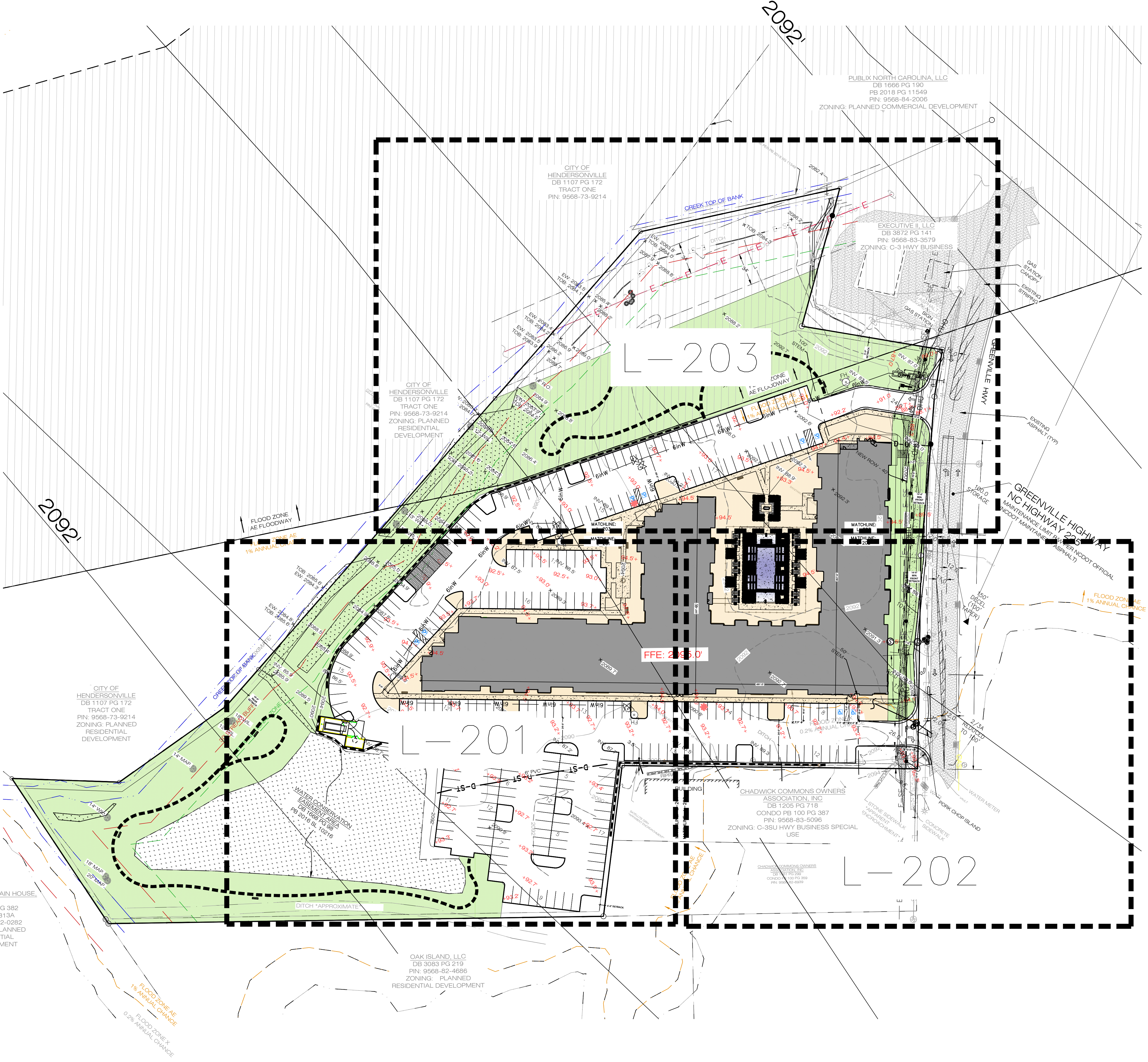
EMAIL: ROB@FINDTHELINESTUDIOS.COM

PHONE: 828-674-5592



**NOTE:**  
ALL UTILITY SERVICE LINES AND CONNECTIONS SHALL BE UNDERGROUND.

Project No: <b>597223</b>	Drawing Title: <b>C-7.0 UTILITY PLAN</b>	City of Hendersonville		Project Location: I:\brooks\Server-L2023\Projects\597223\715 Greenville Hwy Civil & Permitting\DWG\CivilBase-597223.dwg																				
		715 GREENVILLE HWY	APARTMENTS																					
715 GREENVILLE HWY		NORTH CAROLINA		Drawing Title: <b>UTILITY PLAN</b>																				
APARTMENTS		CITY OF HENDERSONVILLE																						
CDG ENGINEERS AND ASSOCIATES, INC.		15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com																						
<table border="1"> <tr> <th>DESIGNED:</th> <td>JHK</td> <th>SCALE:</th> <td>AS NOTED</td> </tr> <tr> <th>DRAWN:</th> <td>JHK</td> <th>CHECKED:</th> <td>JHK</td> </tr> <tr> <th>DATE:</th> <td>12/15/2023</td> <td></td> <td></td> </tr> </table>		DESIGNED:	JHK		SCALE:	AS NOTED	DRAWN:	JHK	CHECKED:	JHK	DATE:	12/15/2023			<table border="1"> <tr> <th>REVISIONS/SUBMISSIONS</th> <th>NO.</th> <th>DATE</th> </tr> <tr> <td>PRELIMINARY SUBMITTAL</td> <td>1</td> <td>11/29/2023</td> </tr> <tr> <td>PLANNING AND ZONING SUBMITTAL</td> <td>2</td> <td>1/02/2024</td> </tr> </table>		REVISIONS/SUBMISSIONS	NO.	DATE	PRELIMINARY SUBMITTAL	1	11/29/2023	PLANNING AND ZONING SUBMITTAL	2
DESIGNED:	JHK	SCALE:	AS NOTED																					
DRAWN:	JHK	CHECKED:	JHK																					
DATE:	12/15/2023																							
REVISIONS/SUBMISSIONS	NO.	DATE																						
PRELIMINARY SUBMITTAL	1	11/29/2023																						
PLANNING AND ZONING SUBMITTAL	2	1/02/2024																						
<p>REVISION: Submission number with a triangle indicates changes made on this sheet.</p>		<p>PRELIMINARY - NOT FOR CONSTRUCTION</p>																						



**VICINITY MAP**  
**PROJECT ADDRESS:**  
 715 GREENVILLE HWY  
 HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
 9.01 ACRES (392,475.6 SF)

**SITE COVERAGE:**  
 BUILDING GROSS FLOOR AREA: 231,037 SF  
 PERCENTAGE OF TOTAL SITE: 14.8%

**BUILDING FOOTPRINT:** 58,367 SF  
 PERCENTAGE OF TOTAL SITE: 14.8%

**BUILDING HEIGHT:** 52'0" (SEE ARCHITECTURAL PLANS)

**PROPOSED NUMBER OF UNITS:** 185 UNITS  
**PROPOSED DENSITY:** 20.5 UNITS / AC

**STREET AND PARKING SQUARE FOOTAGE:** 102,231 SF  
**STREET AND PARKING PERCENTAGE OF SITE:** 26% OF SITE

**LANDSCAPE ARCHITECT:**  
 ROB DULL, PLA  
 FIND THE LINE STUDIOS, PLLC  
 ASHEVILLE, NC  
 828.674.5592

**PROPERTY OWNER:**  
 SOUTH MARKET, LLC (RICHARD HERMAN)  
 2809 HAMPTON DRIVE  
 HENDERSONVILLE, NC 28792

**DEVELOPER:**  
 BENTLEY NELSON  
 CREST RESIDENTIAL LLC  
 500 OFFICE PARK DRIVE, SUITE 215  
 BIRMINGHAM, AL 35223  
 BENTLEY@CRESTRES.COM  
 205.567.1467

**CIVIL ENGINEER:**  
 JOHN KINNAIRD, PE  
 BROOKS ENGINEERING ASSOC.  
 17 ARLINGTON ST.  
 ASHEVILLE, NC 28801  
 828.232.4700

**ZONING:**  
 CURRENT ZONING: PCD  
 PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

**SETBACKS:**  
 FRONT: 40' NCDOT RIGHT-OF-WAY  
 \*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
 SIDE: 5'  
 REAR: 10'

**OPEN SPACE REQUIREMENTS:**  
 OPEN SPACE REQUIRED: 117,743 SF (30%)  
 OPEN SPACE PROVIDED: 118,725 SF (30.3%)

**OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF):**  
 49% OF REQUIRED OPEN SPACE AREA

**COMMON SPACE REQUIREMENTS:**  
 COMMON SPACE REQUIRED: 39,248 SF (10%)  
 COMMON SPACE PROVIDED: 44,372 SF (11.3%)

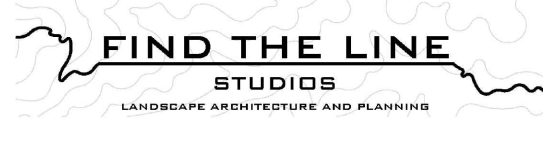
**ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):**  
 9.5% OF REQUIRED COMMON SPACE AREA

**PARKING REQUIREMENTS:**  
 PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS.  
 NUMBER OF UNITS: 185 UNITS (170 1/2 BEDROOM & 15 3 BEDROOM)  
 PARKING REQUIRED: 193 SPACES  
 PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)

**NOTES:**  
 PROJECT SHALL MEET ALL REQUIREMENTS OF 17-2-4-REDEVELOPMENT IN THE FLOOD WAY AND SPECIAL FLOOD HAZARD AREA

ALL UTILITY SERVICE LINES AND CONNECTIONS SHALL BE UNDERGROUND

OPEN SPACE SHOWN MUST BE PRESERVED AND MAINTAINED IN PERPETUITY. OPEN SPACE TO BE MAINTAINED BY DEVELOPER.



CONSULTANTS

NOT FOR CONSTRUCTION

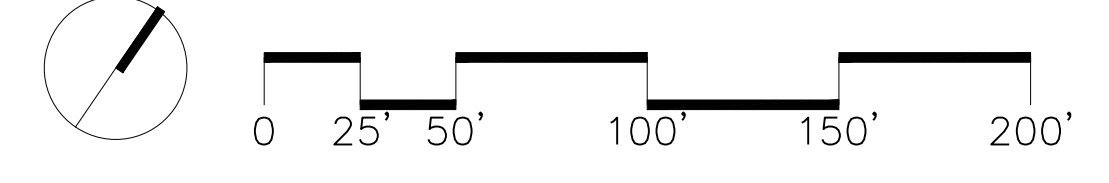
715 GREENVILLE HWY MULTI-FAMILY  
 PREPARED FOR:  
 CREST RESIDENTIAL  
 715 GREENVILLE HWY  
 HENDERSONVILLE, NC  
 OVERALL SITE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	11/02/23	CZD SUBMITTAL
2	12.6.23	NCDOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL

SHEET NO.

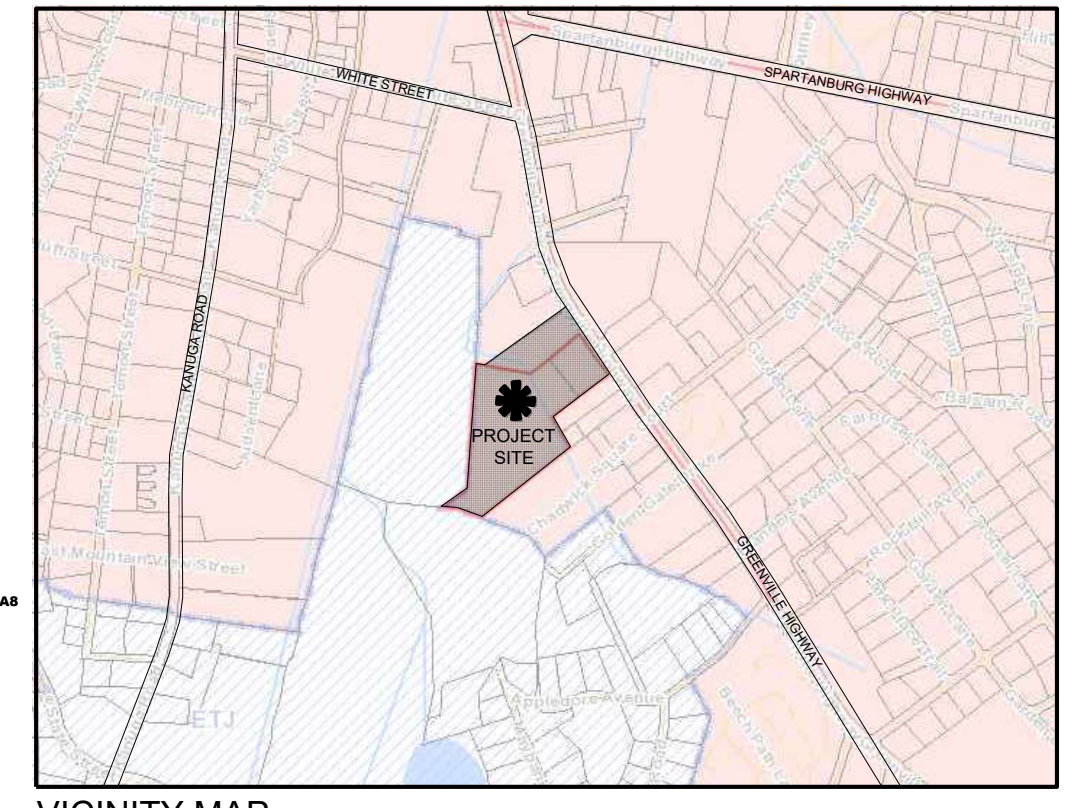
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CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR:  
CREST RESIDENTIAL  
PRELIMINARY SITE PLAN



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
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PERCENTAGE OF TOTAL SITE: 14.8%

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PROPOSED NUMBER OF UNITS: 185 UNITS  
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STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
BENTLEY NELSON  
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500 OFFICE PARK DRIVE, SUITE 215  
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205.567.1467

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
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OPEN SPACE REQUIREMENTS:  
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49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
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ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):  
9.5% OF REQUIRED COMMON SPACE AREA

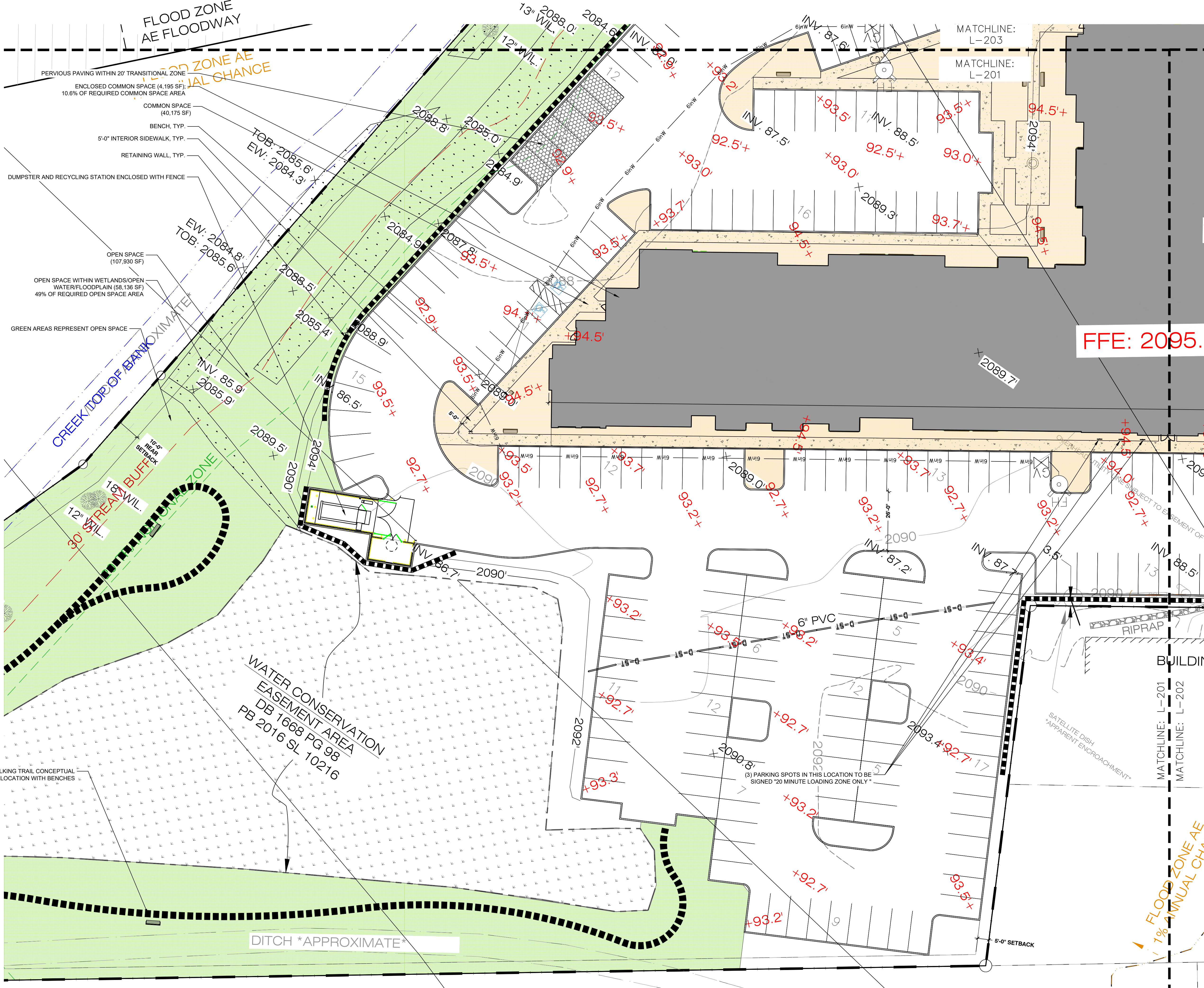
PARKING REQUIREMENTS:  
PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS:  
NUMBER OF UNITS: 185 UNITS  
PARKING REQUIRED: 193 SPACES  
PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)

PLAN SET

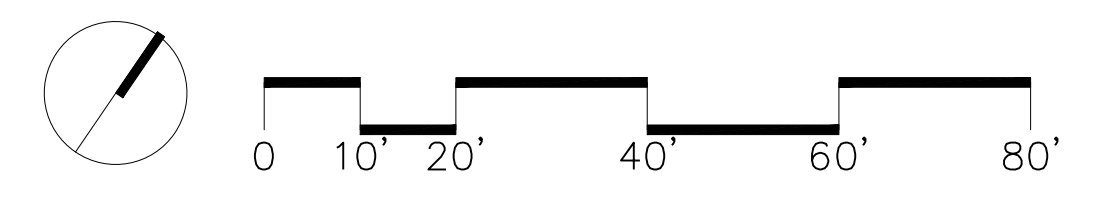
#	DATE	DESCRIPTION
1	11/02/23	CZD SUBMITTAL
2	12.6.23	NCDOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL

SHEET NO.

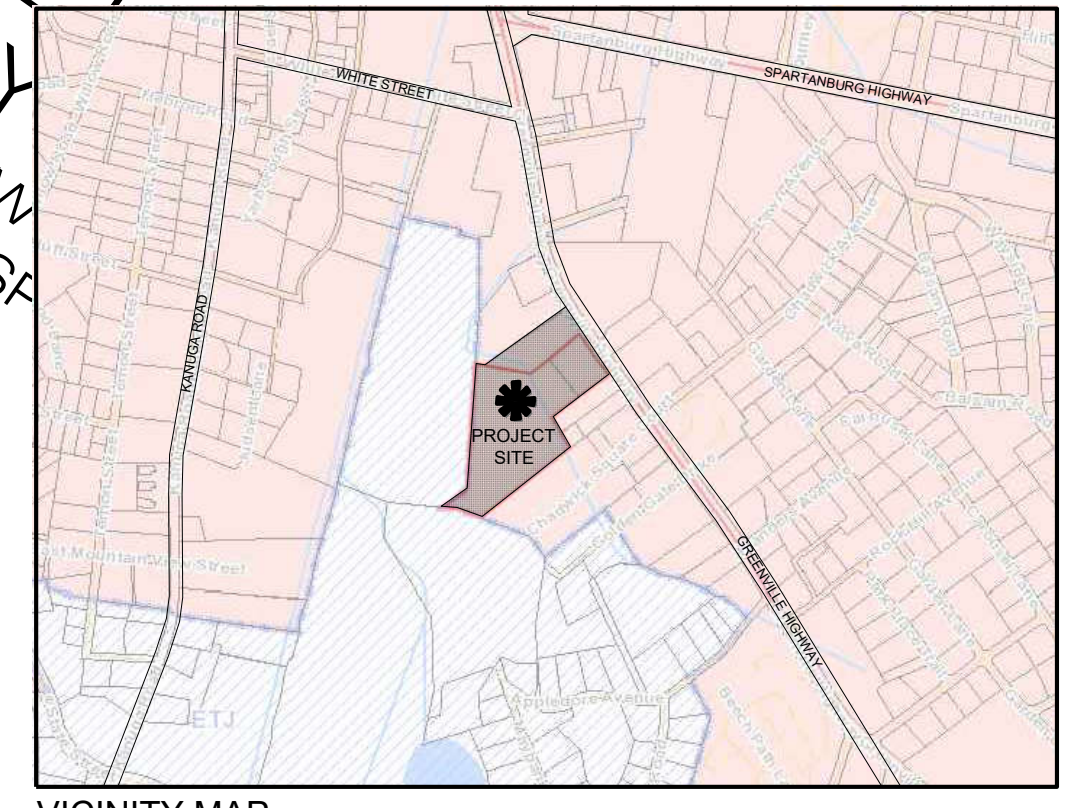
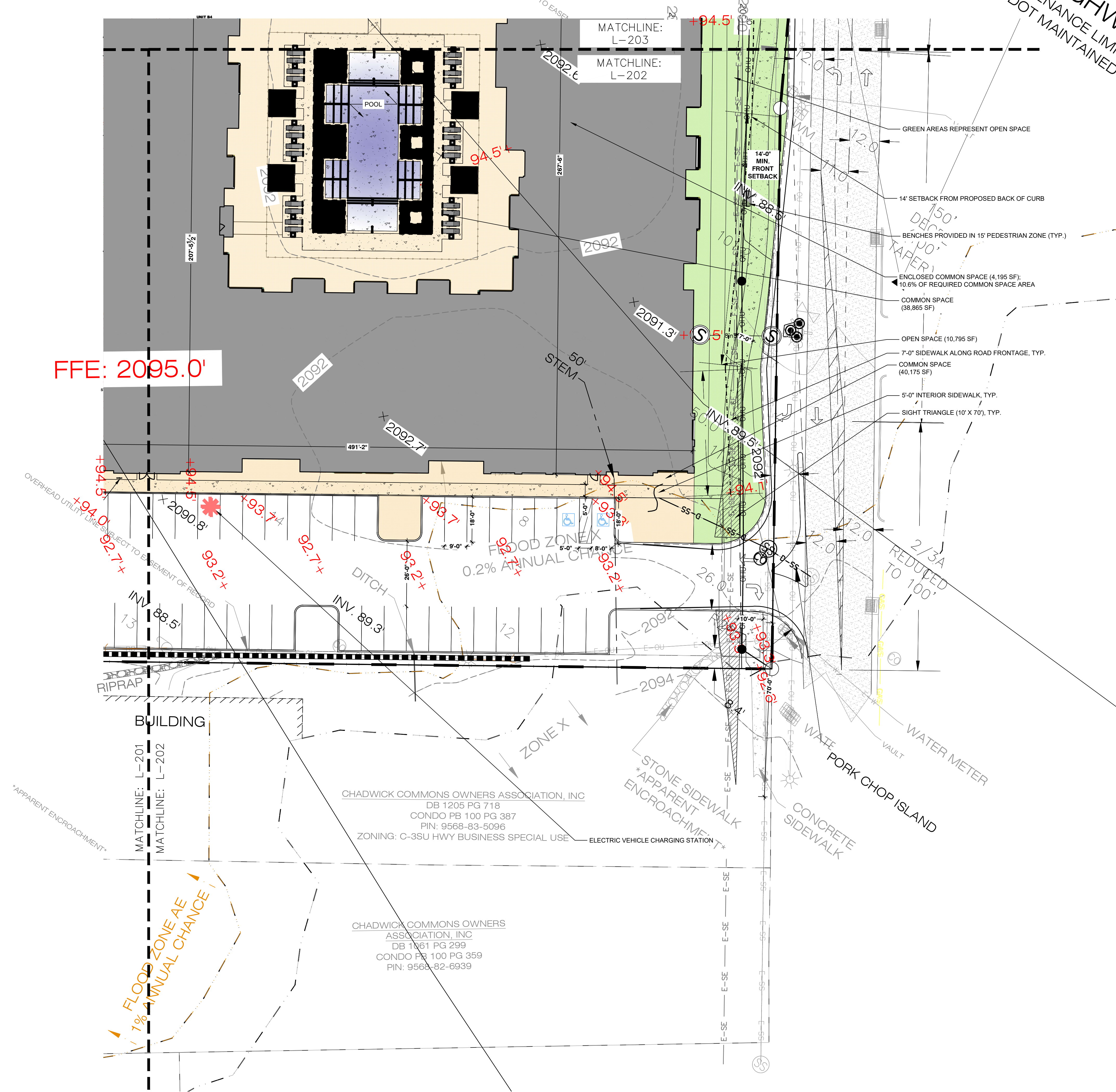
L-201



FFE: 2095.0'







VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
BUILDING GROSS FLOOR AREA: 231,037 SF

BUILDING FOOTPRINT: 58,367 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)  
PROPOSED NUMBER OF UNITS: 185 UNITS  
PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
BENTLEY NELSON  
CREST RESIDENTIAL LLC  
500 OFFICE PARK DRIVE, SUITE 215  
BIRMINGHAM, AL 35223  
BENTLEY@CRESTRES.COM  
205.567.1467

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK  
SIDE: 5'  
REAR: 10'

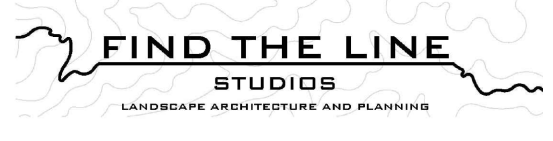
OPEN SPACE REQUIREMENTS:  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF):  
49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):  
9.5% OF REQUIRED COMMON SPACE AREA

PARKING REQUIREMENTS:  
PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS:  
NUMBER OF UNITS: 185 UNITS  
PARKING REQUIRED: 193 SPACES  
PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)



CONSULTANTS

NOT FOR  
CONSTRUCTION

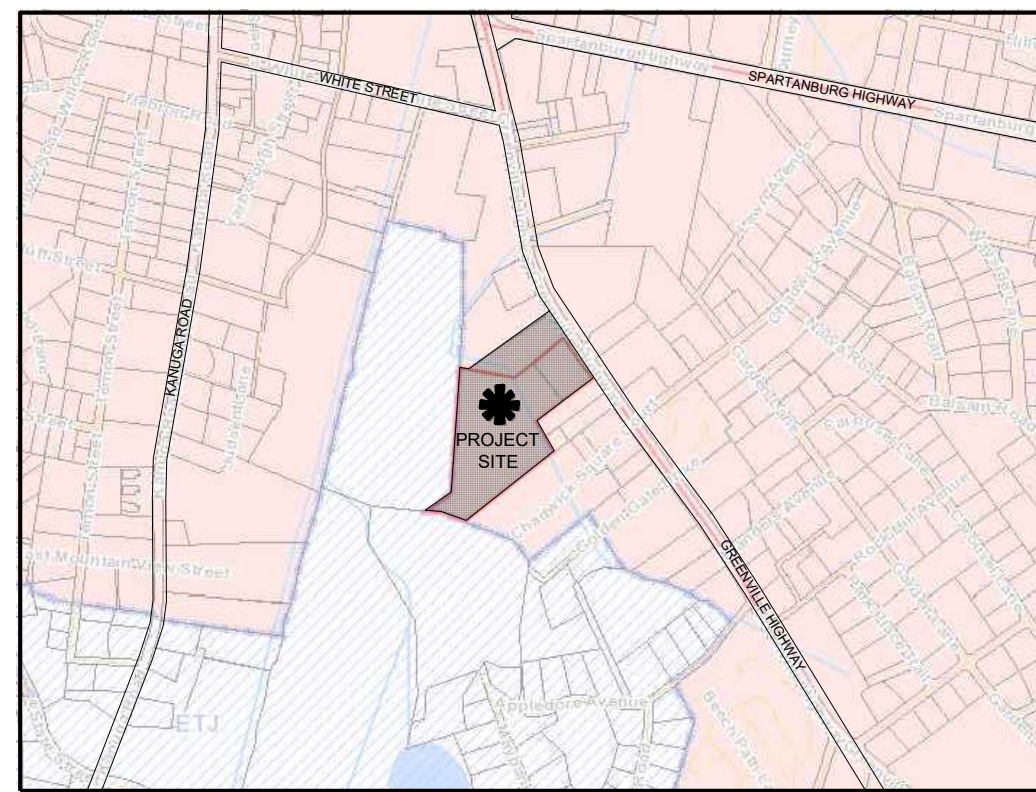
715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR:  
CREST RESIDENTIAL  
PRELIMINARY SITE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	11/02/23	CZD SUBMITTAL
2	12.6.23	NCDOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL



SHEET NO.  
L-202



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
BUILDING GROSS FLOOR AREA: 231,037 SF

BUILDING FOOTPRINT: 58,367 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52' (SEE ARCHITECTURAL PLANS)  
PROPOSED NUMBER OF UNITS: 185 UNITS  
PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
BENTLEY NELSON  
CREST RESIDENTIAL LLC  
500 OFFICE PARK DRIVE, SUITE 215  
BIRMINGHAM, AL 35223  
BENTLEY@CRESTRES.COM  
205.567.1467

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
SIDE: 5'  
REAR: 10'

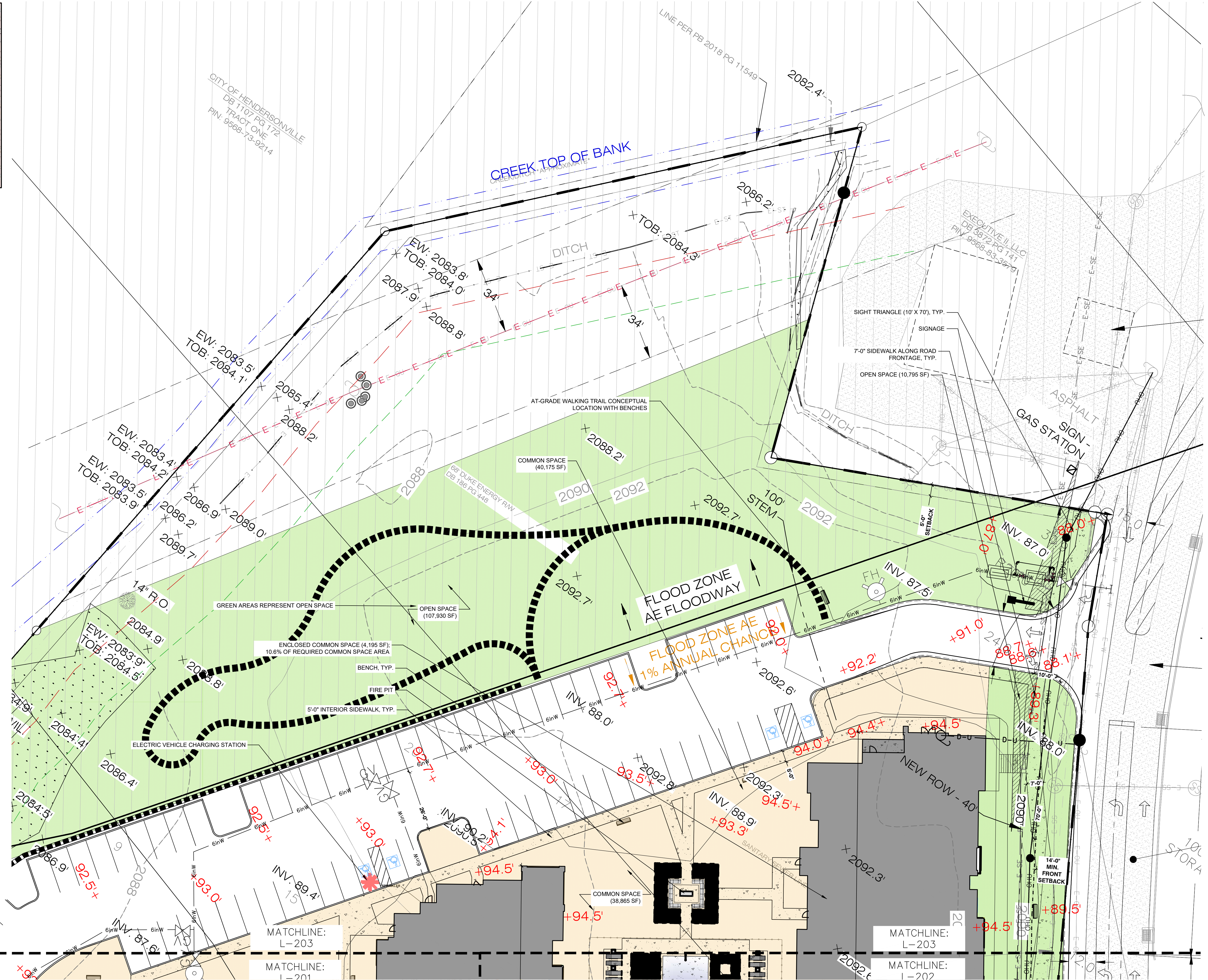
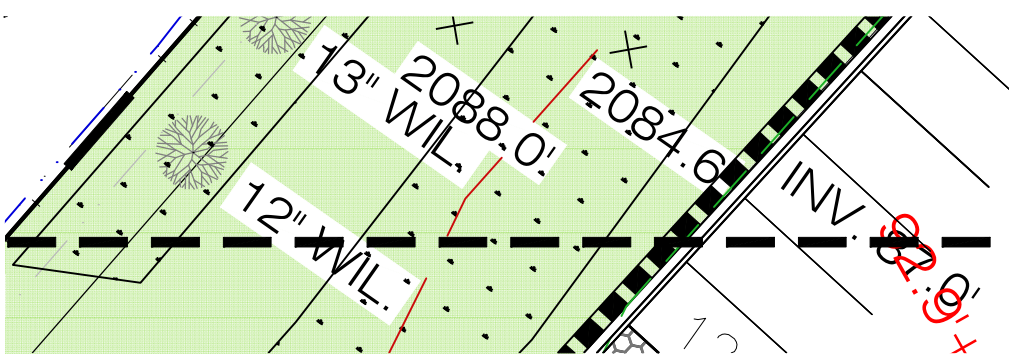
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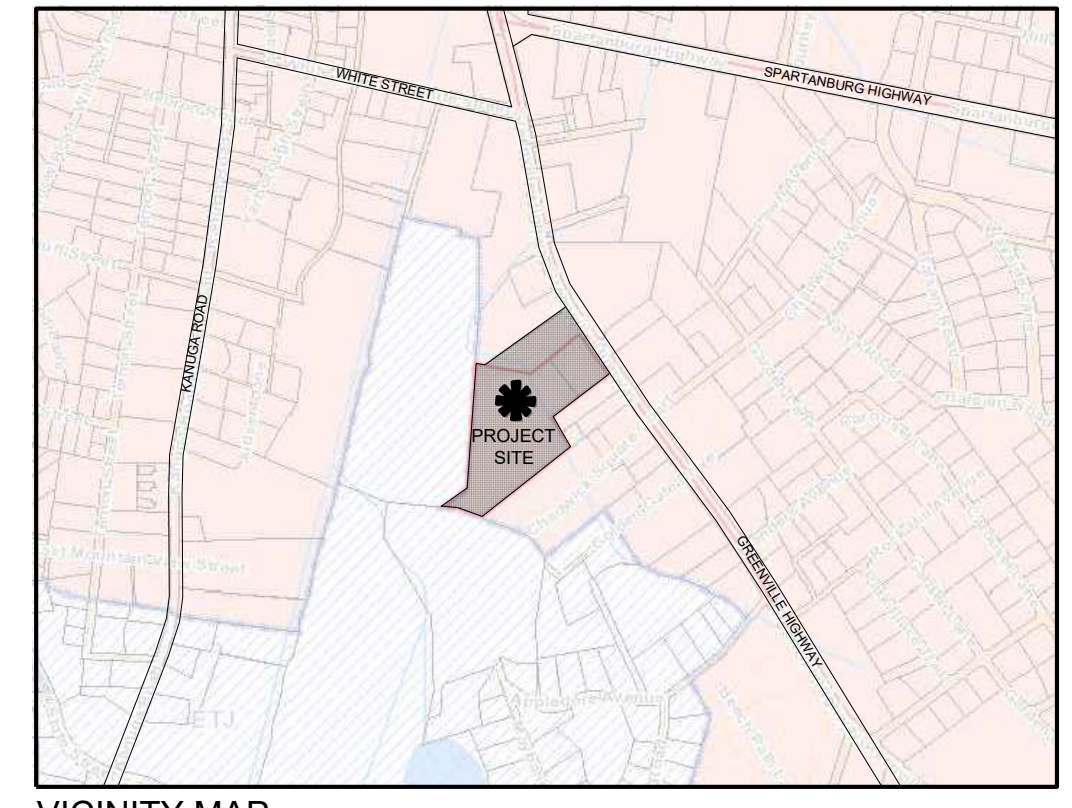
ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):  
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2	12.6.23	NCDOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL



VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
BENTLEY NELSON  
CREST RESIDENTIAL LLC  
500 OFFICE PARK DRIVE, SUITE 215  
BIRMINGHAM, AL 35223  
BENTLEY@CRESTRES.COM  
205.567.1467

**CIVIL ENGINEER:**  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

**OPEN SPACE REQUIREMENTS:**  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
49% OF REQUIRED OPEN SPACE AREA

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COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
9.5% OF REQUIRED COMMON SPACE AREA

**LANDSCAPE REQUIREMENTS:**

**VEHICLE USE AREA (VUA):**  
1 TREE PER 1,500 SF / 2 SHRUBS PER 4,000 SF  
TOTAL VUA: 102,231 SF  
TREES REQUIRED: 69 TREES  
TREES PROVIDED: 74 TREES  
SHRUBS REQUIRED: 52 SHRUBS  
SHRUBS PROVIDED: 73 SHRUBS

**PLANTING STRIPS (PS):**  
1 TREE & 5 SHRUBS PER 40LF  
TOTAL LF: 374 LF  
TREES REQUIRED: 10 TREES  
TREES PROVIDED: 11 TREES  
SHRUBS REQUIRED: 47 SHRUBS  
SHRUBS PROVIDED: 62 SHRUBS

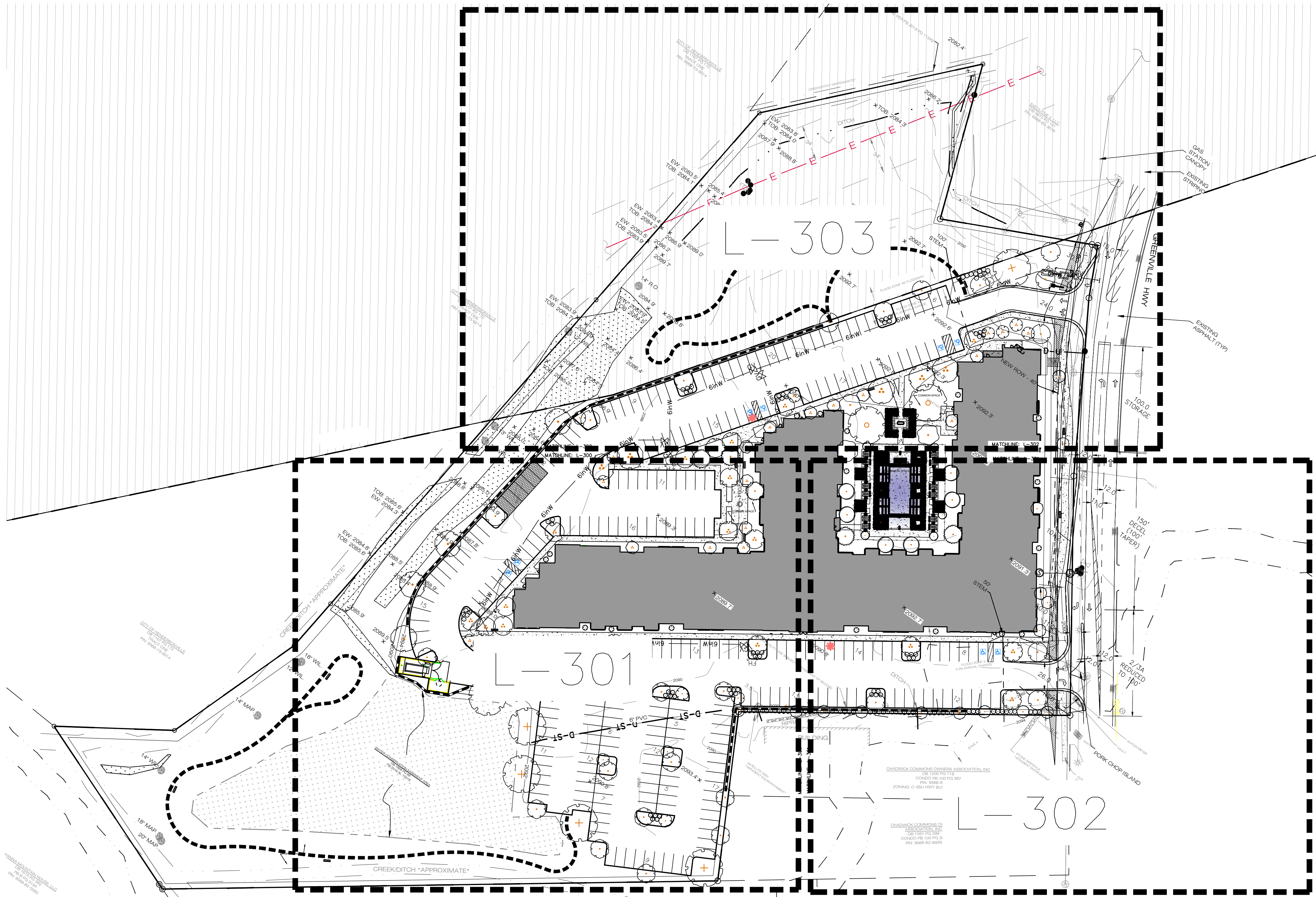
**STREET TREES (ST):**  
1 LARGE TREE PER 40 LF OR 1 SMALL TREE PER 30 LF (IF OVERHEAD UTILITIES ARE PRESENT)  
TOTAL LF: 422 LF (715 GREENVILLE HWY)  
TREES REQUIRED: 5 LARGE-MATURING TREES/7 SMALL MATURING TREE  
TREES PROVIDED: 5 LARGE-MATURING TREES/7 SMALL MATURING TREE

**COMMON SPACE TREE PLANTINGS (CS):**  
TOTAL TREE PLANTINGS REQUIRED: 79  
TOTAL TREE PLANTINGS PROPOSED: 84

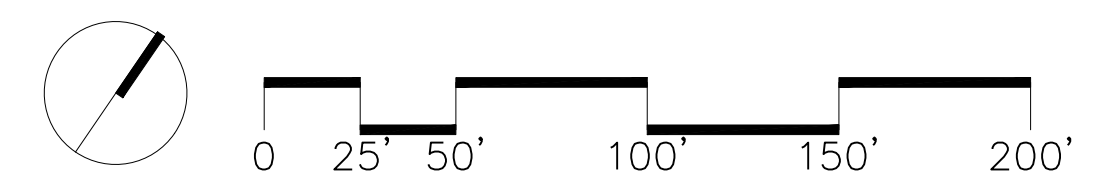
**PLANTING LEGEND**

VUA = VEHICULAR USE AREA REQUIREMENT  
PS = PLANTING STRIP REQUIREMENT  
ST = STREET TREE REQUIREMENT  
CS = COMMON SPACE REQUIREMENT

# OF PLANTS  
Plant Description  
Large Deciduous Tree (ST)  
ZONING USE ABBREVIATION (SEE LEGEND)



- COMPLIANCE NOTES**
- ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS. ALL SIDEWALKS SHALL PROVIDE ADEQUATE HANDICAP ACCESSIBILITY AT CROSSWALKS.
  - ANY PLANT MATERIAL TO BE INSTALLED IN THE R.O.W. SHALL BE APPROVED WITH AN ENCROACHMENT AGREEMENT WITH NCDOT.
  - LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWERLINES AND SEWERLINE EASEMENTS. NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.
  - ALL PROPOSED PARKING SPACES ARE WITHIN 45' OF A VUA TREE PLANTING AS REQUIRED.
  - 50% OFF ALL REQUIRED VUA PLANTINGS ARE LOCATED WITHIN PROPOSED LANDSCAPE ISLANDS AS REQUIRED.

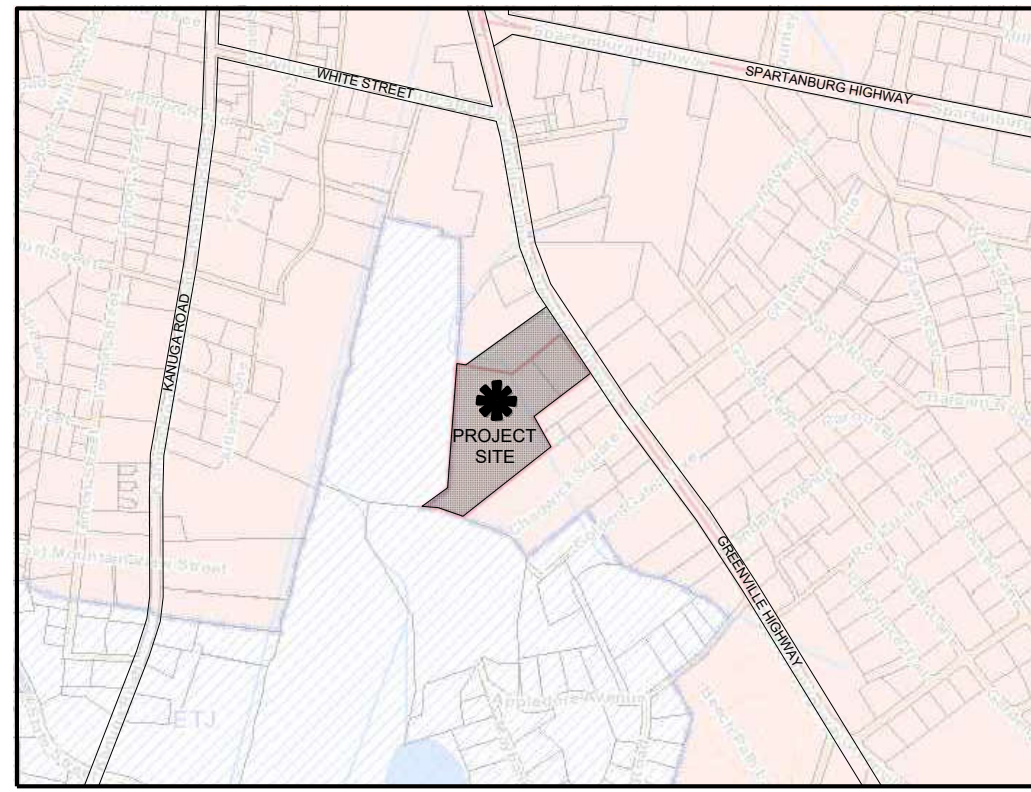


715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR:  
CREST RESIDENTIAL  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
OVERALL LANDSCAPE PLAN

**PLAN SET**

#	DATE	DESCRIPTION
1	11/02/23	CZD SUBMITTAL
2	12.6.23	NCDOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL

SHEET NO.  
L-300



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
BENTLEY NELSON  
CREST RESIDENTIAL LLC  
500 OFFICE PARK DRIVE, SUITE 215  
BIRMINGHAM, AL 35223  
BENTLEY@CRESTRES.COM  
205.567.1467

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

OPEN SPACE REQUIREMENTS:  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF):  
49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
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TOTAL LF: 374 LF  
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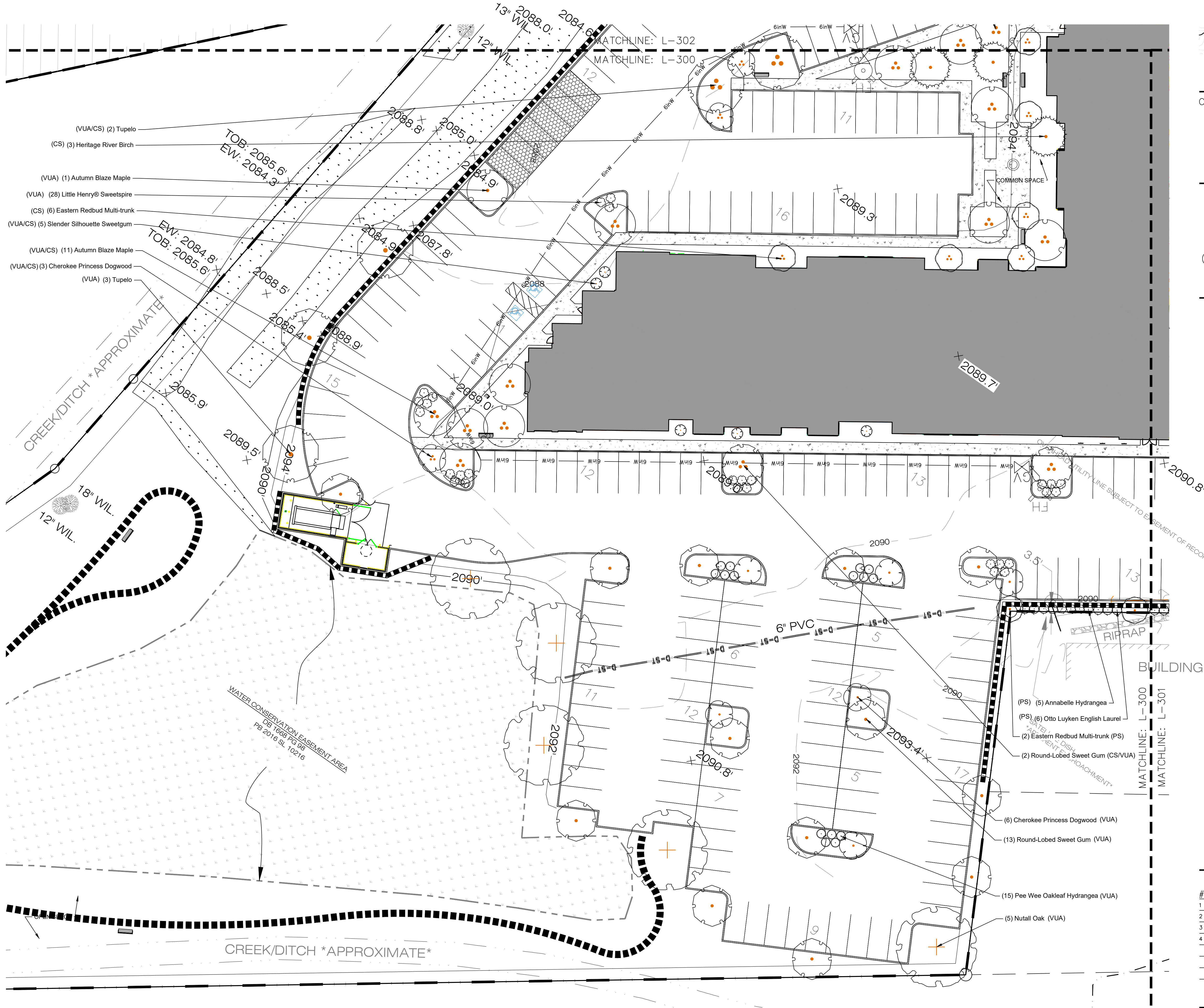
STREET BUFFER (SB): N/A

BUFFERYARDS: N/A

PLANTING LEGEND

VUA = VEHICULAR USE AREA REQUIREMENT	COMPLIANCE NOTES
PS = PLANTING STRIP REQUIREMENT	1. ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS. ALL SIDEWALKS SHALL PROVIDE ADEQUATE HANDICAP ACCESSIBILITY AT CROSSWALKS.
ST = STREET TREE REQUIREMENT	2. ANY PLANT MATERIAL TO BE INSTALLED IN THE R.O.W. SHALL BE APPROVED WITH AN ENCROACHMENT AGREEMENT WITH NCDOT.
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# OF PLANTS — Plant Description  
Large Deciduous Tree (ST)  
ZONING USE ABBREVIATION (SEE LEGEND)



CONSULTANTS

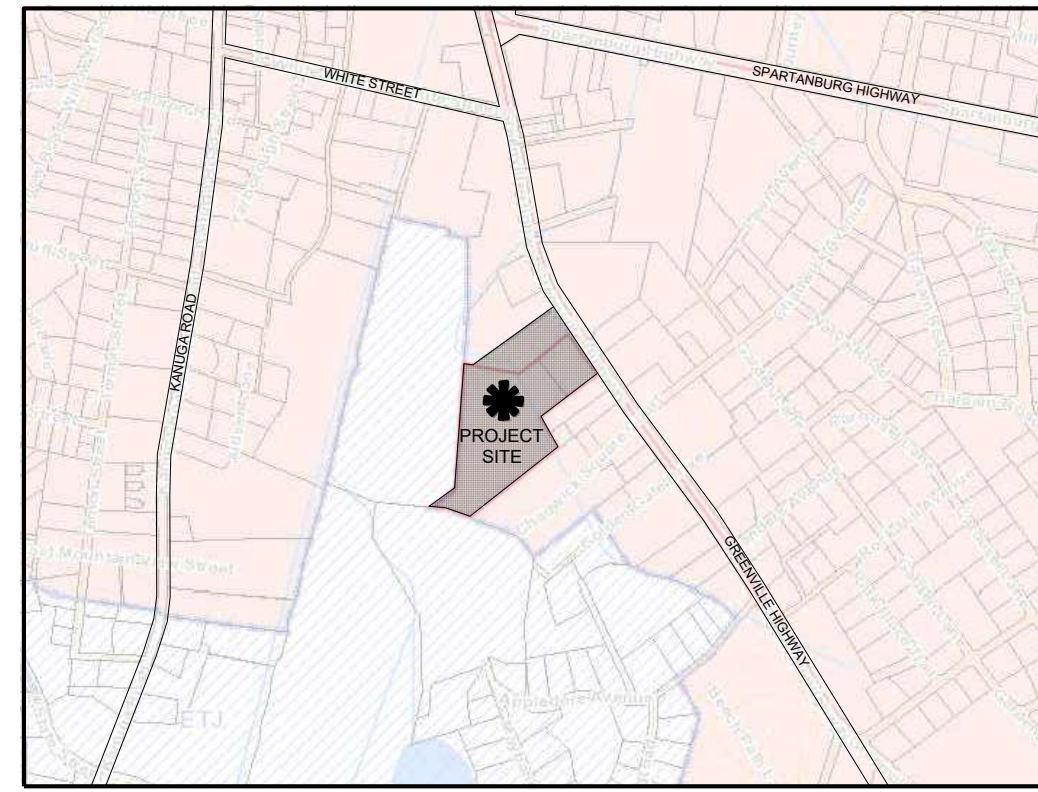
NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PREPARED FOR:  
CREST RESIDENTIAL  
PRELIMINARY LANDSCAPE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	11/02/23	CZD SUBMITTAL
2	12.6.23	NCDOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL

SHEET NO.  
L-301



VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
BENTLEY NELSON  
CREST RESIDENTIAL LLC  
500 OFFICE PARK DRIVE, SUITE 215  
BIRMINGHAM, AL 35223  
BENTLEY@CRESTRES.COM  
205.567.1467

**CIVIL ENGINEER:**  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

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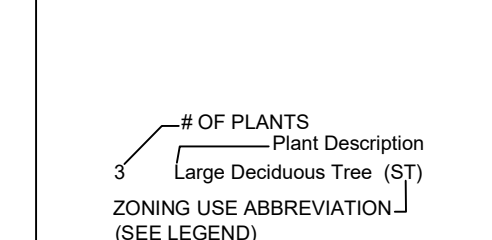
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TOTAL TREE PLANTINGS REQUIRED: 79  
TOTAL TREE PLANTINGS PROPOSED: 84

**STREET BUFFER (SB):** N/A

**BUFFERYARDS:** N/A

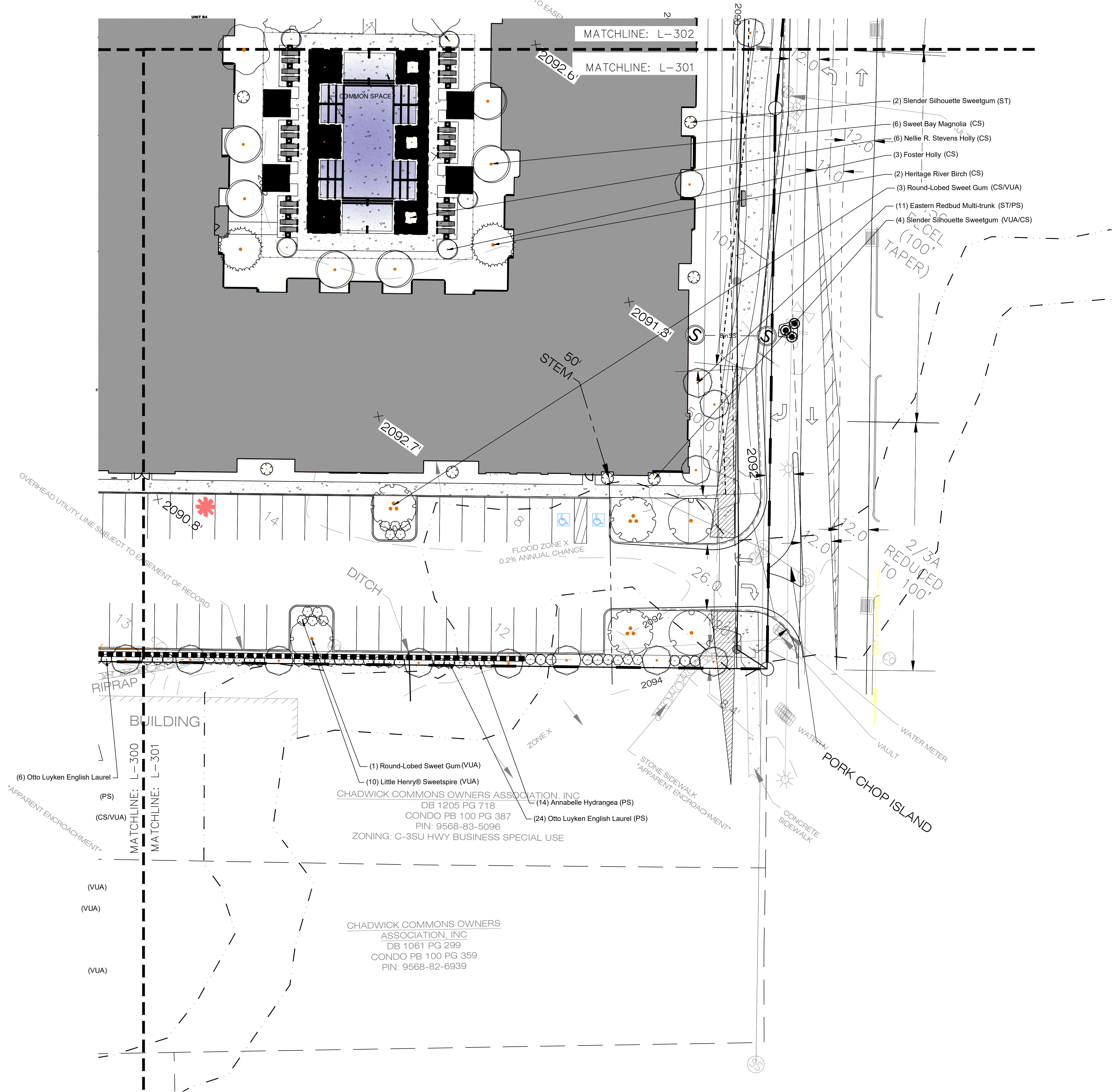
**PLANTING LEGEND**

VUA = VEHICULAR USE AREA REQUIREMENT  
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**COMPLIANCE NOTES**

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NOT FOR CONSTRUCTION

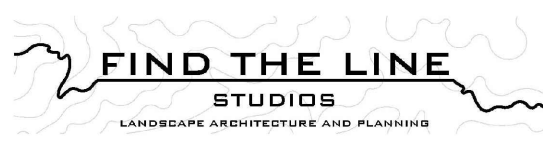
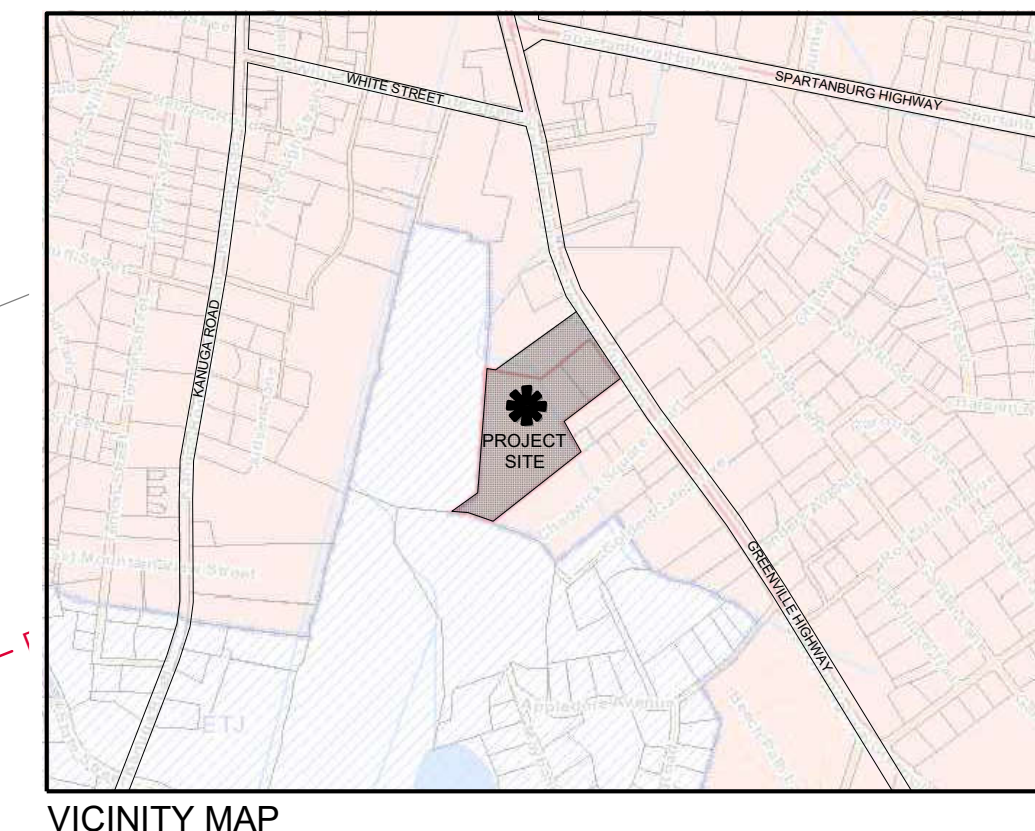
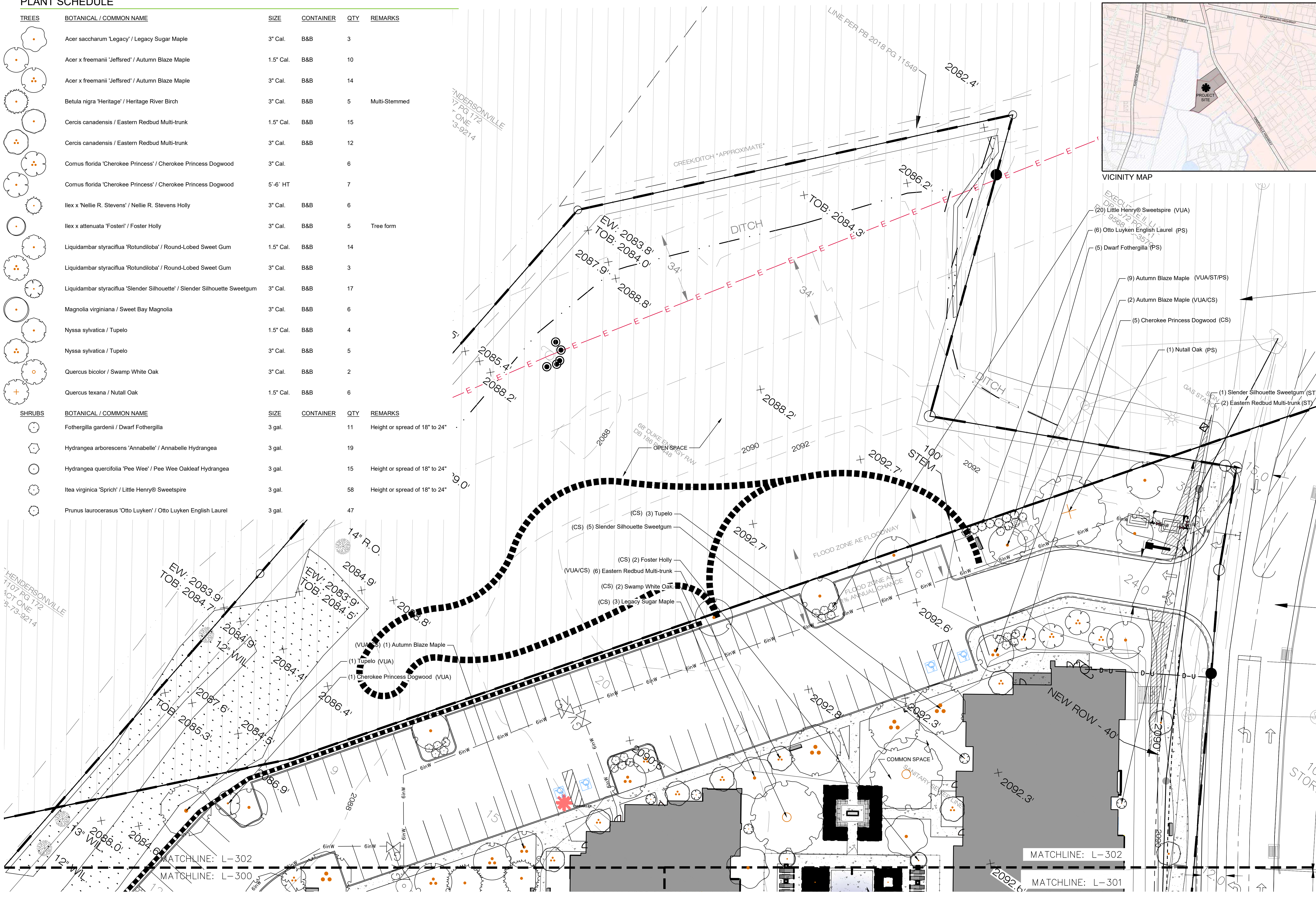
715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR:  
CREST RESIDENTIAL  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PRELIMINARY LANDSCAPE PLAN

PLAN SET

#	DATE	DESCRIPTION
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2	12.6.23	NCDOT UPDATE
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4	1.3.24	PLANNING AND ZONING RESUBMITTAL

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	3	
	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple	1.5" Cal.	B&B	10	
	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple	3" Cal.	B&B	14	
	Betula nigra 'Heritage' / Heritage River Birch	3" Cal.	B&B	5	Multi-Stemmed
	Cercis canadensis / Eastern Redbud Multi-trunk	1.5" Cal.	B&B	15	
	Cercis canadensis / Eastern Redbud Multi-trunk	3" Cal.	B&B	12	
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	3" Cal.		6	
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	5'-6" HT		7	
	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	3" Cal.	B&B	6	
	Ilex x attenuata 'Fosteri' / Foster Holly	3" Cal.	B&B	5	Tree form
	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	1.5" Cal.	B&B	14	
	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	3" Cal.	B&B	3	
	Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweetgum	3" Cal.	B&B	17	
	Magnolia virginiana / Sweet Bay Magnolia	3" Cal.	B&B	6	
	Nyssa sylvatica / Tupelo	1.5" Cal.	B&B	4	
	Nyssa sylvatica / Tupelo	3" Cal.	B&B	5	
	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	2	
	Quercus texana / Nuttall Oak	1.5" Cal.	B&B	6	
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Fothergilla gardenii / Dwarf Fothergilla	3 gal.		11	Height or spread of 18" to 24"
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	3 gal.		19	
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	3 gal.		15	Height or spread of 18" to 24"
	Itea virginica 'Sprich' / Little Henry® Sweetpire	3 gal.		58	Height or spread of 18" to 24"
	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	3 gal.		47	



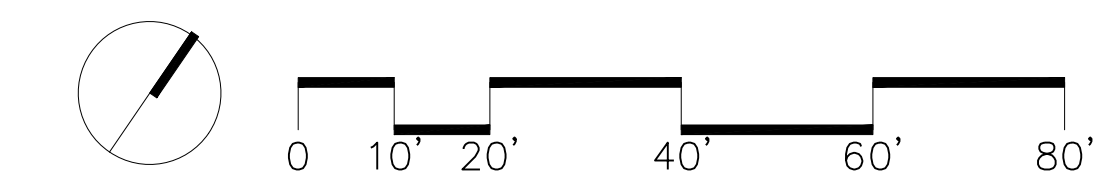
CONSULTANTS

NOT FOR CONSTRUCTION

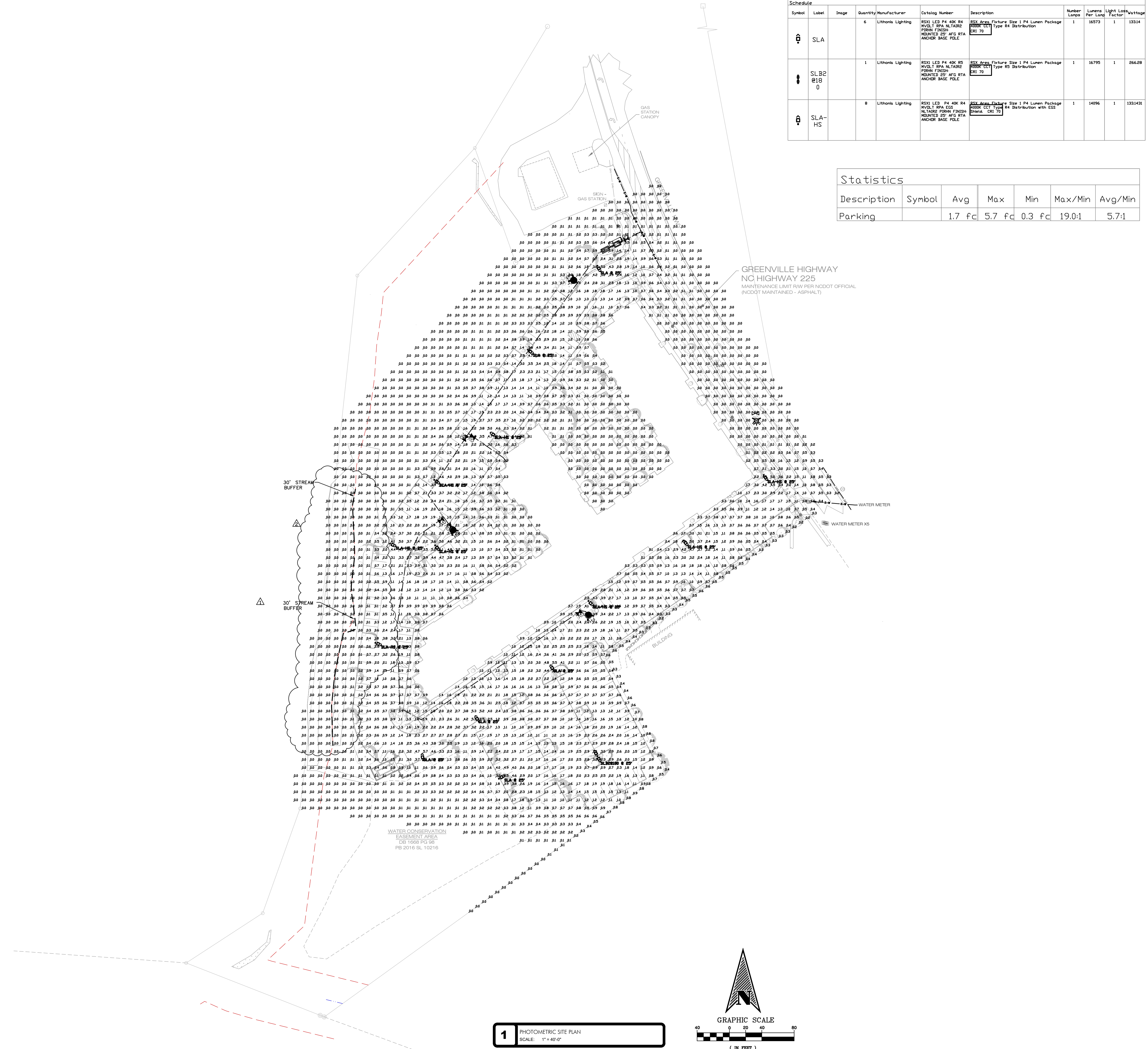
715 GREENVILLE HWY MULTI-FAMILY  
 715 GREENVILLE HWY  
 HENDERSONVILLE, NC  
 PREPARED FOR:  
 CREST RESIDENTIAL  
 PRELIMINARY LANDSCAPE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	11/02/23	CZD SUBMITTAL
2	12.6.23	NC DOT UPDATE
3	12.15.23	PLANNING AND ZONING SUBMITTAL
4	1.3.24	PLANNING AND ZONING RESUBMITTAL



SHEET NO.  
 L-303



Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lumens	Lumens Per Lum.	Light Loss Factor	Wattage
SLA			6	Lithonia Lighting	RSX1 LED P4 40K R4 HVOLT RPA NLTARE FINISH MOUNTED 227 WIG STA ANCHOR BASE FILE	RSX Area Fixture Size 1 P4 Lum Package PROX CCT Type R4 Distribution SCL 70	1	16793	1	13314
SLB2 @ 18 0			1	Lithonia Lighting	RSX1 LED P4 40K R5 HVOLT RPA NLTARE FINISH MOUNTED 227 WIG STA ANCHOR BASE FILE	RSX Area Fixture Size 1 P4 Lum Package PROX CCT Type R5 Distribution SCL 70	1	16795	1	26628
SLA-HS			8	Lithonia Lighting	RSX1 LED P4 40K R4 HVOLT RPA EGG NLTARE FINISH MOUNTED 227 WIG STA ANCHOR BASE FILE	RSX Area Fixture Size 1 P4 Lum Package PROX CCT Type R4 Distribution with EGG SCL 70	1	14096	1	1331421

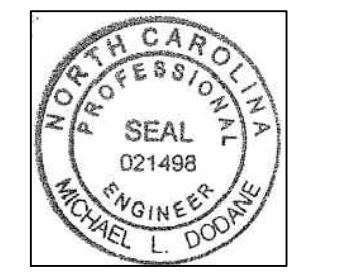
Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Parking		1.7 fc	5.7 fc	0.3 fc	19.0:1

**MiGre Engineers LLC**  
 760 FLORIDA CENTRAL PARKWAY  
 SUITE 224  
 LONGWOOD, FL 32750  
 PH: 407.636.7999  
 PROJECT #: 23136

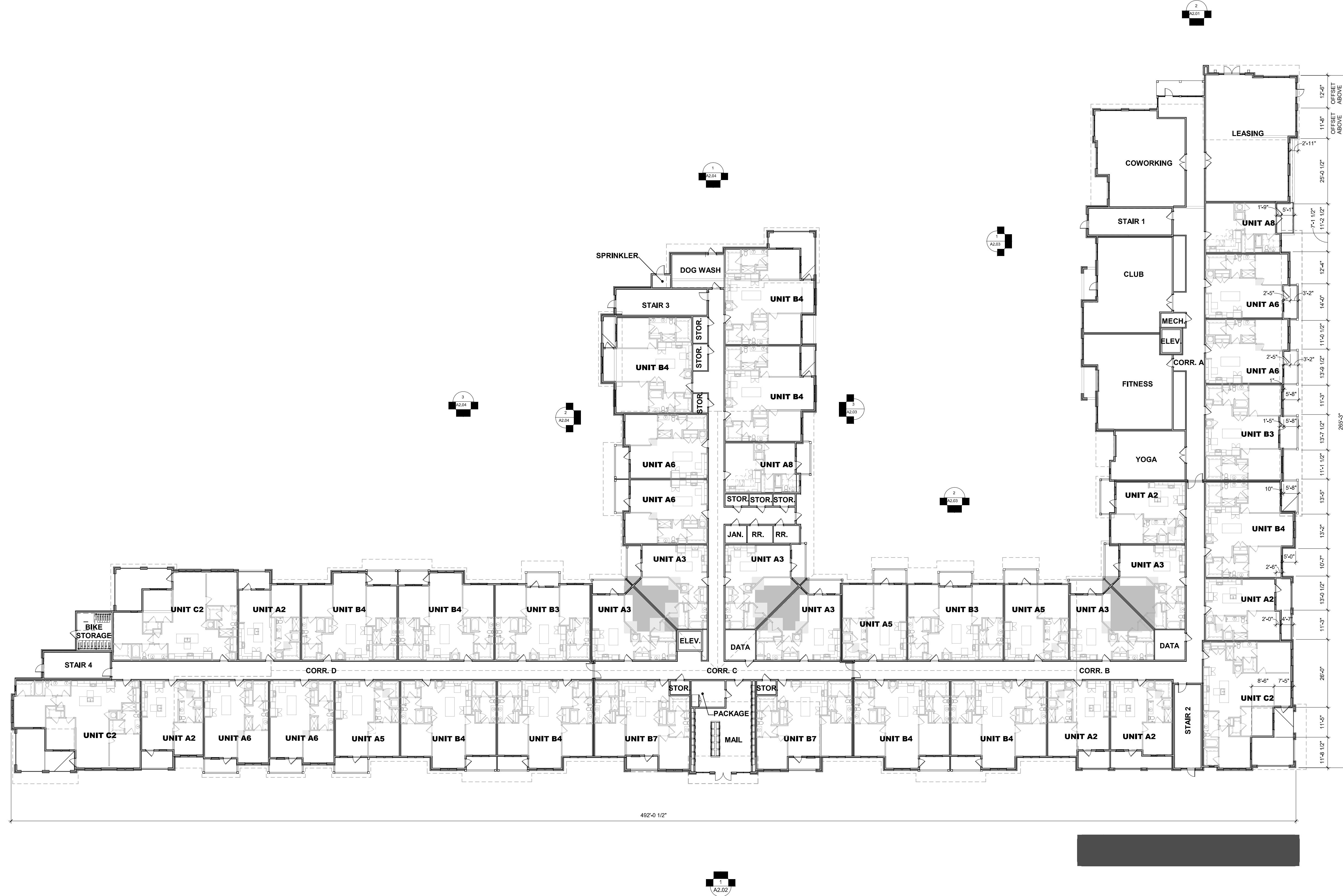
No.	Date	Revision
1	12/15/2023	Planning and Zoning
2	01/03/2024	Planning and Zoning

Mechanical  
 Electrical  
 Plumbing  
 Fire Protection

**715 GREENVILLE HWY MULTIFAMILY**  
 PHOTOMETRIC  
 SITE PLAN



PROJECT NO: 23136  
 DRAWN BY: MLD  
 CHECKED BY: MLD  
 APPROVED BY: MLD  
 DATE: 10-25-23  
 SCALE: 1" = 40'-0"  
 FILENAME: 23136-E-SITE



PRELIMINARY

FOR INTERIM REVIEW ONLY.  
NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION.

ARCHITECTURE & INTERIORS, LLC  
 BIRMINGHAM, AL    AUSTIN, TX    ATLANTA, GA  
 www.fdm.com

CZD SUBMITTAL

**715 GREENVILLE HIGHWAY  
MULTIFAMILY**  
 CREST RESIDENTIAL  
 715 GREENVILLE HIGHWAY  
 HENDERSONVILLE, NC 28792

REVISIONS

Δ DATE	DESCRIPTION

PROJ. NO. | ISSUE DATE  
 23013 | 12/13/23

SHEET NAME:  
 OVERALL FLOOR  
 PLAN - LEVEL 1

SHEET NO:  
**A1.01**



**EXTERIOR MATERIAL LEGEND**

(M1)	BRICK VENEER
(L1)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 1
(L2)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 2
(L3)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 3
(L4)	FIBER CEMENT LAP SIDING, STAGGERED - PAINT 2
(L5)	FIBER CEMENT LAP SIDING, 2" EXPOSURE DIAGONAL - PAINT 2
(P1)	FIBER CEMENT PANELS - PAINT 1
(P2)	FIBER CEMENT PANELS - PAINT 2
(B1)	BOARD & BATTEN - PAINT 1
(B2)	BOARD & BATTEN - PAINT 2
(R1)	ASPHALT SHINGLE ROOF
(R2)	METAL ROOF

**PRELIMINARY**

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ARCHITECTURE & INTERIORS, LLC  
ATLANTA, GA  
AUSTIN, TX  
BIRMINGHAM, AL  
www.5dai.com

**PLANNING AND ZONING SUBMITTAL**

**715 GREENVILLE HIGHWAY MULTIFAMILY**

CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

**REVISIONS**

Δ	DATE	DESCRIPTION
2	12/15/2023	PLANNING AND ZONING SUBMITTAL
3	1/02/2024	PLANNING AND ZONING RESUBMITTAL

PROJ. NO. | ISSUE DATE  
23013 | 10/31/23

SHEET NAME:  
ELEVATIONS - E  
FAÇADE & NE  
CORNER

SHEET NO:  
**A2.01**



**2 NORTH ELEVATION - LEASING ENTRY**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION - GREENVILLE HIGHWAY FRONTAGE**  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

(M1)	BRICK VENEER
(L1)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 1
(L2)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 2
(L3)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 3
(L4)	FIBER CEMENT LAP SIDING, STAGGERED - PAINT 2
(L5)	FIBER CEMENT LAP SIDING, 2" EXPOSURE DIAGONAL - PAINT 2
(P1)	FIBER CEMENT PANELS - PAINT 1
(P2)	FIBER CEMENT PANELS - PAINT 2
(B1)	BOARD & BATTEN - PAINT 1
(B2)	BOARD & BATTEN - PAINT 2
(R1)	ASPHALT SHINGLE ROOF
(R2)	METAL ROOF

**PRELIMINARY**

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**PLANNING AND ZONING SUBMITTAL**

**715 GREENVILLE HIGHWAY MULTIFAMILY**  
CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

**REVISIONS**

Δ	DATE	DESCRIPTION
2	12/15/2023	PLANNING AND ZONING SUBMITTAL
3	1/10/2024	PLANNING AND ZONING RESUBMITTAL

PROJ. NO. 23013 | ISSUE DATE 10/31/23

SHEET NAME:  
ELEVATIONS - S  
FACADE

SHEET NO:  
**A2.02**



**3 SOUTH ELEVATION - RIGHT**  
SCALE: NTS



**2 SOUTH ELEVATION - LEFT**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION - OVERALL**  
SCALE: 1/16" = 1'-0"