

| Point   | Northing   | Easting    | Elev.   | Invert In | Invert In | Invert In | Invert Out |
|---------|------------|------------|---------|-----------|-----------|-----------|------------|
| SSMH 1  | 587216.733 | 967491.287 | 2114.34 |           |           |           | 2110.94    |
| SSMH 2  | 587254.088 | 967760.155 | 2116.97 | 2106.67   | 2106.47   |           | 2106.37    |
| SSMH 3  | 587279.593 | 967783.317 | 2117.31 |           |           |           | 2108.61    |
| SSMH 4  | 587255.977 | 967776.612 | 2117.75 | 2108.75   | 2109.75   | 2111.85   | 2108.65    |
| SSMH 5  | 586907.205 | 967811.576 | 2115.93 | 2106.03   | 2106.63   |           | 2105.93    |
| SSMH 6  | 586897.615 | 967828.726 | 2115.55 |           |           |           | 2109.35    |
| SSMH 7  | 586853.338 | 967455.010 | 2106.46 | 2106.46   | 2098.86   |           |            |
| SSMH 8  | 587177.466 | 967419.201 | 2115.69 |           |           |           | 2111.79    |
| SSMH 9  | 586862.563 | 967444.817 | 2107.82 |           |           |           | 2101.02    |
| SSMH 10 | 586847.293 | 967405.495 | 2107.40 |           |           |           | 2100.6     |

| Point | Northing   | Easting    | Elev.   | Invert In                | Invert In | Invert In | Invert Out |
|-------|------------|------------|---------|--------------------------|-----------|-----------|------------|
| CB 1  | 586897.538 | 967848.477 | 2115.98 |                          |           |           | 2111.38    |
| CB 2  | 586928.048 | 967844.509 | 2116.06 | 2110.96                  | 2110.96   |           | 2110.86    |
| CB 3  | 586939.034 | 967827.035 | 2115.33 | 2110.43                  |           |           | 2110.03    |
| CB 4  | 586932.858 | 967786.018 | 2115.16 | 2109.96                  |           |           | 2110.06    |
| CB 5  | 586877.778 | 967481.995 |         | Unable to Obtain Inverts |           |           |            |
| CB 6  | 586888.198 | 967468.885 | 2105.68 |                          |           |           | 2101.18    |
| CB 7  | 586846.524 | 967486.419 | 2105.61 |                          |           |           | 2102.31    |
| CB 8  | 586883.753 | 967433.734 | 2107.14 |                          |           |           | 2104.36    |
| D/I 1 | 586922.508 | 967701.068 | 2109.80 | 2109.30                  | 2109.30   | 2109.10   |            |
| D/I 2 | 587001.731 | 967612.387 | 2108.94 | Unable to Obtain Inverts |           |           | 2107.90    |

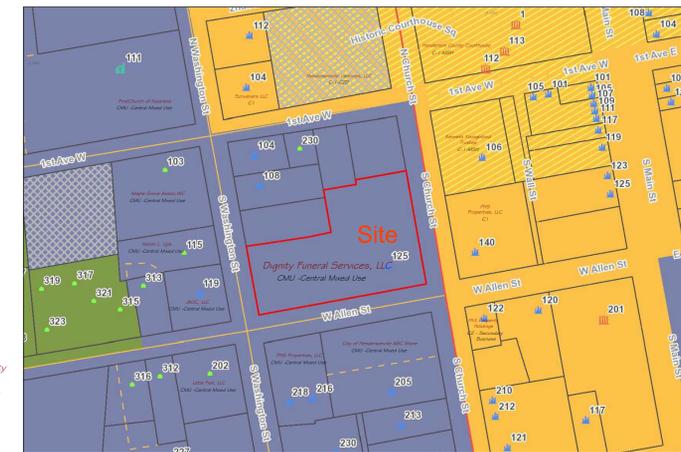
**Notes:**  
 1. There are no streams visible on this property.  
 Some maps show 2 streams on the property. If they ever existed they were piped many years ago.



Vicinity Map - Not to Scale



Aerial Map - 1" = 50"



Zoning Map - n.t.s.

**Tree Symbols**

- 403 Tree to Remain - See Tree Protection Notes
- 169 Tree to Remove

1.12 Acres  
 Area By Coordinate Computation

Building Setbacks as per City of Hendersonville CMU Zoning:  
 Front: 12' from Back of Curb  
 Side: 5' if borders a street  
 Rear: 5' in borders a street

- Notes:**
- Property is subject to all easements, restrictions and right of ways of record.
  - The locations of underground utilities are based on above-ground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered.
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate title search may disclose.
  - The certification of survey and plat was prepared for the entity named in the title block hereon and does not extend to any other entity, unless recertified by the professional land surveyor.
  - All miscellaneous survey related materials, including but not limited to, project plans, deed and ROW research, maps, field notes and data, survey reports, record title report, calculations, working drawings, estimates, and other materials acquired and/or prepared by the surveyor as instruments of service shall remain the property of the surveyor and assigns. This drawing is not valid unless the original signature and stamp are attached. Any reproduction or variance to this survey by electronic or any other means are not to be considered issued by the professional surveyor.
  - Property is currently zoned CMU as per City of Hendersonville.
  - Property is not located in a Water Supply Watershed.
  - Property is not located within 1/2 mile of a designated Farmland Preservation District.
  - Property is located in Zone X, Minimal Flood Risk as per FRIS Map Panel 956B, Map # 3700956800J effective date 10-02-2008.
  - Contour Lines are at 1' intervals.

- Legend:**
- ECM = Existing Concrete Monument
  - EIP = Existing Iron Pipe
  - EIS = Existing Iron Stake
  - IPS = Iron Pipe Set
  - UM = Unmarked Point, Unless Otherwise Noted
  - ROW/MON = Right of Way Monument
  - ROW = Right of Way
  - RRS = Railroad Spike
  - TBM = Temporary Benchmark
  - P/P = Power Pole
  - WM = Water Meter
  - WV = Water Valve
  - UPed = Utility Pedestal
  - CMP = Corrugated Metal Pipe
  - LP = Light Pole
  - F/H = Fire Hydrant
  - SSMH = Sanitary Sewer Manhole
  - STMH = Stormwater Manhole
  - CB = Catch Basin
  - D/I = Drop Inlet
  - TL Pole = Traffic Light Pole
  - T/S Box = Traffic Signal Box
  - = Fence

Global Positioning System Certification (RTK)  
 The Positional Accuracy Of The RTK Derived Positional Information Is 0.03' Horizontal & 0.03' Vertical  
 Horizontal Positions Are Referenced to NAD 83 (NRS 2011)  
 Vertical Positions Are Referenced to NAVD 83 (Geoid 12)  
 Combined Factor 0.99977581 (Ground To Grid)  
 Equipment Used: Carlson GPS-BRXG



# Survey - by Associated Land Surveyors

**Other Consultants:**  
 Engineer - WGLA Engineering  
 Surveyor - Associated Land Surveying

**Owner / Developer:**  
 Dignity Funeral Services, Inc.

**Project:**  
 New Parking Area for Dignity Funeral Services, Inc.  
 125 S. Church Street  
 Hendersonville Township, Henderson County, NC

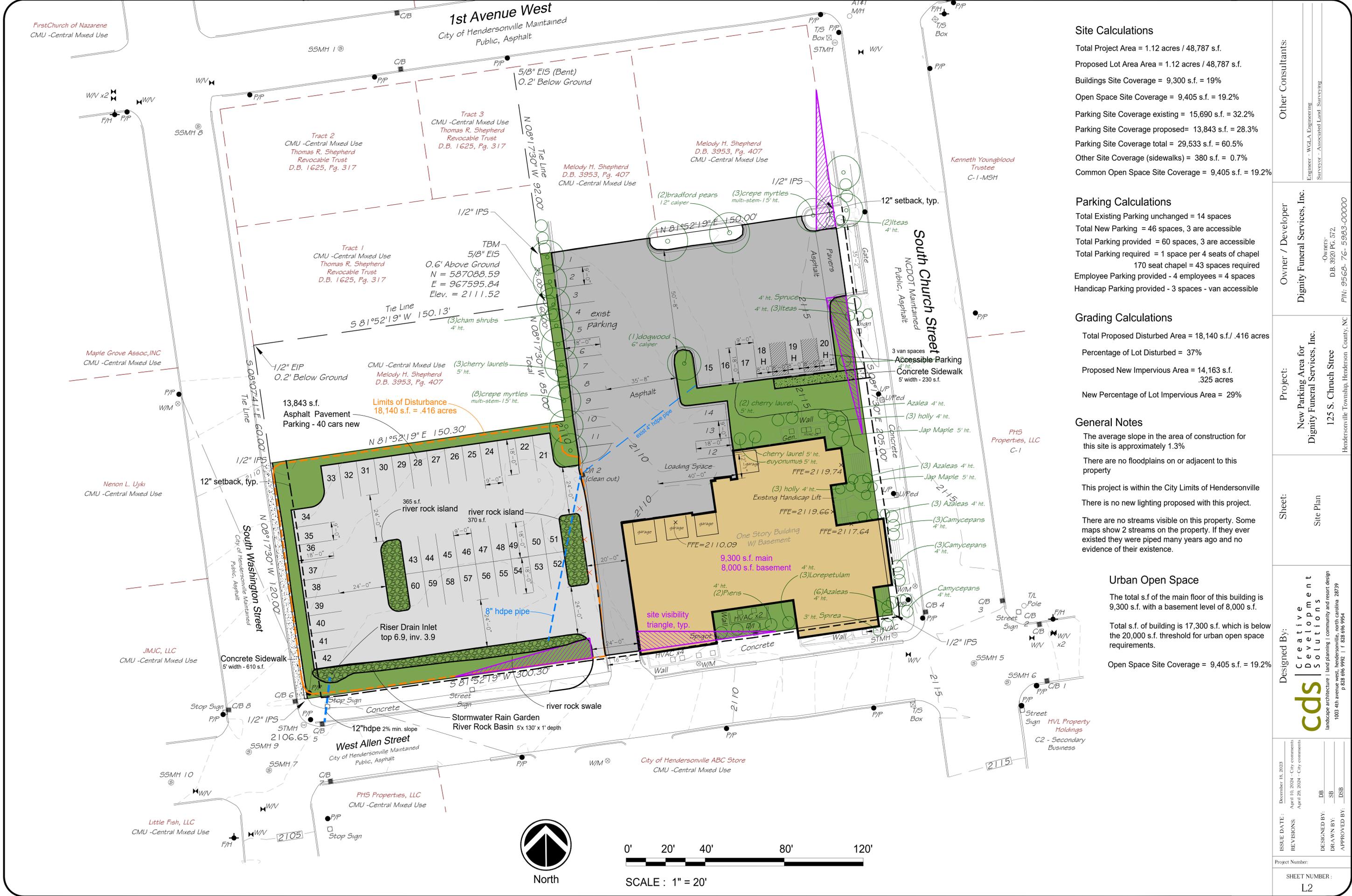
**Sheet:**  
 Survey

**Designed By:**  
 CDS Creative Development Solutions  
 landscape architecture | land planning | community and resort design  
 1003 4th Avenue West, Hendersonville, North Carolina 28739  
 p 828 696 9992 | f 828 696 9924

**ISSUE DATE:** December 18, 2023  
**REVISIONS:** April 10, 2024 - City comments  
 April 25, 2024 - City comments

**DESIGNED BY:** DB  
**DRAWN BY:** SB  
**APPROVED BY:** DSB

Project Number:  
 SHEET NUMBER:  
 LI



**Site Calculations**

Total Project Area = 1.12 acres / 48,787 s.f.  
 Proposed Lot Area Area = 1.12 acres / 48,787 s.f.  
 Buildings Site Coverage = 9,300 s.f. = 19%  
 Open Space Site Coverage = 9,405 s.f. = 19.2%  
 Parking Site Coverage existing = 15,690 s.f. = 32.2%  
 Parking Site Coverage proposed = 13,843 s.f. = 28.3%  
 Parking Site Coverage total = 29,533 s.f. = 60.5%  
 Other Site Coverage (sidewalks) = 380 s.f. = 0.7%  
 Common Open Space Site Coverage = 9,405 s.f. = 19.2%

**Parking Calculations**

Total Existing Parking unchanged = 14 spaces  
 Total New Parking = 46 spaces, 3 are accessible  
 Total Parking provided = 60 spaces, 3 are accessible  
 Total Parking required = 1 space per 4 seats of chapel  
 170 seat chapel = 43 spaces required  
 Employee Parking provided - 4 employees = 4 spaces  
 Handicap Parking provided - 3 spaces - van accessible

**Grading Calculations**

Total Proposed Disturbed Area = 18,140 s.f. / .416 acres  
 Percentage of Lot Disturbed = 37%  
 Proposed New Impervious Area = 14,163 s.f.  
 .325 acres  
 New Percentage of Lot Impervious Area = 29%

**General Notes**

The average slope in the area of construction for this site is approximately 1.3%  
 There are no floodplains on or adjacent to this property  
 This project is within the City Limits of Hendersonville  
 There is no new lighting proposed with this project.  
 There are no streams visible on this property. Some maps show 2 streams on the property. If they ever existed they were piped many years ago and no evidence of their existence.

**Urban Open Space**

The total s.f. of the main floor of this building is 9,300 s.f. with a basement level of 8,000 s.f.  
 Total s.f. of building is 17,300 s.f. which is below the 20,000 s.f. threshold for urban open space requirements.  
 Open Space Site Coverage = 9,405 s.f. = 19.2%

Other Consultants:

Owner / Developer  
 Dignity Funeral Services, Inc.

Project:  
 New Parking Area for  
 Dignity Funeral Services, Inc.

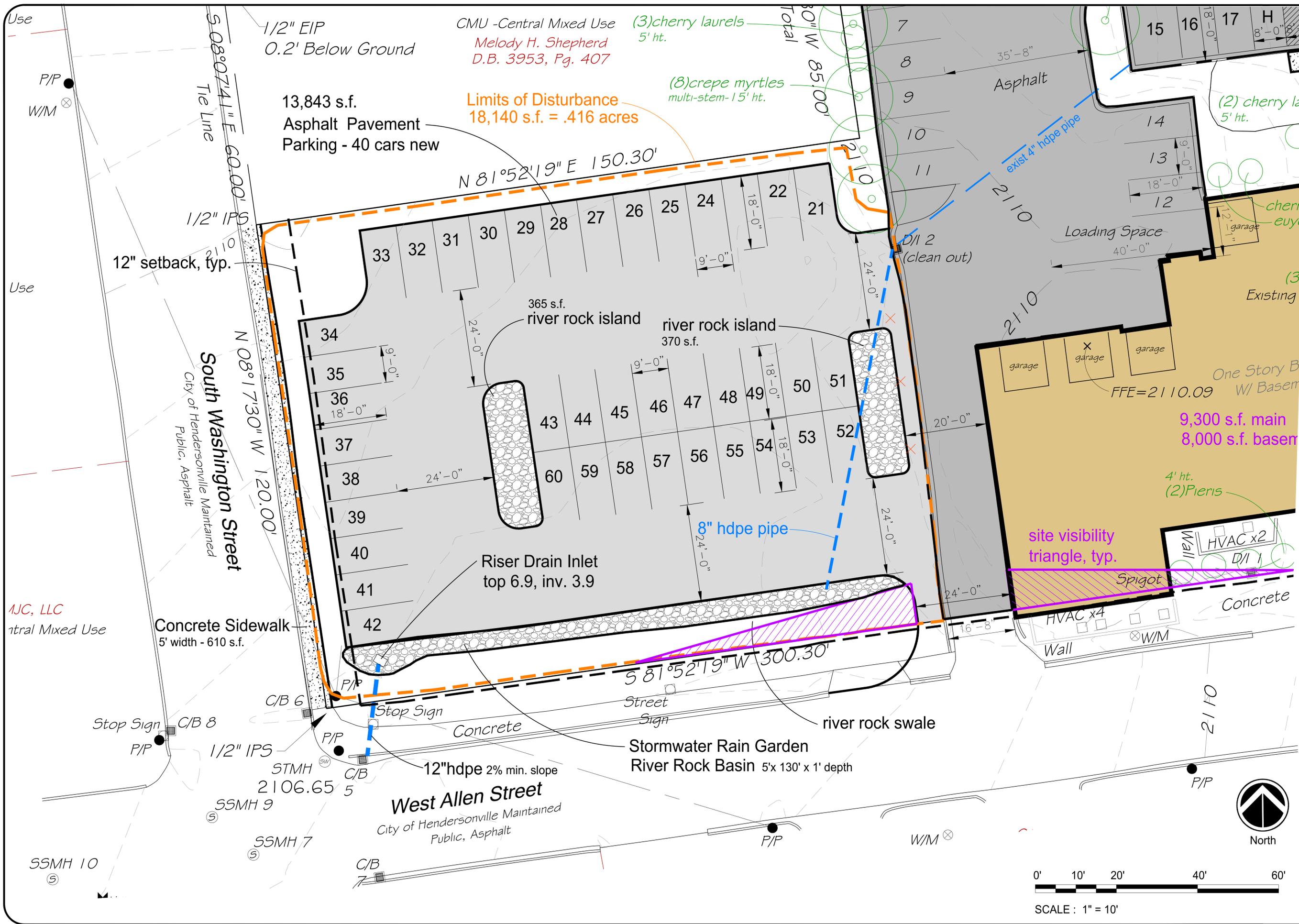
Sheet:  
 Site Plan

Designed By:

**cds**  
 Creative Development Solutions  
 landscape architecture | land planning | community and resort design  
 1003 4th avenue west, Hendersonville, north carolina 28739  
 p 828 694 9992 | f 828 694 9924

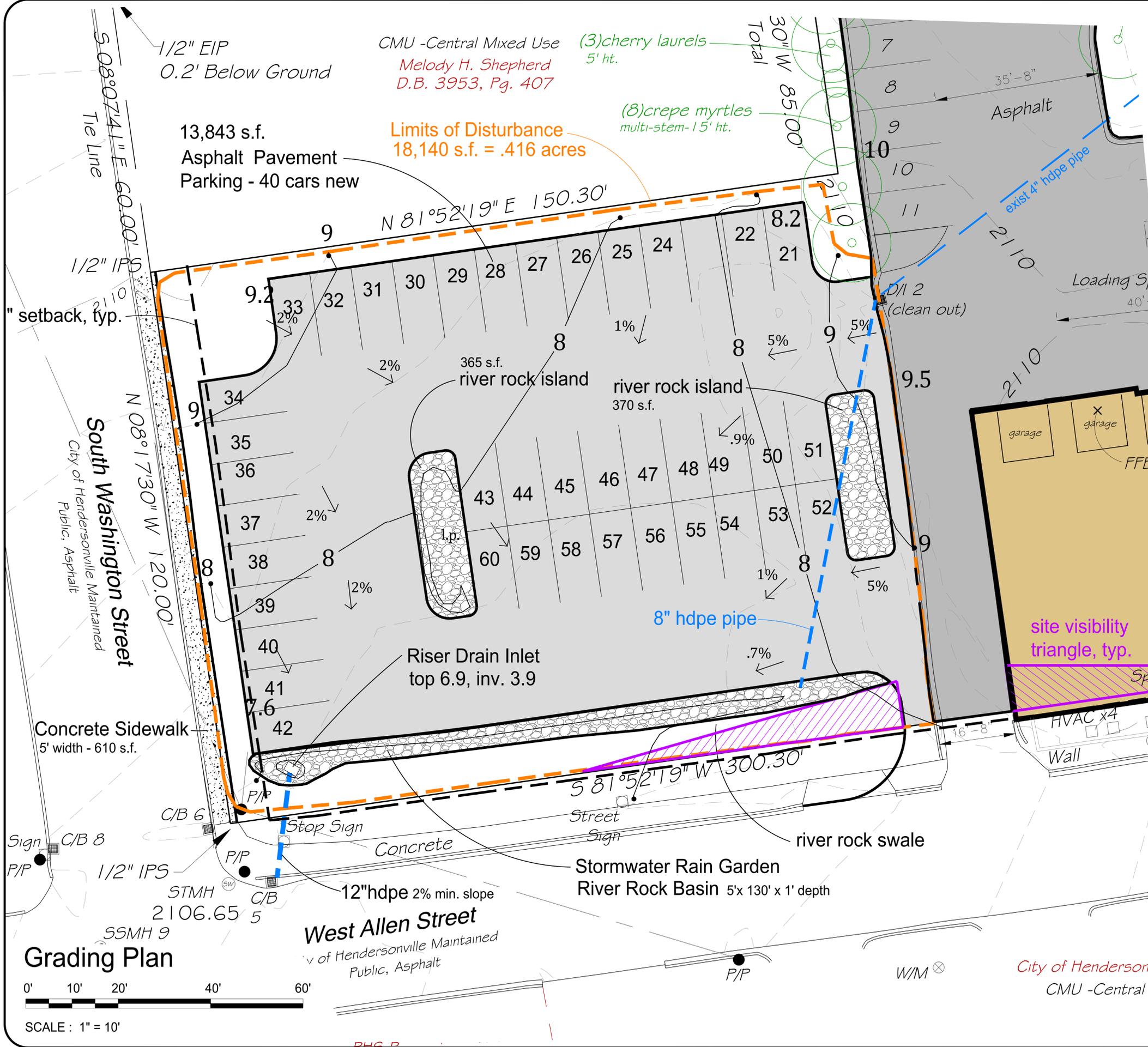
|              |  |
|--------------|--|
| ISSUE DATE:  | December 18, 2023  |
| REVISIONS:   | April 10, 2024 - City comments<br>April 26, 2024 - City comments |
| DESIGNED BY: | DB   |
| DRAWN BY:    | SB   |
| APPROVED BY: | DSB  |

Project Number:  
 SHEET NUMBER:  
 L2



|                    |  |
|--------------------|--|
| Other Consultants: | Engineer - WGLA Engineering<br>Surveyor - Associated Land Surveying  |
| Owner / Developer  | Dignity Funeral Services, Inc.<br>-Owners-<br>D.B. 3920 PG. 572.<br>PIN: 9568- 76- 5983-00000  |
| Project:           | New Parking Area for<br>Dignity Funeral Services, Inc.<br>125 S. Chruuch Street<br>Hendersonville Township, Henderson County, NC   |
| Sheet:             | Site Plan  |
| Designed By:       | <b>cds</b> Creative Development Solutions<br>landscape architecture   land planning   community and resort design<br>1003 4th avenue west, Hendersonville, north carolina 28739<br>p 828 696 9924   f 828 696 9924 |
| ISSUE DATE:        | December 18, 2023  |
| REVISIONS:         | April 10, 2024 - City comments<br>April 29, 2024 - City comments   |
| DESIGNED BY:       | DB   |
| DRAWN BY:          | SB   |
| APPROVED BY:       | DSB  |
| Project Number:    |  |
| SHEET NUMBER:      | L2.1   |





**GENERAL PLAN NOTES**

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING NORTH CAROLINA 811 AT 1-800-632-4949 THREE (3) DAYS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
3. ALL WORKMANSHIP WILL CONFORM TO ALL CODES AND STANDARDS.
4. THE CONTRACTOR SHALL VERIFY INVERT ELEVATIONS FOR EXISTING/PROPOSED PIPES AND EXISTING ROADWAY ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. SILT BARRIERS/FENCES MUST BE IN PLACE PRIOR TO BEGINNING GRUBBING/CLEARING. NO GRADING MAY BEGIN UNTIL SILT BARRIER INSTALLATION IS COMPLETE.
6. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD LAYOUT OF PROPOSED IMPROVEMENTS.
7. CONTRACTOR WILL ADHERE TO THE WEIGHT LIMITS PRESCRIBED ON COUNTY AND STATE MAINTAINED ROADS FOR HAULING EQUIPMENT AND/OR MATERIALS TO AND FROM THIS SITE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO THE STREETS OR UTILITIES DUE TO NON-COMPLIANCE OF WEIGHT LIMITS.
8. THE CONTRACTOR IS RESPONSIBLE TO REMOVE OR CLEAN-OUT ANY SILT, DIRT, OR MUD, OR ANY OTHER TYPE OF DEBRIS THAT COMES OFF THIS SITE AND IS DEPOSITED OFF PROPERTY. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY OF THE ITEMS MENTIONED THAT ARE DEPOSITED ONTO PRIVATE OR COUNTY OWNED PROPERTY, INCLUDING RIGHT-OF-WAY AREA AND ROADWAYS.
9. BACKFILL TRENCHES IN AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698 (STD. PROCTOR).
10. EARTHWORK GRADES AND SLOPES AS SHOWN ARE APPROXIMATE. ADJUST DRIVEWAY LOCATION AND ELEVATIONS AS REQUIRED TO FIELD CONDITIONS. PROOF ROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST ALL AREAS AS REQUIRED BY OWNER. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED DUE TO POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE.
11. THE GRADING CONTRACTOR SHALL PROOF ROLL THE DRIVEWAY AREA WITH A SHEEPS FOOT ROLLER. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTIVE EFFORT OR UNDERCUT AND BACK FILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
12. ALL NEW ELEVATIONS SHOWN ARE APPROXIMATE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT FOR THE SUBGRADE.
13. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
14. GRAVEL TO BE INSTALLED IN DRIVEWAY AREA AS SOON AS POSSIBLE AND ADDED TO AS REQUIRED TO CONTROL MUD.
15. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
16. CONTOUR INTERVALS 2' - SEE PLANS
17. ALL EROSION CONTROL MEASURES SHOWN AND STATED ON THIS PLAN ARE TO BE IMPLEMENTED THROUGH COMPLETION.
18. STANDING GRASS OR MULCH OR FABRIC MUST BE PROVIDED FOR ALL DISTURBED AREAS BEFORE FINAL APPROVAL.

**GROUND STABILIZATION**

| SITE AREA DESCRIPTION                        | STABILIZATION TIME FRAME | STABILIZATION TIME FRAME EXCEPTIONS   |
|--|--------------------------|---|
| PERIMETER DIKES, SWALES, DITCHES AND SLOPES  | 7 DAYS                   | NONE  |
| HIGH QUALITY WATER ZONES                     | 7 DAYS                   | NONE  |
| SLOPES STEEPER THAN 3:1                      | 7 DAYS                   | IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED |
| SLOPES 3:1 OR FLATTER                        | 14 DAYS                  | 7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH                                      |
| ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS                  | NONE (EXCEPT FOR PERIMITERS AND HOW ZONES)  |

STABILIZATION = pavement, buildings, mulch, or wheat straw and grass seeding, or fabric and rip rap to cover all dirt and disturbed areas

**Other Consultants:**

Engineer - WGLA Engineering  
Surveyor - Associated Land Surveying

**Owner / Developer:**  
Dignity Funeral Services, Inc.  
-Owners-  
D.B. 3920 PC, 572.  
PIN: 9568-76-5983-00000

**Project:**  
New Parking Area for  
Dignity Funeral Services, Inc.  
125 S. Chruuch Street  
Hendersonville Township, Henderson County, NC

**Sheet:**  
Grading Plan

**Designed By:**  
Creative Development Solutions  
landscape architecture | land planning | community and resort design  
1003 4th avenue west, Hendersonville, north carolina 28739  
p 828 696 9924 | f 828 696 9924

**ISSUE DATE:** December 18, 2023  
**REVISIONS:** April 10, 2024 - City comments  
April 29, 2024 - City comments

**DESIGNED BY:** DB  
**DRAWN BY:** SB  
**APPROVED BY:** DSB

Project Number:  
SHEET NUMBER:  
**L3**



### Landscape Calculations

Parking interior - 50% of trees and shrubs required in islands required - 1 large tree and 2 shrubs per 4,000 s.f

Existing Parking Area = 15,690 s.f. = 4 trees required + 8 shrubs  
Existing Credits used = 4 trees (6" cal)

New Parking Area = 13,843 s.f. = 4 trees required + 7 shrubs

Plant Strip - required - 1 tree and 5 shrubs per 40 l.f

New Parking North plant strip = 150 l.f. = 4 trees required + 19 shrubs

Existing Parking west plant strip = 90 l.f. = 3 trees required + 12 shrubs  
Existing Credits used = 3 tree credits + 6 shrubs

Buffer from Street - required - 1 shrub per 5'

New Parking - S. Washington Street = 120 l.f = 24 shrubs

New Parking - West Allen Street = 155 l.f = 31 shrubs required

Existing Parking - South Church Street = 45 l.f = 9 shrubs required  
Existing Credits used = 7 shrubs

CMU Street Trees- required - 1 large tree per 35' or 1 small tree per 25'

S. Washington Street = 120 l.f = 4 large or 5 small trees

West Allen Street = 300 l.f = 9 large or 12 small trees

South Church Street = 205 l.f = 6 large or 9 small trees  
Existing Credits used = 5 small trees

Urban Open Space - Exempt due to building size under 20,000 s.f.

Common Open Space Required 10% - Provided = 9,405 s.f. = 19.2%

Total Trees - required (2" caliper) = 15 trees - 7 tree credits used = 8 trees

(3-1/2" caliper) = 19 trees - 5 small Tree Credits used = 14 trees

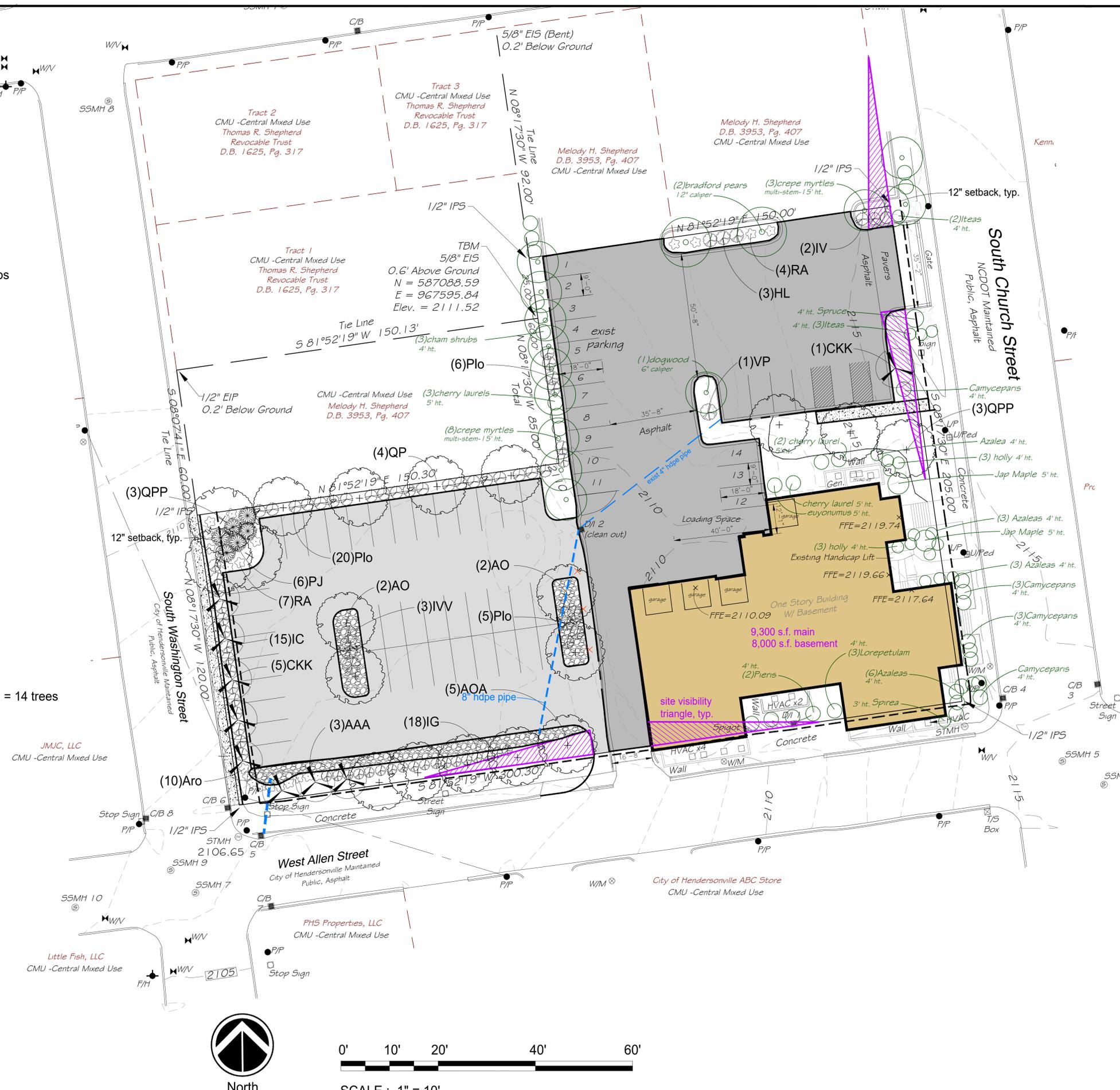
Total Trees - provided - 27 trees - 19 large and 8 small

Total Shrubs - required - 110 shrubs

Total Shrubs - provided - 100 shrubs

Total Tree Credits - Used = 12 trees

Total Shrub Credits - Used = 13 shrubs



|                    |   |
|--------------------|---|
| Other Consultants: | Engineer - WGLA Engineering<br>Surveyor - Associated Land Surveying   |
| Owner / Developer  | Dignity Funeral Services, Inc.<br>-Owners-<br>D.B. 3920 PG. 572.<br>PIN: 9568- 76- 5983-0000  |
| Project:           | New Parking Area for<br>Dignity Funeral Services, Inc.<br>125 S. Church Street<br>Hendersonville Township, Henderson County, NC   |
| Sheet:             | Landscape Plan  |
| Designed By:       | <b>cds</b><br>Creative Development Solutions<br>landscape architecture   land planning   community and resort design<br>1003 4th avenue west, Hendersonville, north carolina 28739<br>p 828 696 9992   f 828 696 9924 |
| ISSUE DATE:        | December 18, 2023   |
| REVISIONS:         | April 10, 2024 - City comments<br>April 29, 2024 - City comments  |
| DESIGNED BY:       | DB  |
| DRAWN BY:          | SB  |
| APPROVED BY:       | DSB   |
| Project Number:    |   |
| SHEET NUMBER:      | L3  |

## Project Plant List

Trees - 27 Total

| Key | Qty | Botanical Name                   | Common Name                    | Size                       | Remarks                     |
|-----|-----|----------------------------------|--------------------------------|----------------------------|-----------------------------|
| AO  | 4   | Acer 'October Glory'             | October Glory Maple            | 2" Caliper, 10' Height     | B&B, Single Straight Leader |
| AOA | 5   | Acer 'October Glory'             | October Glory Maple            | 3-1/2" Caliper, 15' Height | B&B, Single Straight Leader |
| AAA | 3   | Amelchachier 'Autumn Brilliance' | Autumn Brilliance Serviceberry | 3-1/2" Caliper, 12' Height | B&B, Single Straight Leader |
| CKK | 5   | Cornus kousa 'Milky Way'         | Milky Way Kousa Dogwood        | 3-1/2" Caliper, 12' Height | B&B, Single Straight Leader |
| QP  | 4   | Quercus phellos                  | Willow Oak                     | 2" Caliper, 10' Height     | B&B, Single Straight Leader |
| QPP | 6   | Quercus phellos                  | Willow Oak                     | 3-1/2" Caliper, 12' Height | B&B, Single Straight Leader |

Evergreen Shrubs - 81 Total

| Key | Qty | Botanical Name                    | Common Name               | Size                 | Remarks    |
|-----|-----|-----------------------------------|---------------------------|----------------------|------------|
| IC  | 15  | Ilex crenata 'convexa'            | Compact Japanese Holly    | 3 gallon, 18" Height | Full Plant |
| IG  | 18  | Ilex glabra 'Shamrock'            | Shamrock Holly            | 3 gallon, 18" Height | Full Plant |
| PLO | 31  | Prunus laurocerasus 'Otto Luyken' | Otto Luyken Cherry Laurel | 3 gallon, 18" Height | Full Plant |
| PJ  | 6   | Pieris japonica 'Mt. Fire'        | Mt. Fire Pieris           | 3 gallon, 18" Height | Full Plant |
| RA  | 11  | Rhododendron 'Autumn Amethyst'    | 'Autumn Amethyst Azalea   | 3 gallon, 18" Height | Full Plant |

Deciduous Shrubs - 19 Total

| Key | Qty | Botanical Name                  | Common Name                | Size                 | Remarks    |
|-----|-----|---------------------------------|----------------------------|----------------------|------------|
| Aro | 10  | Aronia 'Brilliantissima'        | Brilliantissima Chokeberry | 3 gallon, 18" Height | Full Plant |
| IVV | 2   | Ilex verticillata 'Red Sprite'  | Red Sprite Holly           | 3 gallon, 18" Height | Full Plant |
| IVV | 1   | Ilex verticillata 'Jim Dandy'   | Jim Dandy Holly            | 3 gallon, 18" Height | Full Plant |
| IV  | 2   | Itea virginica 'Henry's Garnet' | Henry's Garnet Itea        | 3 gallon, 18" Height | Full Plant |
| HL  | 3   | Hydrangea 'Limelight'           | Limelight Hydrangea        | 3 gallon, 18" Height | Full Plant |
| VP  | 1   | Viburnum plicatum 'Shasta'      | Shasta Viburnum            | 5 gallon, 24" Height | Full Plant |

### Landscape Notes

- ALL AREAS SHOWN AS LARGE TREES, SMALL FLOWERING TREES, AND SHRUB AND PERENNIAL LANDSCAPING ON THE LANDSCAPE PLAN IS TO BE MULCHED AND SHALL RECEIVE A 3" DEPTH OF SHREDDED PINE BARK MULCH.
- CONTRACTOR SHALL VERIFY QUANTITIES ON THE PLAN AND IS RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. PROVIDE UNIT PRICES FOR ALL PLANT AND TREE MATERIALS.
- CONTRACTOR SHALL GUARANTEE ALL PLANTINGS FOR ONE YEAR FROM COMPLETION OF WORK. REPLACEMENT PLANTS AND LABOR SHALL BE PROVIDED AT CONTRACTORS' EXPENSE.
- PRUNE ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT REMOVE THE CENTRAL LEADER OF ANY TREE OR PLANT. PLANTS SHALL NOT HAVE A SHEARED APPEARANCE AND MUST MEET MINIMUM SIZES AS INDICATED ON THE PLANT LIST.
- ALL PLANT MATERIAL IS TO CONFORM TO THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. SEE PLANT LIST FOR SPECIFICATIONS AND SIZES. (NOTE: SIZE TO BE 'DBH' MEASURED 6" ABOVE GROUND)
- LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, ESPECIALLY DUE TO UNDERSIZED OR DAMAGED MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF ALL UTILITIES. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S COST.
- ALL DEMOLISHED MATERIALS AND TRASH ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- ALL PLANTINGS HOLES AND BEDS ARE TO BE CLEANED OF ROCKS AND DEBRIS >1". EACH PLANT OR TREE IS TO BE HOLE AMENDED AND THE EXISTING NATIVE SOIL IS TO BE AMENDED WITH 25% OF NATURES HELPER AND 25% OF ORGANIC COMPOST (OR APPROVED EQUAL), THEN THOROUGHLY MIXED TOGETHER TO CREATE A PLANTING SOIL MIX.
- ALL EXISTING AND PROPOSED TREES NOT CONTAINED WITHIN A MULCHED BED ARE TO RECEIVE A 3" DEPTH OF A 4' DIAMETER CIRCLE OF ABOVE SPECIFIED MULCH AROUND EACH TREE. EXCEPT WHERE TREES OCCUR IN SWALES, DITCHES, OR DRAINAGE PATTERNS, THEN ONLY USE 1' DIAMETER CIRCLES.
- REPORT ANY POORLY DRAINED SOILS OR ANY DRAINAGE PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO REPORT SUCH CONDITIONS WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR CORRECTING THE PROBLEM AND REPLACING DAMAGED OR LOST PLANTS. PROPER PLANT DRAINAGE IS DEFINED BY FLOODING PLANTING HOLE TO SURROUNDING SOIL LEVEL WITH WATER AND COMPLETE PERCOLATION OF THE WATER WITHIN THE HOLE IN A 24 HOUR PERIOD.
- LANDSCAPE ARCHITECT OR OWNER TO FIELD APPROVE THE PLACEMENT OF ALL PLANT MATERIALS.
- FINE GRADE ALL PLANTING AREAS TO INSURE PROPER DRAINAGE. AREAS TO BE SEEDED ARE TO BE FREE OF DEBRIS AND ROCKS >1" PRIOR TO LAYING SOD OR APPLYING SEED.
- PRIOR TO INSTALLATION, CONTRACTOR SHALL REVIEW PLANT AND LIGHT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER TO ELIMINATE CONFLICTS.
- PROVIDE LABOR, EQUIPMENT, MATERIALS, AND SERVICE NECESSARY TO COMPLETE THE LANDSCAPE WORK.
- INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
- MAINTAIN ALL PLANT MATERIALS UNTIL FINAL ACCEPTANCE OR SUBSTANTIAL COMPLETION OF WORK. MAINTENANCE TO INCLUDE: WATERING, MULCHING, WEEDING, SPRAYING, MOWING, STRAIGHTENING, FERTILIZING, CLEANUP, ECT.



AO - October Glory Maple



QP - Willow Oak



CK - Kousa Dogwood



AAA - Autumn Brilliance Serviceberry



PLO - Otto Luyken Cherry Laurel



IC - Compact Japanese Holly



IG - Shamrock Holly



RA - Autumn Amethyst Azalea



Aro - Brilliantissima Chokeberry



IVV - Red Sprite Holly  
IVV - Jim Dandy Holly



IV - Henry's Garnet Itea



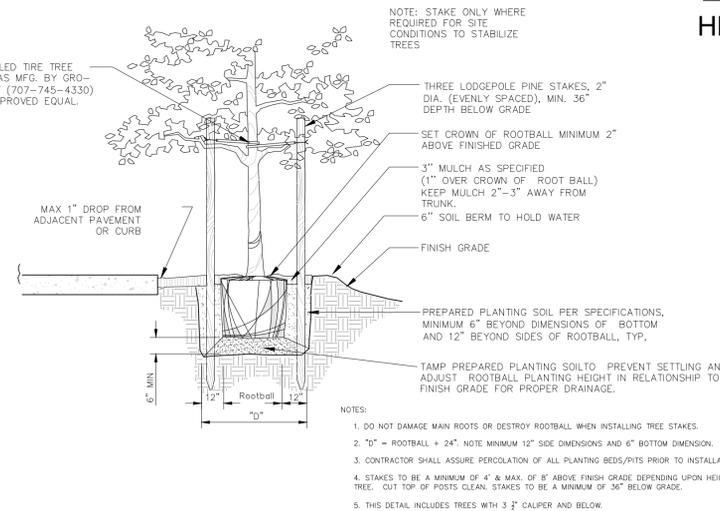
HL - Limelight Hydrangea



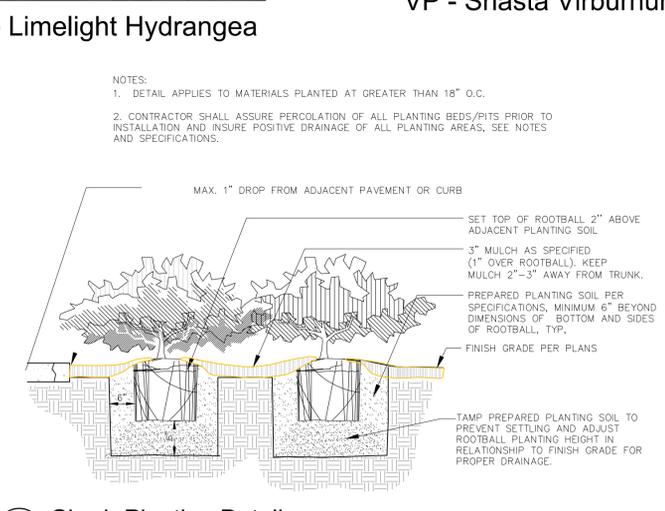
PJ - Mt. Fire Pieris



VP - Shasta Viburnum



2 Tree Planting Detail  
Scale: NTS



1 Shrub Planting Detail  
Scale: NTS

Other Consultants:

Engineer - WGLA Engineering  
Surveyor - Associated Land Surveying

Owner / Developer  
Dignity Funeral Services, Inc.

-Owners-  
D.B. 3920 PG. 572.  
PIN: 9568-76-59883-00000

Project:  
New Parking Area for  
Dignity Funeral Services, Inc.  
125 S. Chruuch Stree  
Hendersonville Township, Henderson County, NC

Sheet:  
Landscape Specifications

Designed By:  
Creative Development Solutions  
landscape architecture | land planning | community and resort design  
1003 4th avenue west, Hendersonville, north carolina 28739  
p 828 696 9924 | f 828 696 9924

ISSUE DATE: December 18, 2023  
REVISIONS: April 10, 2024 - City comments  
April 29, 2024 - City comments  
DESIGNED BY: DB  
DRAWN BY: SB  
APPROVED BY: DSB

Project Number:

SHEET NUMBER:  
L5