

OWNER

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HVL PROPERTIES

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(828)-696-4000

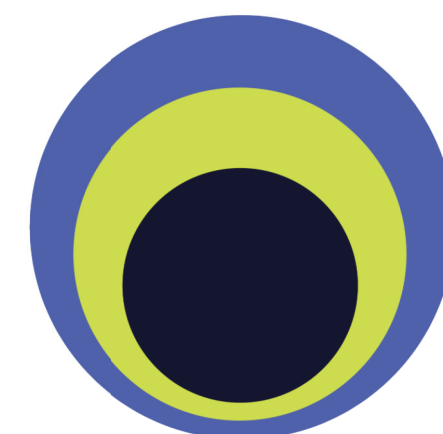
CONTRACTOR

J.C. PENNEY BLDG. RESTORATION & RENOVATION EXTERIOR FACADE AND GROUND FLOOR

344 N MAIN ST HENDERSONVILLE, NORTH CAROLINA 28792



1 STREET VIEW
C001



PEACOCK ARCHITECTS

PEACOCK ARCHITECTS



129 3rd Ave W, Hendersonville, NC
28792
Phone: 828.696.4000

project design team:

PEACOCK ARCHITECTS

owner:

HVL PROPERTY MGMT

project name:

Tamara Peacock, R.A.
License No. 12128

issued for:

date:

sheet name:

COVER SHEET

Revision	Revision Date	Issued For
A	4-24	Permit Comments

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date: 3/13/2025 11:06:22 AM

proj. no.: Checker

drawn by: JLR Prog Mngr.: JLR

revised by: TP Capt.: TP

sheet no.:

C001

BUILDING DATA

LEVEL OF ALTERATION: LEVEL 2

BUILDING CONSTRUCTION TYPE: TYPE III-B

BUILDING OCCUPANCY TYPE: MIXED USE

BUILDING SQUARE FOOTAGE: 10,600 SQ FT.

ADDRESS: 344 MAIN STREET

LEGAL DESCRIPTION:

PIN # :

SCOPE OF WORK

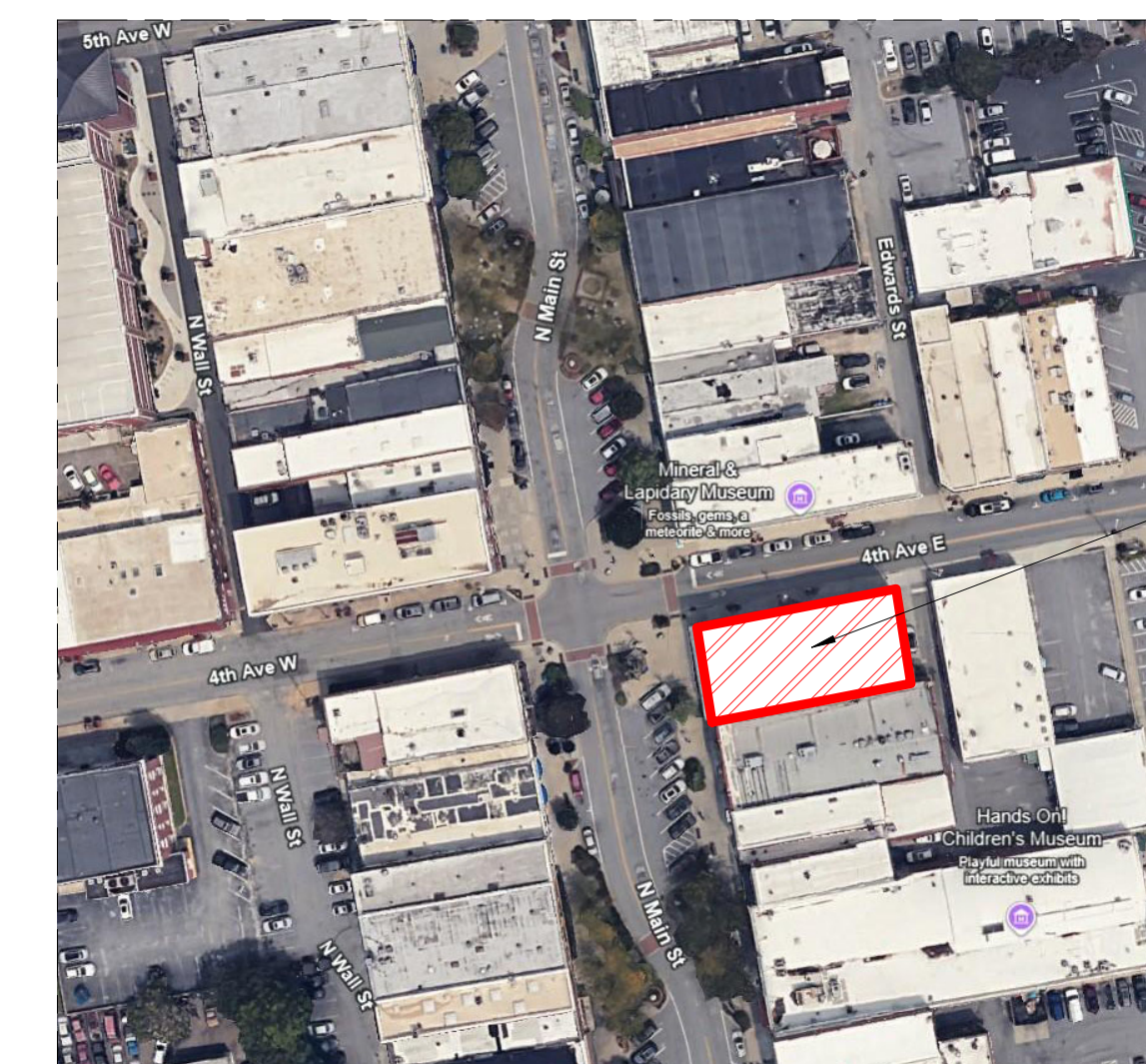
LEVEL OF ALTERATION: LEVEL 2

THIS PROJECT INCLUDES FACADE RESTORATION: REMOVAL OF DECORATIVE METAL SCREEN REPAIR AND REPOINTING OF BRICK, INSTALLATION ON NEW STOREFRONT AND ENTRY DOORS. THE INTERIOR REDESIGN INCLUDES a 2 HOUR DEMISING WALL TO CREATE TWO LEASABLE UNITS. THE INTERIOR UNITS EACH HAVE ADA ACCESSIBLE BATHROOMS AND NEW SECONDARY EXITS WHICH EXIT OUT THE REAR GROUND LEVEL.

APPLICABLE CODES

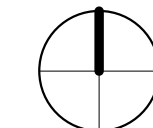
- 2023 NFPA 70 NATIONAL ELECTRIC CODE
- 2018 NC STATE ENERGY CODE
- 2018 NCSBC: EXISTING BUILDING CODE
- 2018 NCSBC: PLUMBING CODE
- 2018 NCSBC: MECHANICAL CODE
- 2018 NCSBC: ELECTRICAL CODE
- 2018 NCSBC: FIRE PREVENTION CODE
- 2018 NCSBC: BUILDING CODE

VICINITY MAP



PROJECT AREA

PROJECT NORTH



project design team:
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date:

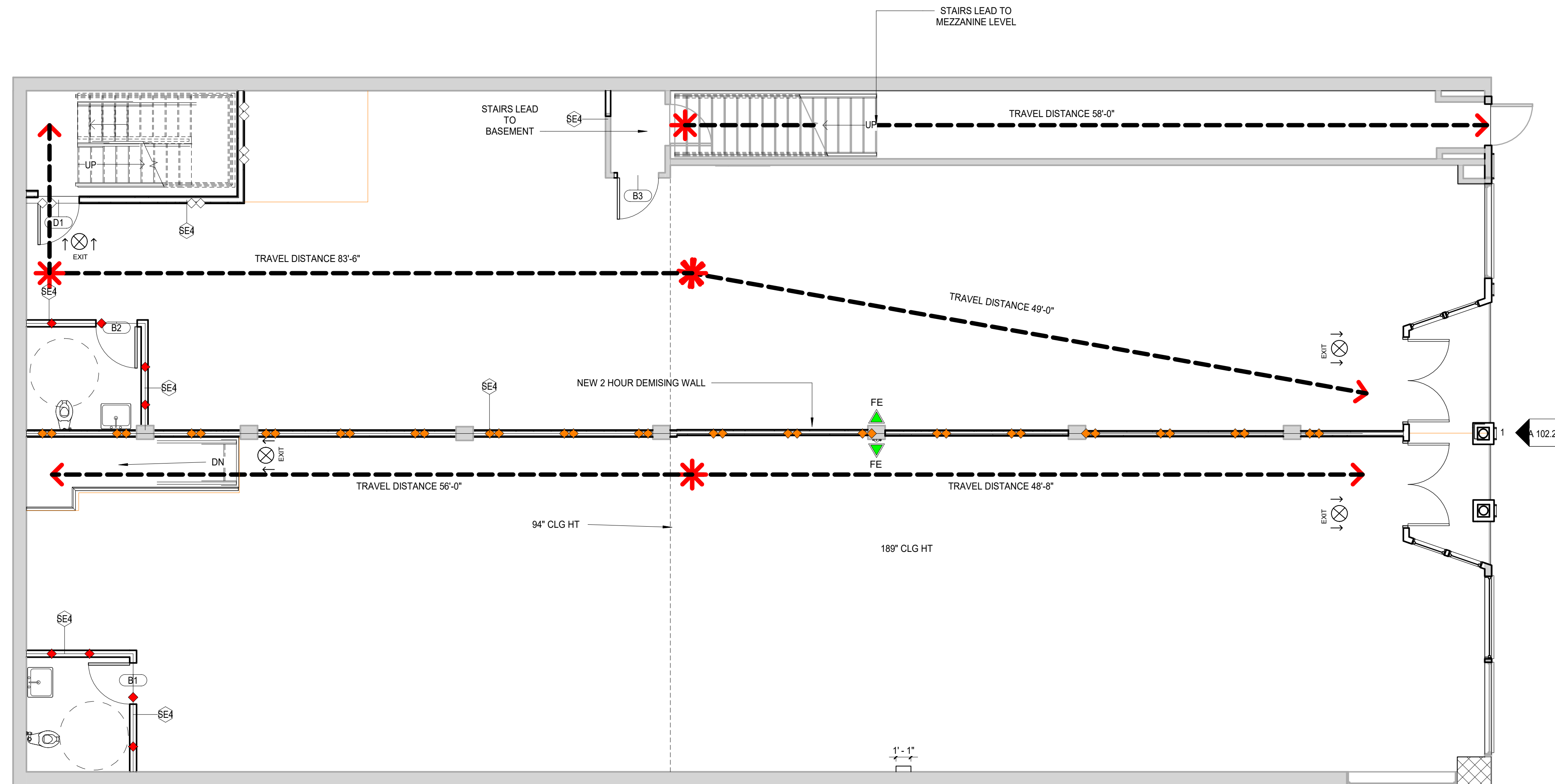
sheet name:
LIFE SAFETY PLAN

Revision	Revision Date	Issued For

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date: 3/13/2025 11:07:41 AM
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 drawn by: NPL
 revised by: TP
 Prog Mngr.:
 Capt.: TP

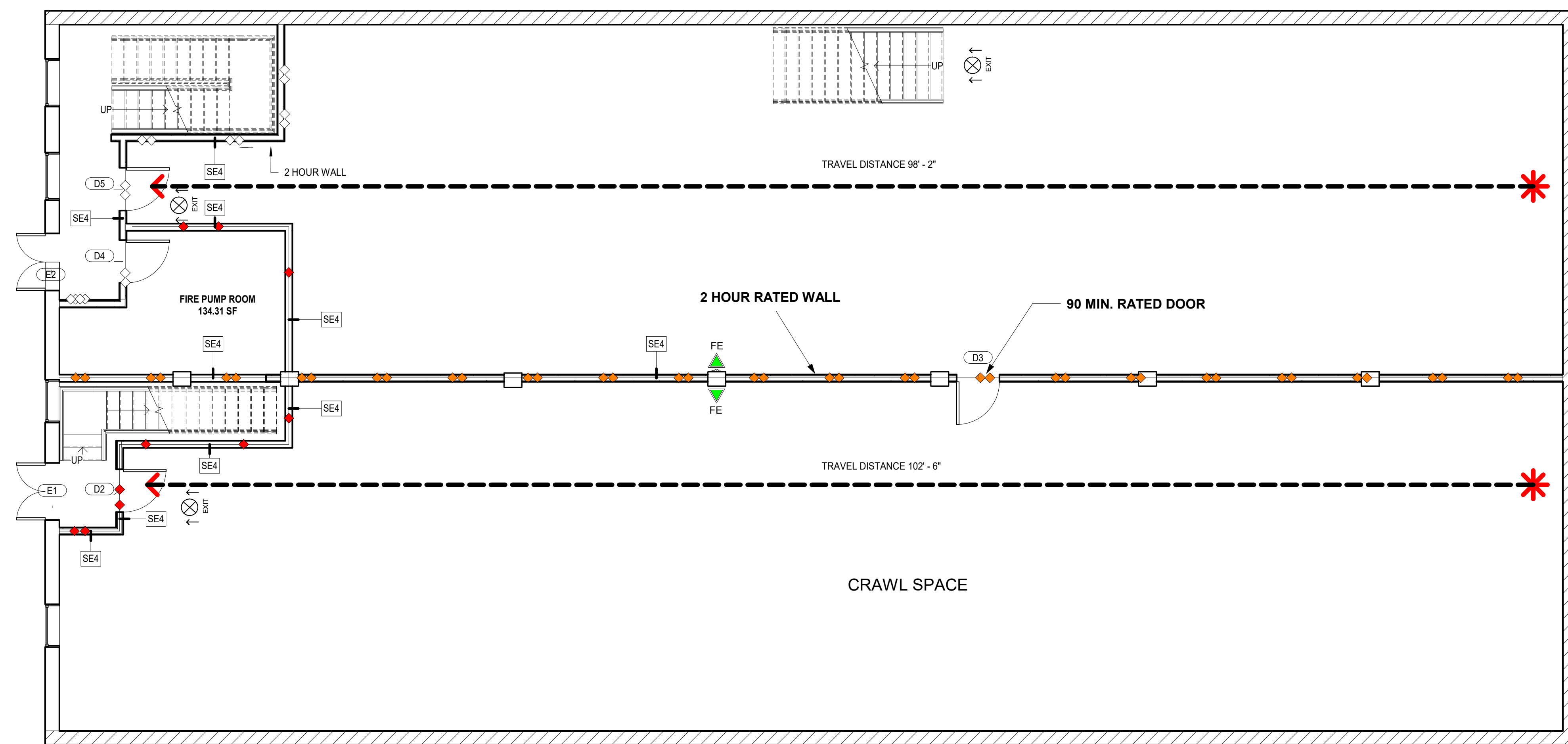
sheet no.:
C005



4 LIFE SAFETY PLAN-GROUND FLOOR

C005 3/16" = 1'-0"

1
 A 102.1



2 LIFE SAFETY PLAN-CRAWL SPACE LEVEL

C005 3/16" = 1'-0"

1
 A 102.1

- ◆ RATED - 1 HOUR - NEW
- ◆ RATED - 2 HOUR NEW
- ◆ RATED - 4 HOUR - NEW
- ★ EGRESS PATH OF TRAVEL
- DOOR EXIT OCCUPANT LOAD
- DOOR EXIT OCCUPANT CAPACITY
- DOOR CLEAR EXIT WIDTH (IN INCHES)
- FEC 2A RECESSED OR SEMI-RECESSED FIRE EXTINGUISHER CABINET
- CEILING MOUNTED EXIT SIGN (ARROWS WHEN INDICATED)
- WALL MOUNTED EXIT SIGN (ARROWS WHEN INDICATED)

FIRE RATING AND FIRE PROOFING NOTES:
 1. FIRE CAULK AROUND ALL ELECTRICAL CONDUIT PASSING THROUGH WALLS.
 2. CEILING TO BE 2 HOUR RATED AS WELL. USE SAME UL CONSTRUCTION AS WALL. RUN STEEL STUDS PERPENDICULAR TO EXISTING FLOOR JOISTS.

LIFE SAFETY LEGEND
 3/16" = 1'-0"



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**EXISTING/DEMO
GROUND
FLOOR PLAN**

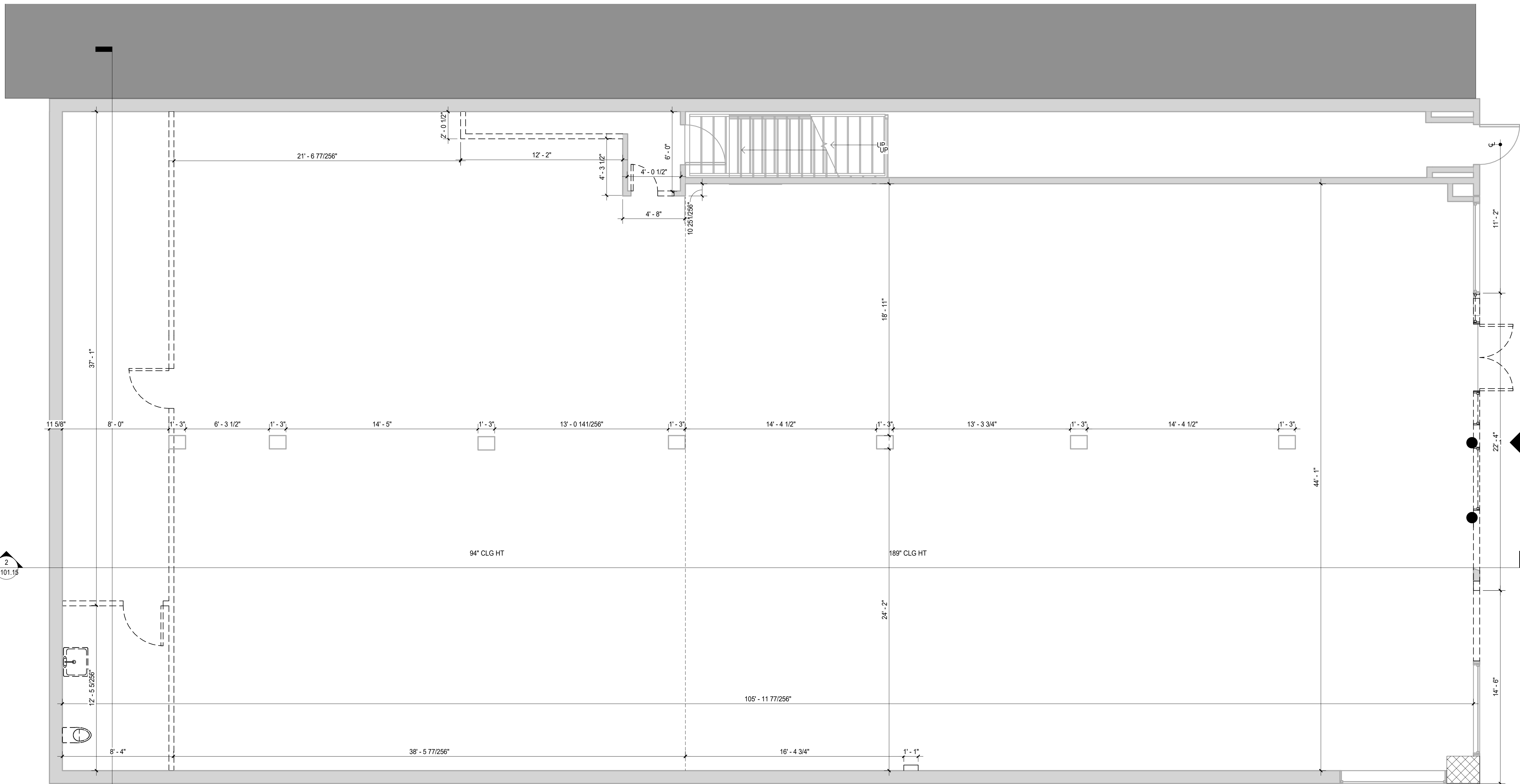
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date: 3/13/2025 11:06:39 AM
proj. no.:
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revised by: TP
Prog Mngr.:
Capt.: TP

sheet no.:

A 101.2



1 DEMO GROUND FLOOR

A 101.2 1/4" = 1'-0"

1

A 102.1



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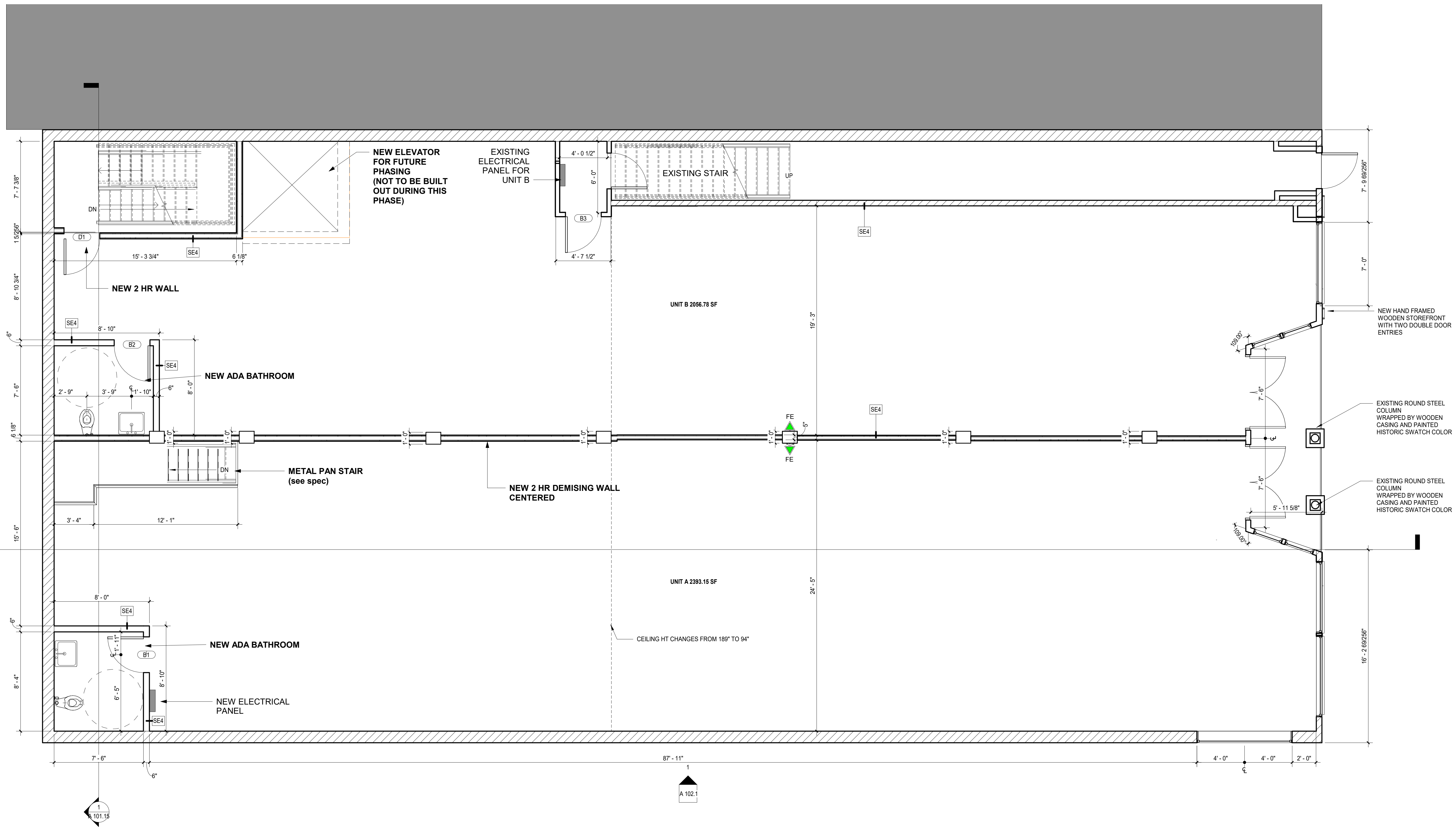
NEW GROUND FLOOR PLAN

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date: 3/13/2025 11:06:44 AM
proj. no.:
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drawn by: NPL
revised by: TP
Prog Mngr.:
Capt.: TP

sheet no.:
A 101.3



FIRST FLOOR PLAN - NEW

1/4" = 1'-0"

UNIT NAME	LEASABLE SQUARE FOOTAGE
UNIT A	2,458 SQ. FT
UNIT B	2,119 SQ. FT



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**EXISTING/DEMO
CRAWLSPACE
FLOOR PLAN**

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date: 3/13/2025 11:06:29 AM

proj. no.:

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drawn by: NR

revised by: TP

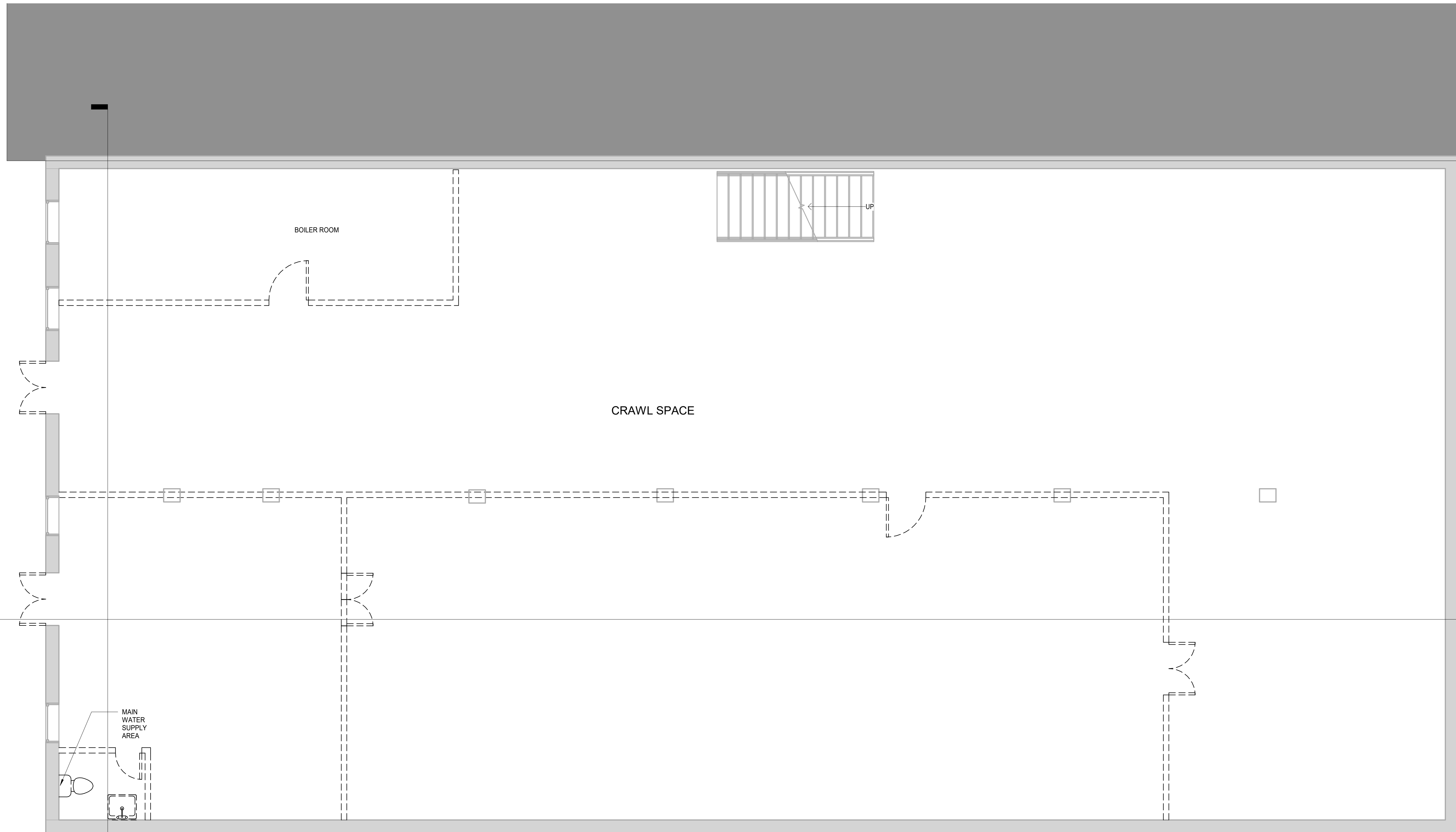
Proj Mngr.:

Capl.:

TP

sheet no.:

A 101.12



DEMO CRAWLSPACE LEVEL

1/4" = 1'-0"

1

A 101.12

1

A 101.15

1

A 102.1

A 102 3

2
A 101.15



project design team:

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NEW CRAWL SPACE LEVEL FLOOR PLAN

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date: 3/13/2025 11:06:34 AM

proj. no.:

Checker

drawn by: JH

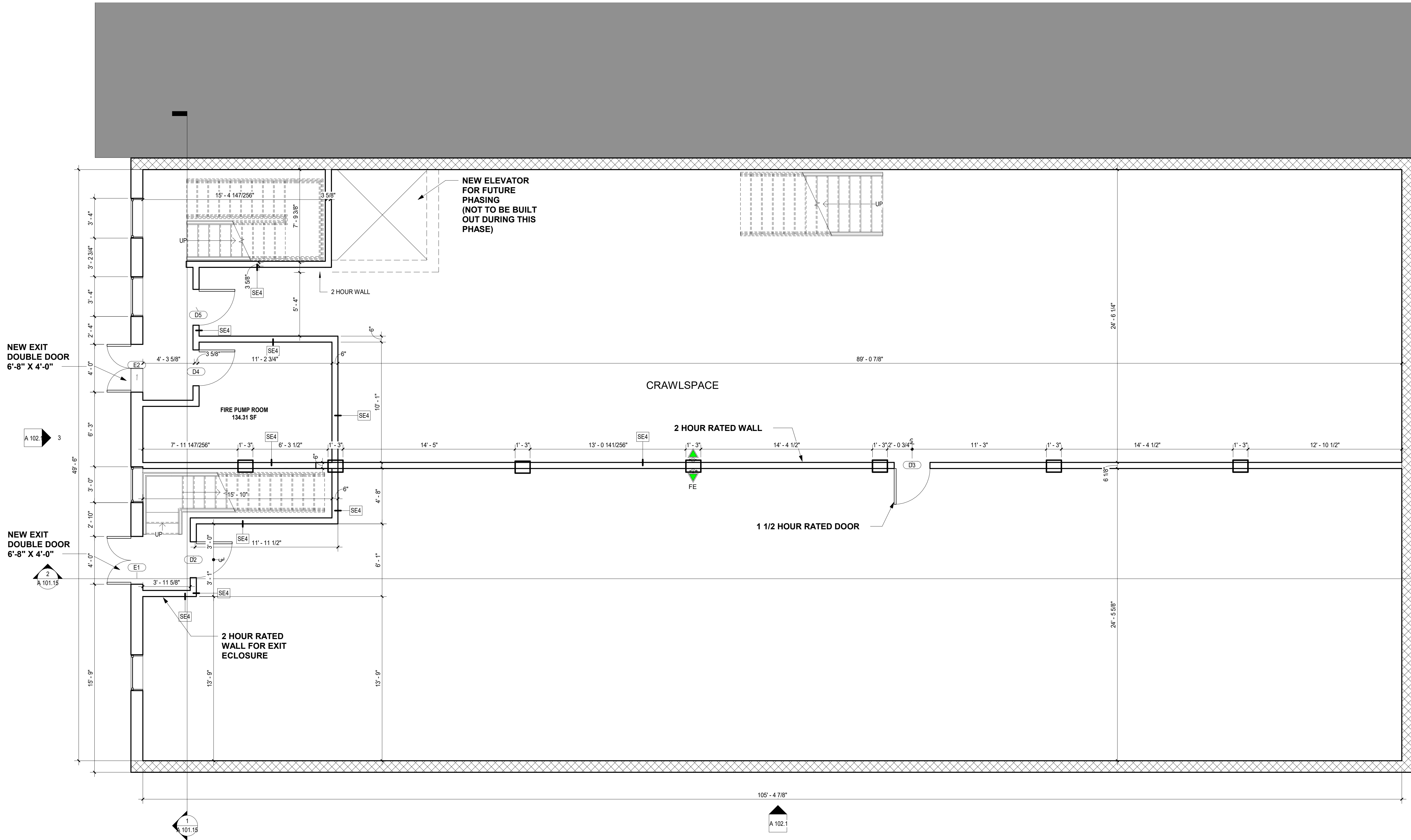
revised by: TP

Proj Mngr.: JH

Capl.: TP

sheet no.:

A 101.13



NEW CRAWL SPACE LEVEL

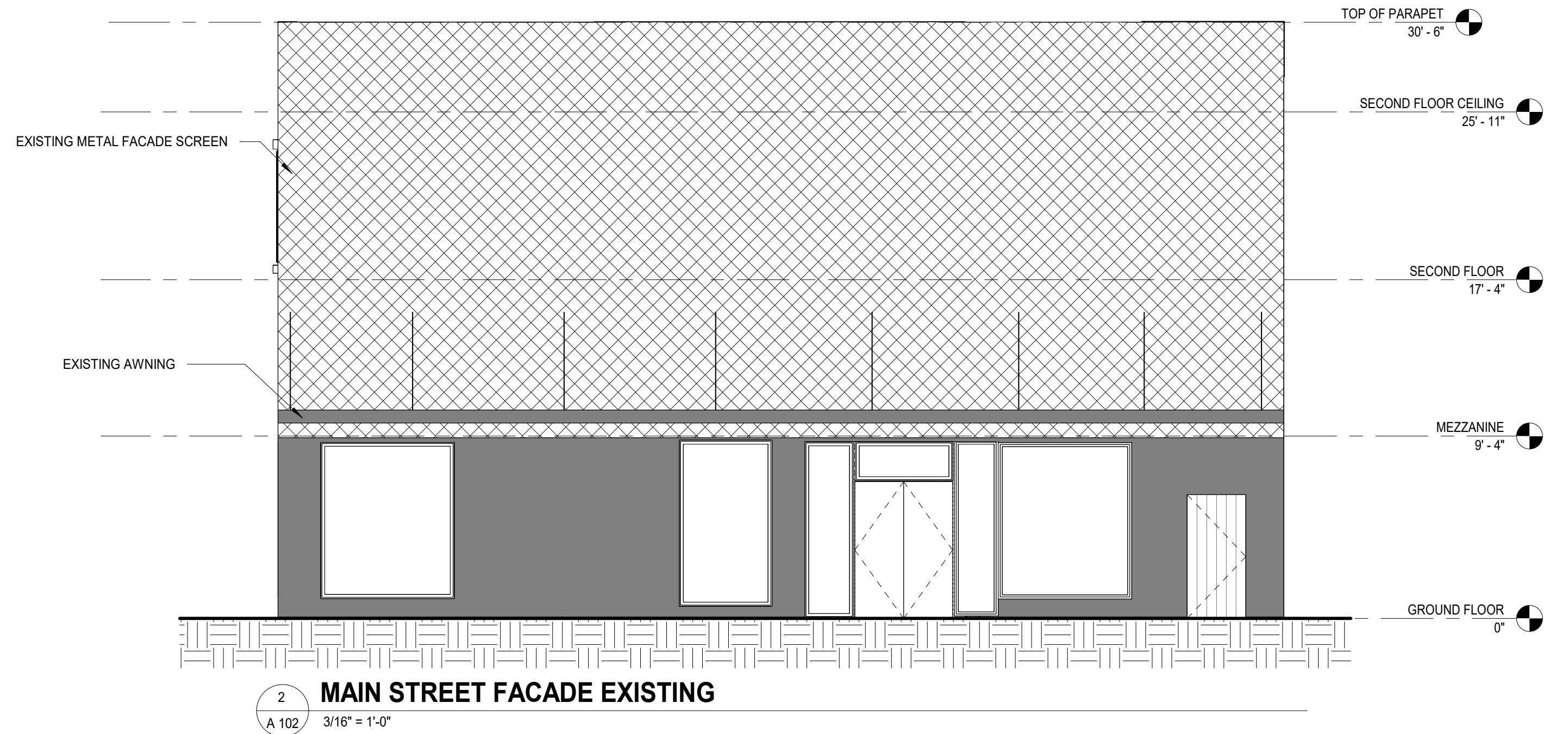
1/4" = 1'-0"



EXISTING PHOTO OF 344 MAIN ST MAIN STREET VIEW

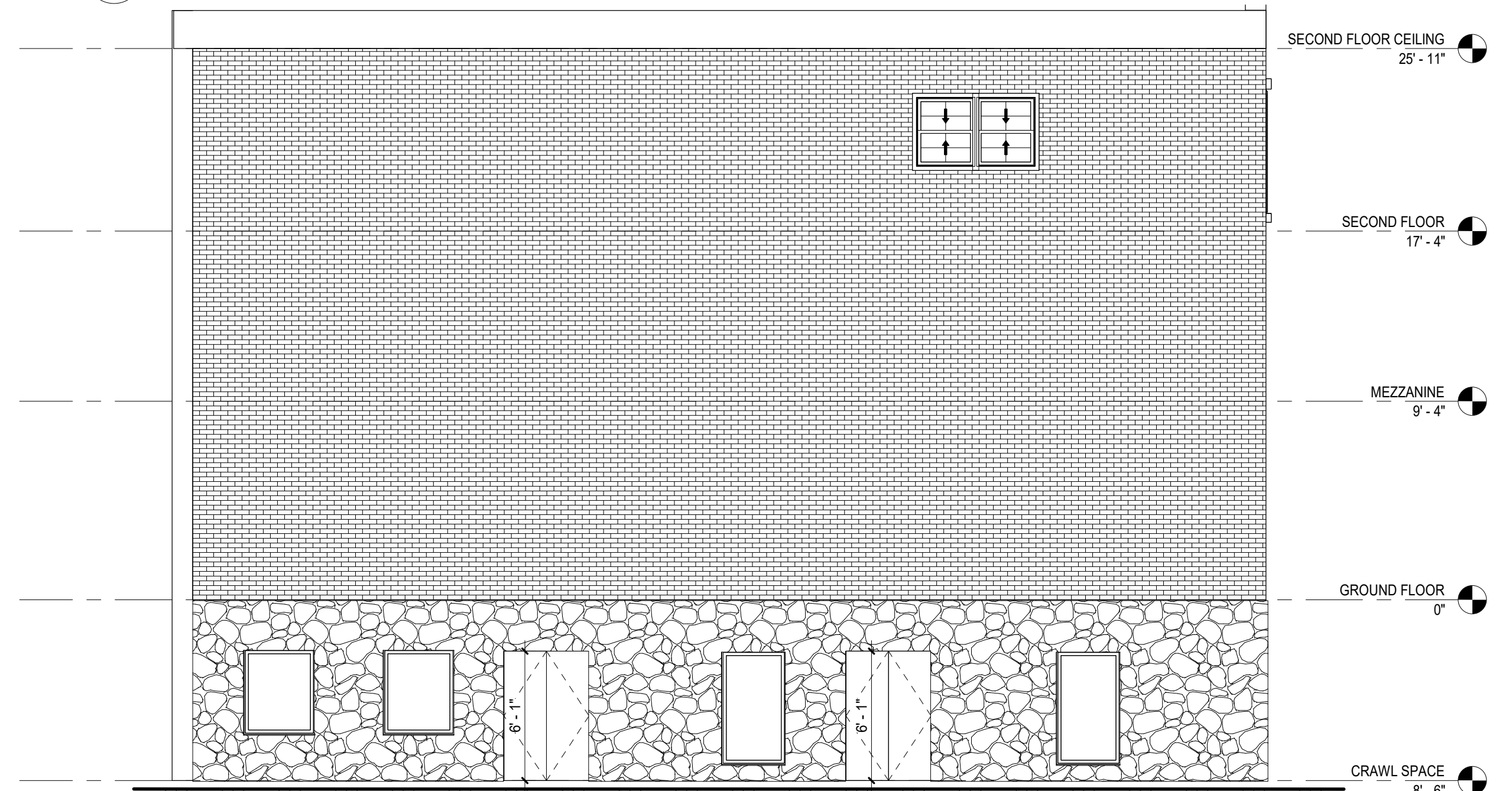


EXISTING PHOTO OF 344 MAIN ST BACK ALLEY VIEW



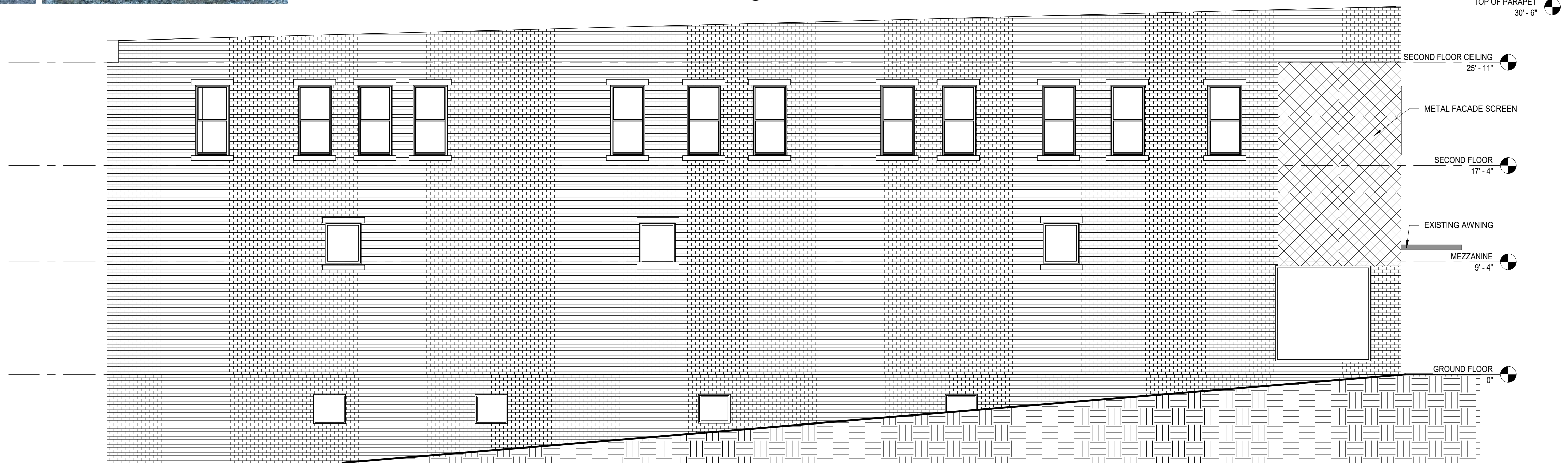
2 MAIN STREET FACADE EXISTING

A 102 3/16" = 1'-0"



3 BACK ELEVATION EXISTING

A 102 3/16" = 1'-0"



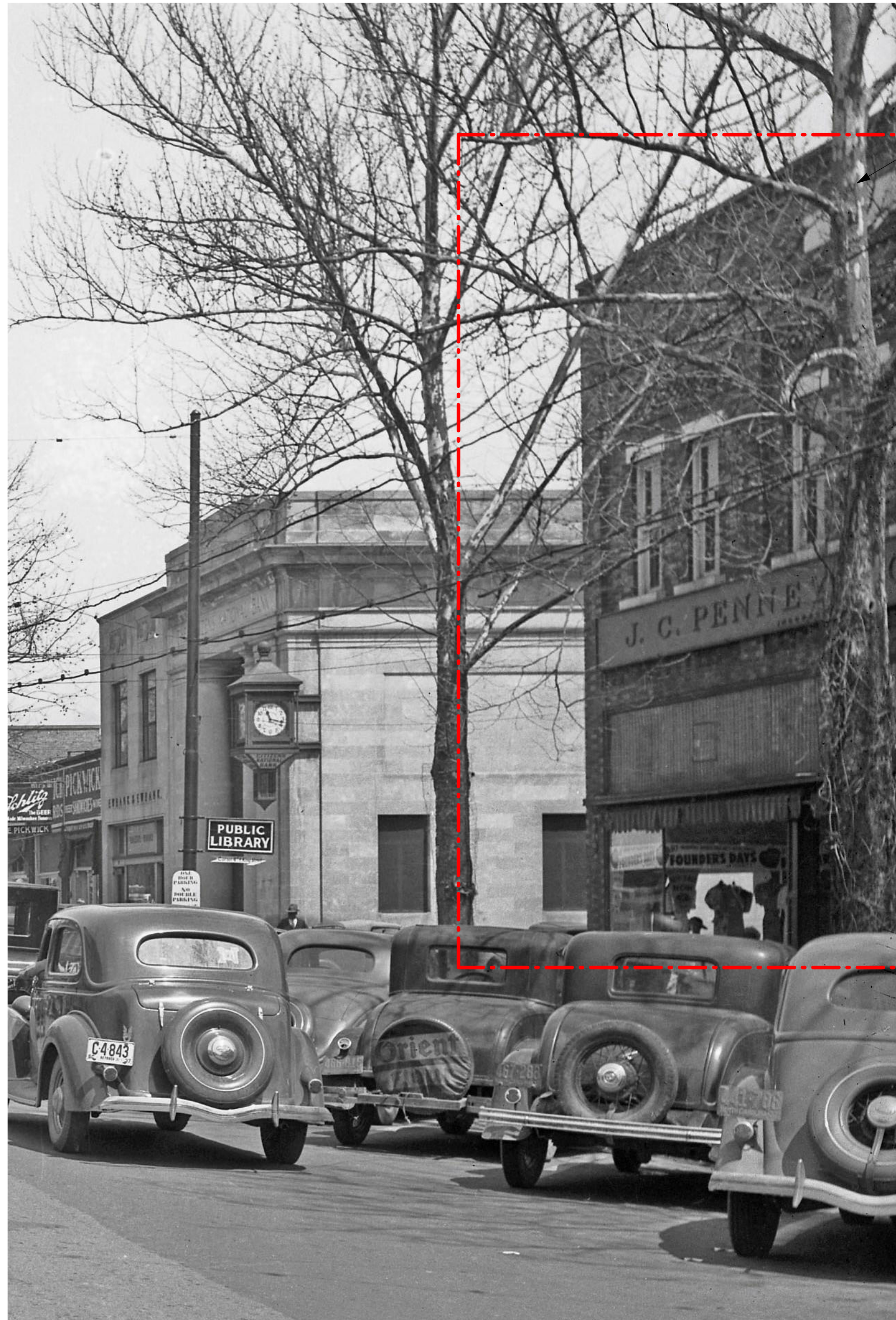
1 WEST ELEVATION EXISTING

A 102 3/16" = 1'-0"

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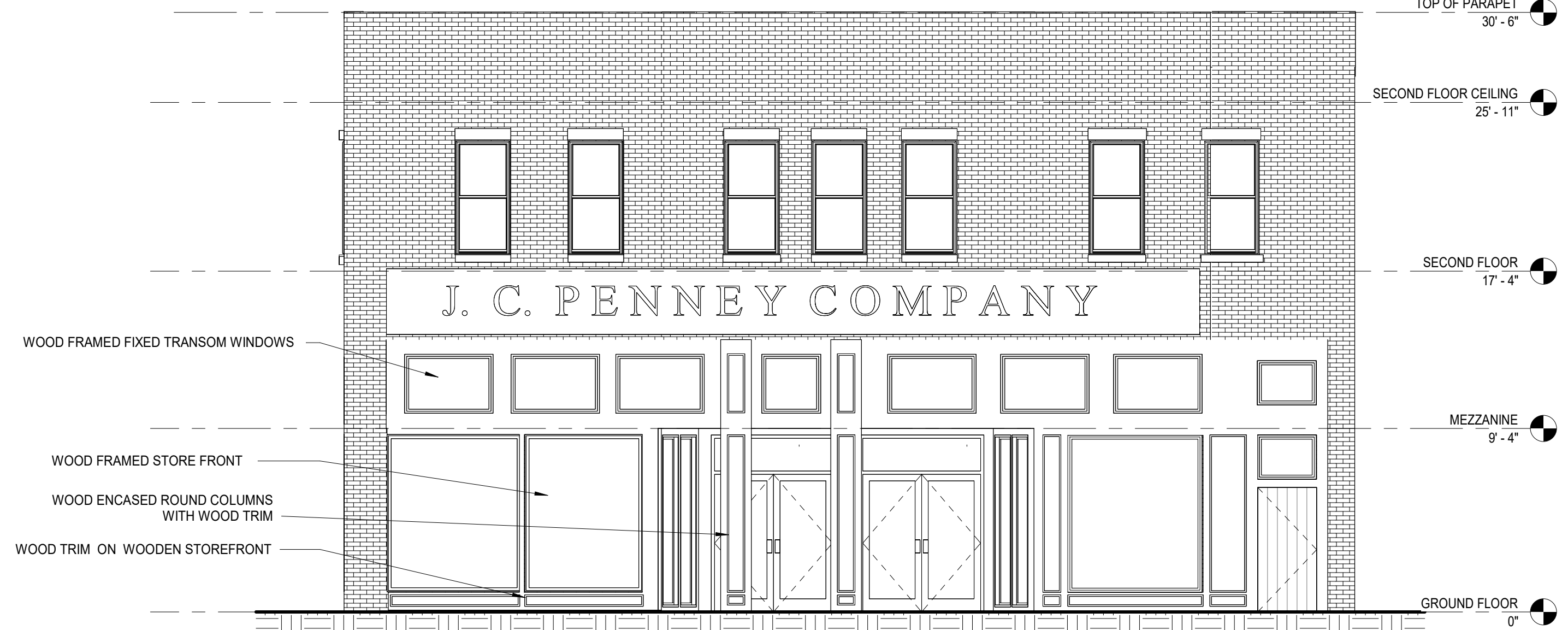
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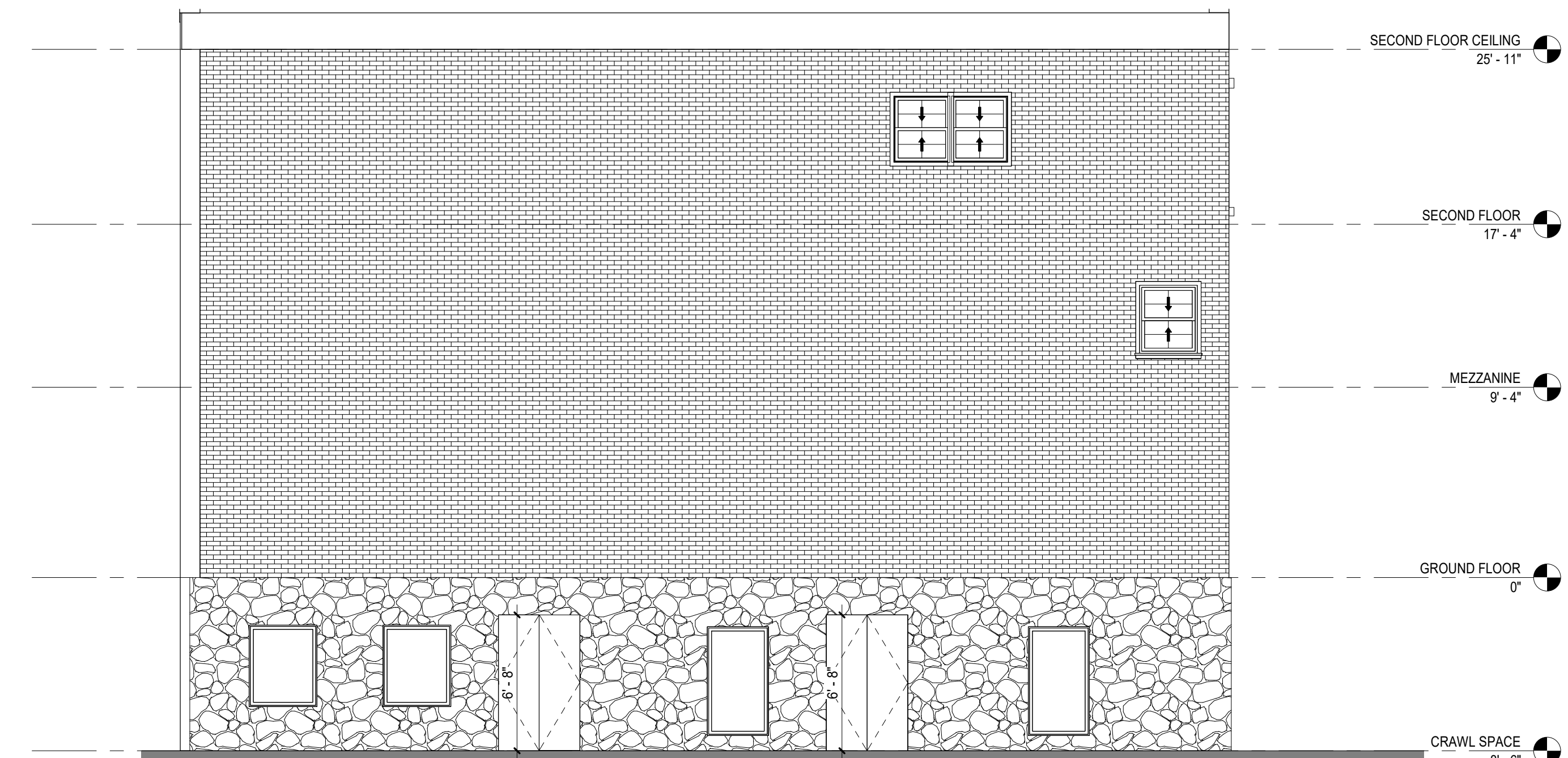
344 MAIN ORIGINAL FACADE

344 MAIN FACADE RESTORATION PHOTOS COLLECTED FROM BAKER BARBER COLLECTION - HENDERSON COUNTY PUBLIC LIBRARY



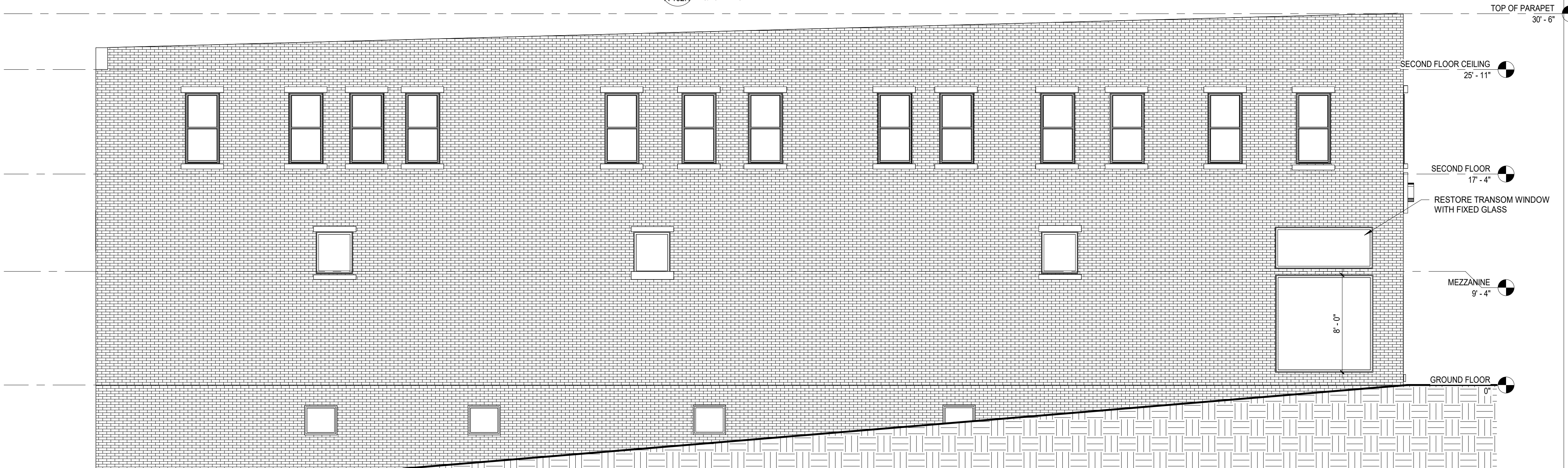
2 MAIN STREET FACADE NEW

A 102.1 3/16" = 1'-0"



3 BACK ELEVATION NEW

A 102.1 3/16" = 1'-0"



1 NORTH ELEVATION NEW

A 102.1 3/16" = 1'-0"

project design team:
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NEW MAIN STREET ELEVATION

Revision	Revision Date	Issued For

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 Proj Mngr.:
 Capt.: TP

sheet no.:
 A 102.1

COLOR SWATCHES FOR WOOD-FRAMED STOREFRONT



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MATERIAL WORKSHEET

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date: 3/13/2025 11:09:35 AM
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 revised by: TP
 Prog Mngr.:
 Capt.: TP

sheet no.:
A 102.5



1
 A 102.5
MAIN STREET VIEW