

RONAN AT HENDERSONVILLE

HENDERSONVILLE, NORTH CAROLINA

PREPARED FOR:
GRAYCLIFF CAPITAL DEVELOPMENT, LLC
200 EAST BROAD STREET, SUITE 220
GREENVILLE, SC 29601
JAY LEE
(864) 679-4799

DEVELOPER PROPOSED CONDITIONS:

- REQUEST CONDITION TO REMOVE THE REQUIREMENT OF STREET CONNECTIVITY & STUB-OUTS PER SECTION 5-27-5.2.4 AS THE PROPOSED PROJECT AREA IS SURROUNDED BY NEW DEVELOPMENT THAT UKEWISE DO NOT HAVE RECIPROCATED STUB OUTS.
- AN UPDATED BOUNDARY SURVEY WILL BE PROVIDED FOR FINAL DESIGN.
- JURISDICTIONAL LETTER CONFIRMED BY ARMY CORP OF ENGINEERS WILL BE PROVIDED FOR FINAL DESIGN.
- REQUEST TO NOT PROVIDE SIDEWALK ALONG S. ALLEN FRONTAGE TO PREVENT WETLAND IMPACT.
- ACKNOWLEDGE THAT CHMU REQUIRES OFF STREET PARKING TO BE LOCATED TO THE SIDE OR REAR, BUT DUE TO TRAFFIC AND NOISE LEVELS ASSOCIATED WITH THE INTERSTATE, REQUESTING PARKING BE LOCATED ADJACENT TO THE INTERSTATE AS SHOWN IN CURRENT DESIGN TO ALLOW RESIDENTS TO BE FURTHER FROM INTERSTATE.
- DEVELOPER SHALL INSTALL 1.5" MINIMUM CALIPER TREES INSTEAD OF THE 3" TO 3.5" CALIPER TREES AS REQUIRED BY CHMU COMMON SPACE TREES.

CITY PROPOSED CONDITIONS:

- THE DEVELOPER SHALL RECORD A 24' WIDE CROSS ACCESS EASEMENT AS SHOWN ON SHEET C200 BETWEEN THE RONAN AT HENDERSONVILLE PROJECT (WATERLEAF PHASE 2) AND THE SUMMIT AT HENDERSONVILLE PROJECT (WATERLEAF PHASE 1), THUS PROVIDING PERMANENT ACCESS FROM THE RONAN AT HENDERSONVILLE DEVELOPMENT TO S. ALLEN ROAD.

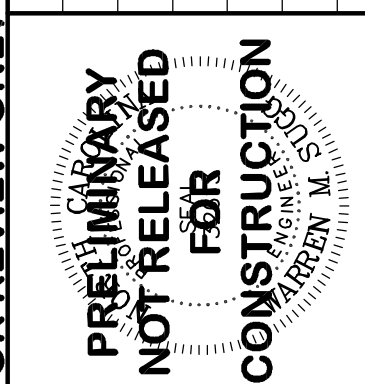
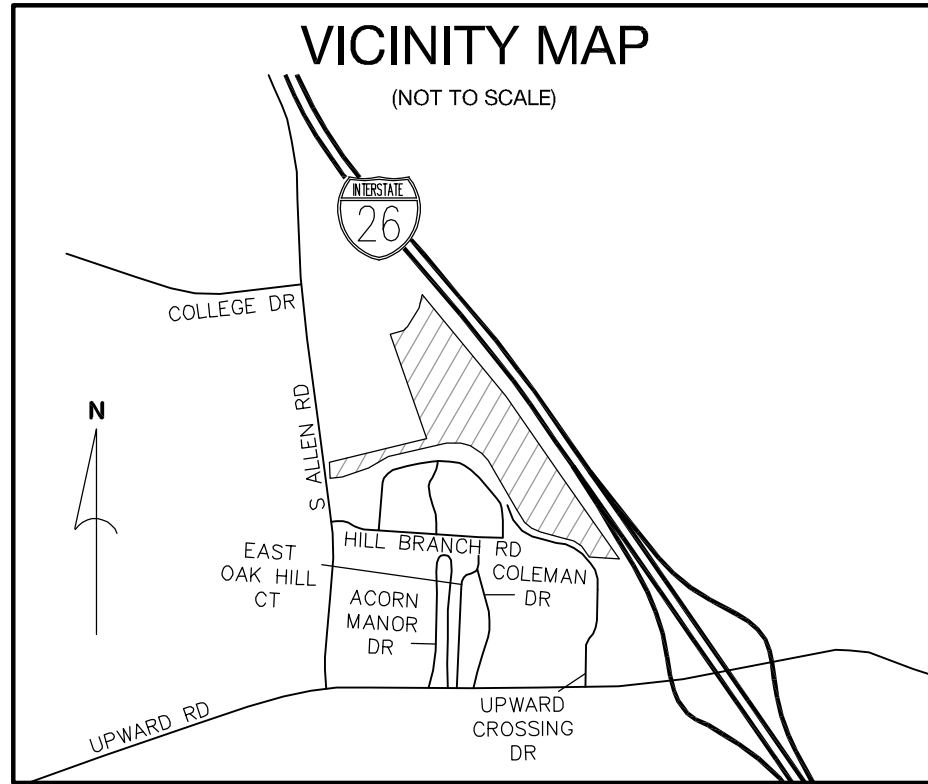
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C601	UTILITY PLAN	1
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DEVELOPMENT DATA

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GREENVILLE, SC 29601
JAY LEE
(864) 679-4799

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28601
WARREN SUGG, P.E.
(828) 252-5388



COVER FOR:
RONAN AT HENDERSONVILLE

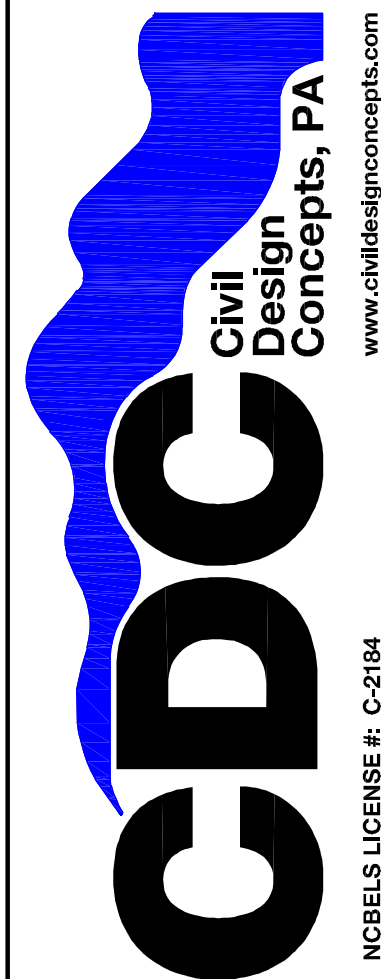
DRAWN BY: K/WN
CDC PROJECT NO.: 12135
XXX PERMIT NO.: xxx

SHEET

C000

FOR REVIEW ONLY

NO.	DATE	DESCRIPTION	BY
1	04/04/2025	CITY OF HENDERSONVILLE CZ SUBMITTAL	MAD
2	04/21/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD
3	04/25/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD
4	04/28/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD



168 PATTON AVENUE
ASHEVILLE, NC 28601
PHONE (828) 252-5388
FAX (828) 252-5386

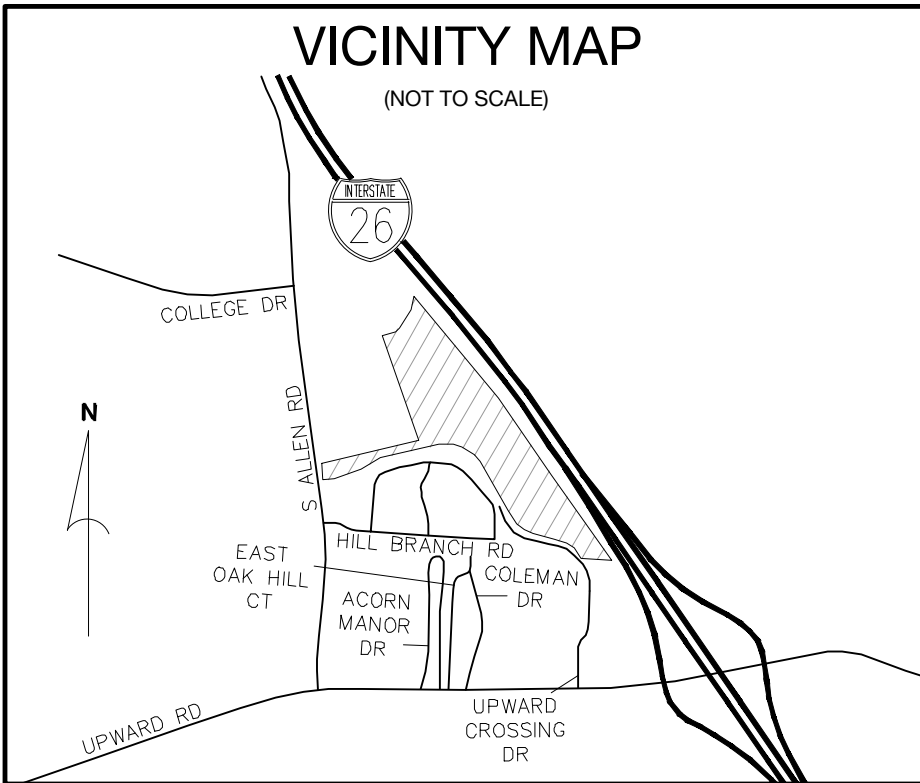
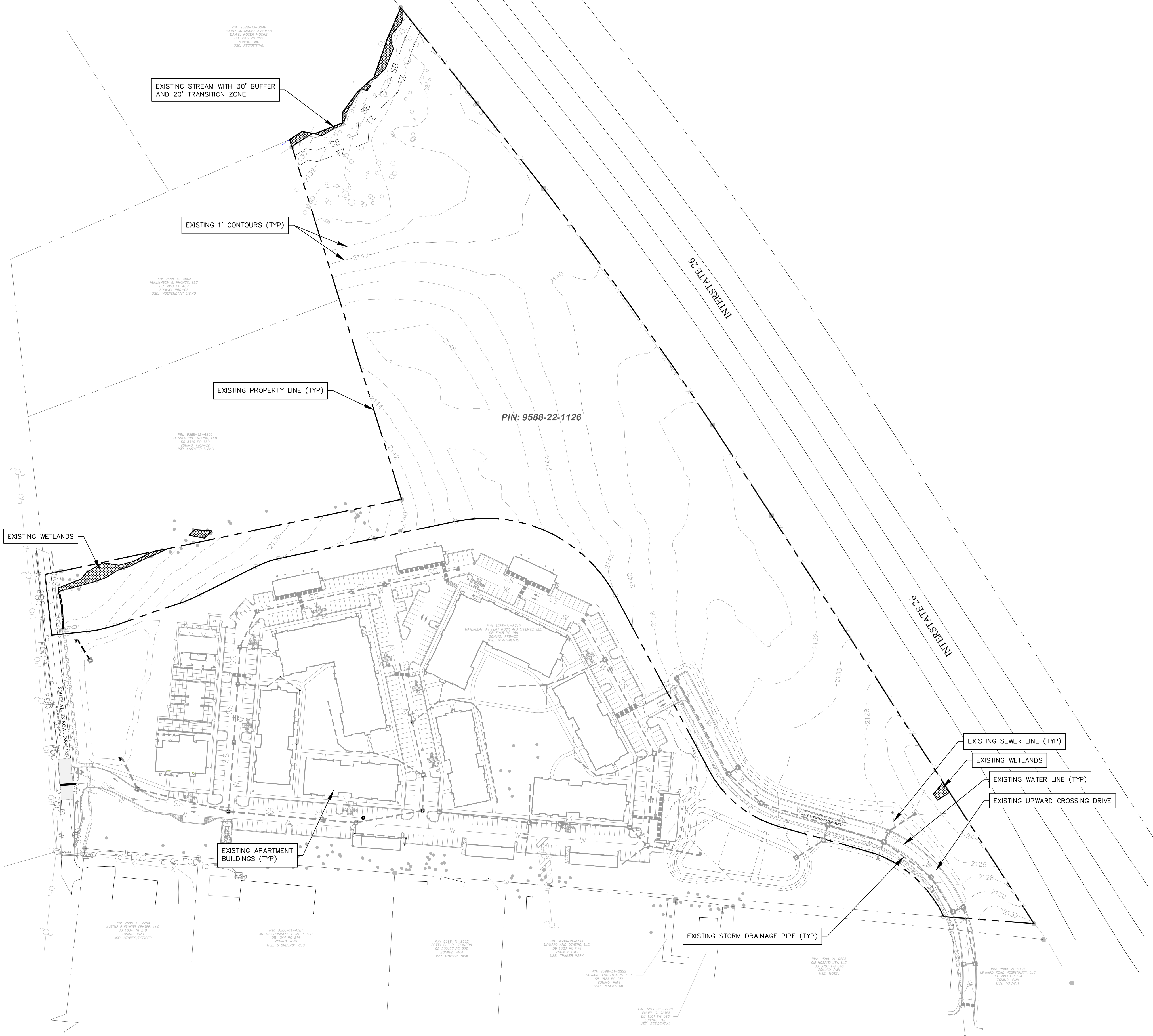
52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 27786
PHONE (828) 462-4410
FAX (828) 462-5965

NCBELS LICENSE #: C-2184

THE BROADWAY GROUP — CLEVELAND COUNTY, NORTH CAROLINA

CITY OF HENDERSONVILLE NOTES

1. DEVELOPER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE OPEN SPACE.
2. ALL UTILITIES SERVICE LINES AND CONNECTIONS WILL BE UNDERGROUND.
3. ALL PROPOSED BUILDINGS TO BE SPRINKLED.



DEVELOPMENT DATA	
OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759 ROBERT CAMENZIND
CONTACT:	
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CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 WARREN SUGG, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273 KEITH BURNS, P.L.S. (980) 949-8475
CONTACT:	
ARCHITECT:	STEELE GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27101 MIKE OSMAN, A.I.A. (336) 734-2003
CONTACT:	

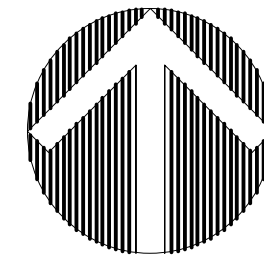
PROJECT DATA	
PIN:	9588-22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	17.13+ ACRES
CURRENT ZONING:	CHMU (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING:	CHMU-C2D
DENSITY:	11.21 UNITS/ACRE (192 TOTAL UNITS)
SETBACKS:	
FRONT:	10'
SIDE:	20' (15'+5')
REAR:	20' (15'+5')
DISTURBED AREA:	12.0± AC

ZONING DATA	
PARKING CALCULATIONS:	
VEHICULAR:	
REQUIRED SPACES:	(1 OR 2 BED UNITS) 1.0 X 168=168 (3+ BED UNITS) 1.5 X 24= 36
TOTAL SPACES REQUIRED:	204
SPACES PROVIDED:	324
HANDICAPPED SPACES:	SPACES REQUIRED: 7 SPACES PROVIDED: 20
BUILDING DATA:	
BUILDING	DESCRIPTION HEIGHT GFA
1,3-4,6-10	3 STORIES 39'-2" 27,340 SF
2	CLUBHOUSE 18'-9" 3,500 SF
11-15	GARAGES 8' 1,980 SF
5	CABANA 12' 273 SF
OPEN SPACE CALCULATIONS:	
OPEN SPACE:	REQUIRED: 10.27 AC (60%) PROVIDED: 10.27 AC
COMMON SPACE:	REQUIRED: 1.71 AC (10%) PROVIDED: 1.71 AC
BUILDINGS:	REQUIRED: <3.42 AC PROVIDED: 2.14 AC (12%)
STREETS/PARKING (VUA):	PROVIDED: 2.61 AC (15%)
OTHER:	N/A
LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN	
IMPERVIOUS CALCULATIONS:	
PRE-DEVELOPMENT:	IMPERVIOUS (0%) PERVIOUS 17.13 ACRES (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%) 11.49 ACRES (67%)

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



Know what's below.
Call before you dig.



NORTH

EXISTING CONDITIONS &
DEMOLITION PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

FOR REVIEW ONLY

PRELIMINARY
NOT RELEASED
FOR
CONSTRUCTION

EXISTING CONDITIONS & DEMOLITION PLAN FOR:

RONAN AT HENDERSONVILLE

GRAYCLIFF CAPITAL DEVELOPMENT, LLC - HENDERSONVILLE, NORTH CAROLINA

DRAWN BY:
CDC PROJECT NO.:
XXX PERMIT NO.

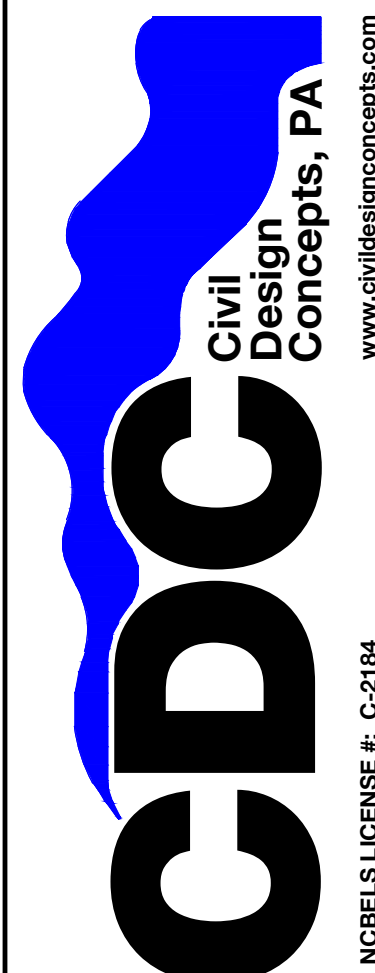
AMP
12135
xxx

SHEET

C101

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9
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NCBLS LICENSE # C-2184
www.civildesignconcepts.com

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SETBACK LINE (TYP)

EXISTING BUILDINGS

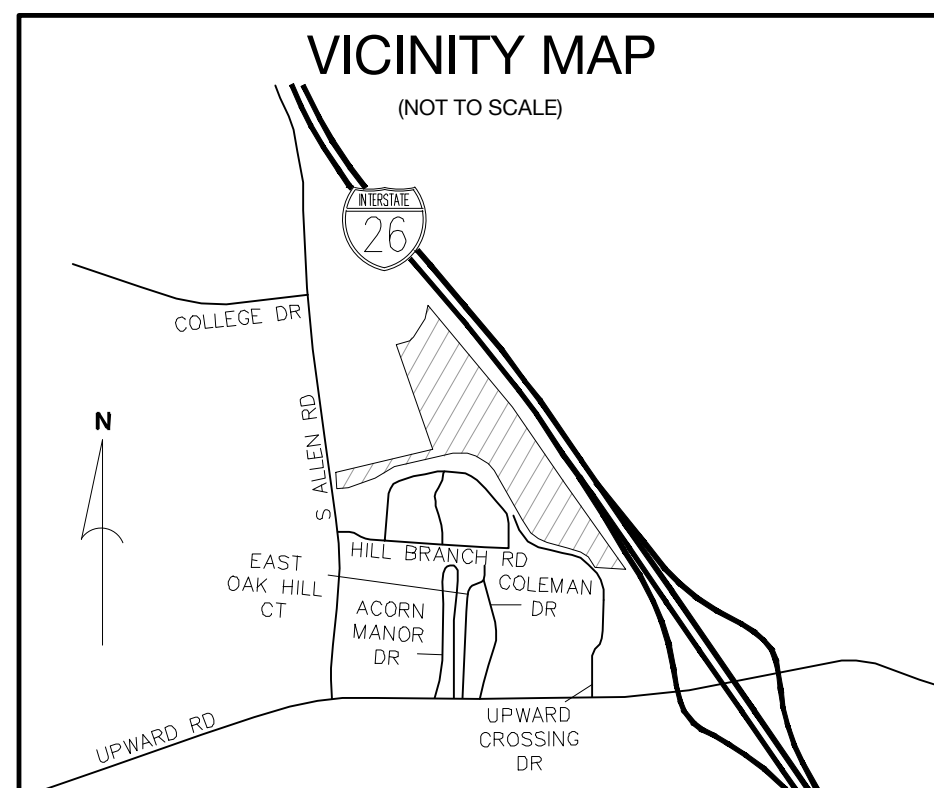
PROPOSED 24' WIDE
CROSS ACCESS

PROPOSED CONNECTION TO EXISTING UPWARD CROSSING

PROPOSED CONNECTION TO
EXISTING UPWARD CROSSING

PROPOSED 60'

PROPOSED COMPACTOR
TO BE SCREENED IN
ACCORDANCE WITH
SECTION 5-27-4.3.1



OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759
CONTACT:	ROBERT CAMENZIND
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601
CONTACT:	JAY LEE (864) 679-4799
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801
CONTACT:	WARREN SUGG, P.E. (828) 252-5388
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273
CONTACT:	KEITH BURNS, P.L.S. (980) 949-8475
ARCHITECT:	STEEL GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27101
CONTACT:	MIKE OSMAN, A.I.A. (336) 734-2003

PIN:	9588--22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	171.3± ACRES
CURRENT ZONING:	CHMU (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING:	CHMU-CZD
DENSITY:	11.21 UNITS/ACRE (192 TOTAL UNITS)
SETBACKS:	
FRONT:	10'
SIDE:	20' (15'+5')
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DISTURBED AREA:	12.0± AC

<u>PARKING CALCULATIONS:</u>			
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<u>BUILDING</u>	<u>DESCRIPTION</u>	<u>HEIGHT</u>	<u>GFA</u>
1, 3-46-10	3 STORIES	39'-2" #	27,340 SF
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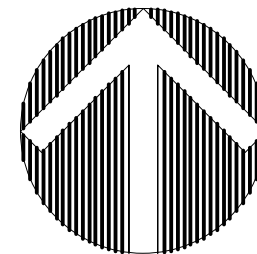
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	<u>IMPERVIOUS</u>	<u>PERVIOUS</u>
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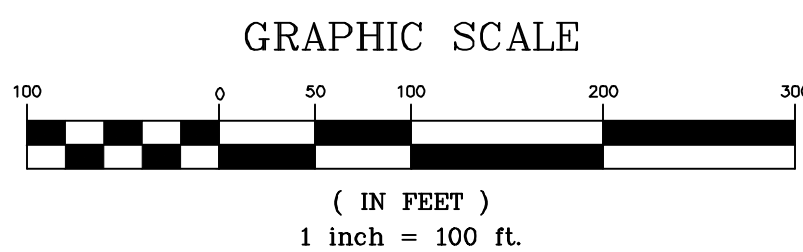


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NORTH

MASTER SITE PLAN



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FOR CONSTRUCTION

MASTER SITE PLAN FOR:

DRAWN BY: AMF
CDC PROJECT NO.: 12135
XXX PERMIT NO. XXX

SHEET

C200

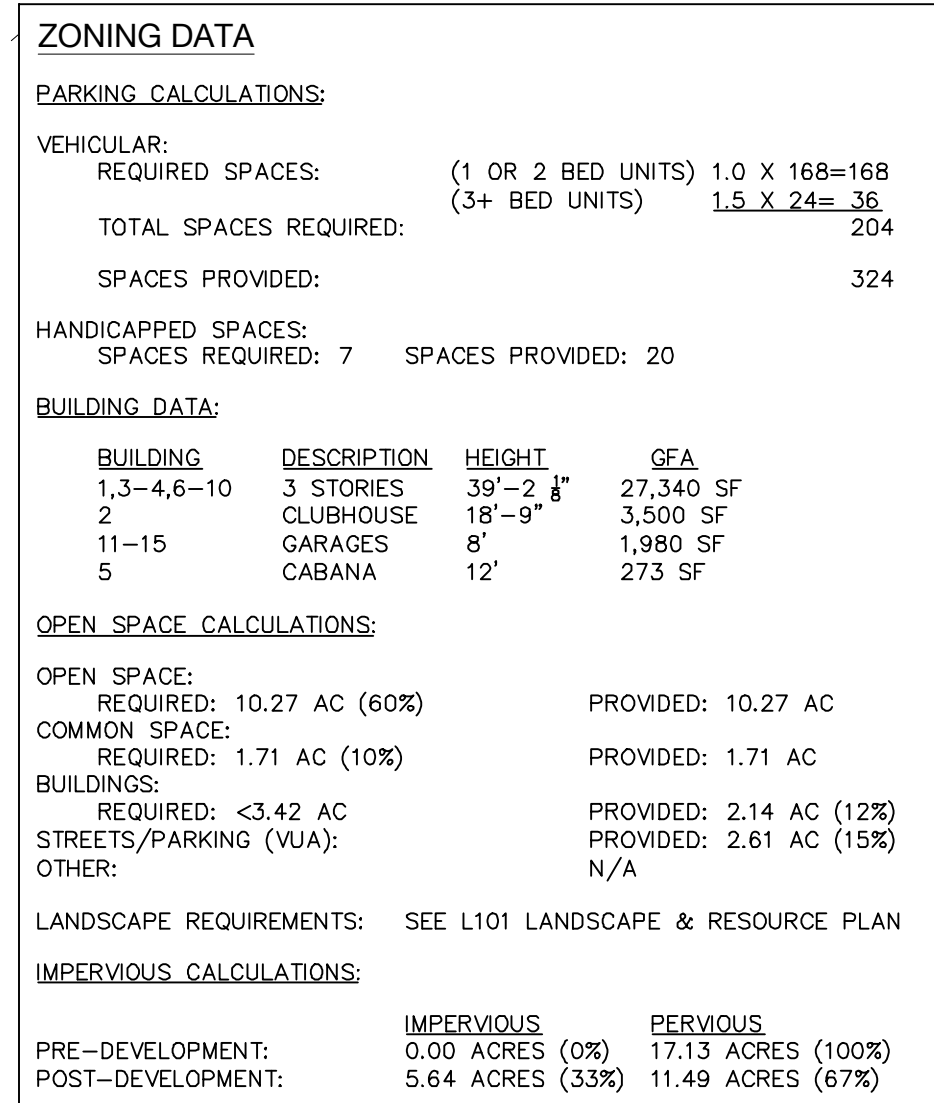
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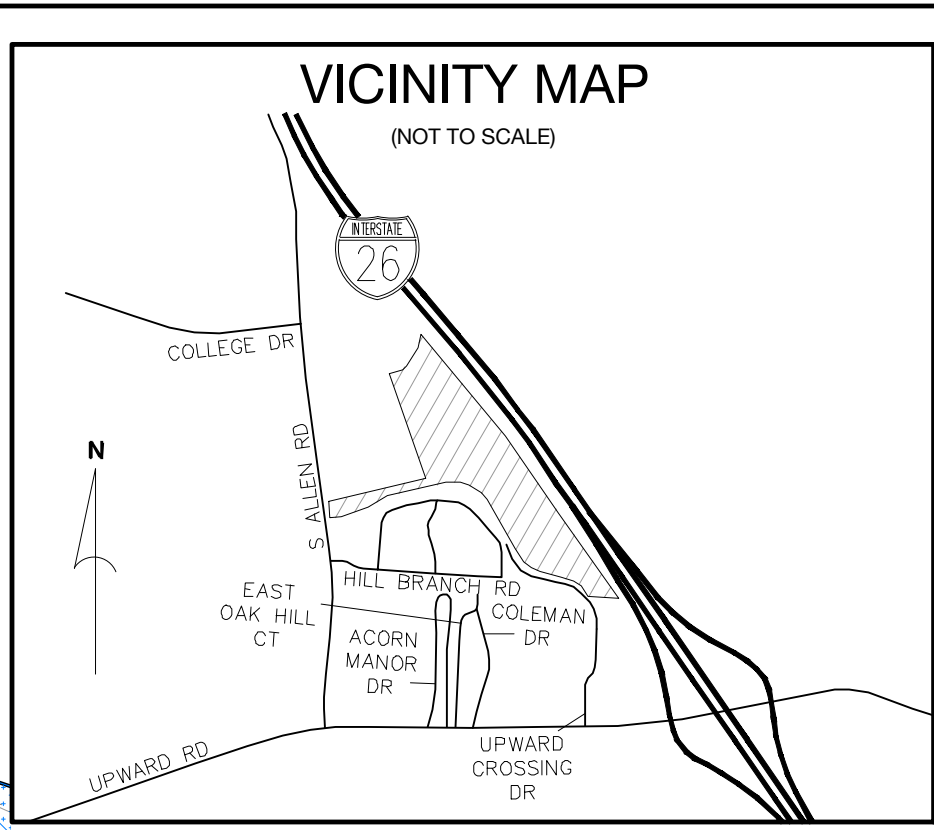
NORTH

(IN FEET)
1 inch = 60 ft

C201



- CITY OF HENDERSONVILLE NOTES
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CDC INSPECTIONS HOTLINE:
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811
Know what's below.
Call before you dig.

GRADING & STORM DRAINAGE PLAN
GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

811
NORTH

0 30 60 120 180

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CONSTRUCTION

RONAN AT HENDERSONVILLE

GRAYCLIFF CAPITAL DEVELOPMENT, LLC - HENDERSONVILLE, NORTH CAROLINA

DRAWN BY: CDC PROJECT NO.: 12135
XXX PERMIT NO. xxx

SHEET
C301

Civil Design Concepts, PA
www.civildesignconcepts.com
NCBLS LICENSE # C-2184

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

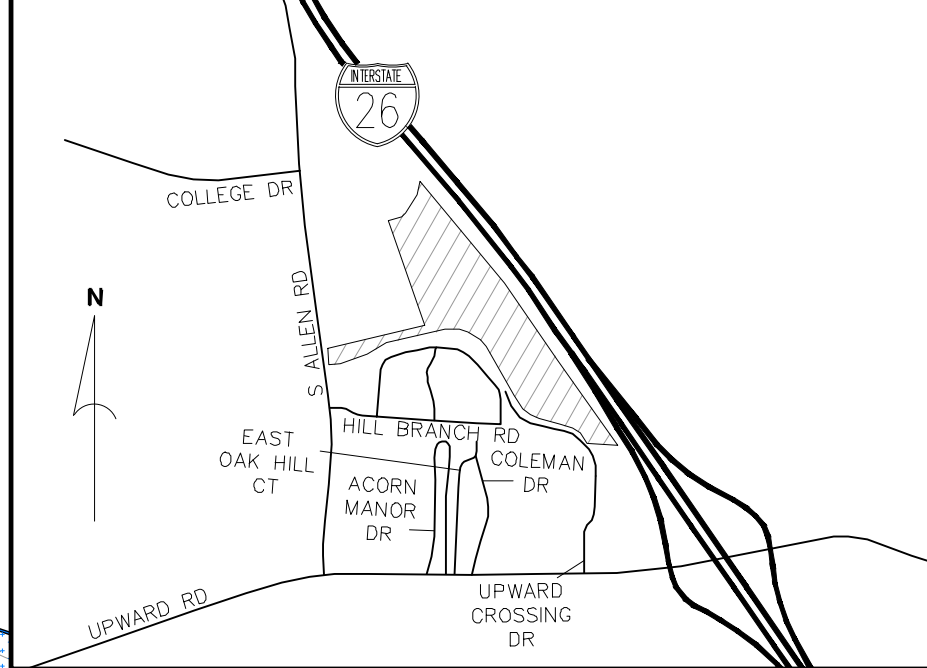
52 WALNUT STREET - SUITE 9
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VICINITY MAP

(NOT TO SCALE)



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MIKE OSMAN, A.I.A.
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PROJECT DATA

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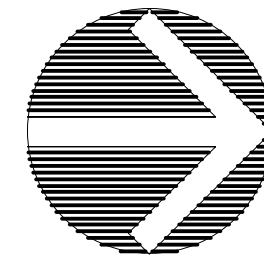
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STREETS/PARKING (VUA): PROVIDED: 2.61 AC (15%)
OTHER: N/A

LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN

IMPERVIOUS CALCULATIONS:

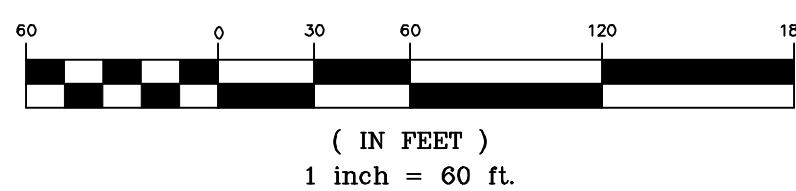
	IMPERVIOUS	PERVIOUS
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UTILITY PLAN

GRAPHIC SCALE



FOR REVIEW ONLY

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RONAN AT HENDERSONVILLE

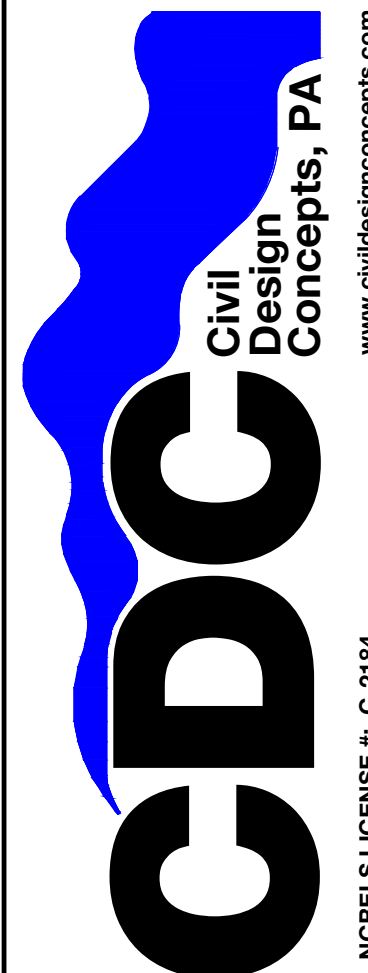
GRAYCLIFF CAPITAL DEVELOPMENT, LLC - HENDERSONVILLE, NORTH CAROLINA

UTILITY PLAN FOR:

DRAWN BY: AMP
CDC PROJECT NO.: 12135
XXX PERMIT NO.: xxx

SHEET

C601



NCBLS LICENSE # C-2184

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9
WYOMING, NC 28406
PHONE (828) 252-5388
FAX (828) 252-5385

PLANTING SUMMARY (COH):

STREET TREES (ST)

REQUIREMENT: 1 LARGE TREE PER 35 LF OF FRONTAGE

UPWARD CROSSING DRIVE FRONTAGE: 742 LF

TREES REQUIRED: 21
TREES PROVIDED: 21

SOUTH ALLEN ROAD FRONTAGE: 112 LF

TREES REQUIRED: 3
TREE CREDITS APPLIED: 1 (1 TREE)
TREES PROVIDED: 2

INTERSTATE 26 FRONTAGE: 2,045 LF

TREES REQUIRED: 58
TREE CREDITS APPLIED: 4 (1 TREE)
TREES PROVIDED: 54

VEHICULAR USAGE LANDSCAPE AREA (VUA)

REQUIREMENTS: (PER 3,000 SF OF VUA)
1 DECIDUOUS TREE AND 2 SHRUBS

TOTAL VUA: 114,258 SF

TREES REQUIRED: 38
TREES PROVIDED: 38

SHRUBS REQUIRED: 76
SHRUBS PROVIDED: 76

STREET BUFFER (SB)

REQUIREMENTS: (FOR VUA AREA WITHIN 50' OF ROW)
1 SHRUB PER 5 LF OF REQUIRED BUFFER

TOTAL SB: 180 LF

SHRUBS REQUIRED: 36
SHRUBS PROVIDED: 36

OPEN SPACE (OS)

REQUIREMENTS: (PER 4,000 SF OF OS)
1 TREE AND 5 SHRUBS

TOTAL OS: 447,710 SF

TREES REQUIRED: 112
TREE CREDITS APPLIED: 108 (42 TREES)
TREES PROVIDED: 4

SHRUBS REQUIRED: 560
SHRUBS PROVIDED: 560

COMMON SPACE (CS)

REQUIREMENTS: (PER 1,000 SF OF CS)
1 TREE AND 5 SHRUBS

TOTAL CS: 74,490 SF

TREES REQUIRED: 75
TREE CREDITS APPLIED: 12 (5 TREES)
TREES PROVIDED: 63

SHRUBS REQUIRED: 375
SHRUBS PROVIDED: 375

NOTE: DETAILED PLANTING PLAN THAT INCLUDES REQUIRED SHRUBS TO BE PROVIDED WITH CONSTRUCTION PERMIT DRAWINGS.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
TREES						
AA	6	AMELANCHIER ARBOREA	SERVICEBERRY	B&B	1.5"	CAL.
AR	14	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	B&B	2"	CAL.
AS	17	ACER SACCHARUM	SUGAR MAPLE	B&B	2"	CAL.
CK	12	CLADRASIS KENTUCKEA	AMERICAN YELLOWWOOD	B&B	2"	CAL.
GT	21	GLEDITIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	B&B	2"	CAL.
LS	27	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	FRUITLESS SWEETGUM	B&B	2"	CAL.
QP	54	QUERCUS PALUSTRIS	PIN OAK	B&B	2"	CAL.
ZS	31	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	B&B	2"	CAL.
SHRUBS						
PJA	36	PIERIS JAPONICA 'MOUNTAIN FIRE'	MOUNTAIN FIRE PIERIS	3	GAL.	

*SUBSTITUTION OF SPECIES MUST BE ON THE CITY OF HENDERSONVILLE RECOMMENDED SPECIES LIST AND APPROVED BY ENGINEER.
*A DIVERSE PLANT LIST IS RECOMMENDED SO THAT NO ONE SPECIES GETS OVER PLANTED.

LEGEND

SPECIES (CREDITS CATEGORY)

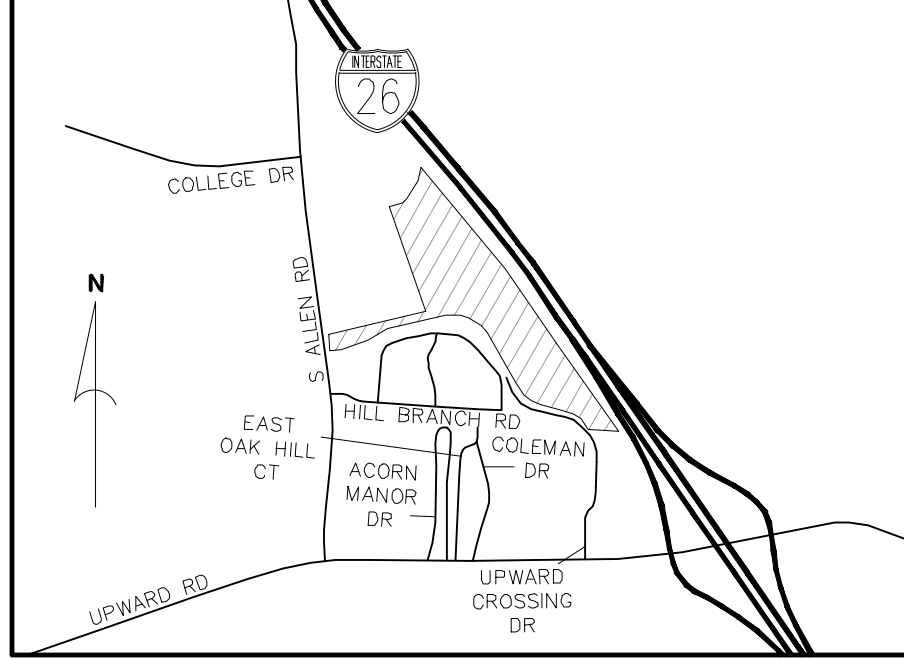
TREE CREDIT TREE

EXISTING SPECIES ABBREVIATIONS

DWD	DOGWOOD
MPL	MAPLE
OAK	OAK
RO	RED OAK
POP	POPLAR

VICINITY MAP

(NOT TO SCALE)



DEVELOPMENT DATA

OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759 ROBERT CAMENZIND
CONTACT:	
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601 JAY LEE (864) 679-4799
CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 WARREN SUGG, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273 KEITH BURNS, P.L.S. (980) 949-8475
CONTACT:	
ARCHITECT:	STEELE GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27101 MIKE OSMAN, A.I.A. (336) 734-2003
CONTACT:	

PROJECT DATA

PIN:	9588-22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	17.13+ ACRES
CURRENT ZONING:	CHMU (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING:	CHMU-CZD
DENSITY:	11.21 UNITS/ACRE (192 TOTAL UNITS)
SETBACKS:	
FRONT:	10'
SIDE:	20' (15'+5')
REAR:	20' (15'+5')
DISTURBED AREA:	12.0± AC

ZONING DATA

PARKING CALCULATIONS:

VEHICULAR:	
REQUIRED SPACES:	(1 OR 2 BED UNITS) 1.0 X 168=168 (3+ BED UNITS) 1.5 X 24= 36
TOTAL SPACES REQUIRED:	204
SPACES PROVIDED:	324
HANDICAPPED SPACES:	
SPACES REQUIRED: 7	SPACES PROVIDED: 20

BUILDING DATA:

BUILDING	DESCRIPTION	HEIGHT	GFA
1,3-4,6-10	3 STORIES	39'-2"	27,340 SF
2	CLUBHOUSE	18'-9"	3,500 SF
11-15	GARAGES	8'	1,980 SF
5	CABANA	12'	273 SF

OPEN SPACE CALCULATIONS:

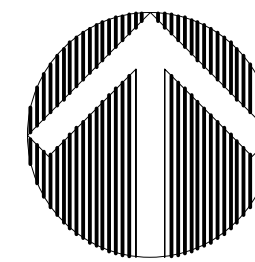
OPEN SPACE:	REQUIRED: 10.27 AC (60%)	PROVIDED: 10.27 AC
COMMON SPACE:	REQUIRED: 1.71 AC (10%)	PROVIDED: 1.71 AC
BUILDINGS:	REQUIRED: <3.42 AC	PROVIDED: 2.14 AC (12%)
STREETS/PARKING (VUA):	PROVIDED: 2.61 AC (15%)	
OTHER:	N/A	

LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN

IMPERVIOUS CALCULATIONS:

PRE-DEVELOPMENT:	IMPERVIOUS (0%)	PERVIOUS (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%)	11.49 ACRES (67%)

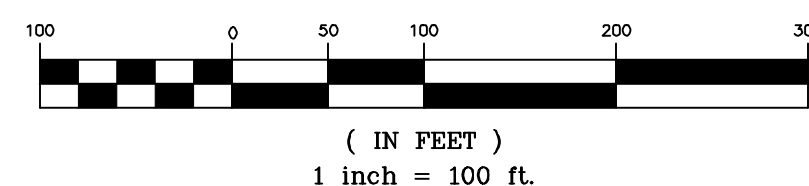
CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



NORTH

LANDSCAPE & RESOURCE LAYOUT

GRAPHIC SCALE



FOR REVIEW ONLY

PRELIMINARY
NOT RELEASED
FOR
CONSTRUCTION

LANDSCAPE & RESOURCE LAYOUT FOR:

RONAN AT HENDERSONVILLE

DRAWN BY: CDC PROJECT NO.: XXX PERMIT NO.

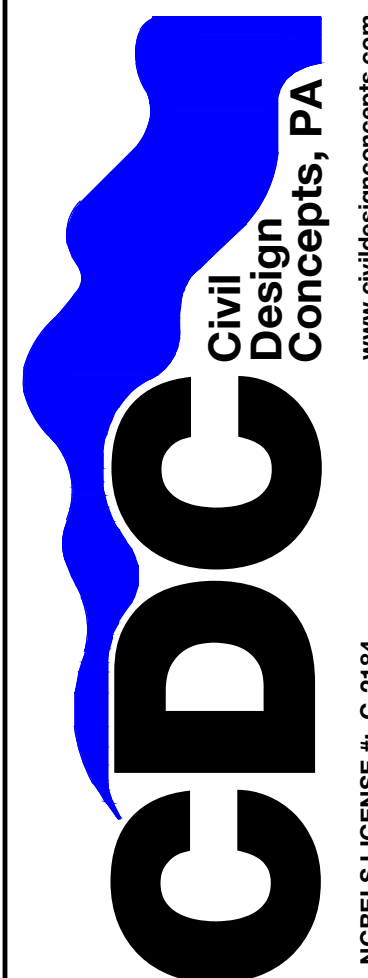
AMP 12135 xxx

SHEET

L101

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9
WAYNEVILLE, NC 28786
PHONE (828) 252-5388
FAX (828) 455-5455



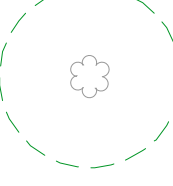
www.civildesignconcepts.com

NCBLS LICENSE # C-2184

TREE CANOPY COVERAGE DATA				
PARCEL SIZE	750,156 SF / 17.13 AC			
EXISTING CANOPY COVERAGE	114,631 SF (15.28%)			
TREE CANOPY PRESERVATION REQUIREMENT		PRESERVED	PLANTED	TOTAL
	TIER 1	22,926 SF (20%)	N/A	34,389 SF (30%)
	TIER 2	11,463 SF (10%)	0%	

NOTE:
AREA OF EXISTING CANOPY COVERAGE PER CITY OF HENDERSONVILLE TREE COVERAGE MAP.

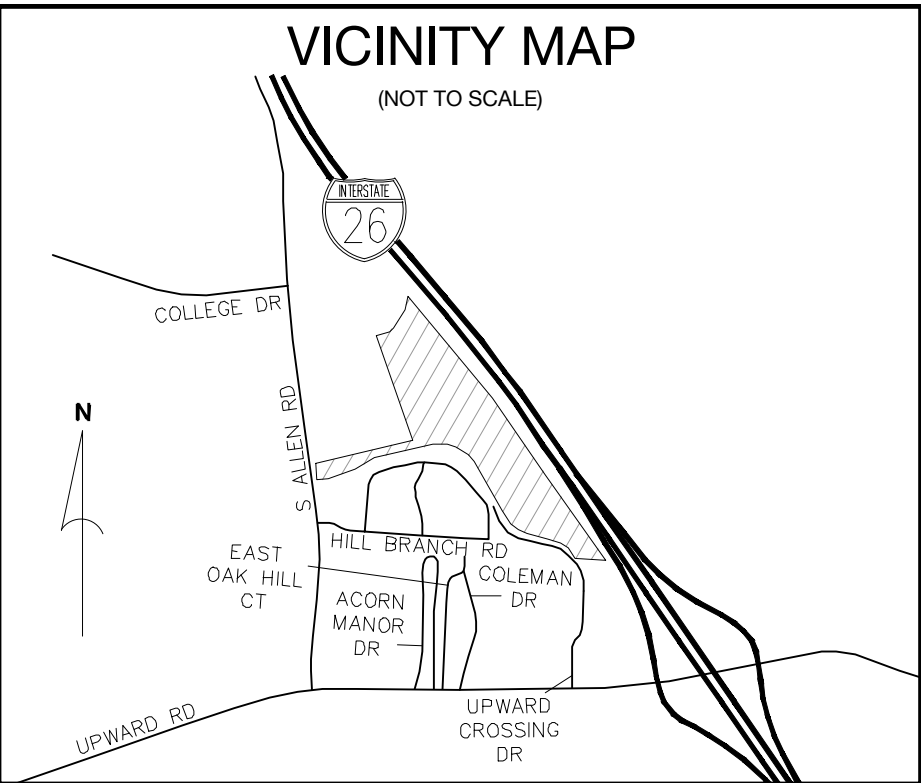
LEGEND



EXISTING CANOPY COVERAGE



TREE PROTECTION FENCE

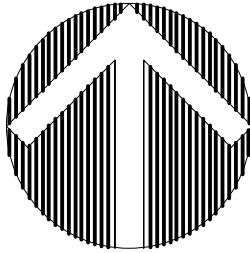


DEVELOPMENT DATA	
OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759 ROBERT CAMENZIND
CONTACT:	
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601 JAY LEE (864) 679-4799
CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 WARREN SUGG, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273 KEITH BURNS, P.L.S. (980) 949-8475
CONTACT:	
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CONTACT:	

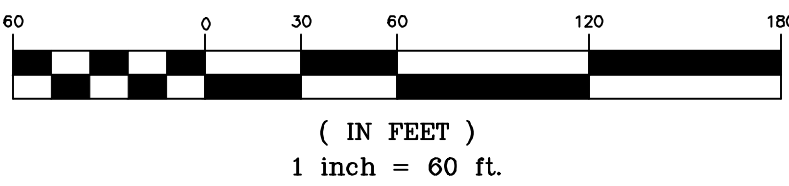
PROJECT DATA	
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OTHER:	N/A
LANDSCAPE REQUIREMENTS:	
SEE L101 LANDSCAPE & RESOURCE PLAN	
IMPERVIOUS CALCULATIONS:	
PRE-DEVELOPMENT:	IMPERVIOUS 0.00 ACRES (0%) PERVIOUS 17.13 ACRES (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%) 11.49 ACRES (67%)

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



TREE CANOPY PRESERVATION PLAN
GRAPHIC SCALE



FOR REVIEW ONLY

PRELIMINARY
NOT RELEASED FOR
CONSTRUCTION

TREE CANOPY PRESERVATION PLAN FOR:

RONAN AT HENDERSONVILLE

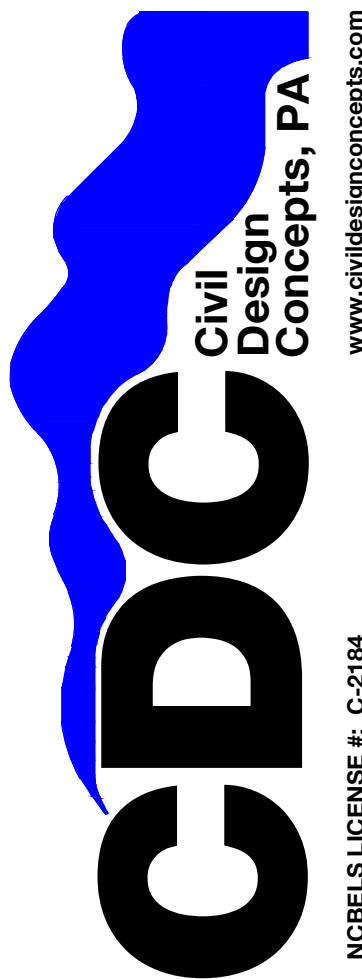
GRAYCLIFF CAPITAL DEVELOPMENT, LLC - HENDERSONVILLE, NORTH CAROLINA

DRAWN BY: AMP
CDC PROJECT NO.: 12135
XXX PERMIT NO.: xxx

SHEET

L102

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385



NCBELS LICENSE # C-2184

52 WALNUT STREET - SUITE 9
WAYNEVILLE, NC 28086
PHONE (828) 252-5388
FAX (828) 455-5585



STATUS: Conceptual
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Flat Rock, NC 28731

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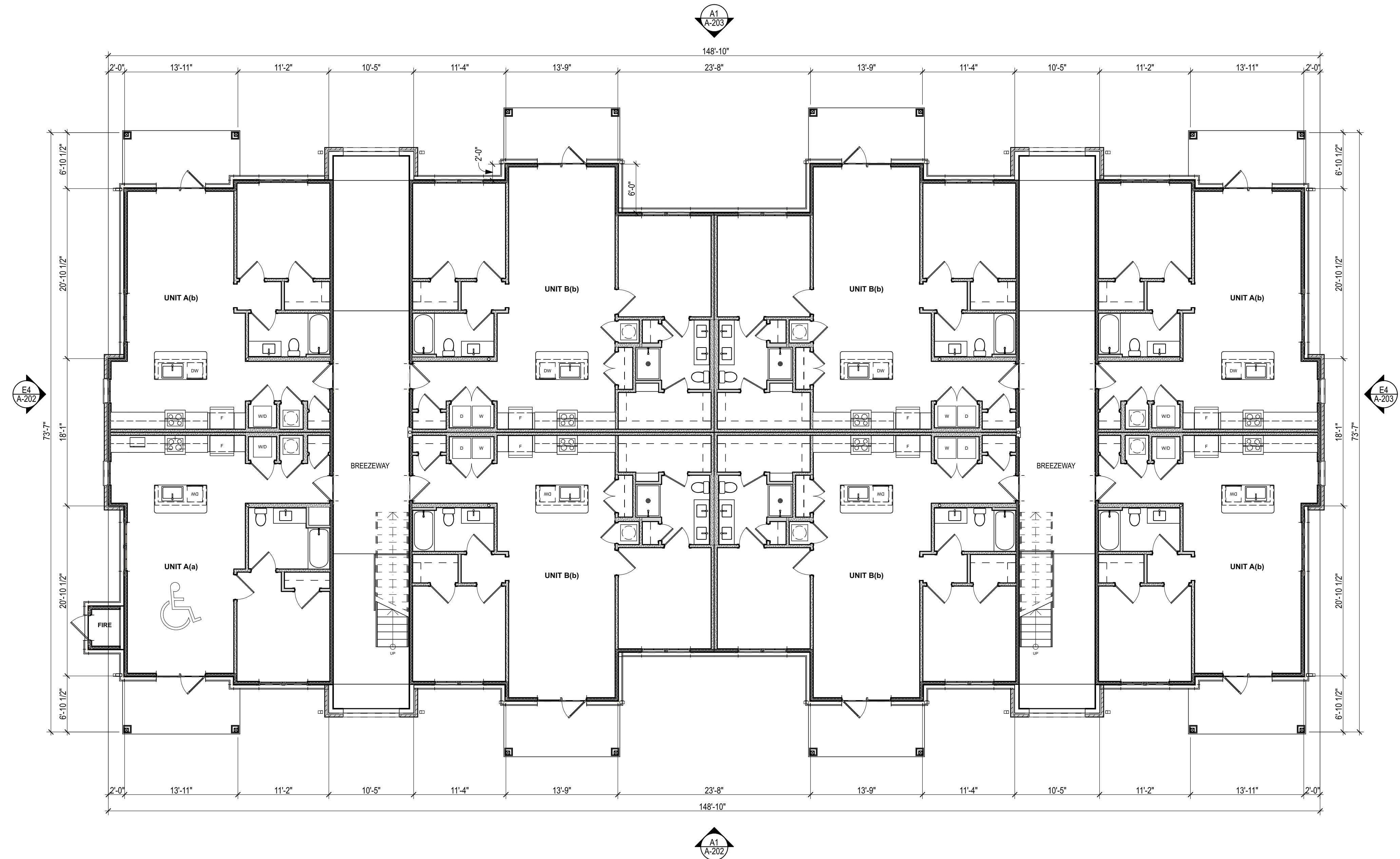
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE A,
GROUND FLOOR

SHEET:

A-101



A3 GF Ground Floor - Type A
SCALE: 1/8" = 1'-0"

025-04-28, 1:46 PM BIMcloud: steelbarr - BIMcloud Software as a Service/24 0130 The Roan at Hendersonville



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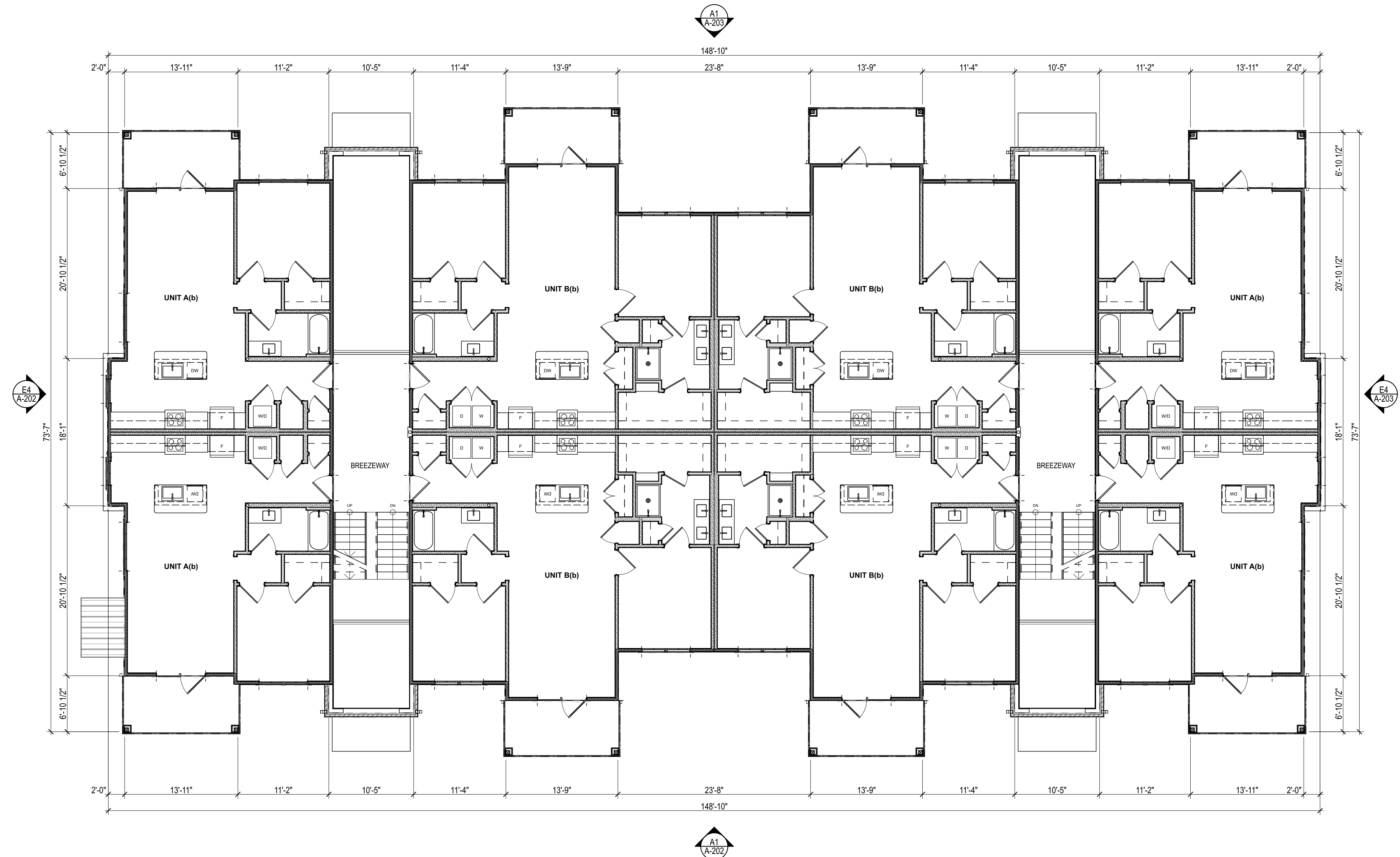
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE A,
SECOND FLOOR

SHEET:

A-102



A3 2F Second Floor - Type A
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

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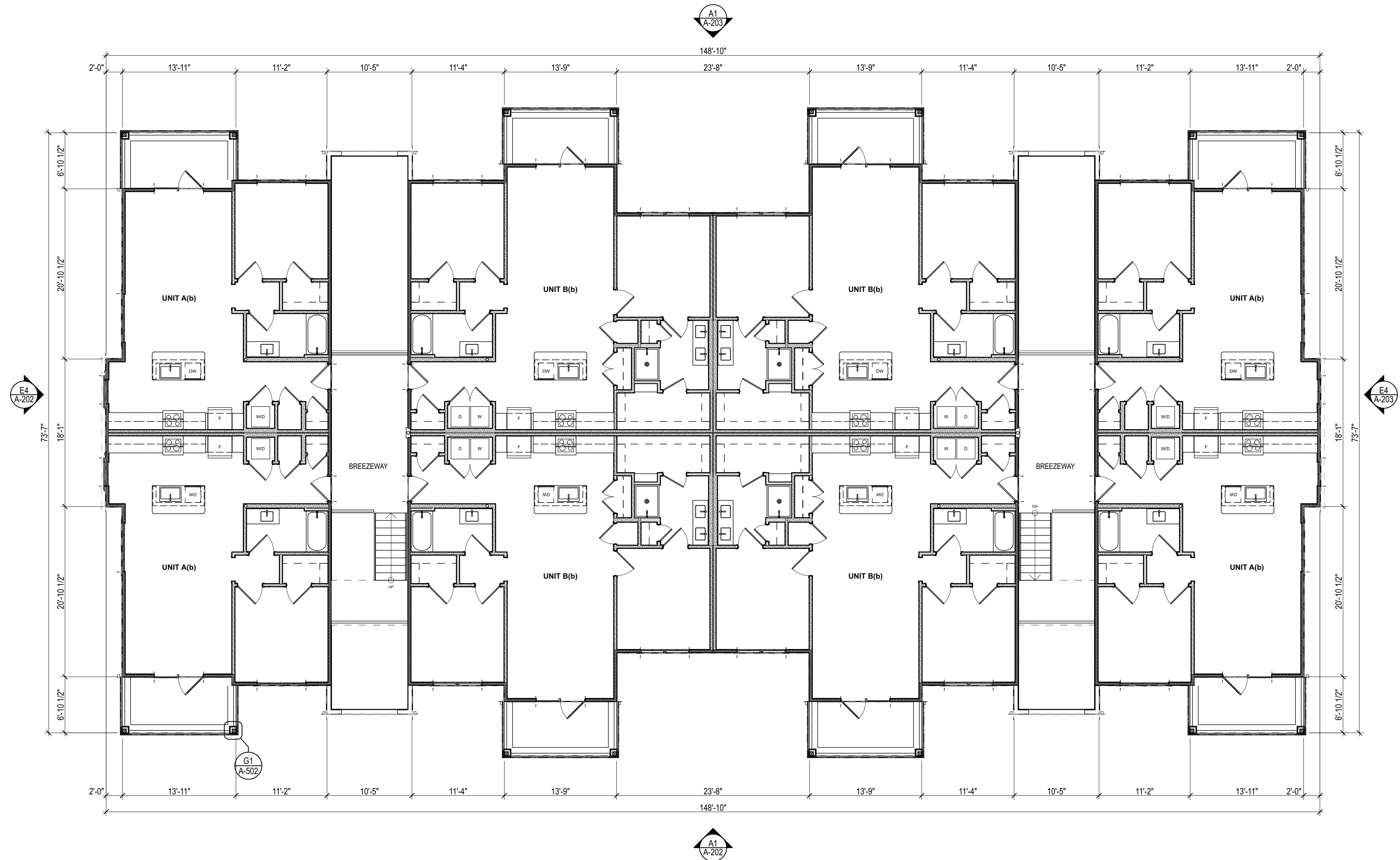
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE A,
THIRD FLOOR

SHEET:

A-103



A3 3F Third Floor - Type A
SCALE: 1/8" = 1'-0"

025-04-28, 1:46 PM BIMcloud - BIMcloud Software as a Service 24 0130 The Roan at Hendersonsville 24 0130 The Roan at Hendersonsville



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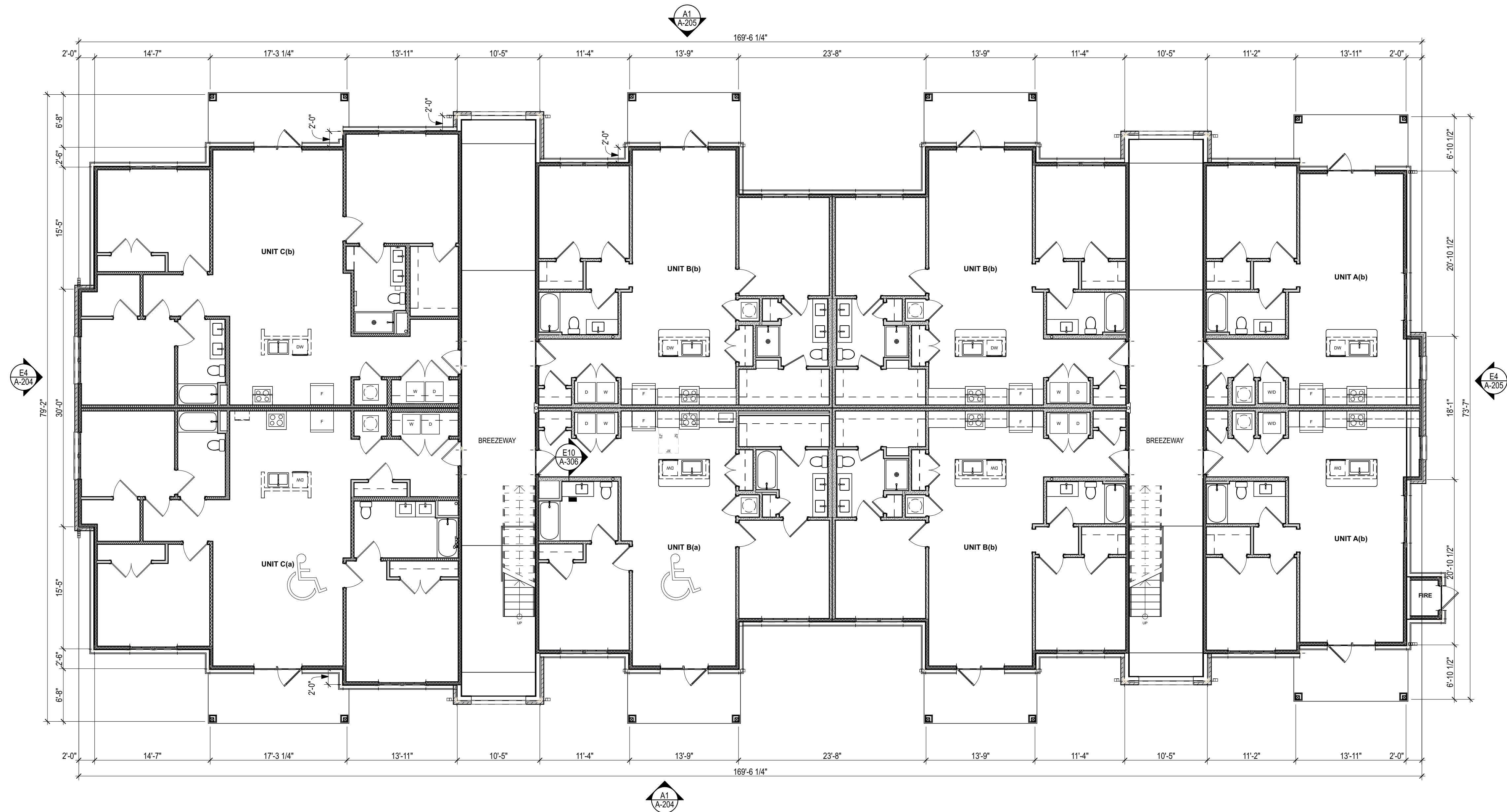
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE B,
GROUND FLOOR

SHEET:

A-104



A1 GF Ground Floor - Type B
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



STATUS:	Conceptual Not for Construction
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Flat Rock, NC 28731

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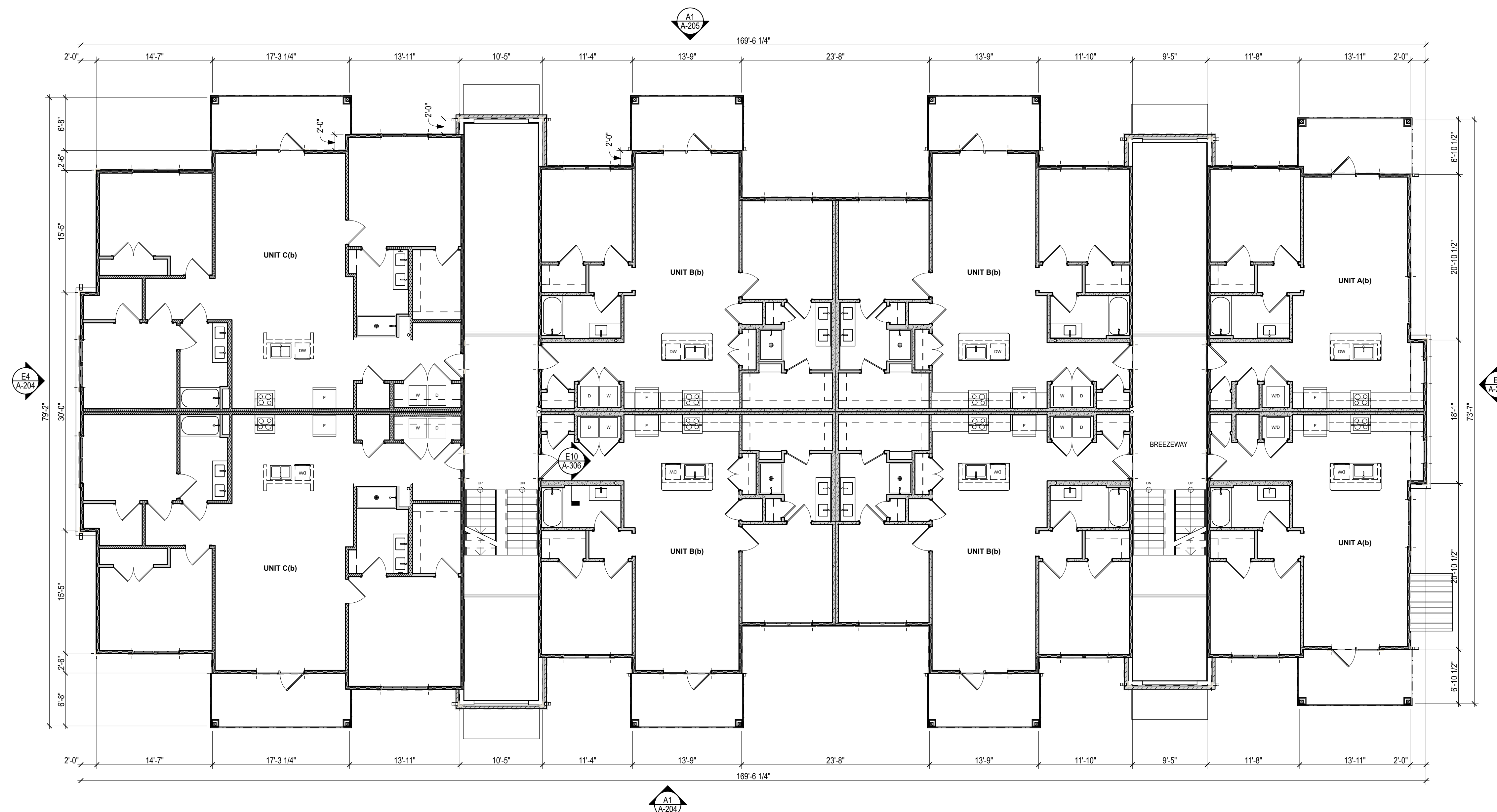
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE B
SECOND FLOOR

SHEET:

A-105



A1

2F Second Floor - Type B

SCALE: 1/8" = 1'-0"

225.04.28 1:48 PM RIM-vjrd: cloolem - RIM/vjrd Software as a Service/24 01/30 The Roan at Hendersonville



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Upward Crossing Drive
Flat Rock, NC 28731

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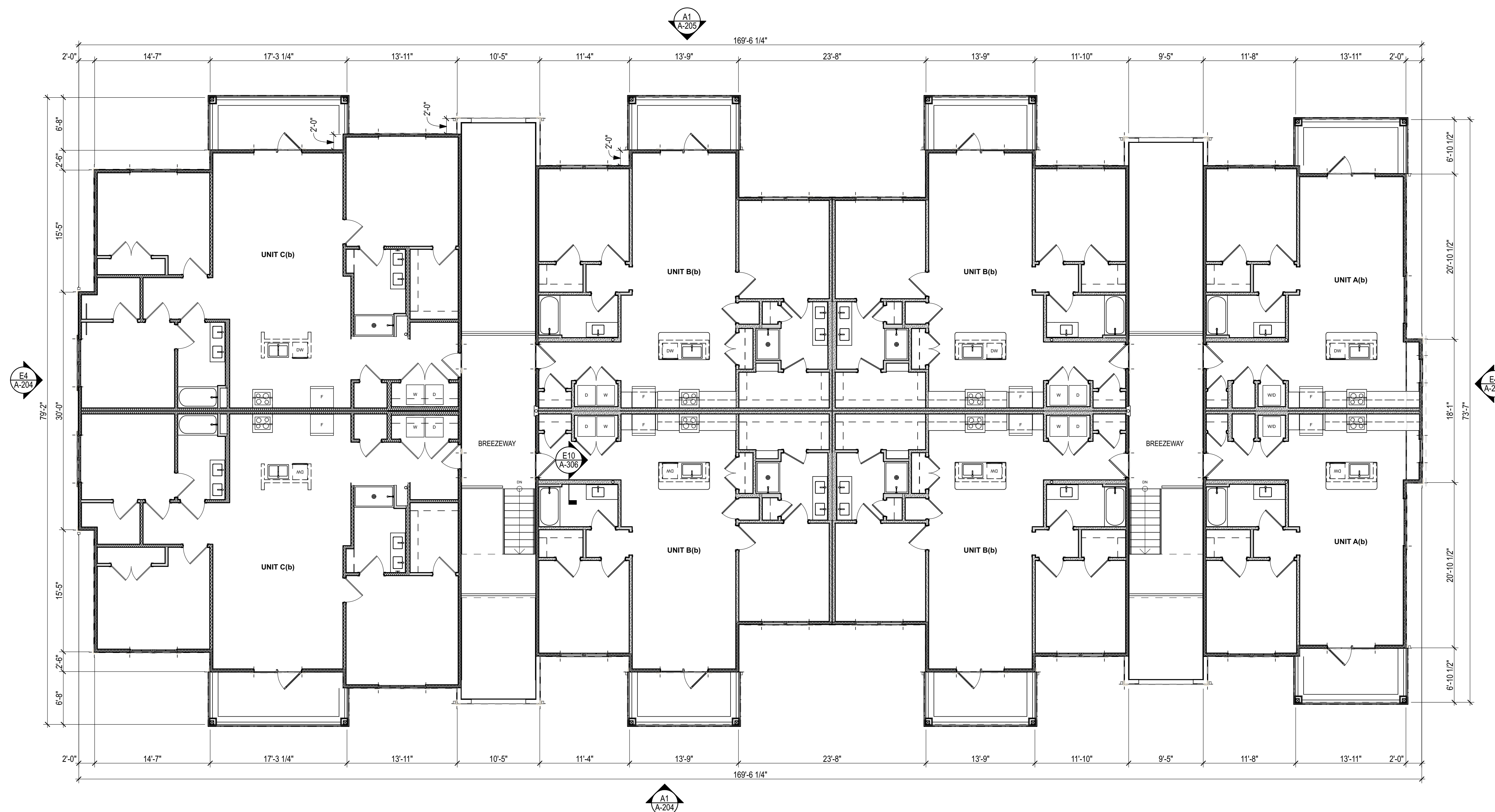
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE B
THIRD FLOOR

SHEET

A-106



A1

3F Third Floor - Type B

SCALE: 1/8" = 1'-0"



STEELE GROUP
ARCHITECTS

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Upward Crossing Drive
Flat Rock, NC 28731

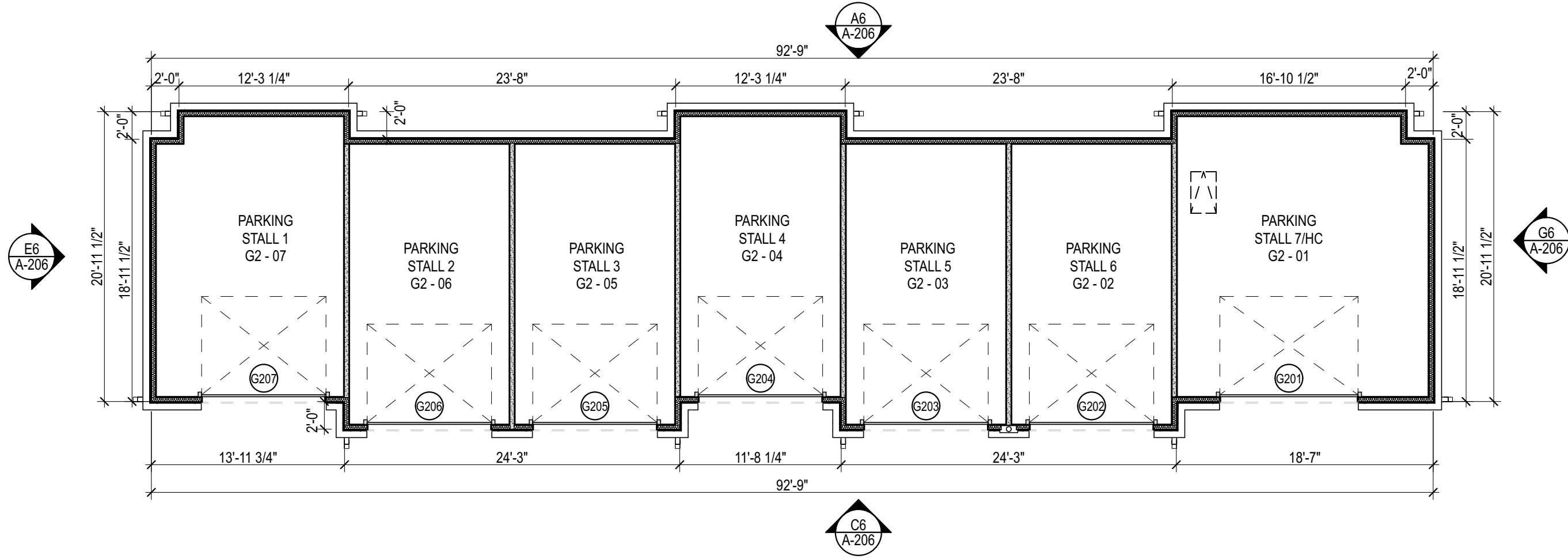
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Version	Transmittal Set Name	Date

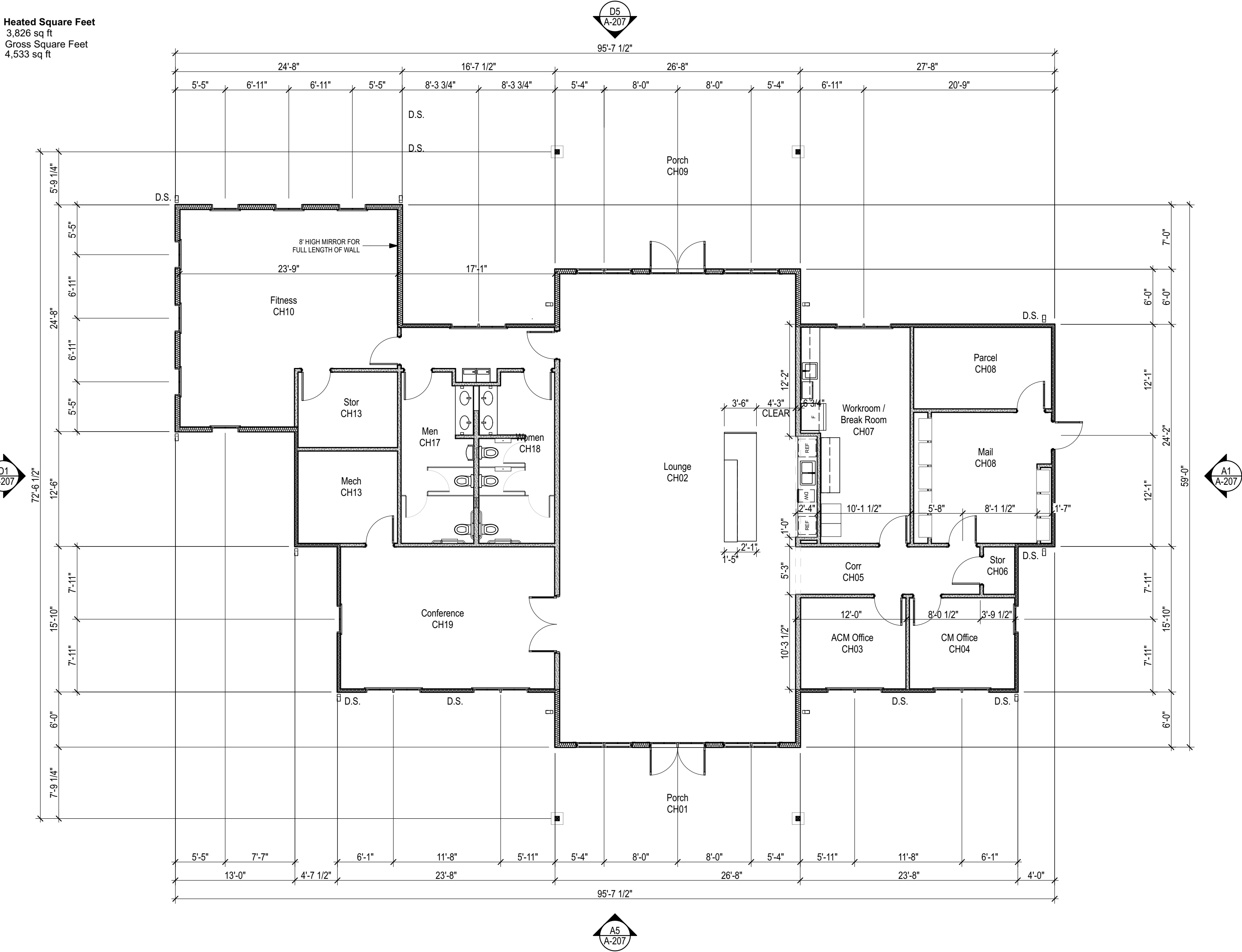
DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
FLOOR PLANS - CLUBHOUSE &
GARAGES

SHEET:

A-107



F6 GF Ground Floor - Garages
SCALE: 1/8" = 1'-0"



A5 GF Ground Floor
SCALE: 1/8" = 1'-0"



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ARCHITECTS

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Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR RENDERING

SHEET:

A-201





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ARCHITECTS

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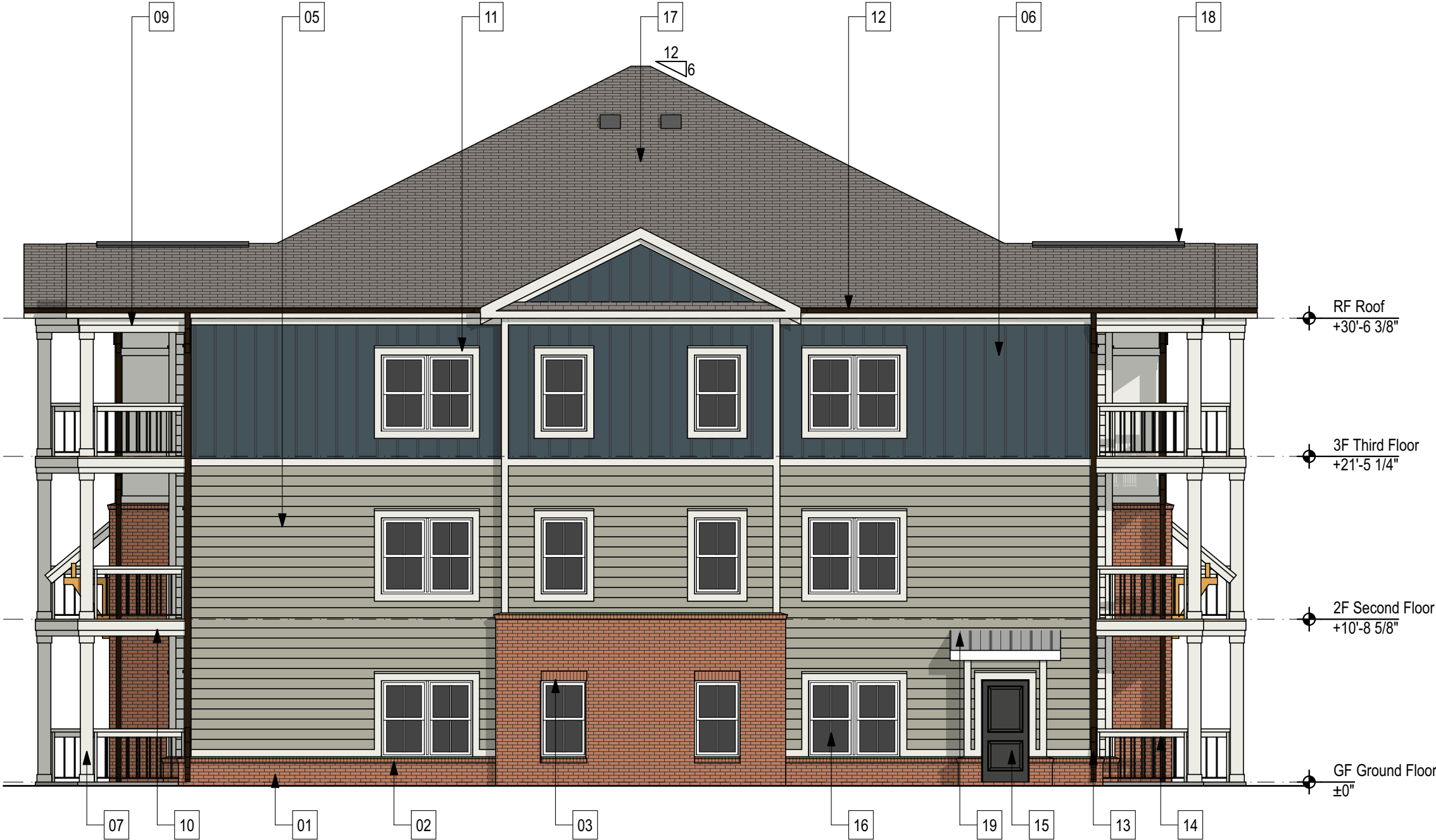
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PROJECT NUMBER:
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SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BLDG. TYPE A

SHEET:

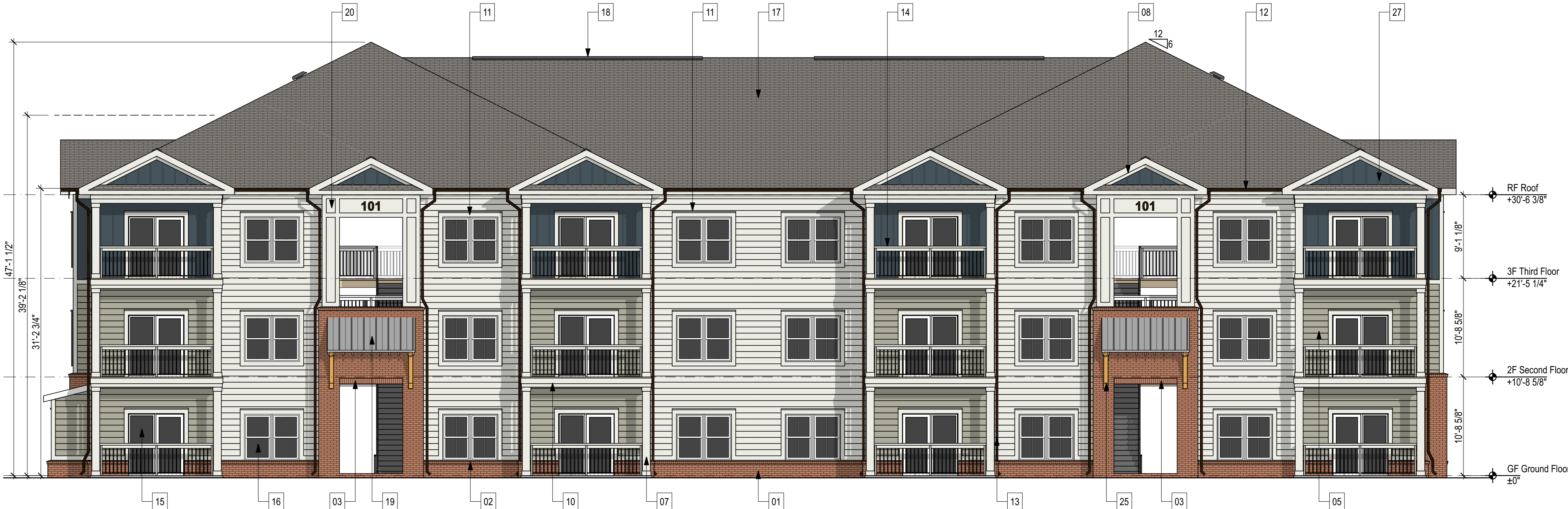
A-202

ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
02	BRICK ROWLOCK SILL - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
03	BRICK SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
04	BRICK ROWLOCK & SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
05	FIBER CEMENT SIDING - 8" LAP, COLOR #1: SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
06	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #3 SHERWIN WILLIAMS 6201 THUNDEROUS
07	FIBER CEMENT COLUMN COVER - COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
08	FIBER CEMENT TRIM - ROOF FASCIA, COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
09	FIBER CEMENT TRIM - ROOF BEAM, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
10	FIBER CEMENT TRIM - BALCONY EDGE, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
20	FIBER CEMENT PANEL - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
21	FIBERGLASS EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
22	ALUMINUM STOREFRONT DOOR
23	ALUMINUM STOREFRONT WINDOW
24	OVERHEAD DOOR
25	DOUGLAS FIR WOOD DECORATIVE BRACKET - MINWAX STAIN FALLEN CYPRESS MW425
26	VINYL LOUVER - COLOR: WHITE
27	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #2 SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
28	FIBER CEMENT SIDING - 8" LAP, COLOR #3: SHERWIN WILLIAMS 6201 THUNDEROUS
29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



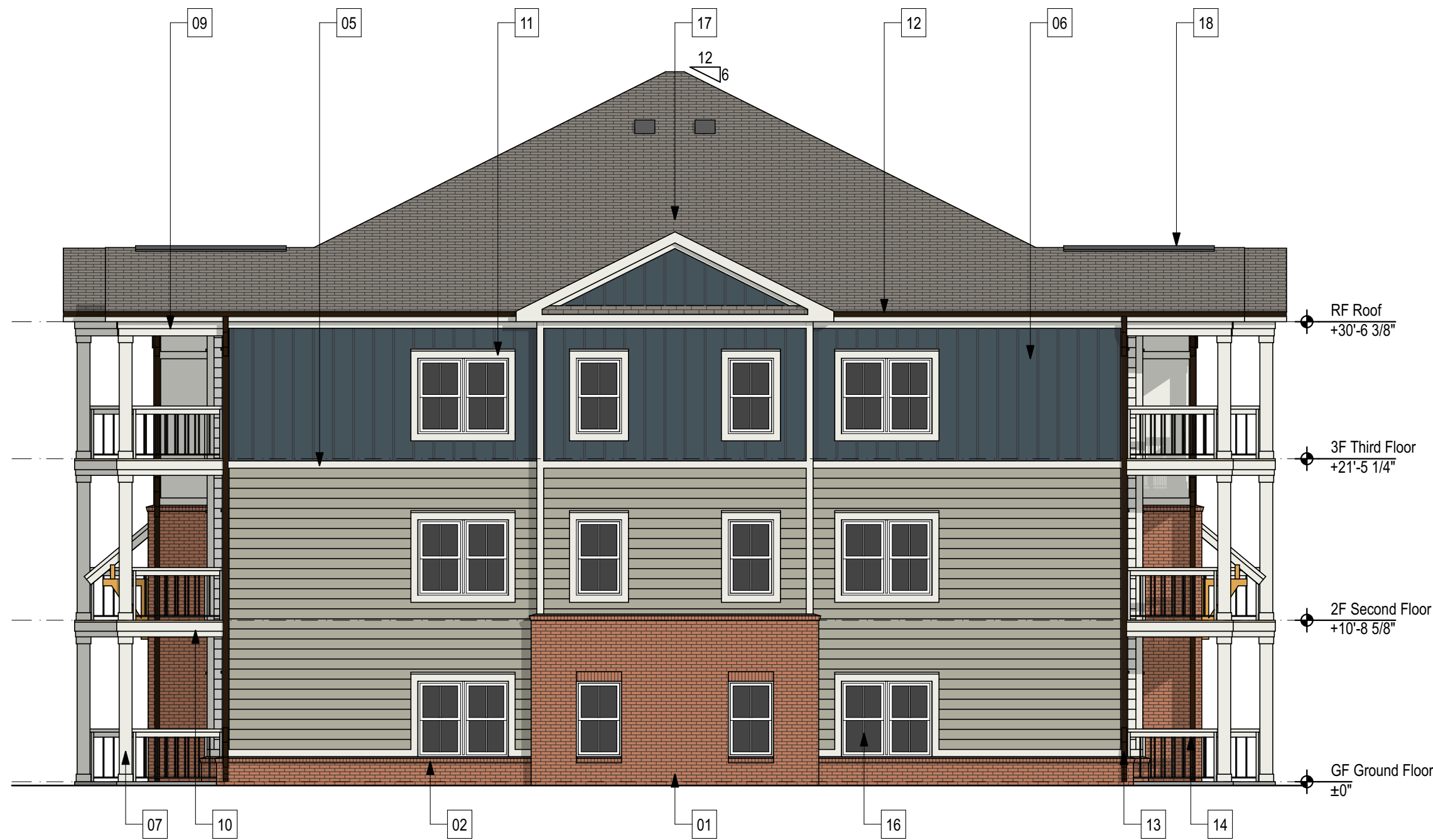
NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 17.2%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
- GABLES
- EAVES (1'-6" PROJECTION)
- WINDOW / DOOR TRIM (NOM. 4" WIDE)
- RECESSED / COVERED ENTRIES
- OFF-SETS IN BUILDING FACE OR ROOF
- PILLARS OR POSTS (PROVIDED ON BALCONIES)
- BALCONIES
3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 LEFT ELEVATION - APARTMENT BUILDING, TYPE A
SCALE: 1/8" = 1'-0"



NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.2%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
- GABLES
- EAVES (1'-6" PROJECTION)
- WINDOW / DOOR TRIM (NOM. 4" WIDE)
- RECESSED / COVERED ENTRIES
- OFF-SETS IN BUILDING FACE OR ROOF
- PILLARS OR POSTS (PROVIDED ON BALCONIES)
- BALCONIES
3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 FRONT ELEVATION - APARTMENT BUILDING, TYPE A
SCALE: 1/8" = 1'-0"



- NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.7%
 2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 RIGHT ELEVATION - APARTMENT BUILDING, TYPE A

SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES	
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10	FIBER CEMENT TRIM - BALCONY EDGE, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
20	FIBER CEMENT PANEL - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
21	FIBERGLASS EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
22	ALUMINUM STOREFRONT DOOR
23	ALUMINUM STOREFRONT WINDOW
24	OVERHEAD DOOR
25	DOUGLAS FIR WOOD DECORATIVE BRACKET - MINWAX STAIN FALLEN CYPRESS MW425
26	VINYL LOUVER - COLOR: WHITE
27	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #2 SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
28	FIBER CEMENT SIDING - 8" LAP, COLOR #3: SHERWIN WILLIAMS 6201 THUNDEROUS
29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



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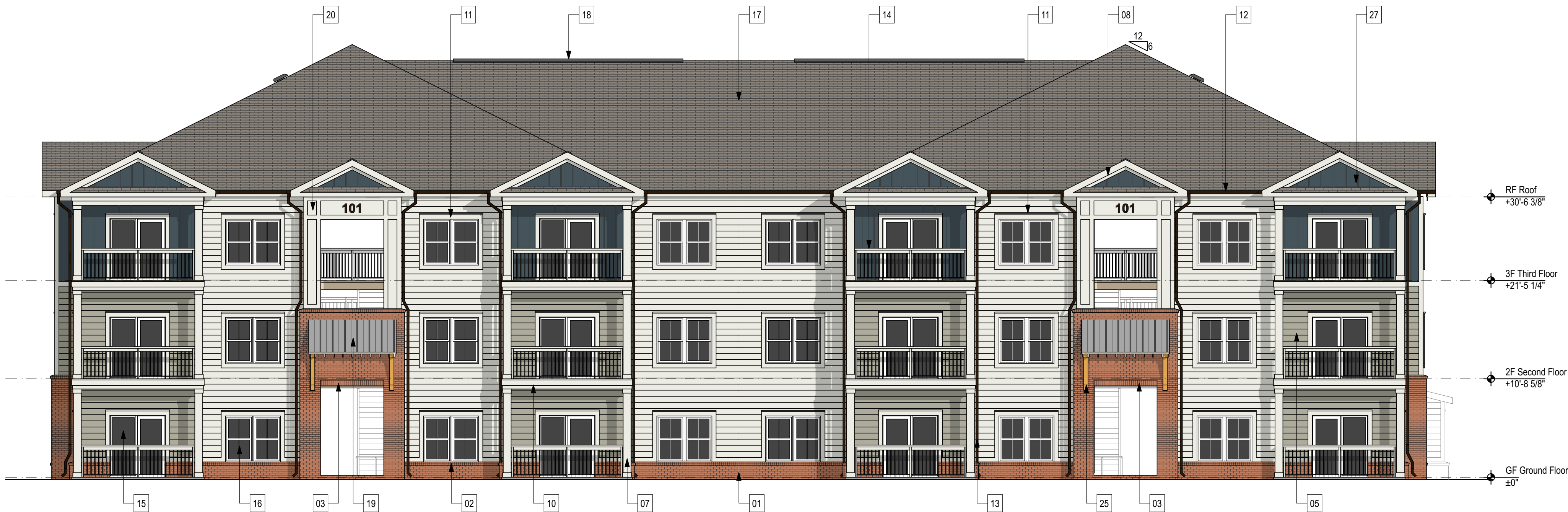
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Version	Transmittal Set Name	Date

DATE: 2024-06-20
PROJECT NUMBER: 24 0130
SHEET TITLE: EXTERIOR ELEVATIONS - APT. BLDG. TYPE A

SHEET:

A-203



- NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.2%
 2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 REAR ELEVATION - APARTMENT BUILDING, TYPE A

SCALE: 1/8" = 1'-0"



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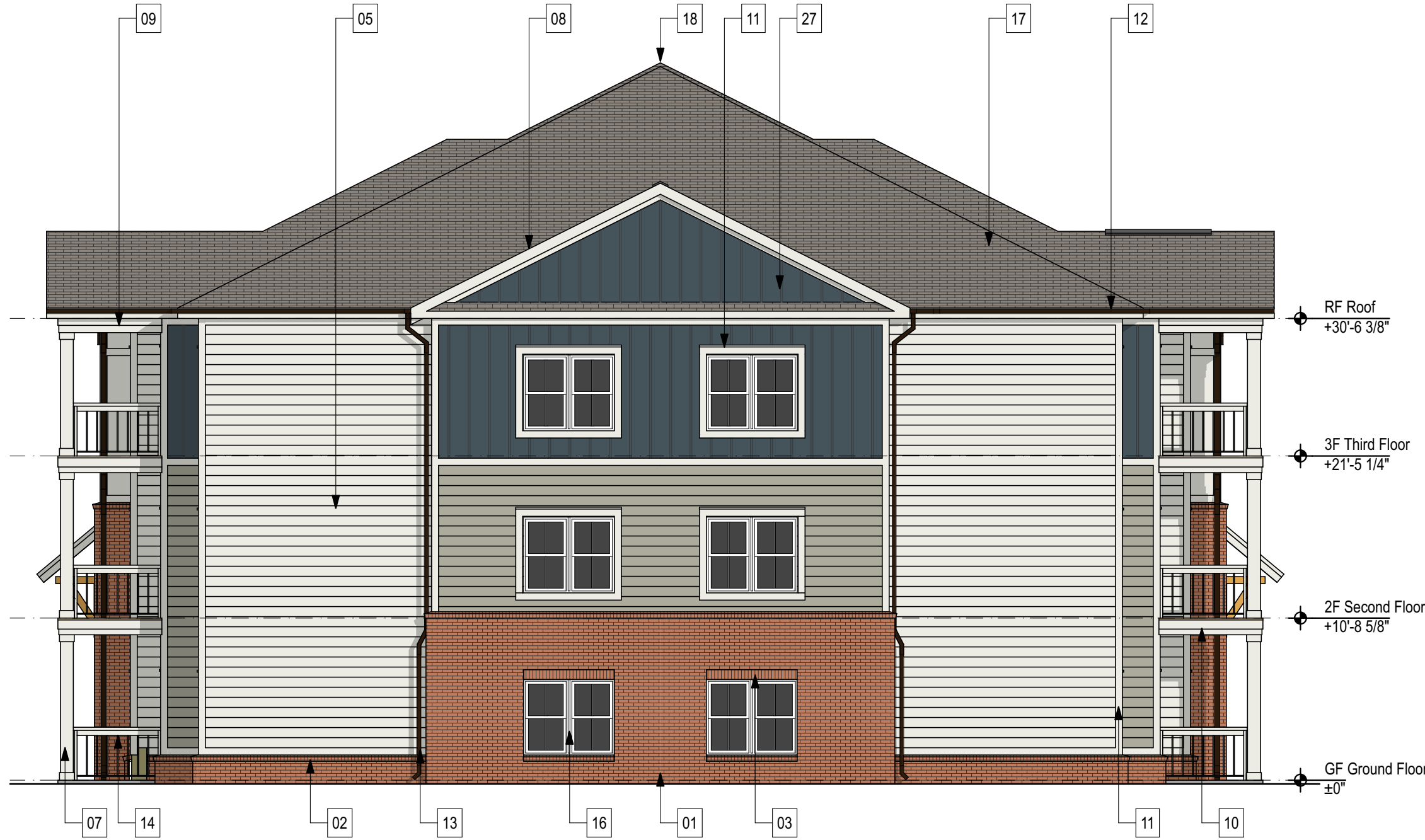
Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BLDG. TYPE B

SHEET:

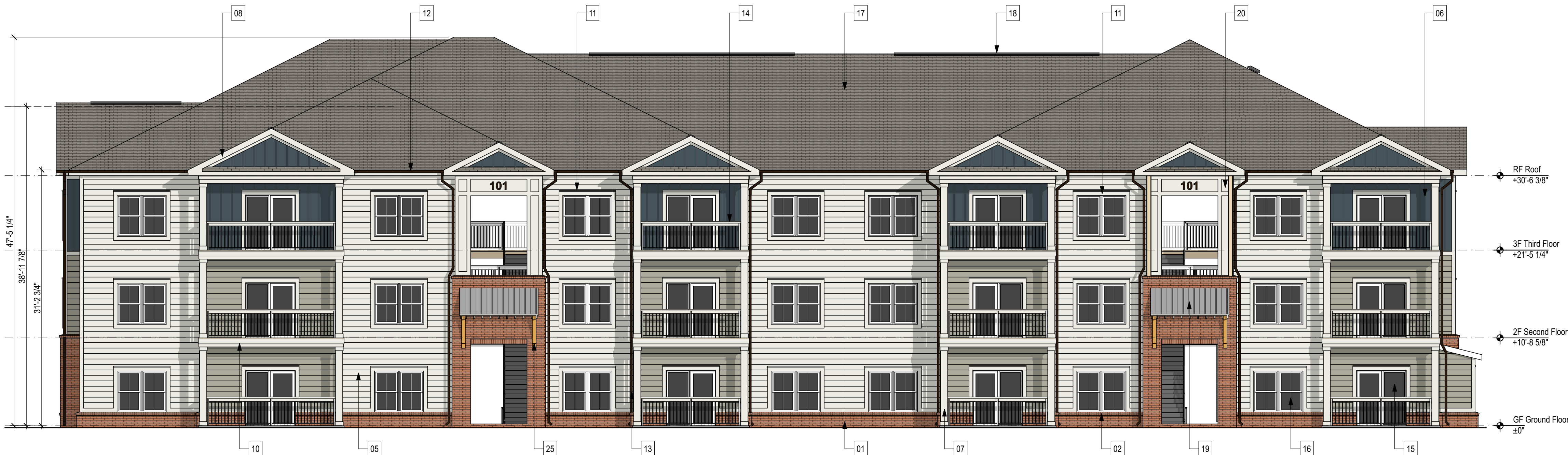
A-204

ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
02	BRICK ROWLOCK SILL - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
03	BRICK SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
04	BRICK ROWLOCK & SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
05	FIBER CEMENT SIDING - 8" LAP, COLOR #1: SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
06	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #3 SHERWIN WILLIAMS 6201 THUNDEROUS
07	FIBER CEMENT COLUMN COVER - COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
08	FIBER CEMENT TRIM - ROOF FASCIA, COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
09	FIBER CEMENT TRIM - ROOF BEAM, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
10	FIBER CEMENT TRIM - BALCONY EDGE, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
20	FIBER CEMENT PANEL - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
21	FIBERGLASS EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
22	ALUMINUM STOREFRONT DOOR
23	ALUMINUM STOREFRONT WINDOW
24	OVERHEAD DOOR
25	DOUGLAS FIR WOOD DECORATIVE BRACKET - MINWAX STAIN FALLEN CYPRESS MW425
26	VINYL LOUVER - COLOR: WHITE
27	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #2 SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
28	FIBER CEMENT SIDING - 8" LAP, COLOR #3: SHERWIN WILLIAMS 6201 THUNDEROUS
29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 20.6%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 LEFT ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 15.0%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 FRONT ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"

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STATUS: Conceptual
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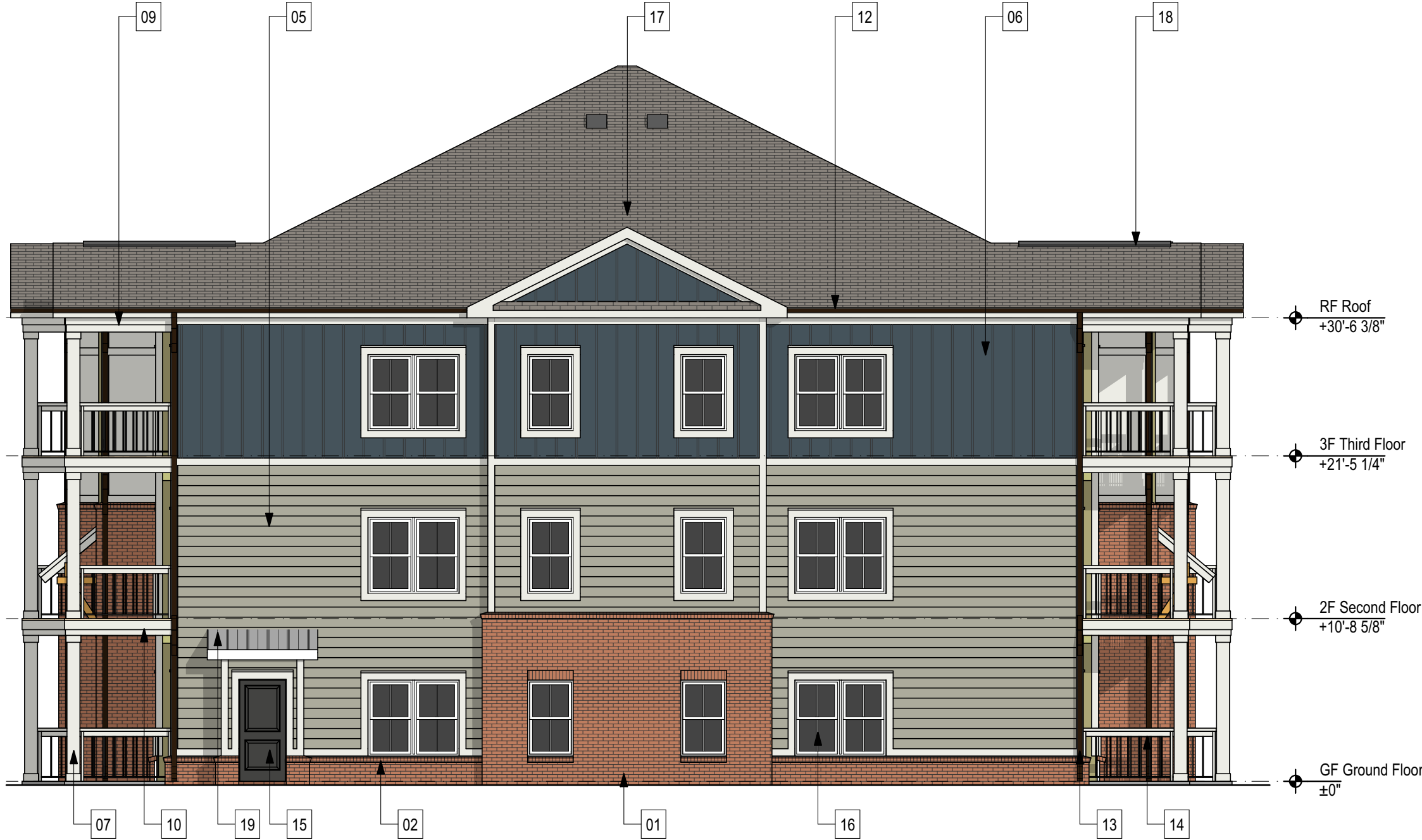
Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BDLG. TYPE B

SHEET:

A-205

ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
02	BRICK ROWLOCK SILL - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
03	BRICK SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
04	BRICK ROWLOCK & SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
05	FIBER CEMENT SIDING - 8" LAP, COLOR #1: SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
06	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #3 SHERWIN WILLIAMS 6201 THUNDEROUS
07	FIBER CEMENT COLUMN COVER - COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
08	FIBER CEMENT TRIM - ROOF FASCIA, COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
09	FIBER CEMENT TRIM - ROOF BEAM, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
10	FIBER CEMENT TRIM - BALCONY EDGE, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
20	FIBER CEMENT PANEL - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
21	FIBERGLASS EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
22	ALUMINUM STOREFRONT DOOR
23	ALUMINUM STOREFRONT WINDOW
24	OVERHEAD DOOR
25	DOUGLAS FIR WOOD DECORATIVE BRACKET - MINWAX STAIN FALLEN CYPRESS MW425
26	VINYL LOUVER - COLOR: WHITE
27	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #2 SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
28	FIBER CEMENT SIDING - 8" LAP, COLOR #3: SHERWIN WILLIAMS 6201 THUNDEROUS
29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.7%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 RIGHT ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 15.0%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 REAR ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"

2024-06-20 1:48 PM Michael_Mahoney - External Schema as a Source of Truth The Ronan at Hendersonville



STATUS:	Conceptual Not for Construction
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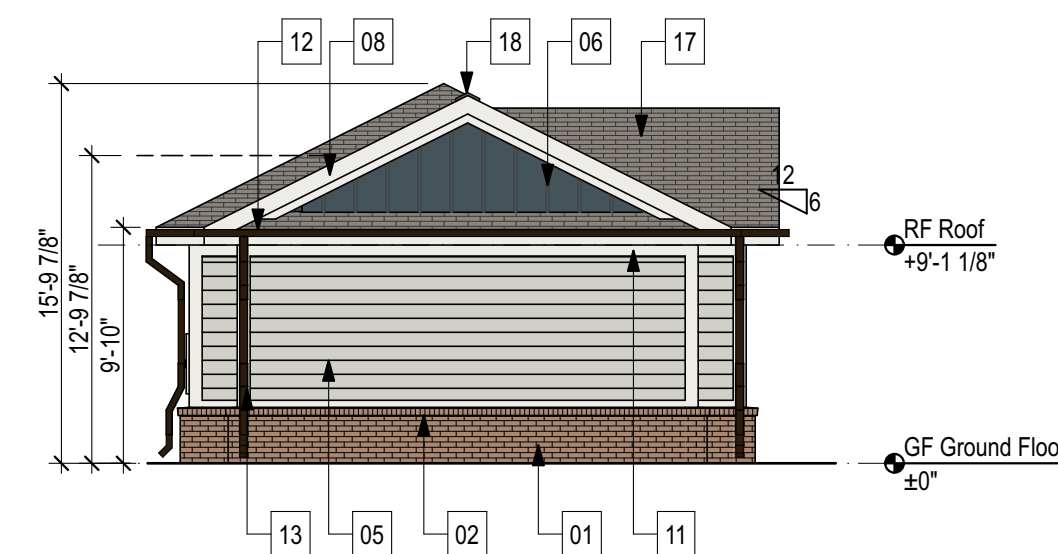
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
EXTERIOR ELEVATIONS -
GARAGES

SHEET

A-206

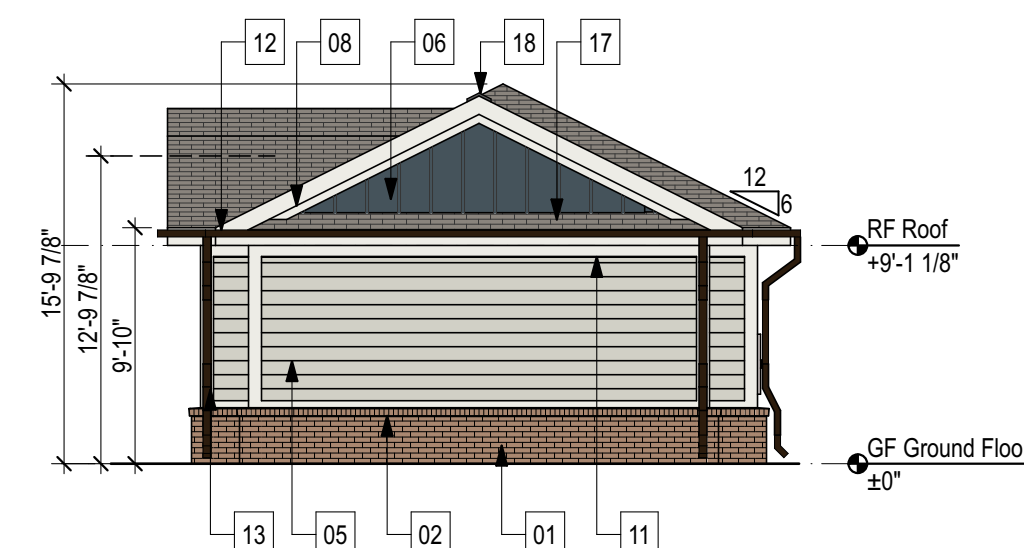


NOTE:

1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 26.3%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - OFFSETS IN BUILDING FACE AND ROOF

G6 RIGHT ELEVATION - GARAGES

SCALE: 1/8" = 1'-0"

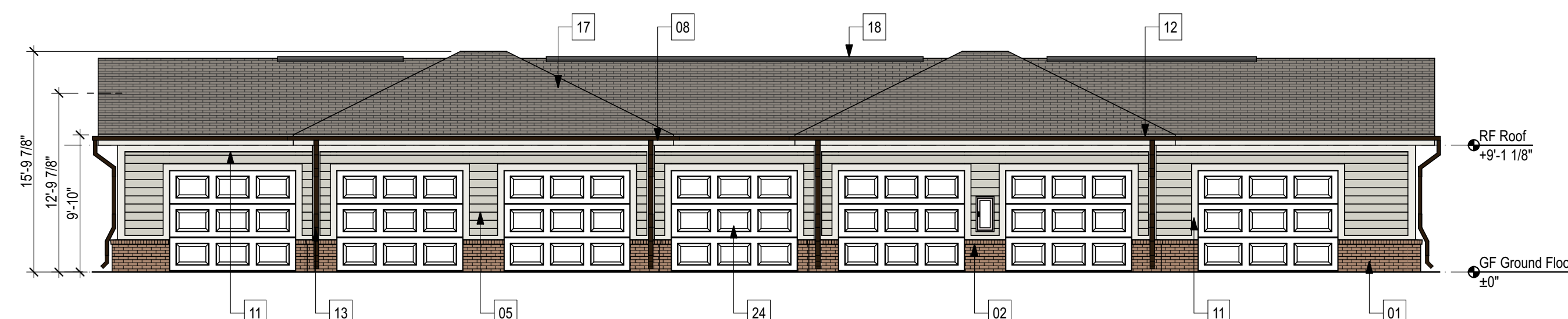


NOTE:

1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 25.8%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - OFFSETS IN BUILDING FACE AND ROOF

E6 LEFT ELEVATION - GARAGES

SCALE: 1/8" = 1'-0"

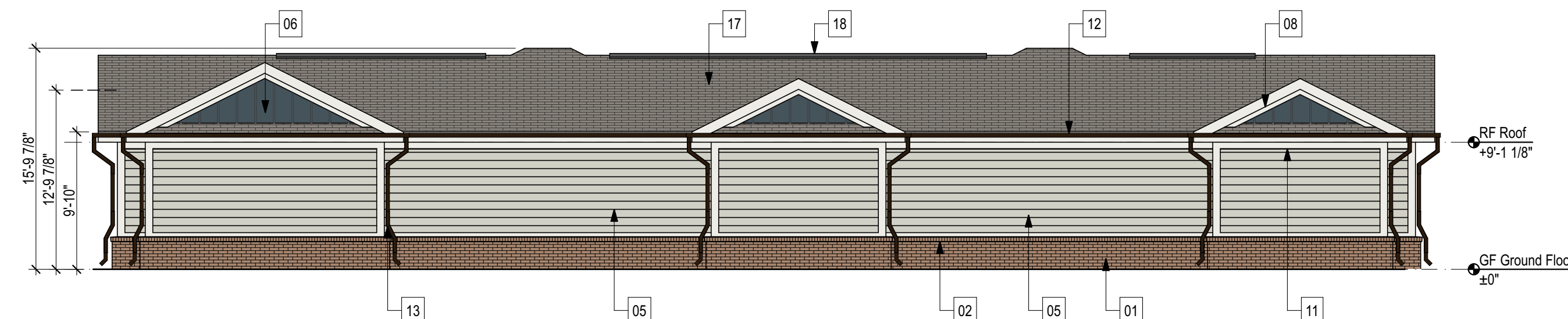


NOTE:

1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 18.4%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - EAVES (1'-6" PROJECTION)
 - OFFSETS IN BUILDING FACE AND ROOF
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)

C6 FRONT ELEVATION - GARAGES

SCALE: 1/8" = 1'-0"



NOTE:

1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 25.8%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - OFFSETS IN BUILDING FACE AND ROOF

46 REAR ELEVATION - GARAGES

SCALE: 1/8" = 1'-0"

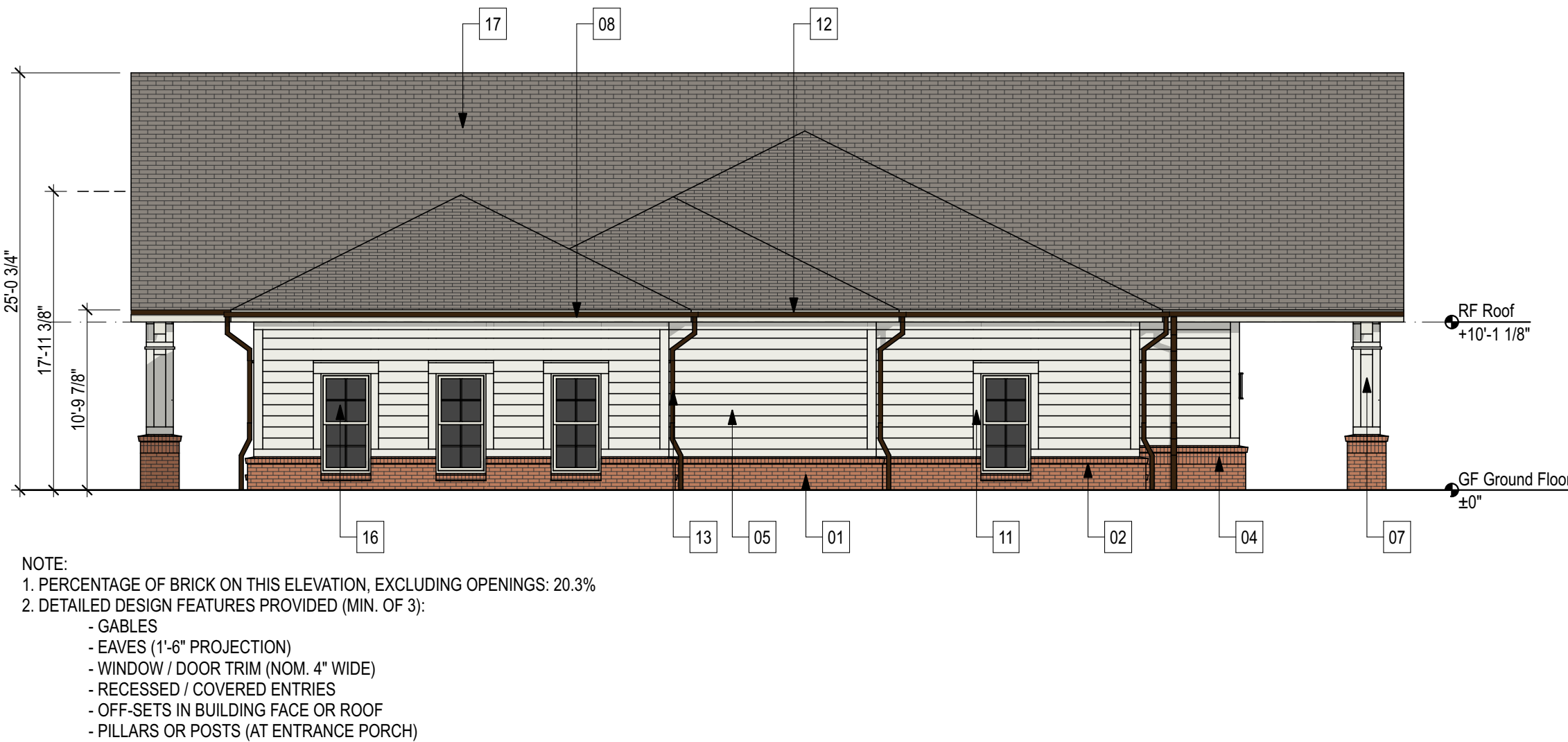
ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
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11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES

18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
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28	FIBER CEMENT SIDING - 8" LAP, COLOR #3: SHERWIN WILLIAMS 6201 THUNDEROUS
29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



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STATUS: Conceptual
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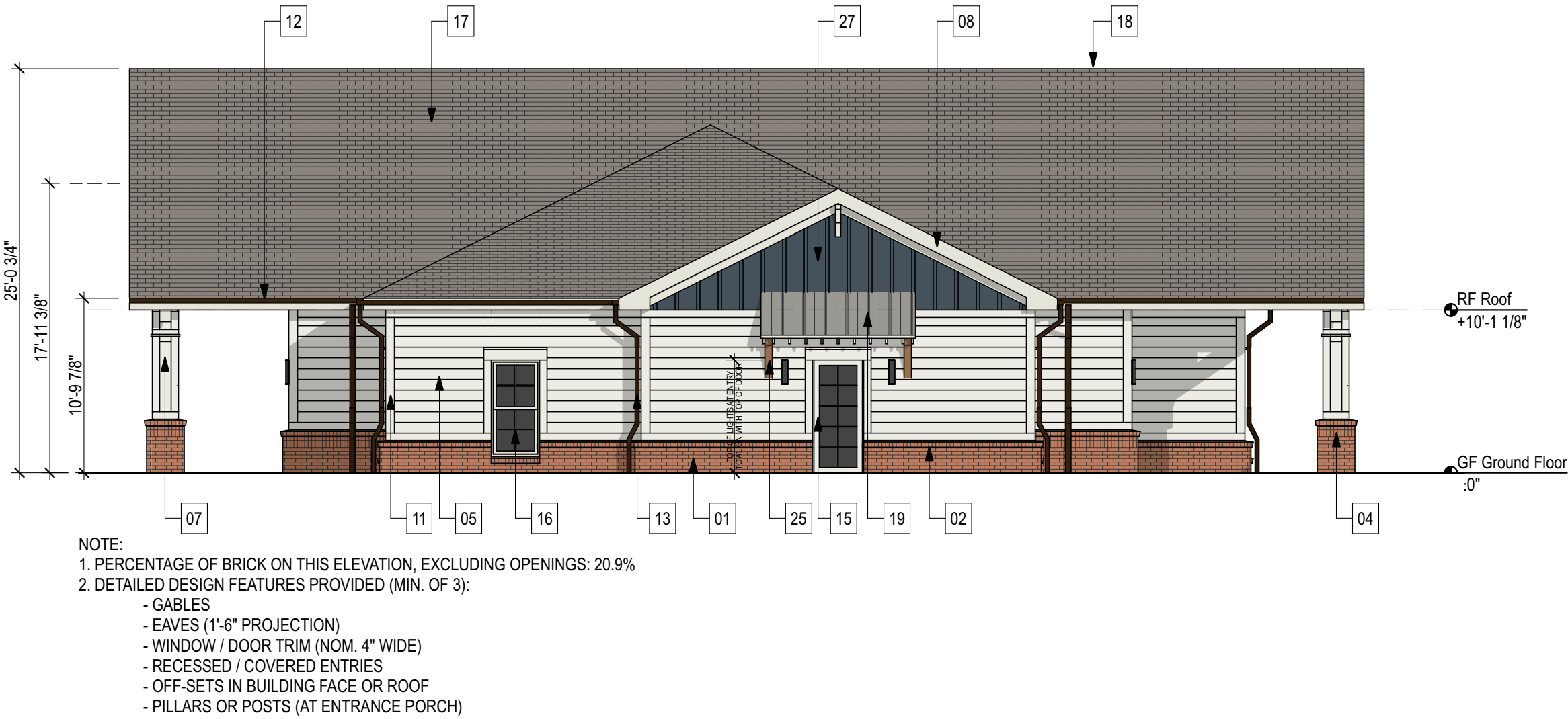
D1 CLUBHOUSE - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



D5 CLUBHOUSE - REAR ELEVATION

SCALE: 1/8" = 1'-0"



A1 CLUBHOUSE - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



A5 CLUBHOUSE - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

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Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS -
CLUBHOUSE

SHEET:

A-207