

LINE	BEARING	DISTANCE
L1	S72°24'22"W	8.40'
L2	S89°40'55"E	12.07'

Henderson County Board of Public Education
D.B. 824, Pg. 216
PIN: 9569-40-1628
Zoned: PID

	SQUARE FEET	% of TOTAL AREA
I Total Project Area	41,300	100%
II Proposed Lot Area	41,300	100%
III Site Coverage - Buildings	11,441	28%
IV Site Coverage - Open Space	8,434	20%
V Site Coverage - Streets & Parking	12,913	31%
VI Site Coverage - Other Facilities	8,513	21%
VII Site Coverage - Common Open Space	N/A	N/A

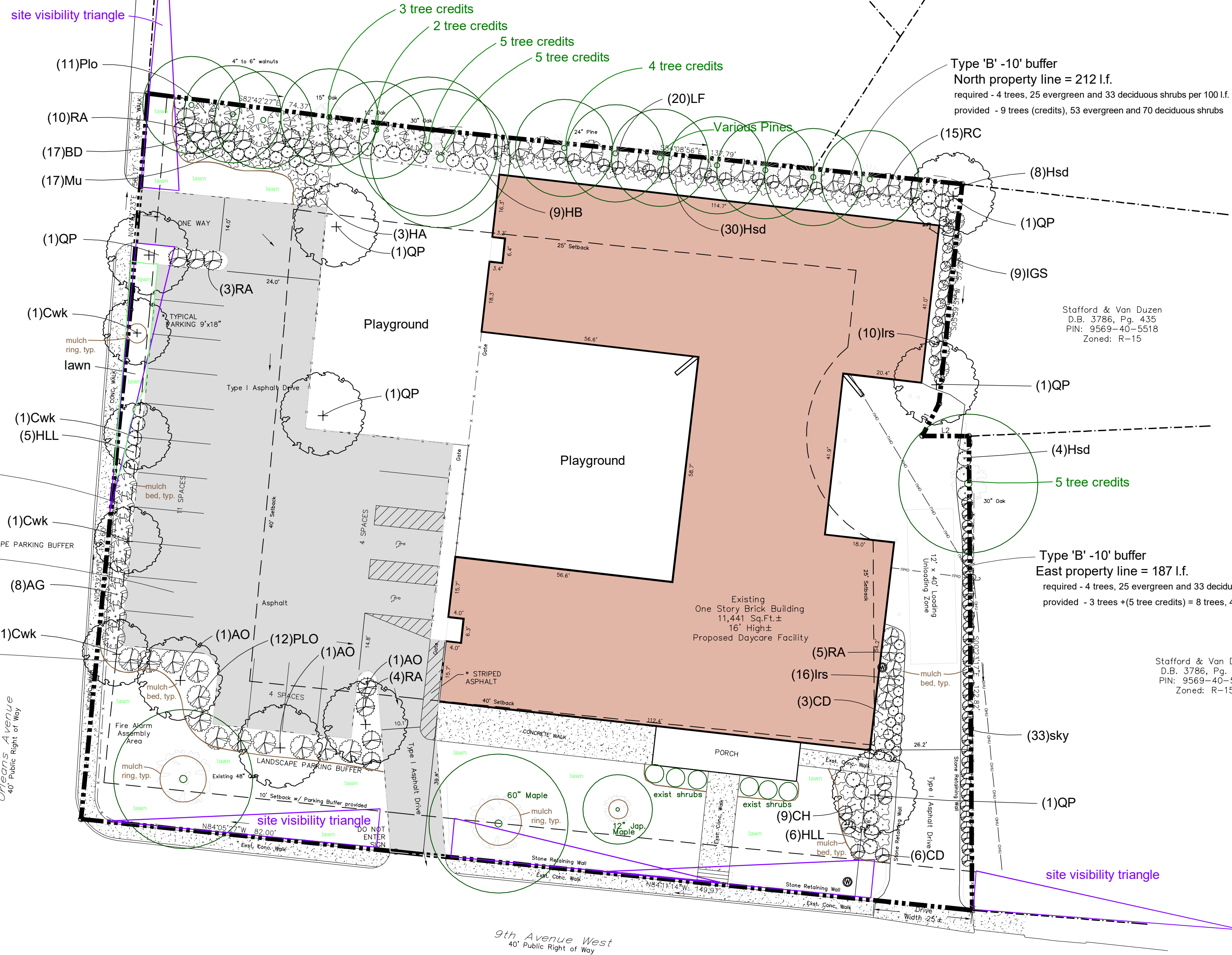
Romel Soto Correia
D.B. 1673, Pg. 494
Plot Side 2179
PIN: 9569-40-3648
Zoned: R-15

Massogee, Massogee & Massogee
D.B. 1560, Pg. 538
PIN: 9569-40-5656
Zoned: R-15

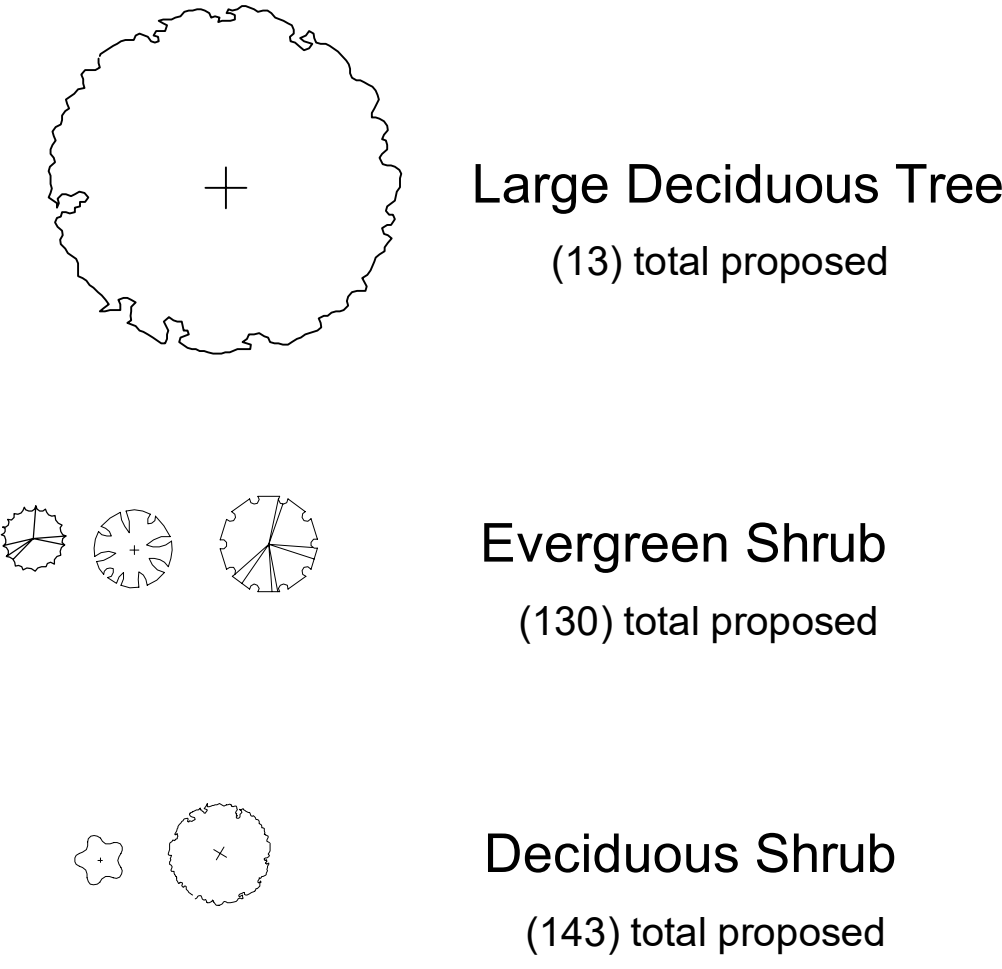
Stafford & Van Duzen
D.B. 3786, Pg. 435
PIN: 9569-40-5518
Zoned: R-15

Stafford & Van Duzen
D.B. 3786, Pg. 435
PIN: 9569-40-5418
Zoned: R-15

Henderson County Board of Public Schools
D.B. 1096, Pg. 52
PIN: 9569-40-1087
Zoned: PID



Landscape Legend



Landscape Required

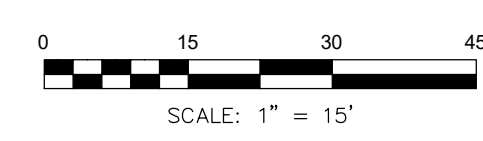
- 5' width Plant Strip West property line = 142 l.f.
required - 1 trees, 5 shrubs per 40 l.f.
provided - 4 trees, 18 shrubs
- 5' width Plant Strip South property line = 90 l.f.
required - 1 trees, 5 shrubs per 40 l.f.
provided - 3 trees, 12 shrubs
- Vehicular/ Parking Landscape parking area = 8,631 s.f.
required - 1 trees, 2 shrubs per 4,000 s.f.
provided - 3 trees, 5 shrubs
- Type 'B' -10' buffer North property line = 212 l.f.
required - 4 trees, 25 evergreen and 33 deciduous shrubs per 100 l.f.
provided - 9 trees (credits), 53 evergreen and 70 deciduous shrubs
- Type 'B' -10' buffer East property line = 187 l.f.
required - 4 trees, 25 evergreen and 33 deciduous shrubs per 100 l.f.
provided - 3 trees +(5 tree credits) = 8 trees, 47 evergreen and 62 deciduous shrubs
- Type 'B' -10' buffer North property line = 212 l.f.
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Site Plan for
New Leaf Sales LLC
(Owner & Developer)
913 & 917 9th Avenue West
Hendersonville Township
Henderson County
State of North Carolina

Total Trees Required = 27 total trees
Total Tree Credits Used = 14 total trees
Total Trees provided = 13 trees
Total Shrubs Required = 267 shrubs
Total Shrubs Provided = 273 shrubs

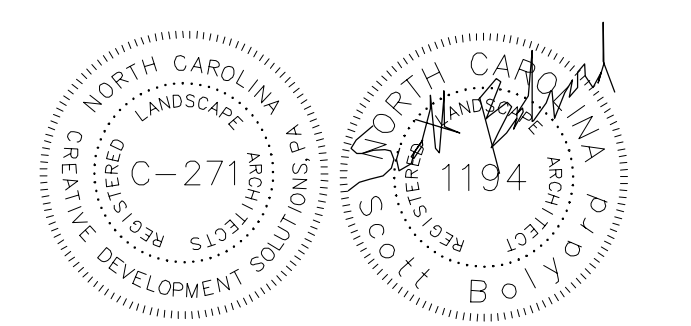
LEGEND

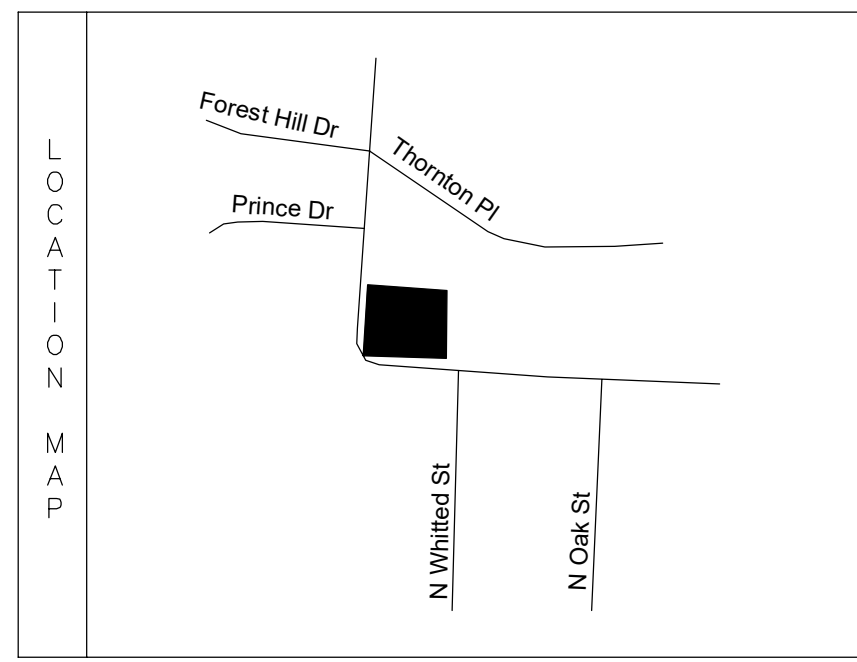
○	IRON PIN FOUND
○	IRON PIN SET
○	CALCULATED POINT
○	TEMPORARY BENCHMARK
○	MEASURED
○	RECORD
○	STORM DRAIN MANHOLE
○	CATCH BASIN
○	CURB INLET
○	SEWER MANHOLE
○	CLEAN OUT
○	WATER METER
○	FIRE HYDRANT
○	WATER VALVE
○	BACK FLOW PREVENTER
○	ELECTRIC MANHOLE
○	POWER POLE
○	LIGHT POLE
○	TRANSFORMER
○	TELEPHONE MANHOLE
○	TELEPHONE PEDESTAL
○	UTILITY VAULT
○	GAS VALVE
○	GAS METER
○	MONITORING WELL
○	A/C UNIT
○	OVERHEAD ELECTRIC
○	UNDERGROUND ELECTRIC
○	SANITARY SEWER LINE
○	WATER LINE
○	GAS LINE
○	FENCE



SCALE : 1" = 20'

Other Consultants:	Surveyor - Freeland Climascapes
Owner:	New Leaf Sales LLC
Project:	Kid City 913 & 917 9th Avenue West
Sheet:	Landscape Plan
Designed By:	cds Creative Development Solutions landscape architecture land planning community and resort design 1003 4th avenue west, hendersonville, north carolina 28739 p 828 696 9992 f 828 696 9954
ISSUE DATE:	October 16, 2023
DESIGNED BY:	DB
DRAWN BY:	SB
APPROVED BY:	DSB
Project Number:	
SHEET NUMBER:	L1





LINK	BEARING	DISTANCE
L1	S87°27'23"W	9.40'
L2	S89°40'55"E	12.07'

	SQUARE FEET	% of TOTAL AREA
i Total Project Area	41,300	100%
ii Proposed Lot Area	41,300	100%
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vii Site Coverage - Common Open Space	N/A	N/A

Massagee, Massagee & Massagee
D.B. 1560, Pg. 538
PIN: 9569-40-5656
Zoned: R-15

Type 'B' -10' buffer
North property line = 212 l.f.
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D.B. 3786, Pg. 435
PIN: 9569-40-5518
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Henderson County Board of Public Education
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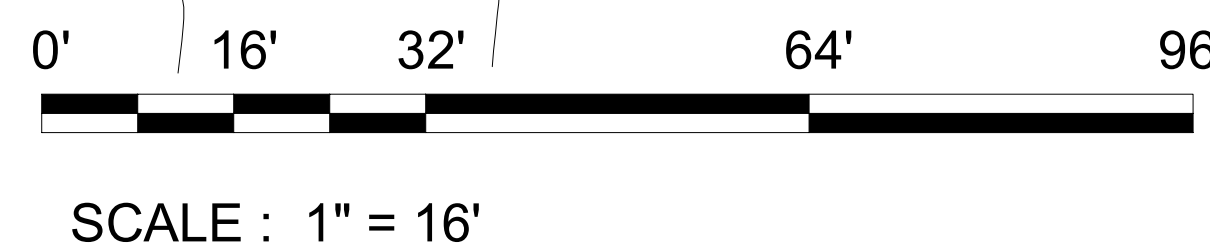
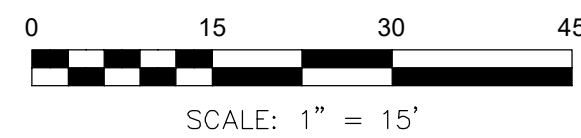
5' width Plant Strip
West property line = 142 l.f.
required - 1 trees, 5 shrubs per 40 l.f.
provided - 4 trees, 18 shrubs

Vehicular/ Parking Landscape
parking area = 8,631 s.f.
required - 1 trees, 2 shrubs per 4,000 s.f.
provided - 3 trees, 5 shrubs

5' width Plant Strip
South property line = 90 l.f.
required - 1 trees, 5 shrubs per 40 l.f.
provided - 3 trees, 12 shrubs

LEGEND

- IPF IRON PIN FOUND
- IPS IRON PIN SET
- CP CALCULATED POINT
- TBM TEMPORARY BENCHMARK
- (M) MEASURED
- (R) RECORD
- STORM DRAIN MANHOLE
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- CURB INLET
- SEWER MANHOLE
- CLEAN OUT
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- FENCE



FREELAND - CLINKSCALES & ASSOCIATES, INC. of NC
Engineers * Land Surveyors
201 2nd AVE EAST
HENDERSONVILLE, N.C. 28792
(828) 697-6539
(828) 697-4195 (fax)
info@caofnc.com Firm No. C-1562

REF. PLAT SLIDE	14890
REF. DEED BOOK	4036/593 & 4036/638
TAX MAP	9569-40-2580 & 40-3593
PARTY CHIEF	BLB
DRAWN BY	TEC
DATE	June 5, 2023
DWG.NO.	H43113

PRELIMINARY

NOT VALID WITHOUT THE SIGNATURE OF A PROFESSIONAL LAND SURVEYOR

Sheet No. 1 of 1

**Site Plan for
New Leaf Sales LLC**
(Owner & Developer)
913 & 917 9th Avenue West
Hendersonville Township
Henderson County
State of North Carolina

Other Consultants:
Surveyor - Freeland Clinkscales

Owner
New Leaf Sales LLC

Project:
Kid City
913 & 917 9th Avenue West

Sheet:
Landscape Plan

Designed By:
cds
Creative
Development
Solutions
landscape architecture | land planning | community and resort design
1003 4th avenue west, hendersonville, north carolina 28739
p 828 696 9992 | f 828 696 9954

ISSUE DATE: October 16, 2023
REVISIONS:
DESIGNED BY: DB
DRAWN BY: SB
APPROVED BY: DSB

Project Number:
SHEET NUMBER:
L2

Project Plant List

Large Trees - 13 Total

Key	Qty	Botanical Name	Common Name	Size	Remarks
AO	3	Acer 'October Glory'	October Glory Maple	2" Caliper, 10' Height	B&B, Single Straight Leader
Cwk	4	Crataegus viridis 'Winter King'	Winter King Hawthorn	2" Caliper, 10' Height	B&B, Single Straight Leader
QP	6	Quercus phellos	Willow Oak	2" Caliper, 10' Height	B&B, Single Straight Leader



AO - October Glory Maple



Cwk - Winter King Hawthorn



QP - Willow Oak



AG - Glossy Abelia

Evergreen Shrubs - 130 Total

Key	Qty	Botanical Name	Common Name	Size	Remarks
AG	8	Abelia grandiflora	Glossy Abelia	3 gallon, 18" Height	Full Plant
IGS	9	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	3 gallon, 18" Height	Full Plant
Sky	33	Ilex crenata 'Sky Pencil'	Sky Pencil Holly	3 gallon, 18" Height	Full Plant
LF	20	Leucothoe 'Margie Jenkins'	Leucothoe 'Margie Jenkins'	3 gallon, 18" Height	Full Plant
Plo	27	Prunus laurocarpus 'Otto Luyken'	Otto Luyken Cherry Laurel	3 gallon, 18" Height	Full Plant
RC	15	Rhododendron catawba 'English Roseum'	English Roseum Rhododendron	3 gallon, 18" Height	Full Plant
RA	18	Rhododendron 'Autumn Amethyst'	Autumn Amethyst Azalea	3 gallon, 18" Height	Full Plant



PLO - Otto Luyken Cherry Laurel



Sky - Sky Pencil Holly



IGS - Shamrock Inkberry Holly



LF - Margie Jenkins Leucothoe

Deciduous Shrubs - 143 Total

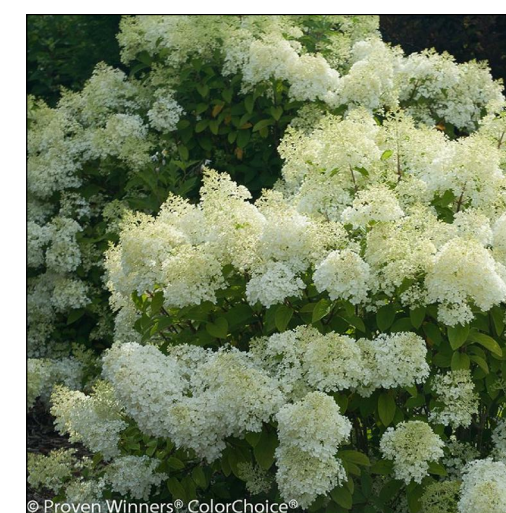
Key	Qty	Botanical Name	Common Name	Size	Remarks
BD	17	Buddleia 'Miss Molly'	Miss Molly Butterfly Bush	3 gallon, 18" Height	Full Plant
CD	9	Callicarpa dichotoma	Purple Beautyberry	3 gallon, 18" Height	Full Plant
CH	9	Clethra alnifolia 'Hummingbird'	Hummingbird Clethra	3 gallon, 18" Height	Full Plant
HLL	11	Hydrangea 'Little Lime'	Little Lime Hydrangea	3 gallon, 18" Height	Full Plant
Hsd	42	Hydrangea 'Sikes Dwarf'	Sikes Dwarf Hydrangea	3 gallon, 18" Height	Full Plant
HA	3	Hydrangea 'Anna Belle'	Anna Belle Hydrangea	3 gallon, 18" Height	Full Plant
HB	9	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	3 gallon, 18" Height	Full Plant
Irs	26	Ilex 'Res Sprite'	Red Sprite Holly	3 gallon, 12" Height	Full Plant
MU	17	Muhlenbergia reverchonii 'Undaunted'	Undaunted Muhly Grass	3 gallon, 12" Height	Full Plant



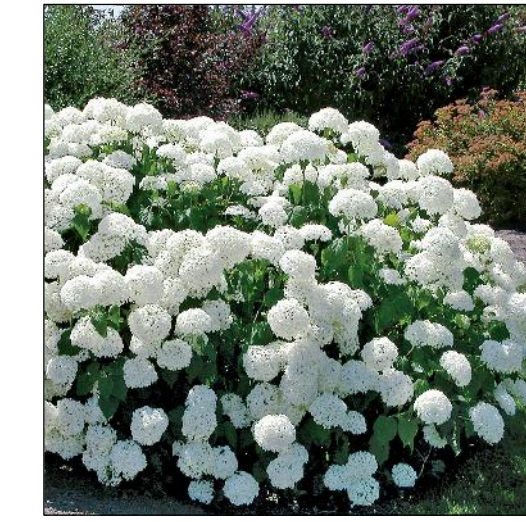
MD - Undaunted Muhly Grass



Irs - Red Sprite Holly



HB - Bobo Hydrangea



HA - Anna Belle Hydrangea



Hsd - Sikes Dwarf Hydrangea



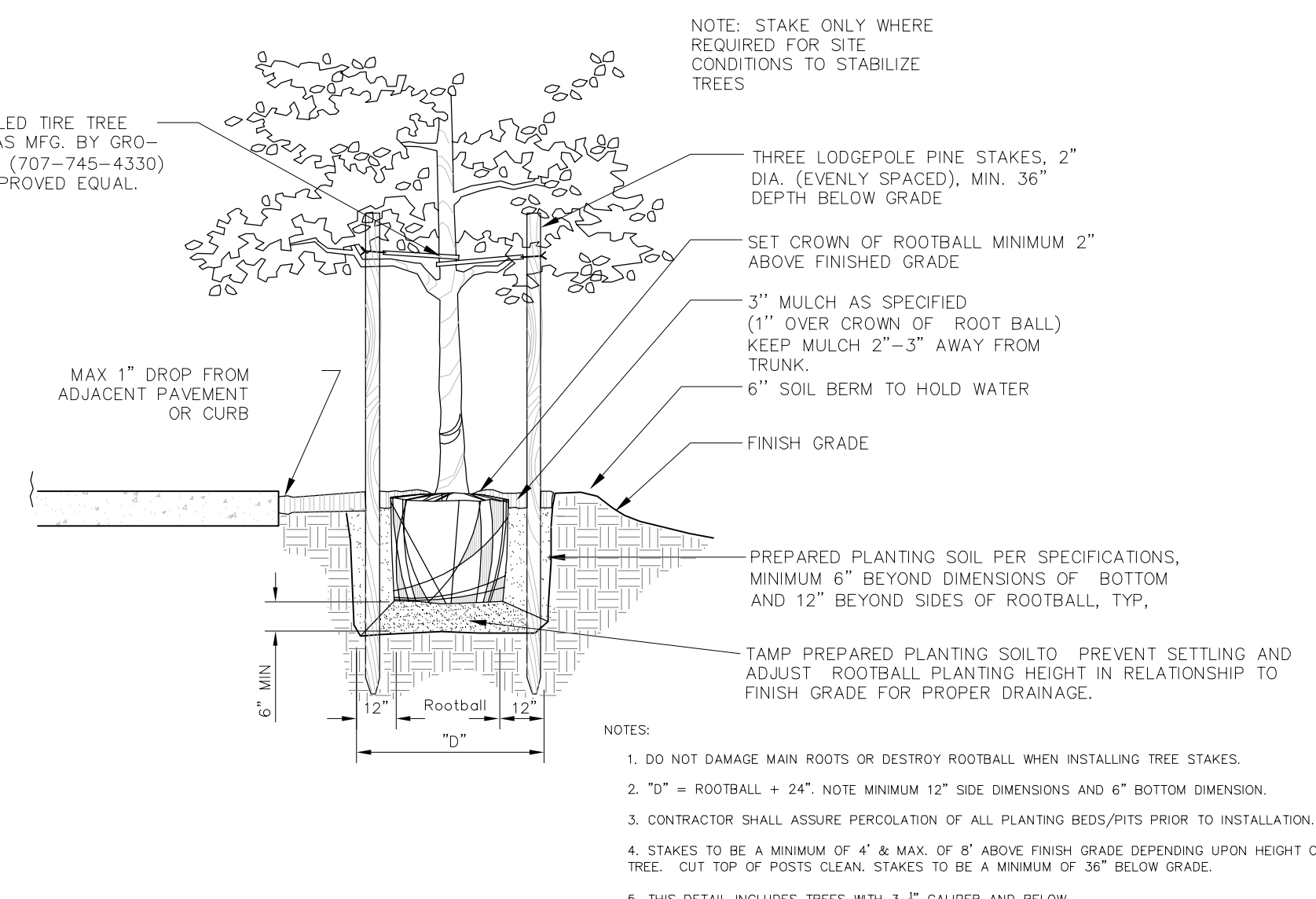
HLL - Little Lime Hydrangea



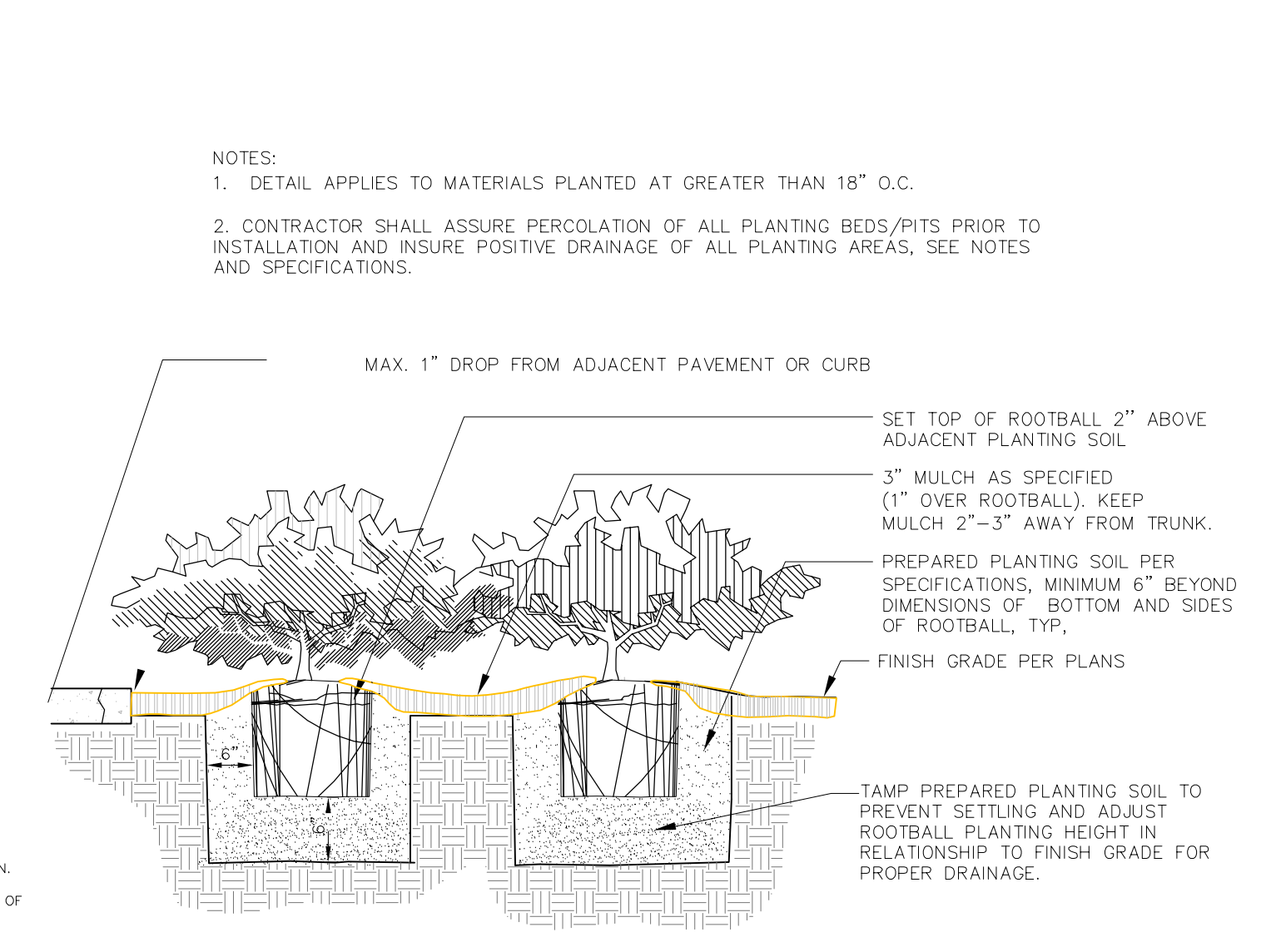
CH - Hummingbird Clethra

Landscape Notes

- ALL AREAS SHOWN AS LARGE TREES, SMALL FLOWERING TREES, AND SHRUB AND PERENNIAL LANDSCAPING ON THE LANDSCAPE PLAN IS TO BE MULCHED AND SHALL RECEIVE A 3" DEPTH OF SHREDDED PINE BARK MULCH.
- CONTRACTOR SHALL VERIFY QUANTITIES ON THE PLAN AND IS RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. PROVIDE UNIT PRICES FOR ALL PLANT AND TREE MATERIALS.
- CONTRACTOR SHALL GUARANTEE ALL PLANTINGS FOR ONE YEAR FROM COMPLETION OF WORK. REPLACEMENT PLANTS AND LABOR SHALL BE PROVIDED AT CONTRACTORS' EXPENSE.
- PRUNE ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT REMOVE THE CENTRAL LEADER OF ANY TREE OR PLANT. PLANTS SHALL NOT HAVE A SHEARED APPEARANCE AND MUST MEET MINIMUM SIZES AS INDICATED ON THE PLANT LIST.
- ALL PLANT MATERIAL IS TO CONFORM TO THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. SEE PLANT LIST FOR SPECIFICATIONS AND SIZES. (NOTE: SIZE TO BE 'DBH' MEASURED 6" ABOVE GROUND)
- LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, ESPECIALLY DUE TO UNDERSIZED OR DAMAGED MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF ALL UTILITIES. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S COST.
- ALL DEMOLISHED MATERIALS AND TRASH ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- ALL PLANTING HOLES AND BEDS ARE TO BE CLEANED OF ROCKS AND DEBRIS >1". EACH PLANT OR TREE IS TO BE HOLE AMENDED AND THE EXISTING NATIVE SOIL IS TO BE AMENDED WITH 25% OF NATURES HELPER AND 25% OF ORGANIC COMPOST (OR APPROVED EQUAL), THEN THOROUGHLY MIXED TOGETHER TO CREATE A PLANTING SOIL MIX.
- ALL EXISTING AND PROPOSED TREES NOT CONTAINED WITHIN A MULCHED BED ARE TO RECEIVE A 3" DEPTH OF A 4' DIAMETER CIRCLE OF ABOVE SPECIFIED MULCH AROUND EACH TREE. EXCEPT WHERE TREES OCCUR IN SWALES, DITCHES, OR DRAINAGE PATTERNS, THEN ONLY USE 1' DIAMETER CIRCLES.
- REPORT ANY POORLY DRAINED SOILS OR ANY DRAINAGE PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO REPORT SUCH CONDITIONS WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR CORRECTING THE PROBLEM AND REPLACING DAMAGED OR LOST PLANTS. PROPER PLANT DRAINAGE IS DEFINED BY FLOODING PLANTING HOLE TO SURROUNDING SOIL LEVEL WITH WATER AND COMPLETE PERCOLATION OF THE WATER WITHIN THE HOLE IN A 24 HOUR PERIOD.
- LANDSCAPE ARCHITECT OR OWNER TO FIELD APPROVE THE PLACEMENT OF ALL PLANT MATERIALS.
- FINE GRADE ALL PLANTING AREAS TO INSURE PROPER DRAINAGE. AREAS TO BE SEEDED ARE TO BE FREE OF DEBRIS AND ROCKS >1" PRIOR TO LAYING SOD OR APPLYING SEED.
- PRIOR TO INSTALLATION, CONTRACTOR SHALL REVIEW PLANT AND LIGHT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER TO ELIMINATE CONFLICTS.
- PROVIDE LABOR, EQUIPMENT, MATERIALS, AND SERVICE NECESSARY TO COMPLETE THE LANDSCAPE WORK.
- INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
- MAINTAIN ALL PLANT MATERIALS UNTIL FINAL ACCEPTANCE OR SUBSTANTIAL COMPLETION OF WORK. MAINTENANCE TO INCLUDE: WATERING, MULCHING, WEEDING, SPRAYING, MOWING, STRAIGHTENING, FERTILIZING, CLEANUP, ECT.



2 Tree Planting Detail
Scale: NTS



1 Shrub Planting Detail
Scale: NTS

Other Consultants:

Surveyor - Freeland Climscapes

Owner

New Leaf Sales LLC

Project:

Kid City
913 & 917 9th Avenue West

Sheet:

Landscape Specs

Designed By:

cds Creative Development Solutions
landscape architecture | land planning | community and resort design
1003 4th avenue west, hendersonville, north carolina 28739
p 828 696 9992 | f 828 696 9954

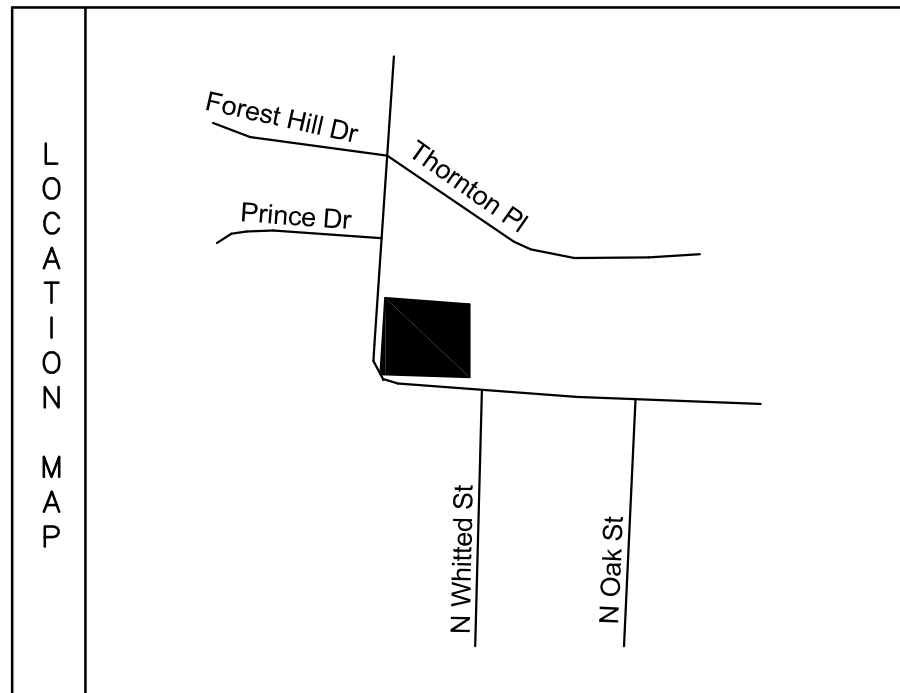
ISSUE DATE:

REVISIONS:

Project Number:

SHEET NUMBER:

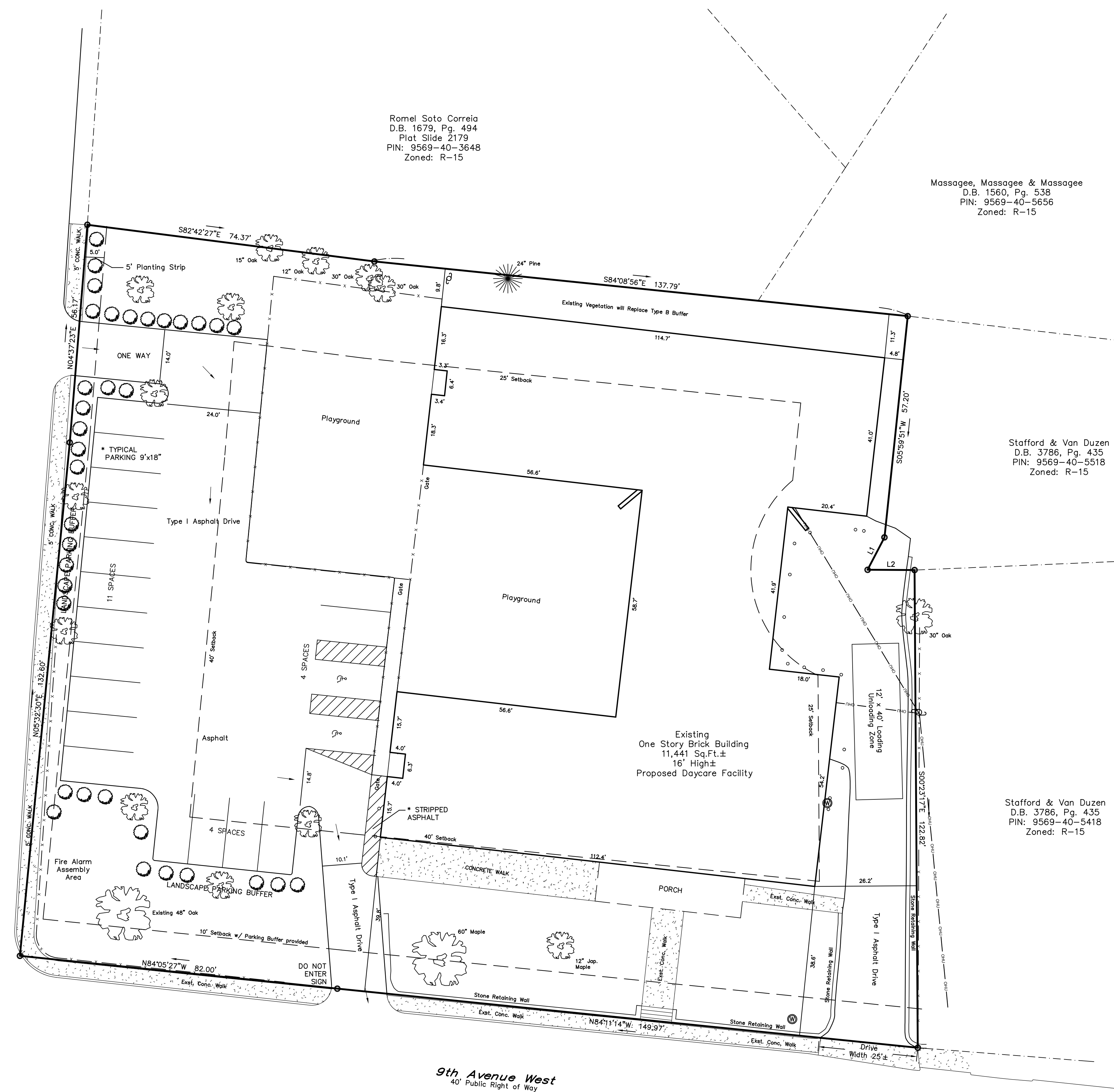
L3



LINE	BEARING	DISTANCE
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Henderson County Board of Public Education
 D.B. 824, Pg. 216
 PIN: 9569-40-1628
 Zoned: PID

Oleans Avenue
 40' Public Right of Way



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 Plat Slide 2179
 PIN: 9569-40-3648
 Zoned: R-15

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Henderson County Board of Public Schools
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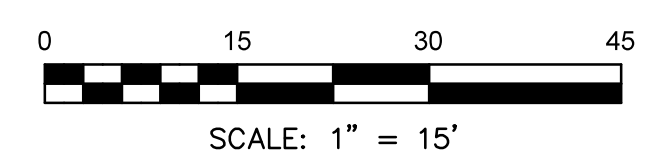
GENERAL SURVEY NOTES:

- 1) The Basis of Bearings for this survey is NAD83(2011)
- 2) Subject Property is located within an area having a Zone Designation "X" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 3700956900J, with a date of identification of 10/02/2008.
- 3) Subject Property is within the limits of the City of Hendersonville
- 4) Subject property is currently zoned R-15.
- 5) Subject property proposed zoning district: PID-C2D
 Setbacks:
 Front: All buildings and structures shall be set back not less than 40 feet from the nearest right-of-way line for any street adjoining the site; provided, however, such setback may be reduced to ten feet when parking is situated to the rear or side of the lot and screened from view from public rights-of-way.
 Side/Rear: Buildings and structures shall be set back not less than 25 feet from any exterior property line.
 * EXISTING STRUCTURES DO NOT MEET CURRENT SETBACKS
- 6) All off-street parking, driveways and loading areas shall be paved according to the specifications of the NCDOT.
- 7) Required parking spaces for a day are one space per employee, plus 4 spaces for drop off/pick up. There will be a maximum of 12 employees at any given time requiring a maximum of 16 spaces. 19 spaces will be provided, including 2 handicap spaces.
- 8) New Leaf Sales LLC Owner and Developer

	SQUARE FEET	% of TOTAL AREA
i Total Project Area	41,300	100%
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 Firm No. C-1562

REF. PLAT SLIDE	14890
REF. DEED BOOK	4036/593 & 4036/638
TAX MAP	9569-40-2580 & 40-3593
PARTY CHIEF	BLB
DRAWN	TEC
DATE	June 5, 2023
DWG.NO.	H43113

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