



project design team:
 the tamara peacock co. architects
 129 3rd ave w
 HENDERSONVILLE, NC 28792
 Phone: 828.696.4000
 LICENSE #12289

owner:

project name:
FIRST AVE VILLAS
**320 1ST AVE W
 HENDERSONVILLE,
 NC 28792**

Tamara Peacock, R.A.
 Registration No. 12289

issued for:

date:

sheet name:
COVER SHEET

revisions:

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date: 2/14/2025 8:47:15 PM
 proj. no.:
 CHECKER
 drawn by: AUTHIOR
 Prg Mngr.: DESIGNER
 revised by: CAPT.
 CHECKER APPROVER

sheet no.:

A001

ARY Development LLC

FIRST AVE VILLAS

Hendersonville, NC

OWNER

ARY DEVELOPMENT LLC
 17 OLDE EASTWOOD VILLAGE BLVD
 ASHEVILLE NC, 28803

832.265.0493
 RRCHARANIA@ARYDEVELOPMENTS.COM
 RAFIQUE CHARANIA

DEVELOPER

ARY DEVELOPMENT LLC
 17 OLDE EASTWOOD VILLAGE BLVD
 ASHEVILLE NC, 28803

832.265.0493
 RRCHARANIA@ARYDEVELOPMENTS.COM
 RAFIQUE CHARANIA

CONTRACTOR

BUCHANAN CONSTRUCTION
 1642 HENDERSONVILLE RD
 ASHEVILLE NC, 28803

828.650.6565 EXT. 104
 MATT@BUCHANANCONSTRUCTION.COM
 MATT KEENE
 VP COMMERCIAL CONSTRUCTION

ARCHITECT

PEACOCK ARCHITECTS
 129 3RD AVE W
 HENDERSONVILLE, NC 28792
 828.696.4000

SARAH@PEACOCKARCHITECT.COM
 SARAH McCORMICK
 ARCHITECTURAL DESIGNER

TAMARA@PEACOCKARCHITECT.COM
 TAMARA PEACOCK
 PRINCIPAL

CIVIL ENGINEER

FEI ENGINEERING
 7 GLENN BRIDGE RD, STE H
 ARDEN, NC 28704

828.696.0807
 TYLER WAGNER
 TWAGNER@FEICONSLTING.COM
 PROJECT MANAGER

BUILDING STATISTICS

BUILDING TYPE:	IIIB
GROSS SF:	19,240 SF
OCCUPANCY TYPE:	R-2
ALLOWABLE AREA (SM)	48,000 SF
SPRINKLERED:	YES
SEPARATED USE:	N/A
SEPARATION REQUIRED:	1/2 HR
INCIDENTAL USE:	NONE
OCCUPANCY LOAD:	R-2:93
PLUMBING REQUIREMENTS:	1 SINK, 1 TOILET, 1 SHOWER PER UNIT
PLUMBING PROPOSED:	2 SINKS, 2 TOILETS, 2 SHOWERS PER UNIT
LIFE SAFETY REQUIREMENTS:	SEE A005

SITE STATISTICS

	PROVIDED	REQUIRED
PROP LOC:	320 FIRST AVE. W.	
BLOCK:	--	
PIN:	9568771057	
OWNER:	ARY Development LLC	
ZONING:	UR-CZD	
PROPOSED USE:	12 MULTI-FAMILY UNITS	
FLOOD DISTRICT:	N	
DOMESTIC WASTEWATER:	PUBLIC SEWER	
WATER:	PUBLIC	
ADA PARKING:	1 ADA	1 ADA
PARKING:	25 SPACES	12 SPACES
FRONT SETBACK (FIRST AVE)	12' 0" FROM CURB	14' 0" FROM CURB
SIDE SETBACK (CMU)	8' 0"	5' 0"
REAR SETBACK	5' 0"	10' 0"
SIDE SETBACK (R-6)	8' 0"	5' 0"
OVERALL HEIGHT	24'	64'

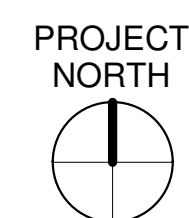
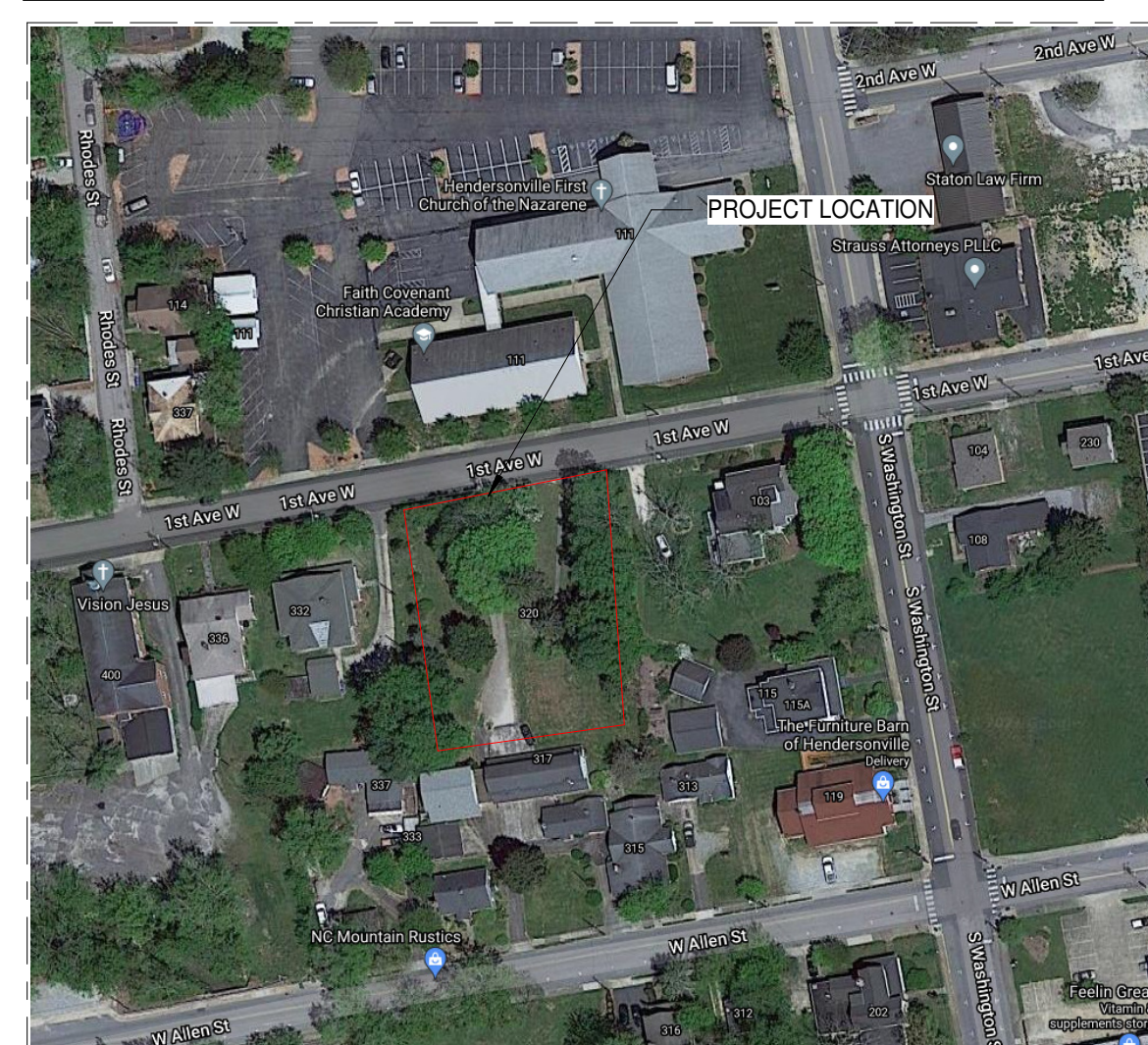
SITE COVERAGE

TOTAL PROJECT AREA	57 acres
PROPOSED LOT AREAS	5,691.49 SF
BUILDINGS	11,600 sq ft
OPEN SPACE	7,972 sq ft
STREETS AND PARKING	7,833 sq ft
COMMON OPEN SPACE	2,364 sq ft

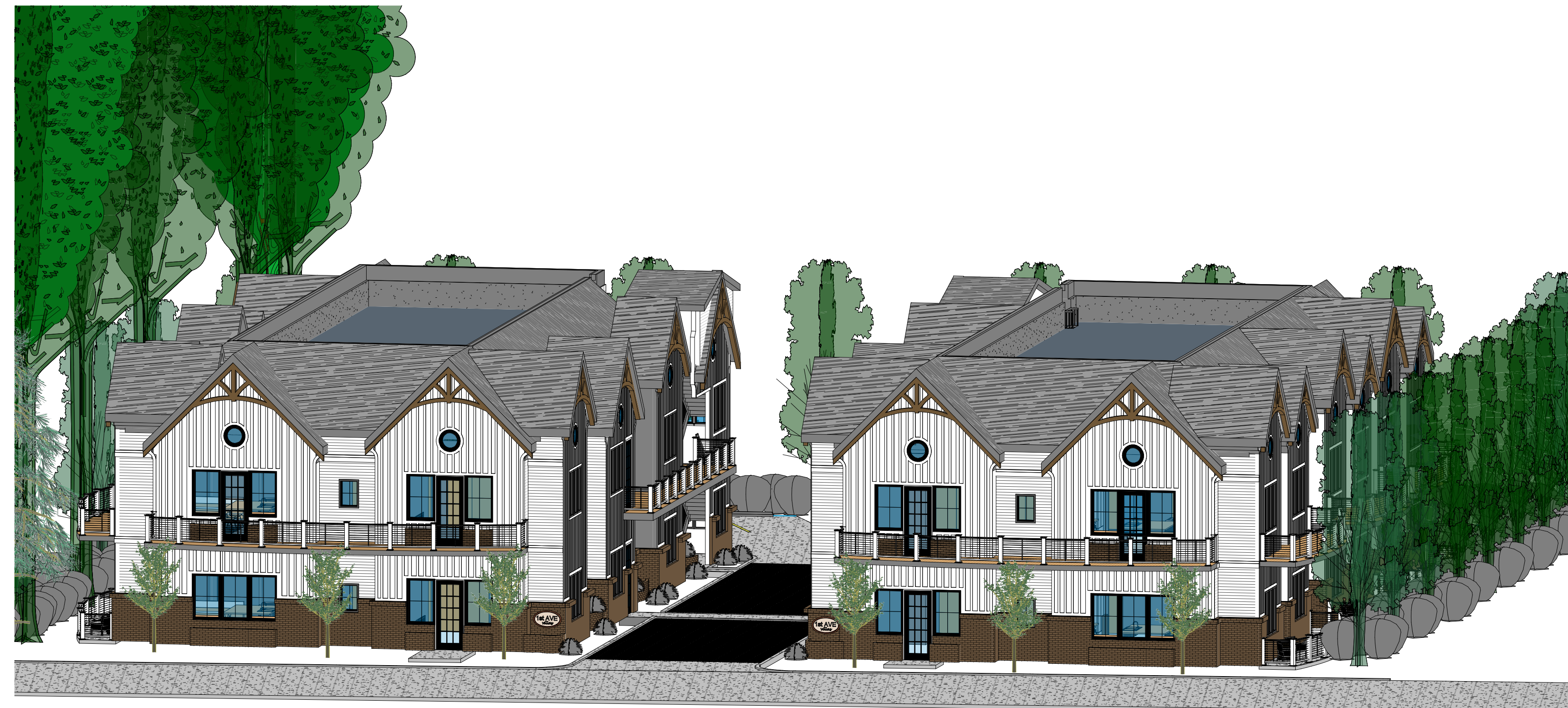
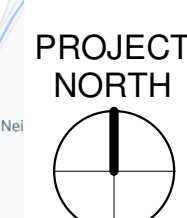
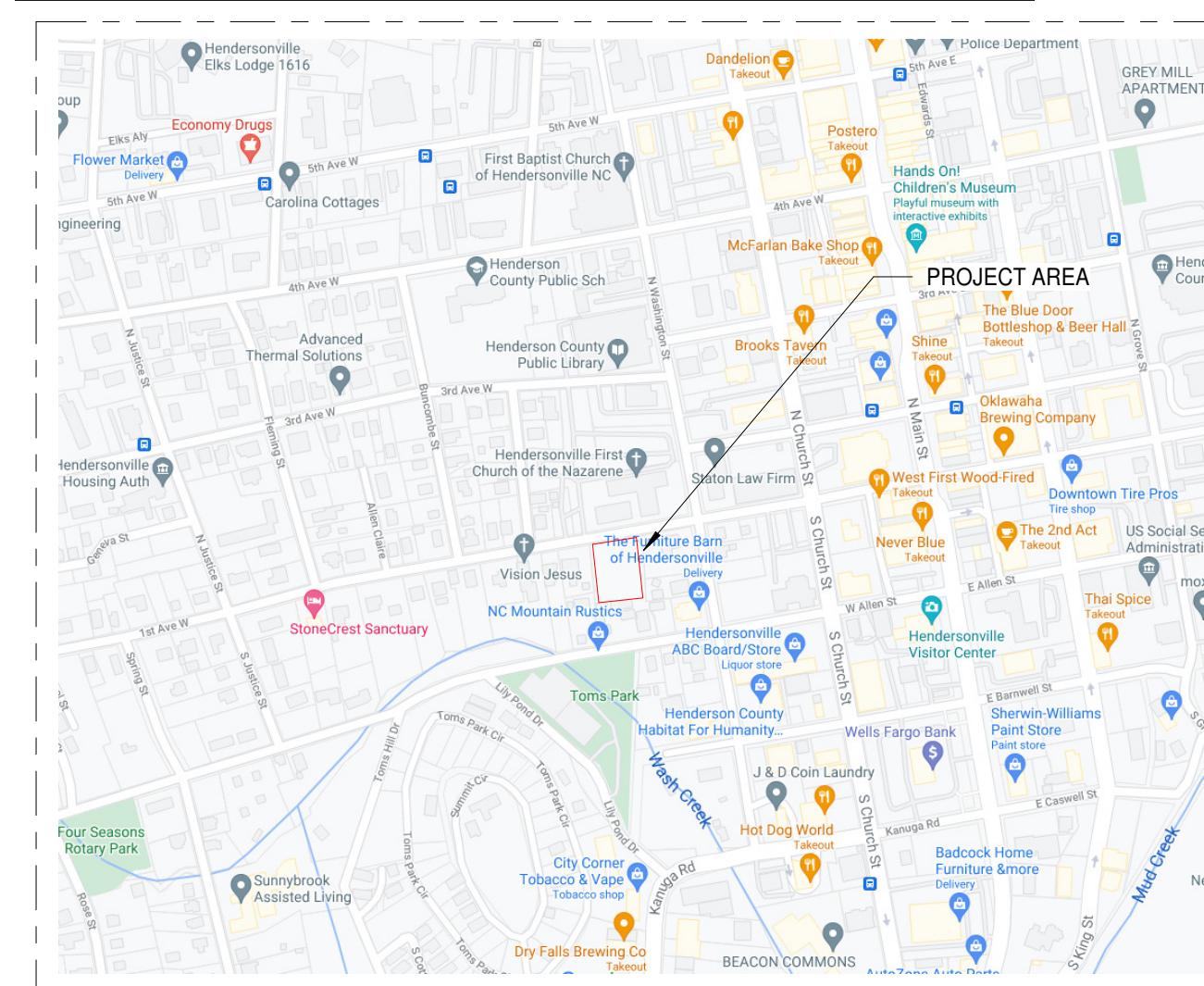
SCOPE OF WORK:

FIRST AVE UNITS:
 1. 2 NEW CONDO BUILDINGS WITH 6 NEW UNITS EACH

SITE MAP



VICINITY MAP



Sheet List	
Sheet Number	Sheet Name
A603	Unnamed
A001	COVER SHEET
G-17-300	SITE SURVEY
H4D054	TREE SURVEY
SP 101	PRELIMINARY SITE PLAN
SP 101 (1)	PRELIMINARY SITE PLAN
SP102	DETAILS
A104	SECOND LEVEL FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A601	RENDERINGS

DEVELOPER PROPOSED CONDITIONS

- Developer to pay Fee-in-Lieu of 7' Sidewalks in accordance with Sec. 6-12-3 and Sec. 5-25-5.15 of Zoning Code
- Developer to be granted relief to provide a 12' front setback instead of 14' front setback required per Sec. 5-25-4 of Zoning Code
- Developer to be granted waiver of TIA until Final Site Plan is approved.
- The existing trees slated for protection that do not meet the 1" per 1" dbh protection zone standard will be replaced should they die within 5 years of construction.

SESC plan approval not required by Henderson County Site Development because proposed land disturbance is less than 1 acre.

NORTH CAROLINA
HENDERSON COUNTY

I, Sharon M. McCall, REVIEW OFFICER
OF HENDERSON COUNTY, CERTIFY THAT THE MAP OR
PLAT TO WHICH THIS CERTIFICATION IS AFFIXED
MEETS ALL STATUTORY REQUIREMENTS FOR
RECORDING.

Sharon M. McCall 2/12/19
REVIEW OFFICER DATE

NORTH CAROLINA
HENDERSON COUNTY

THIS INSTRUMENT WAS FILED FOR REGISTRATION THIS
THE 12TH DAY OF FEBRUARY, 2019
AT 2:13 PM O'CLOCK
IN PLAT SLIDE NUMBER 11633

William Lee King
REGISTER OF DEEDS

BY: William Lee King DEPUTY

BOOK 2019 PAGE 11633 (1)



This document presented and filed:
02/12/2019 02:13:50 PM

WLK
WILLIAM LEE KING, Henderson COUNTY, NC

LEGEND

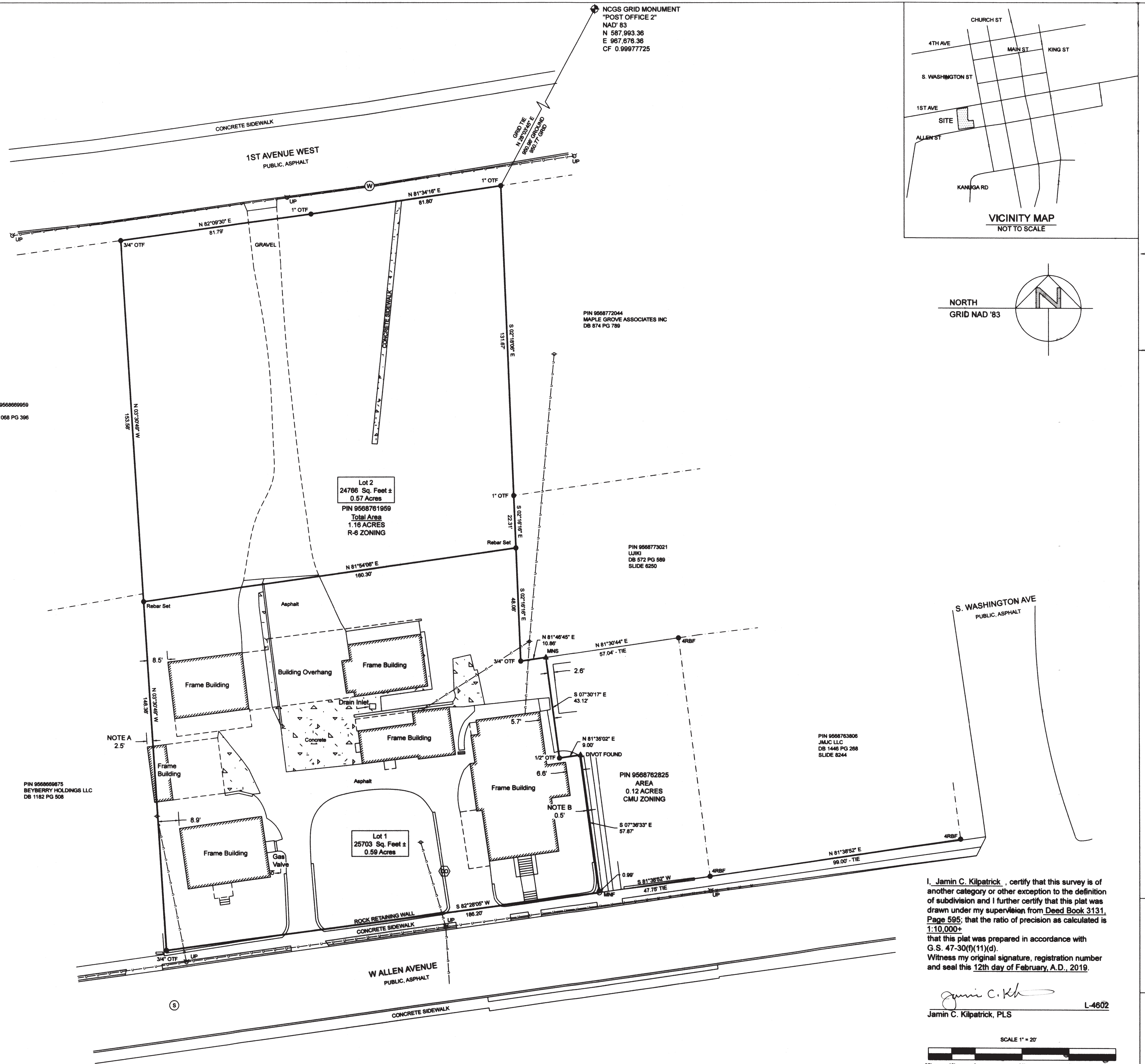
- DB - DEED BOOK
- PG - PAGE
- MNS - MAG NAIL SET
- RBF - REBAR FOUND
- OTF - OPEN TOP PIPE FOUND
- UP - UTILITY POLE
- W - WATER METER
- CO - CLEAN OUT
- S - SEWER MANHOLE
- - IRON FOUND OR SET AS NOTED
- - CALCULATED POINT - NOT SET

REFERENCES

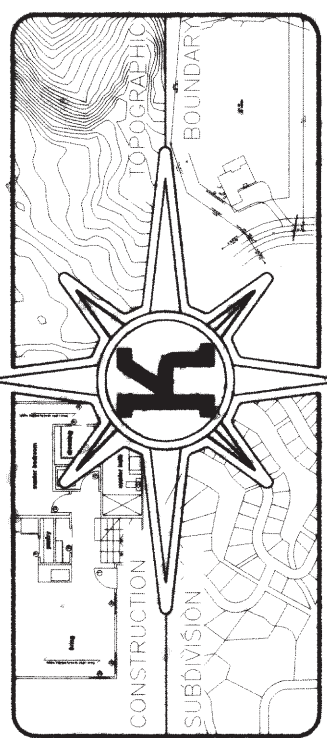
- DB 3151 PG 595
- DB 1086 PG 482
- DB 1459 PG 198
- SLIDE - 6250
- SLIDE - 6244
- DB 572 PG 589
- DB 1088 PG 386
- DB 1182 PG 508
- DB 874 PG 788

NOTES

- SUBJECT PROPERTY TIED TO NC GRID NAD '83 (2011) BY GPS OBSERVATION.
- ORIGINAL BOUNDARY SURVEY COMPLETED ON MARCH 6, 2017. THIS SURVEY IS TO SUBDIVIDE PARENT TRACT.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- SURVEYOR WAS NOT PROVIDED WITH A LEGAL TITLE SEARCH. THERE MAY EXIST EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS PERTINENT TO THIS PROPERTY THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE THAT ARE NOT SHOWN ON THIS SURVEY.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF OTHER UNDERGROUND UTILITIES/STRUCTURES MAY BE PRESENT AND NOT SHOWN. PROPERTY SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN HEREON.
- NO UNDERGROUND UTILITIES WERE LOCATED. CALL 1-800-632-4949 BEFORE DIGGING.
- ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR CONSIDERED AS PART OF THIS SURVEY.
- NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS, OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- AREA BY COORDINATE COMPUTATION.
- PROPERTY LINES SHOWN AS DASHED WERE NOT FIELD SURVEYED. THEY WERE PLOTTED FROM RECORD DOCUMENTS.
- THERE IS A POSSIBLE 2.5' BUILDING ENCROACHMENT, SHOWN HEREIN AS "NOTE A."
- THERE IS A POSSIBLE 0.5' DRIVEWAY ENCROACHMENT, SHOWN HEREIN AS "NOTE B."
- PIN 9568761959 CURRENTLY ZONED R-8 BY THE CITY OF HENDERSONVILLE.
- SETBACKS: FRONT - 20' REAR - 10' SIDE - 5'
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.



KILPATRICK
LAND SURVEYING
PLLC



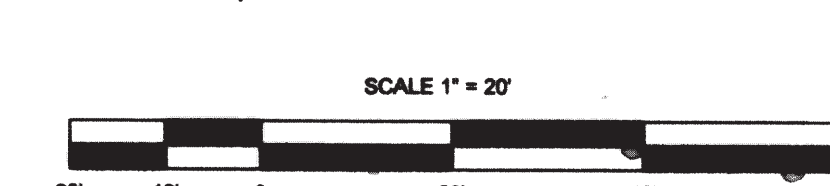
PO BOX 2705, HENDERSONVILLE, NC 28793
828-606-4787 www.kilpic.com P-0508

SUBDIVISION OF PROPERTY FOR:
RIDDLE DEVELOPMENT, LLC
CURRENT OWNER:
RIDDLE DEVELOPMENT LLC

City of Hendersonville, Hendersonville Township
Henderson County, North Carolina
PIN 9568761959

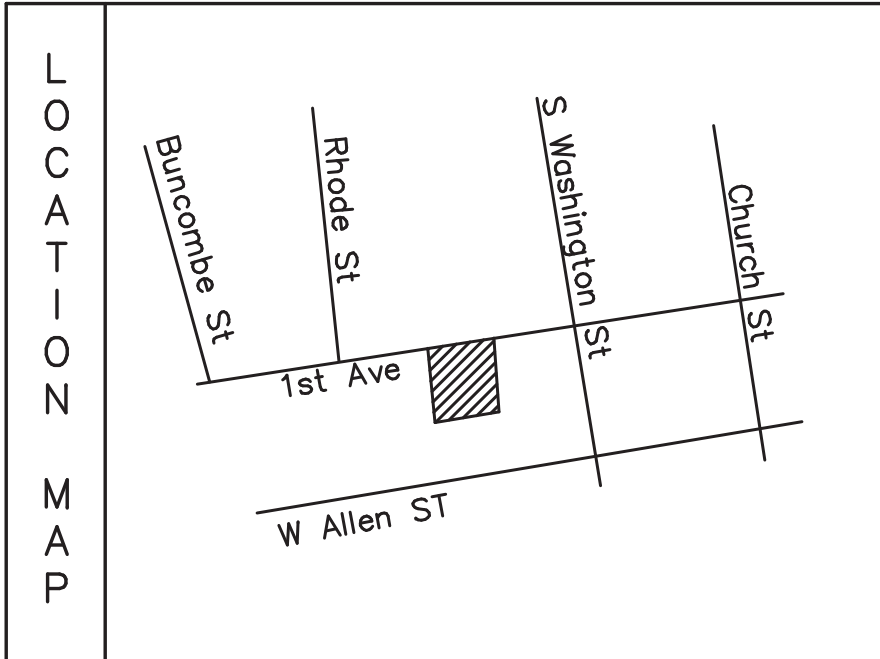
I, Jamin C. Kilpatrick, certify that this survey is of
another category or other exception to the definition
of subdivision and I further certify that this plat was
drawn under my supervision from Deed Book 3131,
Page 595; that the ratio of precision as calculated is
1:10,000+
that this plat was prepared in accordance with
G.S. 47-30(f)(1)(d).
Witness my original signature, registration number
and seal this 12th day of February, A.D., 2019.

Jamin C. Kilpatrick L-4602
Jamin C. Kilpatrick, PLS



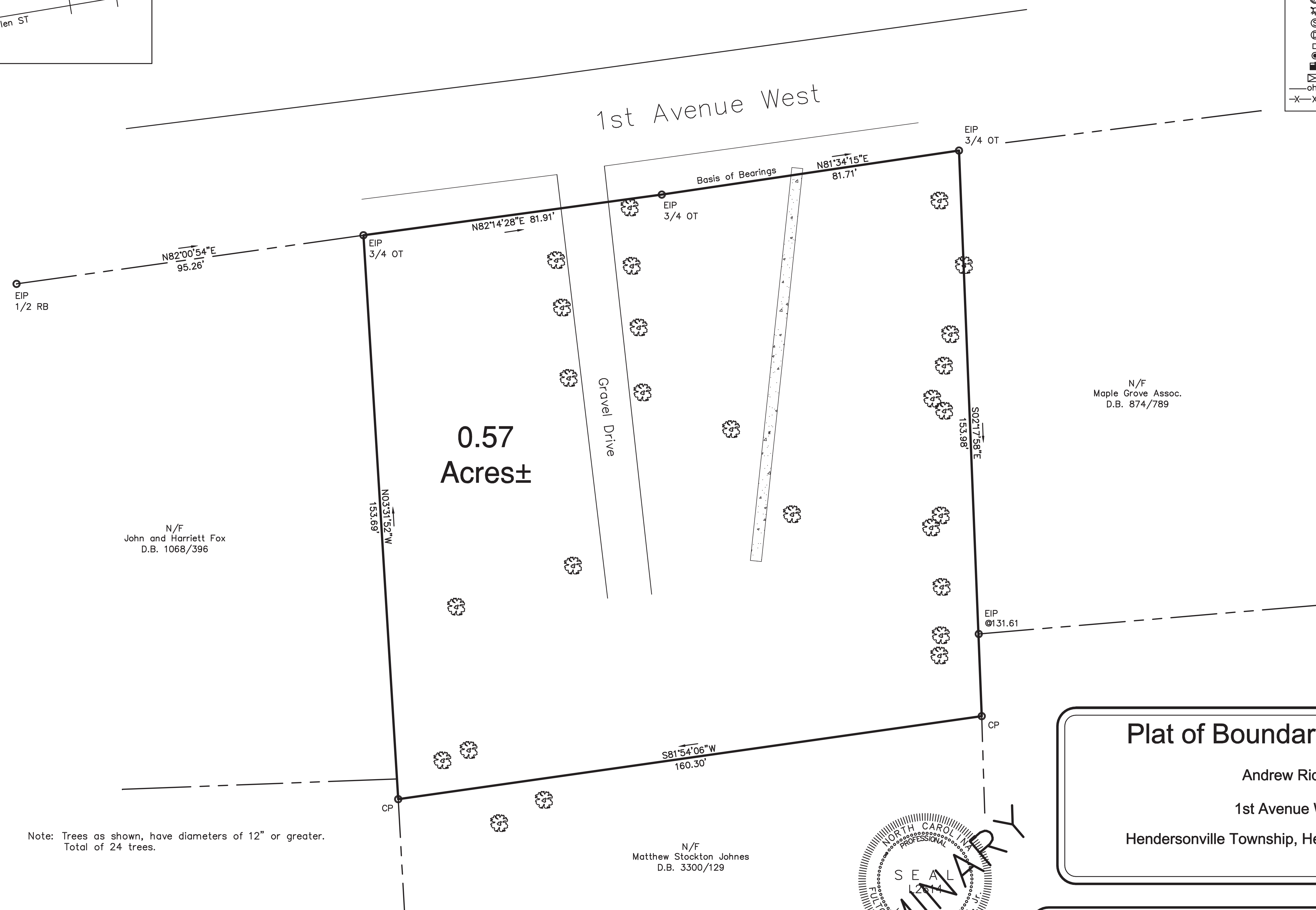
Date 6 MARCH 2017
Drawn By JCK
Scale 1" = 20'
Revision 02-12-19
Dwg No. G-17-300

SLIDE 11633



LEGEND:

○	NIP	NEW IRON PIN
○	EIP	EXISTING IRON PIN
○	CP	CALCULATED POINT ONLY
⊙		POWER POLE
⊙		LIGHT POLE
⊙		WATER VALVE
⊙		GAS VALVE
⊙		WATER METER
⊙		FIRE HYDRANT
⊙		SANITARY SEWER MANHOLE
⊙		STORM DRAIN MANHOLE
⊙		CATCH BASIN
⊙		CLEANOUT
⊙		CURB INLET
⊙		TRANSFORMER
ohp		OVERHEAD POWER
-X-X-X-		FENCE LINE

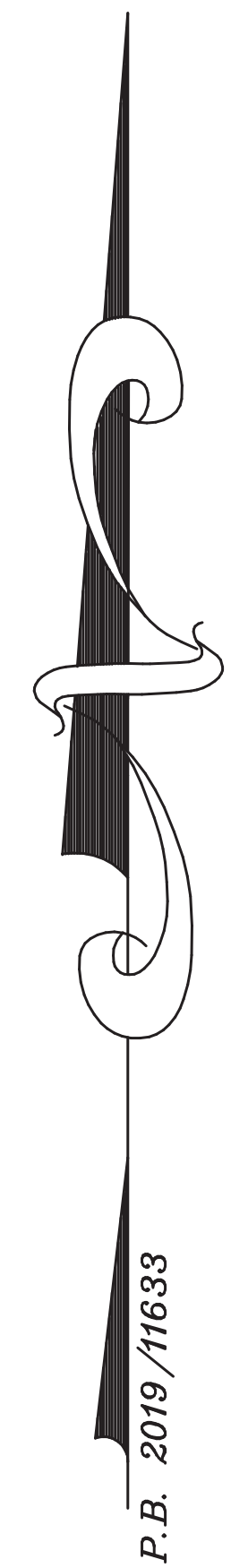


N/F
John and Harriett Fox
D.B. 1068/396

N/F
Maple Grove Assoc.
D.B. 874/789

N/F
Matthew Stockton Johns
D.B. 3300/129

Note: Trees as shown, have diameters of 12" or greater.
Total of 24 trees.



Plat of Boundary Survey for
Andrew Riddle
1st Avenue West
Hendersonville Township, Henderson County, N.C.

PRELIMINARY

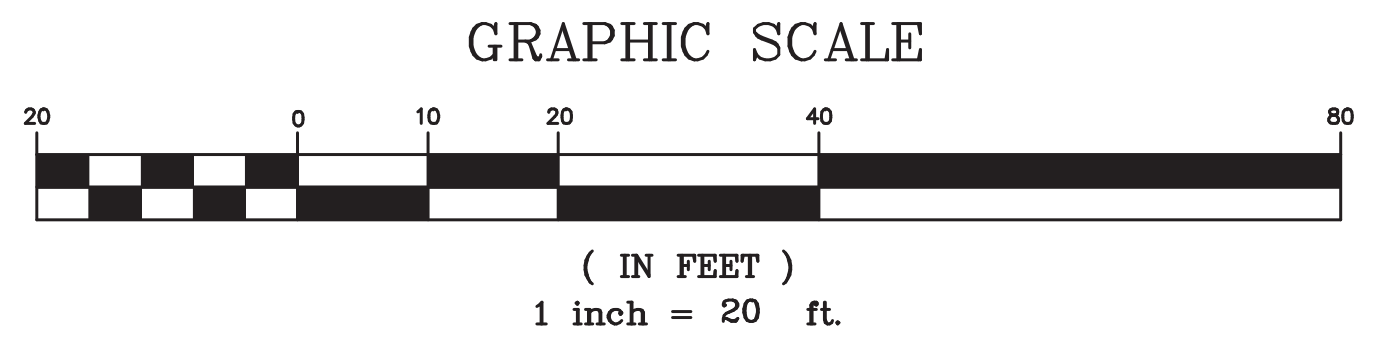
SEAL
NORTH CAROLINA
LAND SURVEYORS
FREDERICK W. CLINKSCALES, JR.
PROFESSIONAL
LB C-1562

Not valid without the signature and the original seal of a North Carolina licensed land surveyor.

Not For Recordation

The original drawing and/or all copies of it are not transferable to any future owner(s) of the platted property and shall not be used or relied upon by future owner(s) and/or their representatives for any reason without written release by the professional surveyor.

This is to certify that the property shown on this plat was surveyed under my direct supervision. Property lines and improvements are located correctly and that no visible encroachments exist unless otherwise shown.



FREELAND - CLINKSCALES & ASSOCIATES, INC. OF N.C. ENGINEERS * LAND SURVEYORS 201 2nd AVE. EAST HENDERSONVILLE, N.C. 28792 fcaofnc@outlook.com (828) 697-6539 Fax (828)-697-4195 Firm No. C-1562	REF. PLAT BOOK 2019/11633
	REF. DEED. BOOK 3131/595
	TAX MAP 9568-77-1057
	PARTY CHIEF FVC
	DRAWN BLB
	DATE January 27, 2020
	DWG.NO. H40054

SITE STATISTICS CONT.

BUILDING FOOTPRINT	EACH BUILDING: 4,810 SF TOTAL FIRST FLOOR FOOTPRINT: 9,620 SF
NUMBER OF UNITS:	12 TOTAL; 6 PER BUILDING
TOTAL SQUARE FOOTAGE:	19,240 SF PER BUILDING 38,480 SF TOTAL
STREETS AND PARKING	7,713 SF
TOTAL PERVIOUS AREA	7,576 SF
COMMON OPEN SPACE	2,520 SF (2,483 SF REQ'D - 10%)
PHASING	TO BE COMPLETED IN ONE PHASE

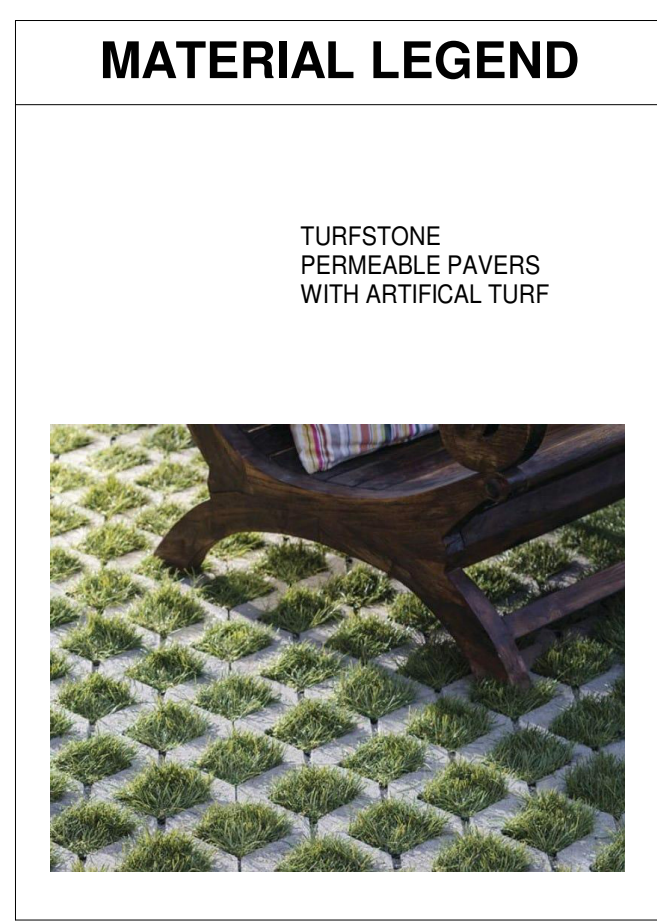
SITE STATISTICS

PROP LOC:	PROVIDED	REQUIRED
BLOCK:	320 FIRST AVE. W.	
PIN:	9568771057	
OWNER:	ARY Development LLC	
ZONING:	UR-CZD	
PROPOSED USE:	12 MULTI-FAMILY UNITS	
FLOOD DISTRICT:	N	
DOMESTIC WASTEWATER:	PUBLIC SEWER	
WATER:	PUBLIC	
ADA PARKING:	1 ADA	1 ADA
PARKING:	25 SPACES	12 SPACES
FRONT SETBACK (FIRST AVE)	12' 0" FROM CURB	14' 0" FROM CURB
SIDE SETBACK (CMU)	8' 0"	5' 0"
REAR SETBACK	5' 0"	10' 0"
SIDE SETBACK (R-6)	8' 0"	5' 0"
OVERALL HEIGHT	24'	64'

SITE COVERAGE

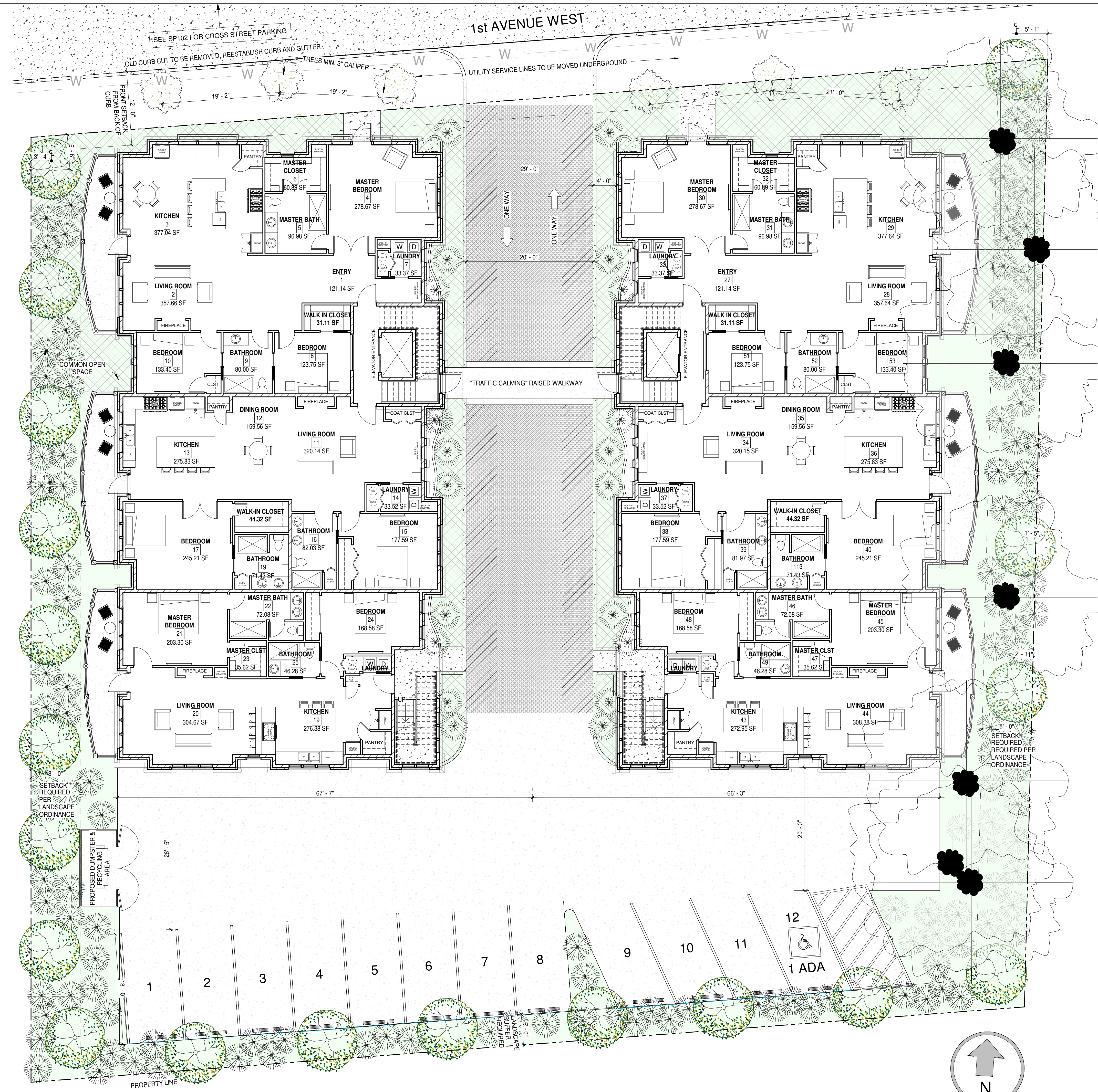
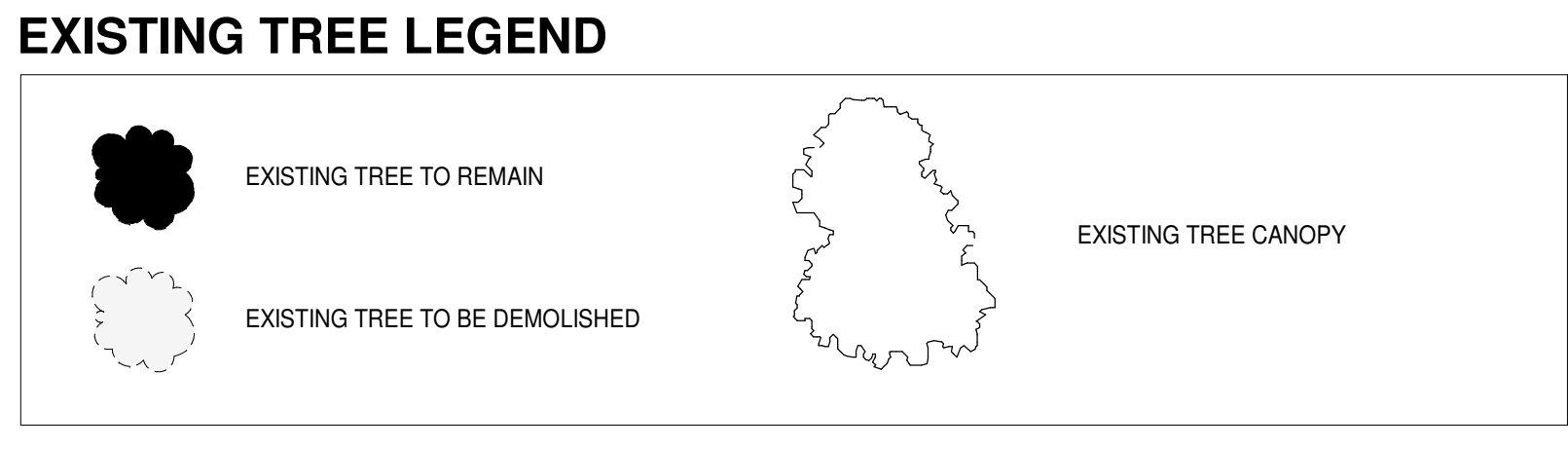
TOTAL PROJECT AREA	57 acres
PROPOSED LOT AREAS	5,691.49 SF
BUILDINGS	11,600 sq ft
OPEN SPACE	7,972 sq ft
STREETS AND PARKING	7,833 sq ft
COMMON OPEN SPACE	2,364 sq ft

- NOTES:**
- SITE LIGHTING WILL BE ADDRESSED AT FINAL SITE PLAN AND WILL BE COMPLIANT WITH SECTION 6-19 OF THE ZONING CODE
 - HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF URBAN OPEN SPACE AND COMMON AREAS
 - DETAILED LANDSCAPING PLAN WILL BE PROVIDED WITH THE FINAL SITE PLAN
 - DUMPSTER AND RECYCLING AREA TO MEET THE SCREENING REQUIREMENTS OF 15-19-3.3c



ADJACENT PROPERTIES:

ADJACENCY	ADDRESS	ZONING	PROPERTY OWNER
NORTH	111 N WASHINGTON ST	CMU	FIRST CHURCH OF THE NAZARENE
EAST	103 S WASHINGTON ST	CMU	MAPLE GROVE ASSOC INC
EAST	115 S WASHINGTON ST	CMU	NENON L. UJIKI
SOUTHEAST	119 S WASHINGTON ST	CMU	JMJC, LLC
SOUTHEAST	313 W ALLEN ST	CMU	MATT JOHNES, LLC
SOUTH	315 W ALLEN ST	R-6	MATT JOHNES, LLC
SOUTHWEST	337 W ALLEN ST	R-6	BEYBERRY HOLDINGS, LLC
WEST	332 1ST AVE W	R-6	JOHN E. FOX, HARRIETT W. FOX



SITE PLAN
1/8" = 1'-0"



project design team:
the tamara peacock co. architects
129 3rd ave w
HENDERSONVILLE, NC 28792
Phone: 828.696.4000
LICENSE #12289

owner:

project name:
FIRST AVE VILLAS
320 1ST AVE W HENDERSONVILLE, NC 28792

Tamara Peacock, R.A.
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PRELIMINARY SITE PLAN

revisions:

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checked by:
author:
revised by:
checked by:

Proj Mgr.:
designer:
Capt.:
APPROVER

sheet no.:
SP 101



PROJECT DESIGN TEAM:
 THE TAMARA PEACOCK CO. ARCHITECTS
 129 3RD AVE W
 HENDERSONVILLE, NC 28792
 PHONE: 828.696.4000
 LICENSE #12289



OWNER:

PROJECT NAME:
FIRST AVE VILLAS
**320 1ST AVE W
 HENDERSONVILLE,
 NC 28792**

TAMARA PEACOCK, R.A.
 REGISTRATION NO. 12289

ISSUED FOR:

DATE:

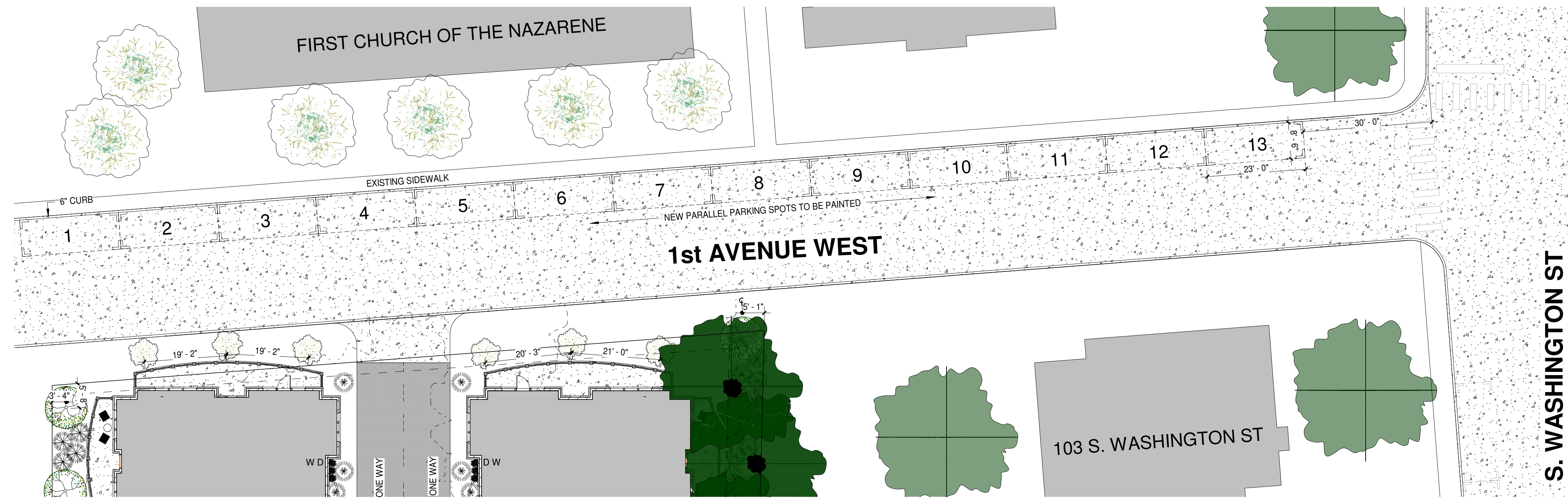
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DETAILS

REVISIONS:

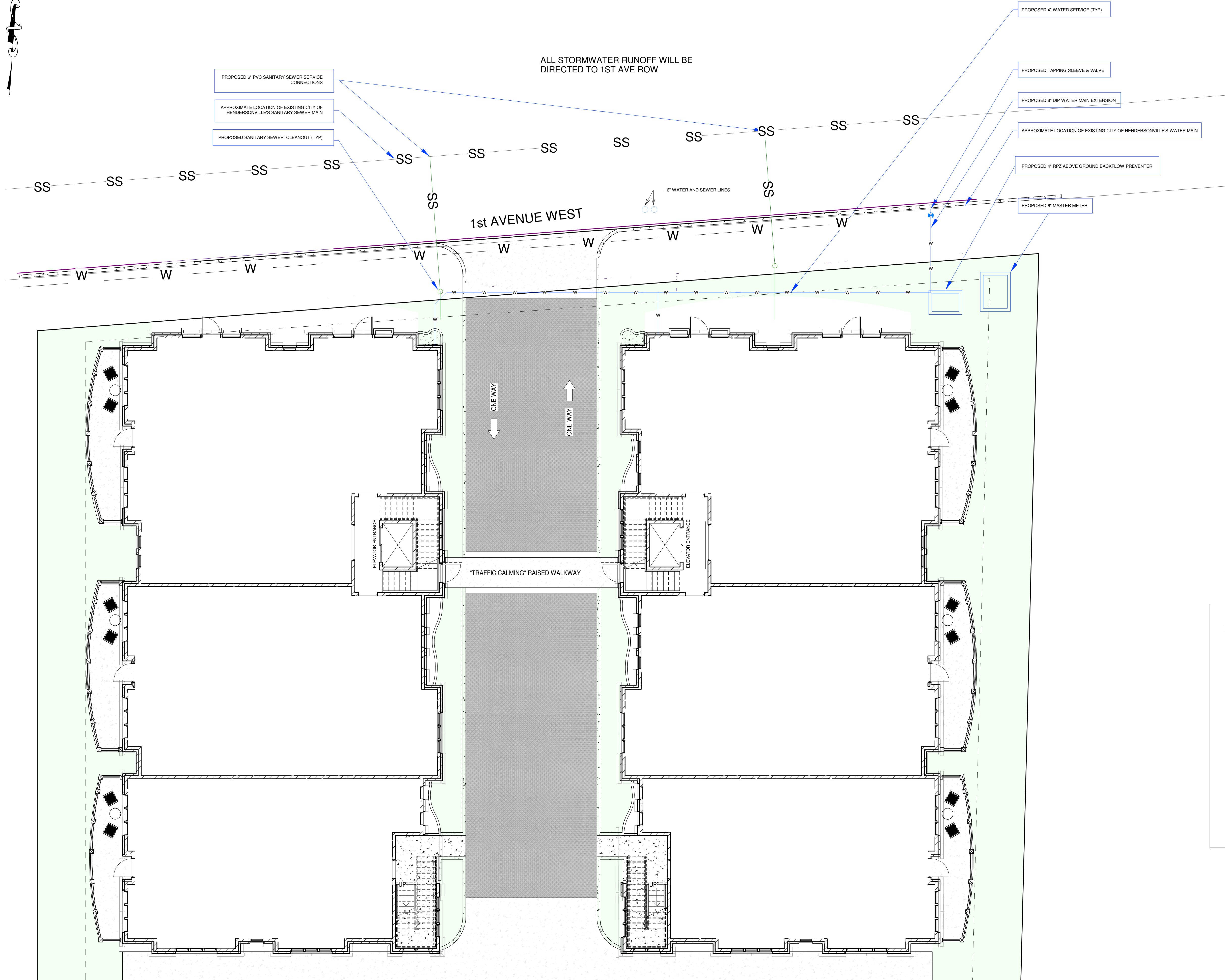
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 THIS DOCUMENT WAS PREPARED BY THE TAMARA PEACOCK COMPANY ACCORDING TO THE TERMS OF GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
 THIS DOCUMENT DOES NOT EITHER IN WHOLE OR IN PART CONSTITUTE ANY DIRECTION OR INSTRUCTION TO ANY CONTRACTOR WITH REGARD TO CONSTRUCTION MEANS, METHODS OR TECHNIQUES. BY THIS DOCUMENT THE ARCHITECT DOES NOT INTEND TO EXPRESS ANY OPINION, DIRECTION OR INSTRUCTION OF ANY KIND WHATSOEVER AS TO THE MANNER IN WHICH THE CONSTRUCTION WORK IS TO BE ACCOMPLISHED.

DATE: 11/19/2024 6:08:36 PM
 PROJ. NO.:
 CHECKER:
 DRAWN BY: AUTHOR PROJ. MGR.: DESIGNER
 REVISED BY: CHECKER CAPT.: APPROVER

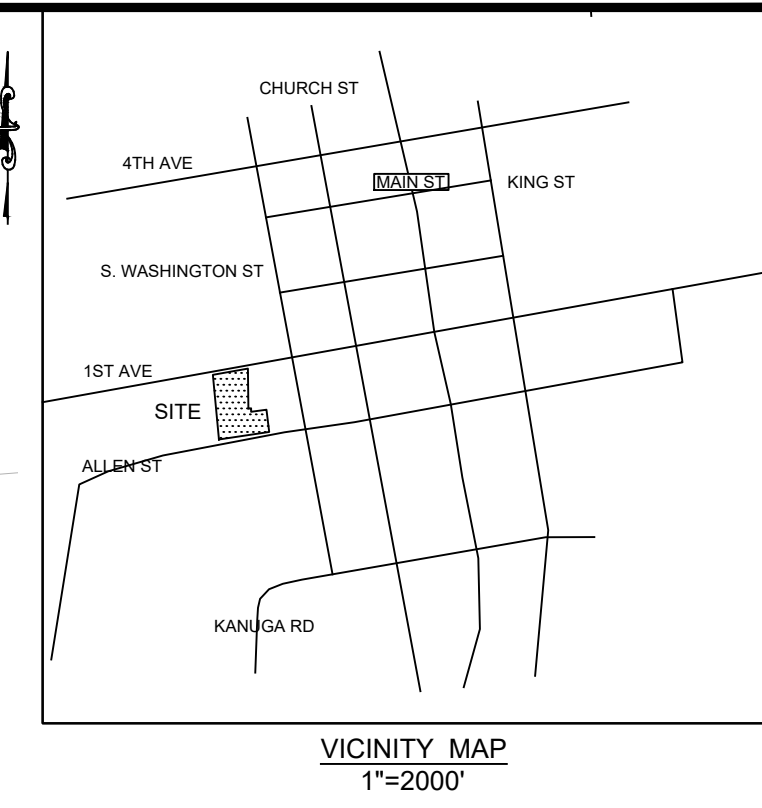
SHEET NO.:
SP102



1 STREET PARKING
 SP102 1/16" = 1'-0"



ALL STORMWATER RUNOFF WILL BE DIRECTED TO 1ST AVE ROW



Civil Engineers and Land Surveyors
7 Glenn Bridge Rd, Suite H
Arden, NC 28704
(828) 676-0607
www.feiconsulting.com
License No. C-0950

FIRST AVE VILLAS
UTILITY PLAN

PROJECT LOCATION
CITY: HENDERSONVILLE
COUNTY: HENDERSON
STATE: NORTH CAROLINA

DEVELOPER INFORMATION
ARY DEVELOPMENT LLC
17 OLDE EASTWOOD VILLAGE BLVD
ASHEVILLE, NC 28863

DELIVERY OF ELECTRONIC FILES:

THIS DATA IS PROVIDED IN ELECTRONIC MEDIA FORMAT ONLY FOR THE CONVENIENCE OF THE PARTIES INVOLVED. UPON TRANSFER, THE CLIENT, CONTRACTOR, SUBCONTRACTOR OR AGENT AGREES TO WAIVE ALL CLAIMS AGAINST FEI. (OR ITS CONSULTANTS) RESULTING IN ANY WAY FROM THE USE OF THIS DATA.

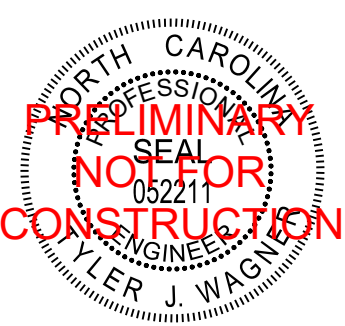
IN ADDITION, THE CLIENT, CONTRACTOR, SUBCONTRACTOR OR AGENT, AS APPLICABLE, AGREE, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS FEI. (AND ITS CONSULTANTS) FROM ANY DAMAGE, LIABILITY OR COST, INCLUDING REASONABLE ATTORNEYS' FEES AND COSTS OF DEFENSE, ARISING OUT OF THE USE OF THIS DATA IN ELECTRONIC FORMAT.

FEI MAKES NO WARRANTIES, EITHER EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR ANY PURPOSE.

NO.	DATE	REVISION NOTE
1	6-21-2024	REVISED PER CITY COMMENTS
2	8-14-2024	REVISED PER CITY COMMENTS

DRAWN BY: LBC/MP
CHECKED BY: TJW
DATE: 06/13/2024
PROJECT NO.: 01039.001
REF. NO.:
SCALE: 1"=10'

- SITE DATA:**
OWNER: ARY DEVELOPMENT LLC
SITE ADDRESS: 320 FIRST AVE. W.
SITE PIN: 9568771057
- NOTES:**
1. THE PROPOSED DEVELOPMENT IS ANTICIPATED TO BE SERVED BY CITY OF HENDERSONVILLE'S SEWER & WATER.
 2. THE SITE LAYOUT HAS BEEN PREPARED BY PEACOCK ARCHITECTS AND HAS BEEN UTILIZED AS A DESIGN BASIS FOR THE PROPOSED UTILITY IMPROVEMENTS.
 3. UTILITY INFORMATION SHOWN HEREIN HAS BEEN PREPARED BY FEI AND IS SUBJECT TO CHANGE. ALL LOCATIONS ARE APPROXIMATE.
 4. ALL PROPOSED UTILITY SERVICE LINES WILL BE LOCATED UNDERGROUND.
 5. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.



SHEET
C-100

LARGE EVERGREEN TREES - TOTAL COUNT: 25					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS (ALL PLANTS TO MEET ANSI Z60.1 STNDS.)
SO	25	Gleditsia triacanthos	Honey Locust	2" CALIPER, 12' HEIGHT	B&B, SINGLE STRAIGHT LEADER

EVERGREEN SHRUBS - TOTAL COUNT: 143					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS (ALL PLANTS TO MEET ANSI Z60.1 STNDS.)
LB	143	Ilex crenata 'Convexa'	Convexa Japanese Holly	3 GALLON, 18" HEIGHT	FULL PLANT

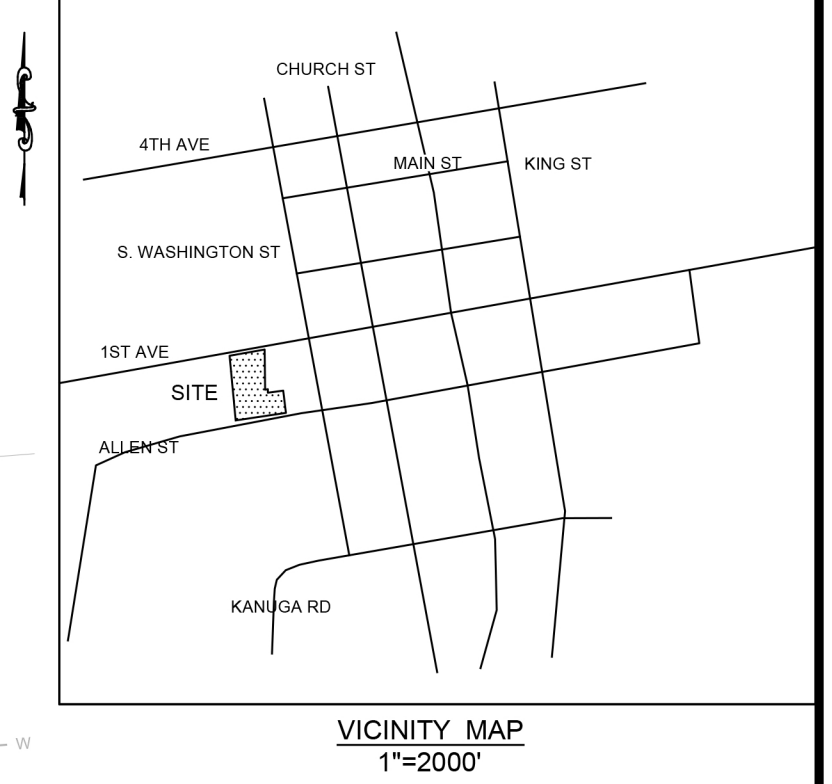
FLOWERING SHRUBS - TOTAL COUNT: 185					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS (ALL PLANTS TO MEET ANSI Z60.1 STNDS.)
WS	185	Rhododendrons	Rhododendron spp.	3 GALLON, 18" HEIGHT	FULL PLANT

TOTAL LANDSCAPING CALCULATIONS:

VEHICULAR USE AREA → 1 TREE & 2 SHRUBS PER 4,000 SF
 10,175.38 SF / 4,000 SF = 2.55 → x3 = 3 TREES & 6 SHRUBS REQUIRED
 3 TREES (1 PROPOSED & 2 EXISTING), 3 EVERGREEN SHRUBS & 3 FLOWERING SHRUBS PROVIDED

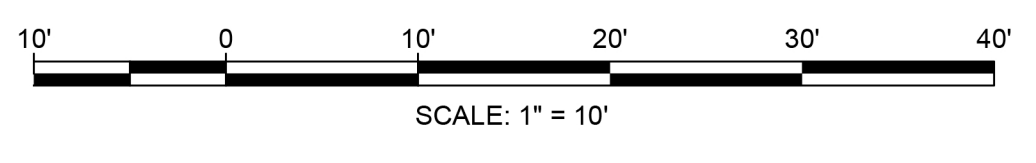
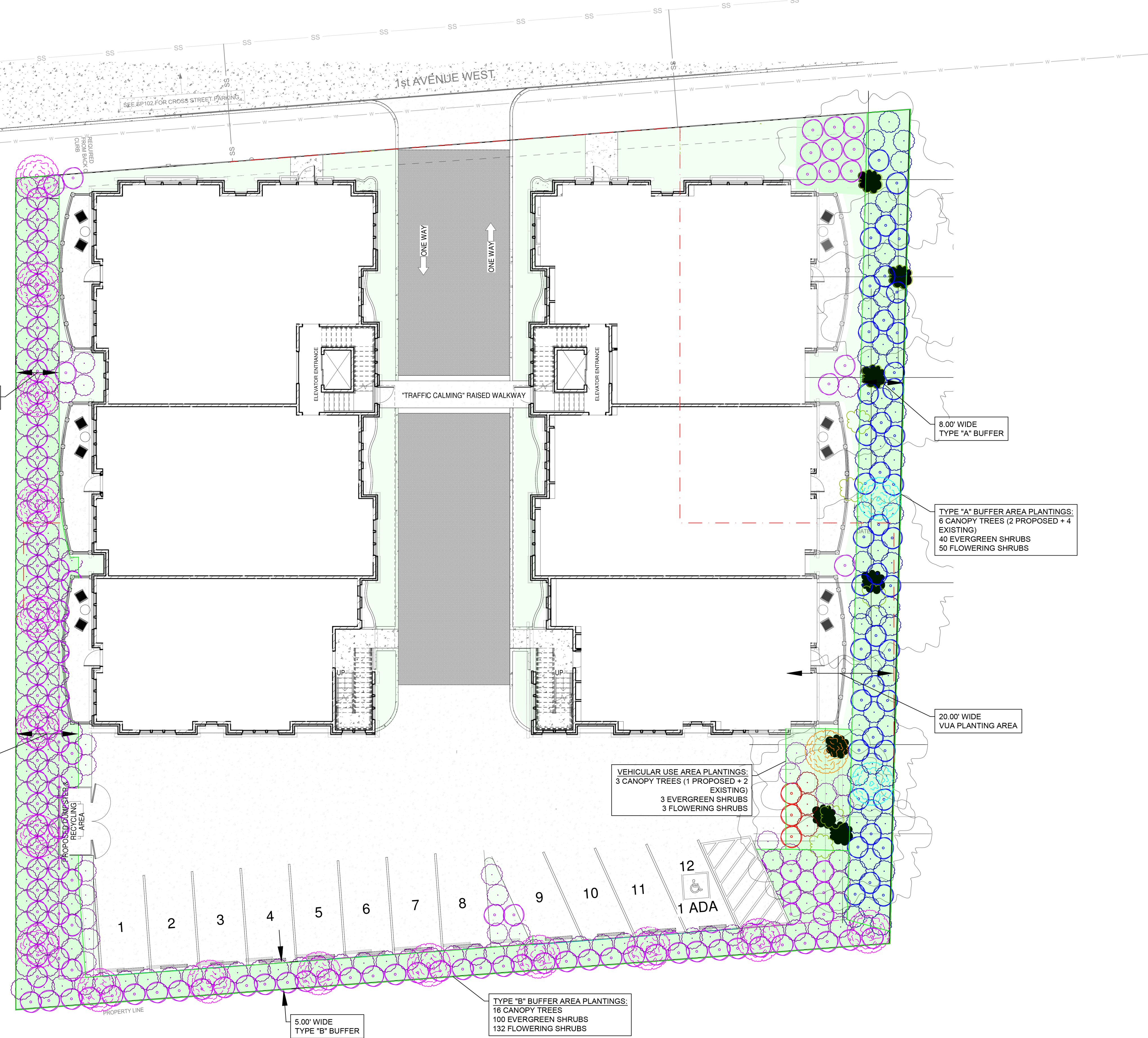
TYPE "A" BUFFER AREA → 3 CANOPY TREES, 20 EVERGREEN SHRUBS AND 25 FLOWERING SHRUBS PER 100 LF
 154.37 LF / 100 LF = 1.54 → x2 = 6 TREES, 40 EVERGREEN SHRUBS & 50 FLOWERING SHRUBS REQUIRED
 6 (2 PROPOSED & 4 EXISTING) TREES, 40 EVERGREEN SHRUBS & 50 FLOWERING SHRUBS PROVIDED

TYPE "B" BUFFER AREA → 4 CANOPY TREES, 25 EVERGREEN SHRUBS AND 33 FLOWERING SHRUBS PER 100 LF
 315.98 LF / 100 LF = 3.16 → x4 = 16 TREES, 100 EVERGREEN SHRUBS & 132 FLOWERING SHRUBS REQUIRED
 16 TREES, 100 EVERGREEN SHRUBS & 132 FLOWERING SHRUBS PROVIDED



Civil Engineers and Land Surveyors
 7 Glenn Bridge Rd., Suite H
 Arden, NC 28704
 (828) 676-0807
 www.feiconsulting.com
 License No. C-0950

BUFFER TYPE "A"	BUFFER TYPE "B"	VUA	PLANTINGS LEGEND
			LARGE EVERGREEN CANOPY TREE PLANTING LOCATION
			EVERGREEN SHRUB PLANTING LOCATION
			FLOWERING SHRUB PLANTING LOCATION
			EXISTING TREE TO REMAIN AND BE USED AS CREDIT



FIRST AVE VILLAS
 LANDSCAPING PLAN

DEVELOPER INFORMATION:
 ARY DEVELOPMENT LLC
 1000 WOOD VILLAGE BLVD
 ASHEVILLE, NC 28906

PROJECT LOCATION:
 CITY: HENDERSONVILLE
 COUNTY: HENDERSONVILLE
 STATE: NORTH CAROLINA

NO.	DATE	REVISION NOTE
1	6-21-2024	REVISED PER CITY COMMENTS
2	8-14-2024	REVISED PER CITY COMMENTS

DRAWN BY: LBC/MPR
 CHECKED BY: TJW
 DATE: 06/13/2024
 PROJECT NO.: 01039.001
 REF. NO.:
 SCALE: 1"=10'

SHEET
 C-101

SITE DATA:
 OWNER: ARY DEVELOPMENT LLC
 SITE ADDRESS: 320 FIRST AVE. W.
 SITE PIN: 3568771057

NOTES:
 1. THE SITE LAYOUT HAS BEEN PREPARED BY PEACOCK ARCHITECTS AND HAS BEEN UTILIZED AS A DESIGN BASIS FOR THE PROPOSED LANDSCAPING IMPROVEMENTS.
 2. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.



project design team:
 the tamara peacock co. architects
 129 3rd ave w
 HENDERSONVILLE, NC 28792
 Phone: 828.696.4000
 LICENSE #12289

owner:

project name:
FIRST AVE VILLAS

**320 1ST AVE W
 HENDERSONVILLE,
 NC 28792**

Tamara Peacock, R.A.
 Registration No. 12289

issued for:

date:

sheet name:
**SECOND
 LEVEL
 FLOOR
 PLAN**

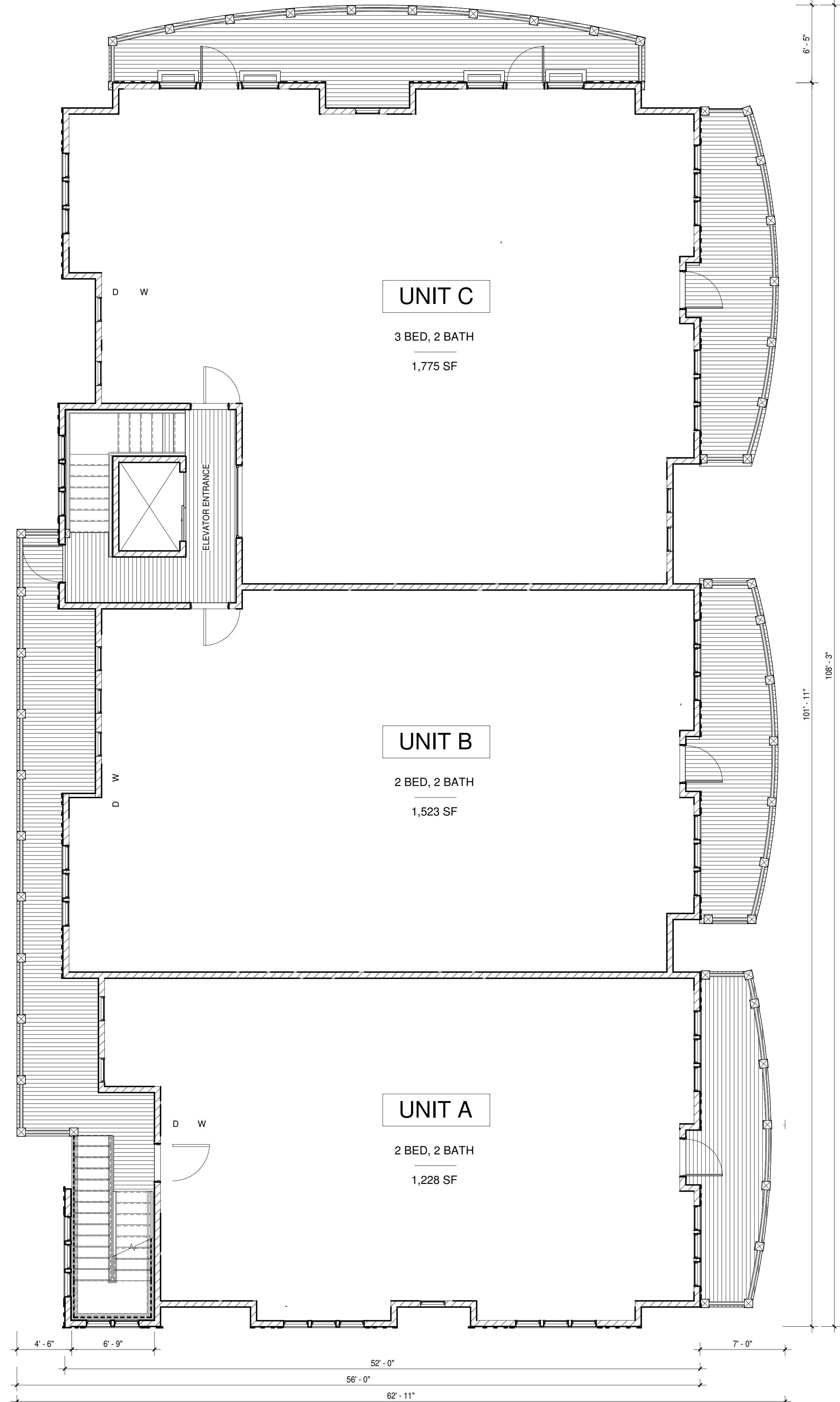
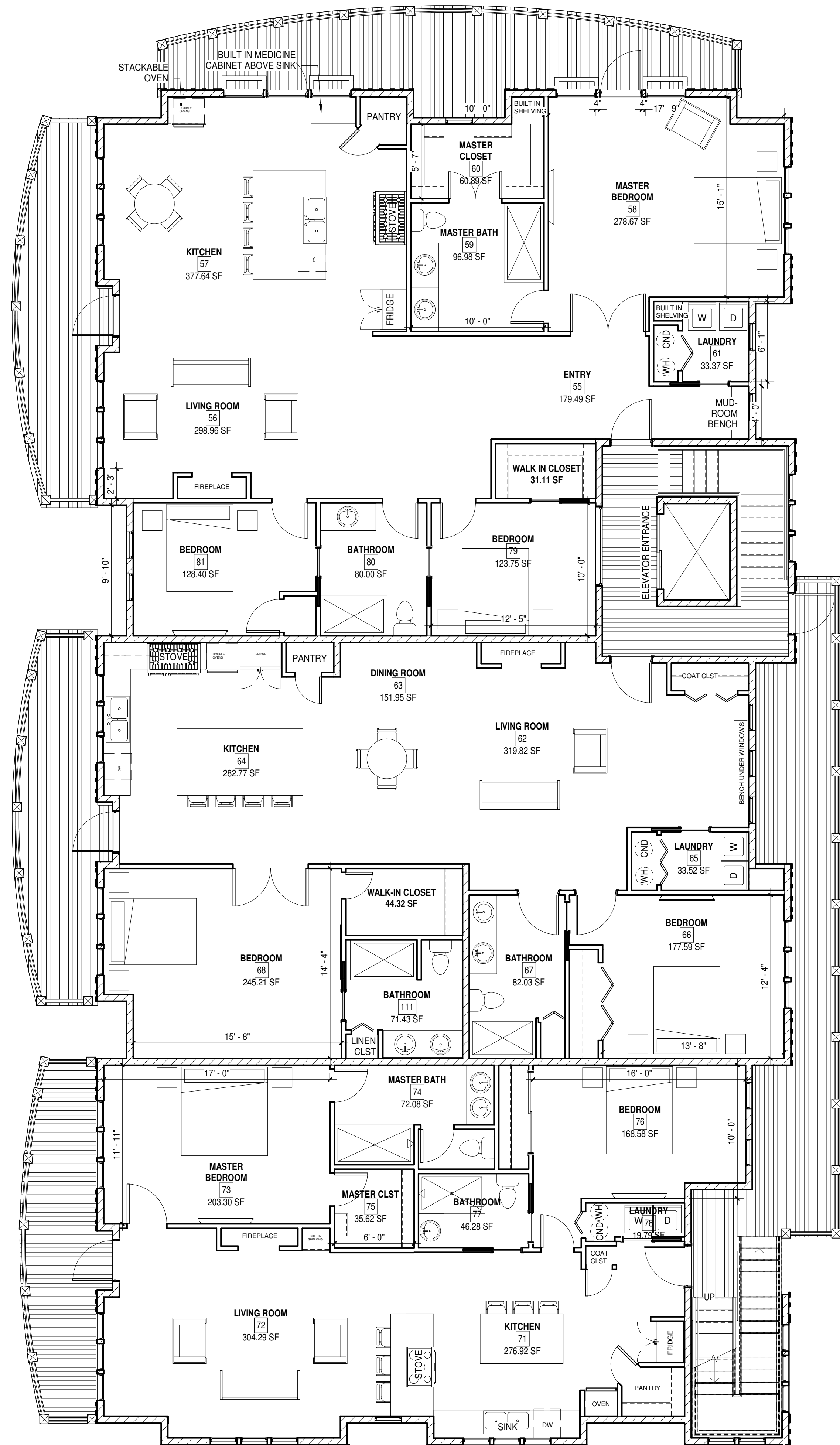
revisions:

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 drawn by: AUTHOR
 Prg Mgr.: DESIGNER
 Cap.:
 revised by: CHECKER
 APPROVER

sheet no.:

A104





project design team:
 the tamara peacock co. architects
 129 3rd ave w
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 Phone: 828.696.4000
 LICENSE #12289

owner:

project name:
FIRST AVE VILLAS
**320 1ST AVE W
 HENDERSONVILLE,
 NC 28792**

Tamara Peacock, R.A.
 Registration No. 12289

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date:

sheet name:

EXTERIOR ELEVATIONS

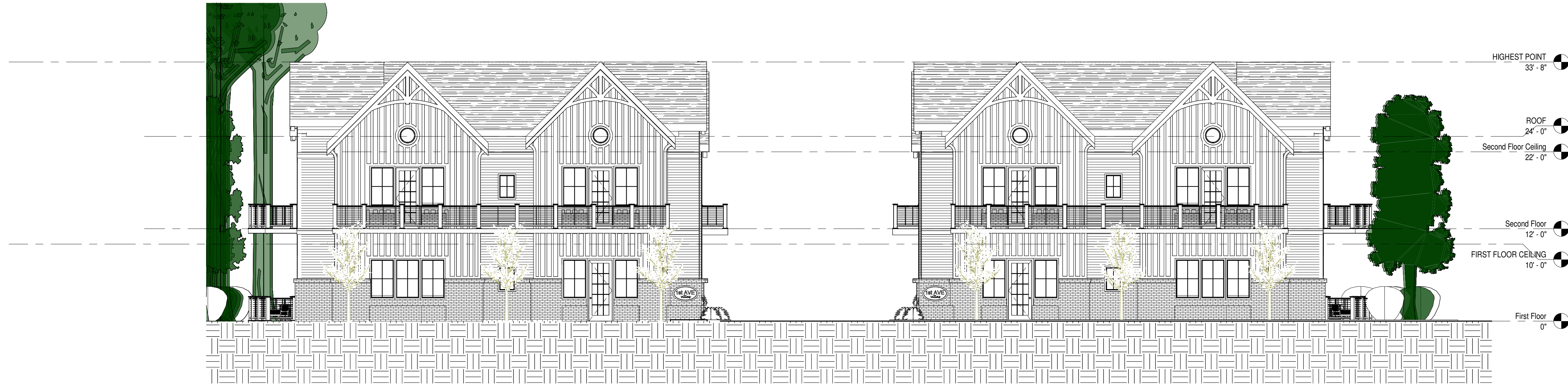
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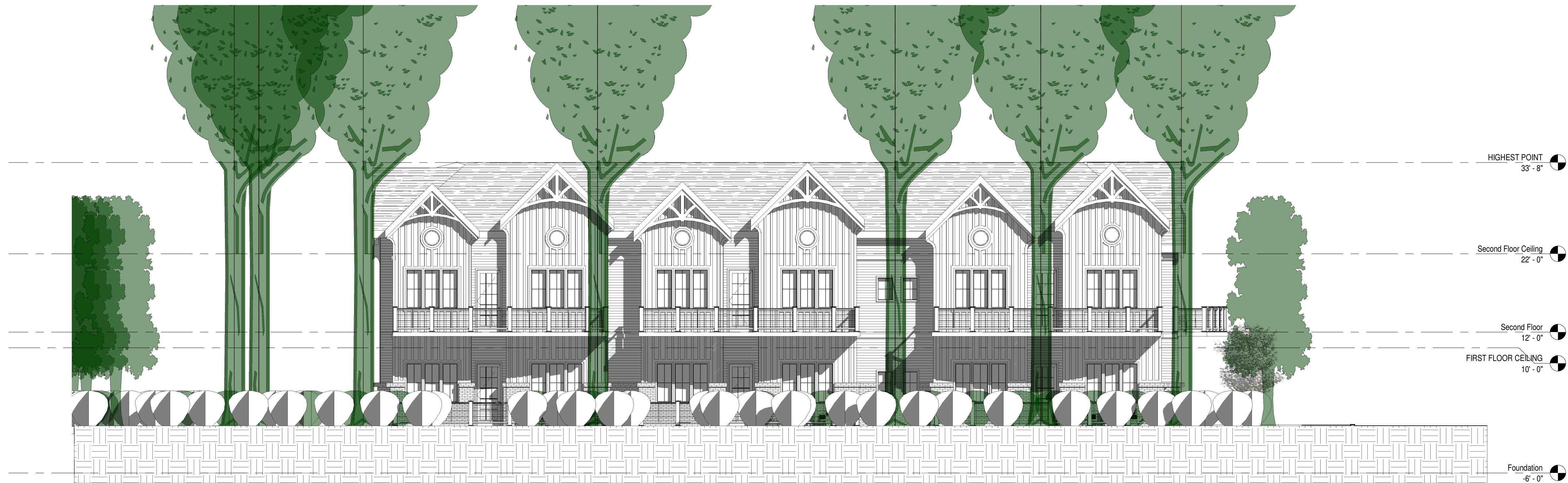
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 Prg Mngr.: DESIGNER
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A401



1 NORTH ELEVATION
 A401 1/8" = 1'-0"



2 EAST ELEVATION
 A401 1/8" = 1'-0"



project design team:
 the tamara peacock co. architects
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 HENDERSONVILLE, NC 28792
 Phone: 828.696.4000
 LICENSE #12289

owner:

project name:
**FIRST AVE
 VILLAS**

**320 1ST AVE W
 HENDERSONVILLE,
 NC 28792**

Tamara Peacock, R.A.
 Registration No. 12289

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**EXTERIOR
 ELEVATIONS**

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revised by: CHECKER

Prog Mgr: DESIGNER

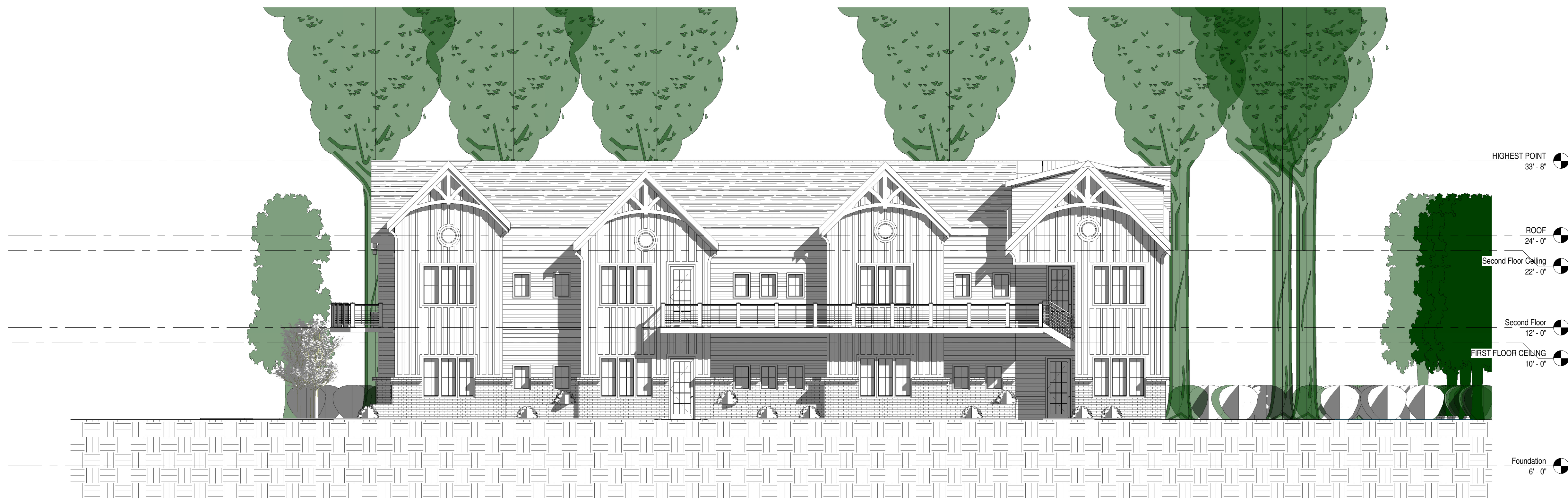
Cap: APPROVER

sheet no.:

A402



1 SOUTH ELEVATION
 A402 1/8" = 1'-0"



2 COURTYARD ELEVATION
 A402 1/8" = 1'-0"