

This document presented and filed:
11/30/2016 12:31:55 PM

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WILLIAM LEE KING, Henderson COUNTY, NC
Transfer Tax: \$230.00

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$**230**

Parcel Identifier No.: 0116085 Verified by _____ County on the ____ day of _____, 20____
By: _____

→Mail/Box to: John Miller attorney, *68 N. Market St., Asheville, NC 28801*

This instrument was prepared by: Whitney Staton Hebert DEED PREPARATIOIN ONLY NO TITLE SEARCH PREFORMED

Brief description for the Index: *2511 Haywood Rd.*

THIS DEED made this **25** day of November, 2016, by and between

GRANTOR

GRANTEE

**TERESA LINDER individually and as executor of the
Estate of Mary Grant Weston
and spouse, FRANK LEE LINDER
GERALDINE JOHNSON, individually and as
executor of the Estate of Mary Grant Weston
and spouse, JAY EDWIN JOHNSON**

**TIMOTHY MAX CLUBB and wife,
LISA BALLARD CLUBB**

Mailing Address:
3 NEWCROSS SOUTH
ASHEVILLE, NC 28805

Mailing Address:
2511 Haywood Road
Hendersonville, NC 28791

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of _____, Hendersonville Township, Henderson County, North Carolina and more particularly described as follows:

SEE ATTACHED EXHIBIT A

WHEREAS, Mary Weston died testate in Henderson County, North Carolina on July 20, 2016 seized and possessed of the property described in Exhibit A; and

WHEREAS, her Last Will and Testament was duly admitted to probate in Henderson County File No. 16E719, and

WHEREAS, Teresa Linder and Geraldine Johnson were named as his sole devisees and beneficiaries, and they have joined in this instrument to memorialize their agreement as to the distribution of the real property;

WHEREAS, Frank Lee Linder, executes this instrument for the sole purpose of conveying and releasing any individual and/or marital interest she may have in the subject property and to vest the Grantees with clear title to the tract hereinafter described.

WHEREAS, Jay Edwin Johnson, executes this instrument for the sole purpose of conveying and releasing any individual and/or marital interest she may have in the subject property and to vest the Grantees with clear title to the tract hereinafter described.

The property hereinabove described was acquired by Grantor by instrument recorded in Deed Book 400 at Page 545, HENDERSON County Registry.

A map showing the above described property is recorded in Plat Book 5, Page 12.

All or a portion of the property herein conveyed ☐ does ☒ does not include the primary residence of a Grantor.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Subject to 2016 Henderson County ad valorem taxes.
Subject to Restrictions, Easements, and Rights of Way of Record.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

Teresa Linder (SEAL)
TERESA LINDER

Teresa L. Linder (SEAL)
TERESA LINDER, co-executor

Frank L Linder (SEAL)
FRANK LEE LINDER

Geraldine Johnson (SEAL)
GERALDINE JOHNSON

Geraldine Johnson (SEAL)
GERALDINE JOHNSON, executor

Jay Edwin Johnson (SEAL)
JAY EDWIN JOHNSON

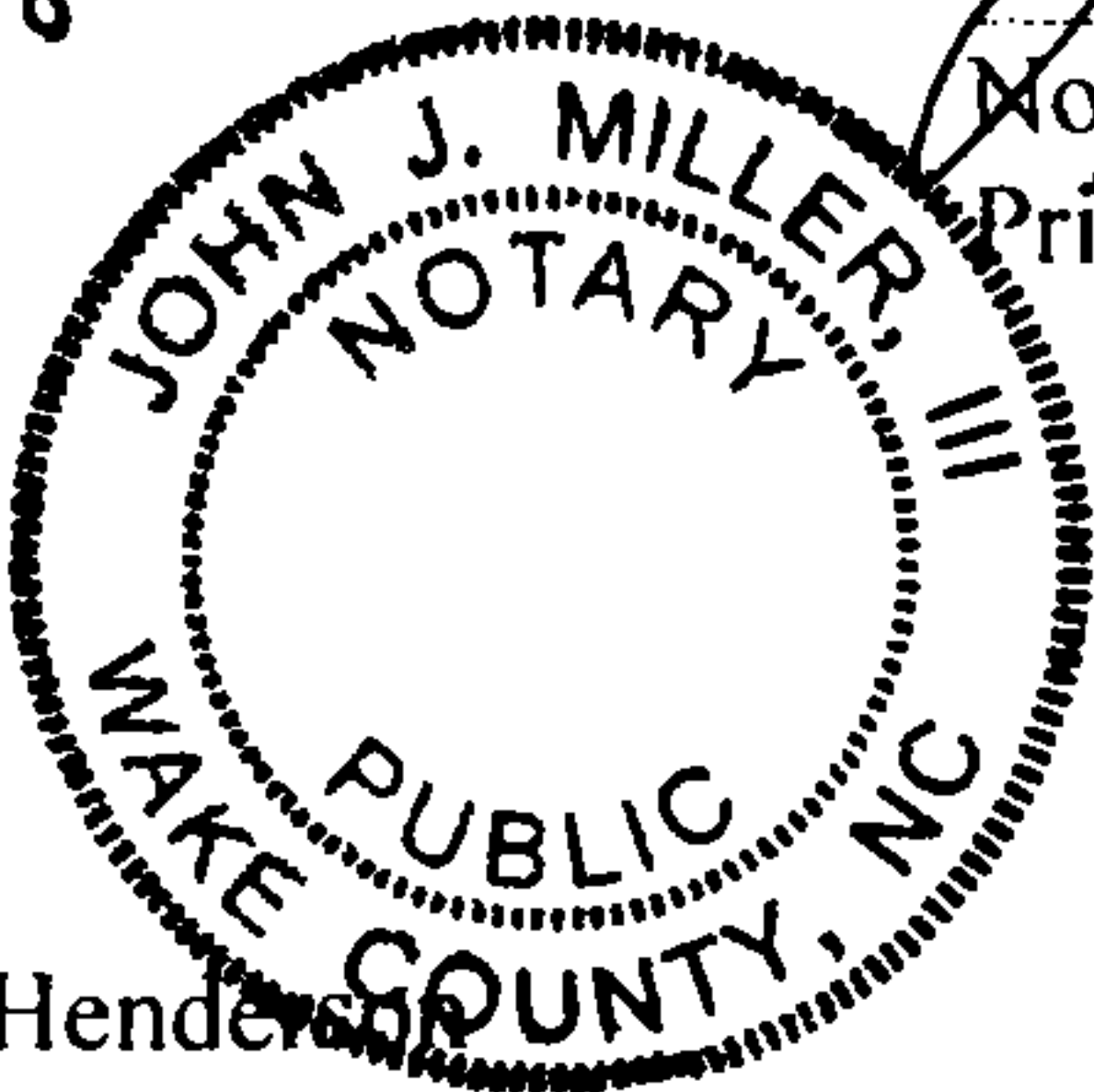
I, John J. Miller III, a Notary Public of the County and State aforesaid, certify that GERALDINE JOHNSON AND JAY EDWIN JOHNSON personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 30 day of November, 2016.

My Commission Expires: 3/27/18



Notary Public
Print Notary Name: John J. Miller III

[Affix Notarial Seal]



State of North Carolina, County of Henderson

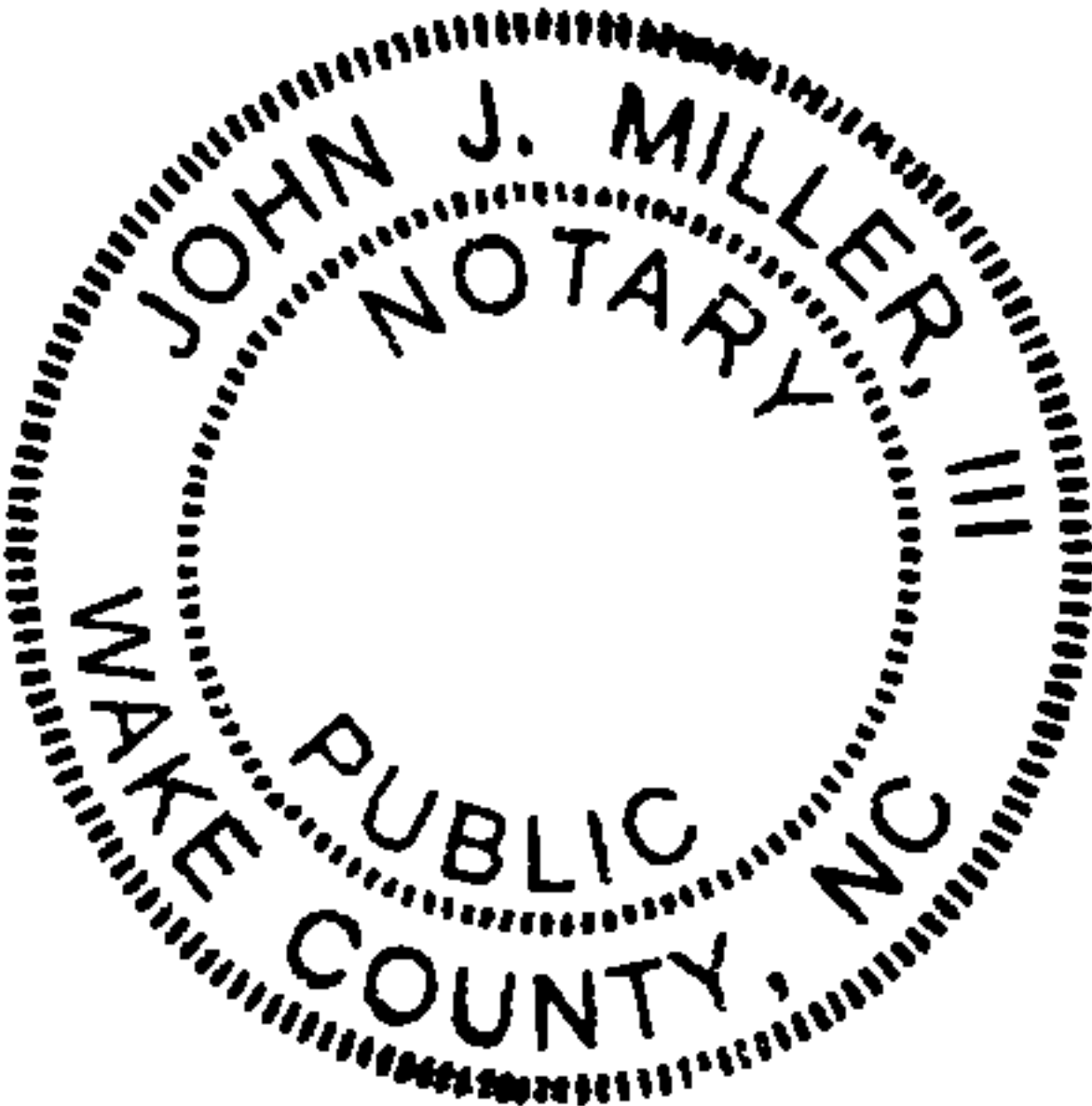
I, John J. Miller III, a Notary Public of the County and State aforesaid, certify that GERALDINE JOHNSON, executor personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 30 day of November, 2016.

My Commission Expires: 3/27/18



Notary Public
Print Notary Name: John J. Miller III

[Affix Notarial Seal]



State of South Carolina County of Florence

I, Jackson Stone, a Notary Public of the County and State aforesaid, certify that TERESA LINDER and FRANK LEE LINDER personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 25 day of November, 2016.

My Commission Expires: 9-01-2019

Jackson Stone
Notary Public
Print Notary Name: Jackson Stone



[Affix Notarial Seal]

State of South Carolina, County of Florence

I, Jackson Stone, a Notary Public of the County and State aforesaid, certify that TERESA LINDER, co-executor personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 25 day of November, 2016.

My Commission Expires: 9-01-2019

Jackson Stone
Notary Public
Print Notary Name: Jackson Stone

[Affix Notarial Seal]

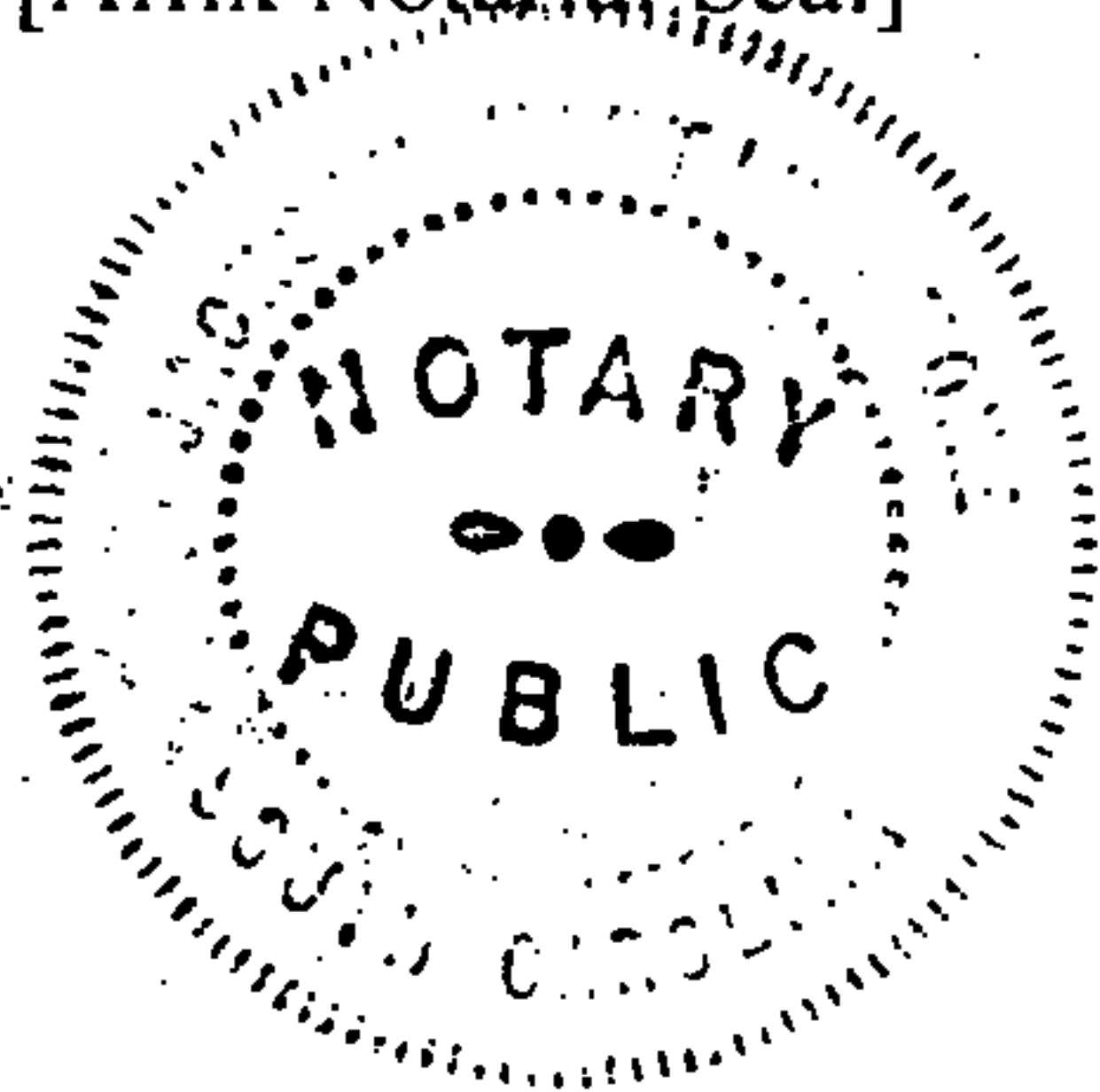


EXHIBIT A

Book 1688

LEGAL DESCRIPTION

Page 552

BEING ALL OF Lots 9, 10, and 11 of Wanteska Valley Subdivision as shown on plat thereof recorded in Plat Book 5, Page 12, Henderson County Registry.

BEING THE SAME property described in Deed Book 400, Page 545 to B. Lawrence Weston and wife, Mary Grant Weston.