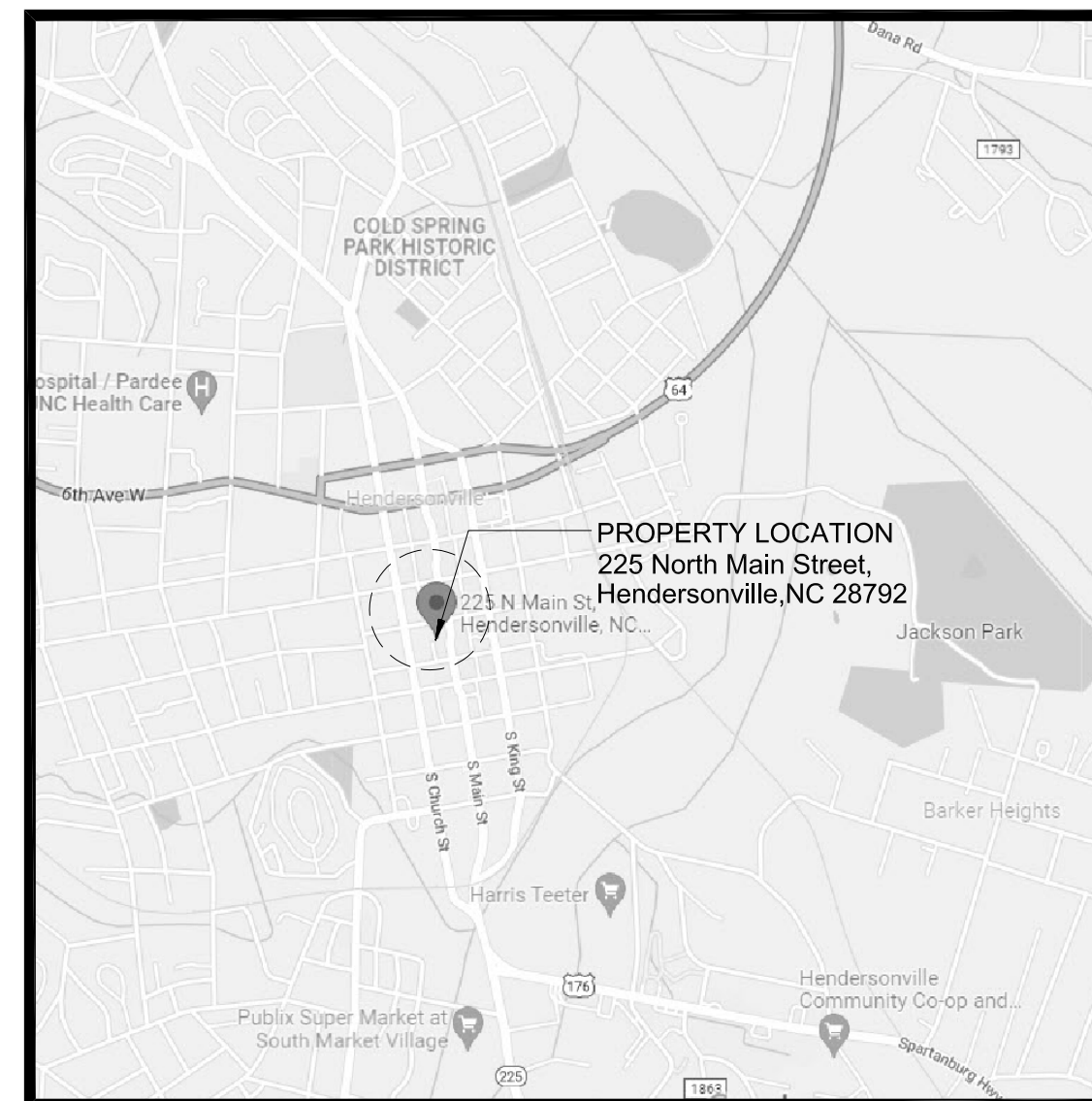




**PROPOSED RENOVATION FOR MR. & MRS. JASON KRUAS**  
**225 North Main Street,**  
**Hendersonville, NC 28792**



**VICINITY MAP**

**TABLE OF CONTENT**

- A-0 : COVER SHEET
- A-1.0 : EXISTING FLOOR PLAN
- A-1.0 : EXISTING ELEVATIONS 'A' & 'B'
- A-2.0 : RENOVATION FLOOR PLAN, ELEVATION 'A' & NOTES
- A-2.0 : ROOF ACCESS STAIR PART PLAN & SECTION
- A-2.1 : RENOVATION DIMENSIONAL PLAN & ELEVATION 'B'
- A-3.0 : WALL, WINDOW SECTIONS/DETAILS & STAIRS LAYOUT
- A-4.0 : RENOVATION ELECTRICAL PLAN & WALL DETAILS

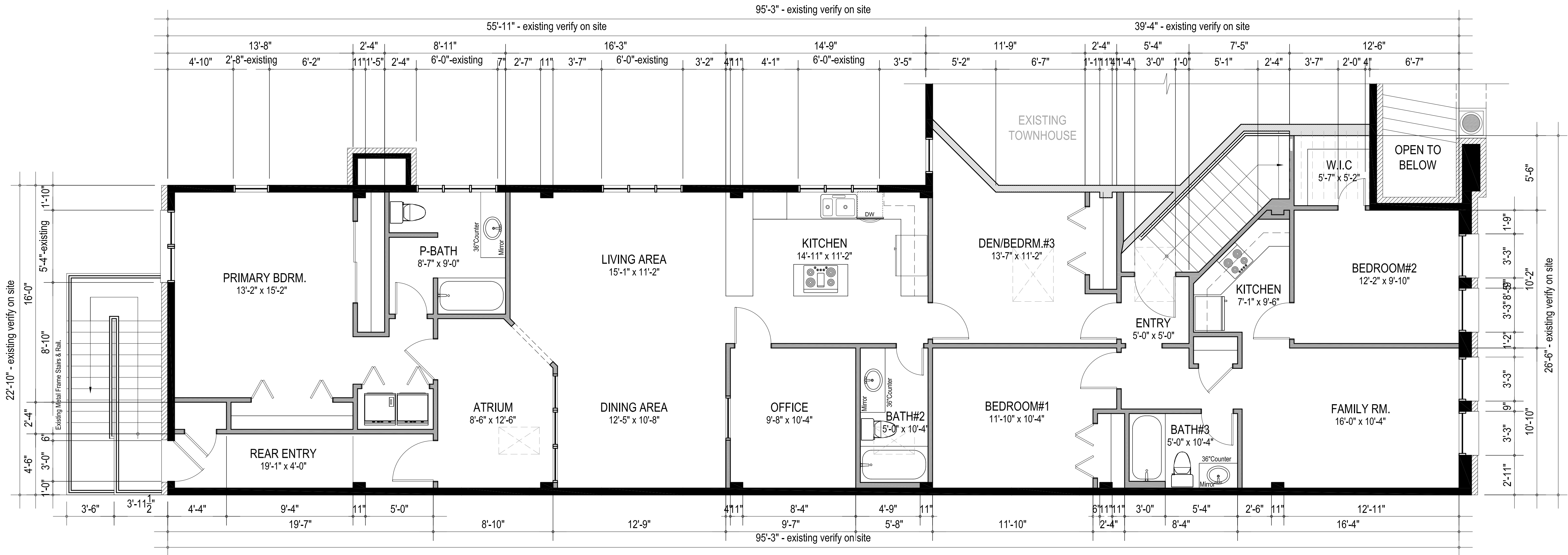


**'Bringing Your Dream Home to Reality'**

**Ph:(713) 319-5836 Fx:(713)-319-5730**

**email: [jalarchdesigns@gmail.com](mailto:jalarchdesigns@gmail.com)**





### SPECIFICATIONS

UNLESS OTHERWISE NOTED :-

MAIN FLOOR OF RESIDENCE:-  
PLATE HEIGHT = 9'-0" (verify on site)  
CEILINGS = 8'-10 1/2" (verify on site/match existing)  
WINDOWS = 6'-8" HEADER HEIGHT (U.O.N)  
DOORS = 6'-8" HEADER HEIGHT (U.O.N)

ROOF TYPE - EXISTING NOT IN SCOPE OF WORK  
ROOF PITCH - N/A (verify on site)  
WATER HEATER ( in attic as per City Codes)

ATTIC VENTING - SOFFIT & RIDGE VENTS  
NOTES :all attic insulation shall be City Approved sprayed on or match existing.

INDICATES EXISTING BRICK LEDGE.  
INDICATES EXISTING 1 HR. FIRE RATED WALL.  
INDICATES NEW 4" WALLS.  
INDICATES EXISTING INTERIOR 4" WALLS.  
INDICATES EXISTING EXTERIOR WALLS.

### SQUARE FOOTAGE

EXISTING FLOOR AREA :-

LIVING AREA = ±2,042 S.F.  
MAIN ENTRY AREA = ± 67 S.F.  
REAR ENTRY AREA = ± 16 S.F.

NEW ADDITION AREA:-

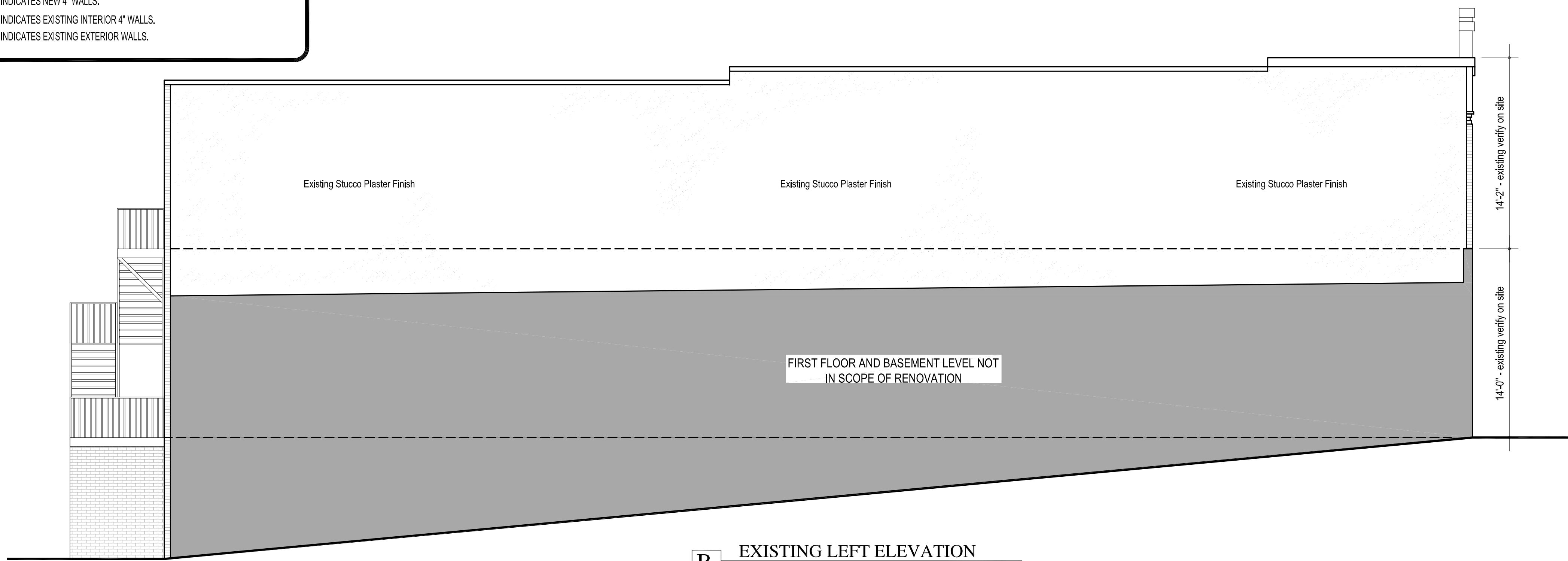
LIVING AREA = ± 0 S.F.  
OPEN BALCONY AREA = ± 130 S.F.  
FRAMED AREA = ± 130 S.F.

EXISTING TOTAL FRAMED AREA = ±2,300 S.F.  
NEW TOTAL FRAMED AREA = ±2,430 S.F.

NEW TOTAL RENOVATION AREA = ±2,430 S.F.

### EXISTING FLOOR PLAN

Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)

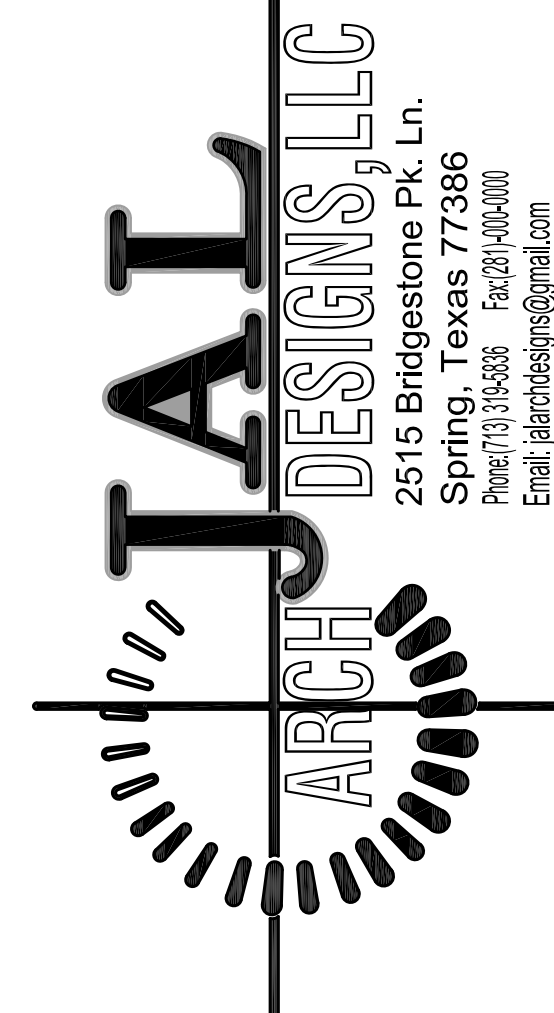


NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY . IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

## PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

DATE :	NOVEMBER 29, 2021
SCALE :	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R/100322

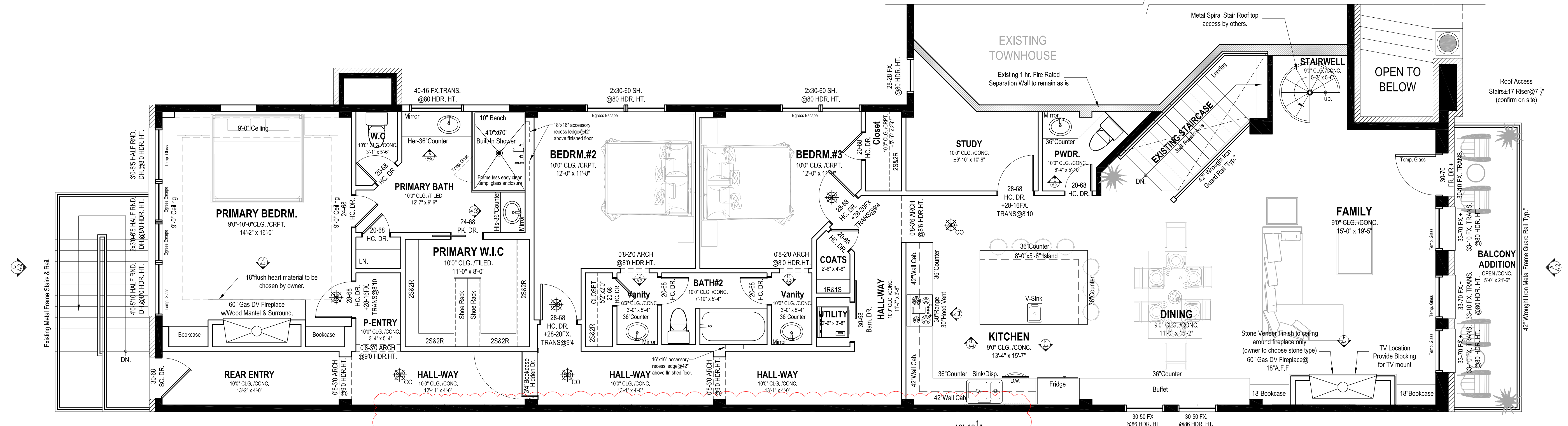
A 1.0



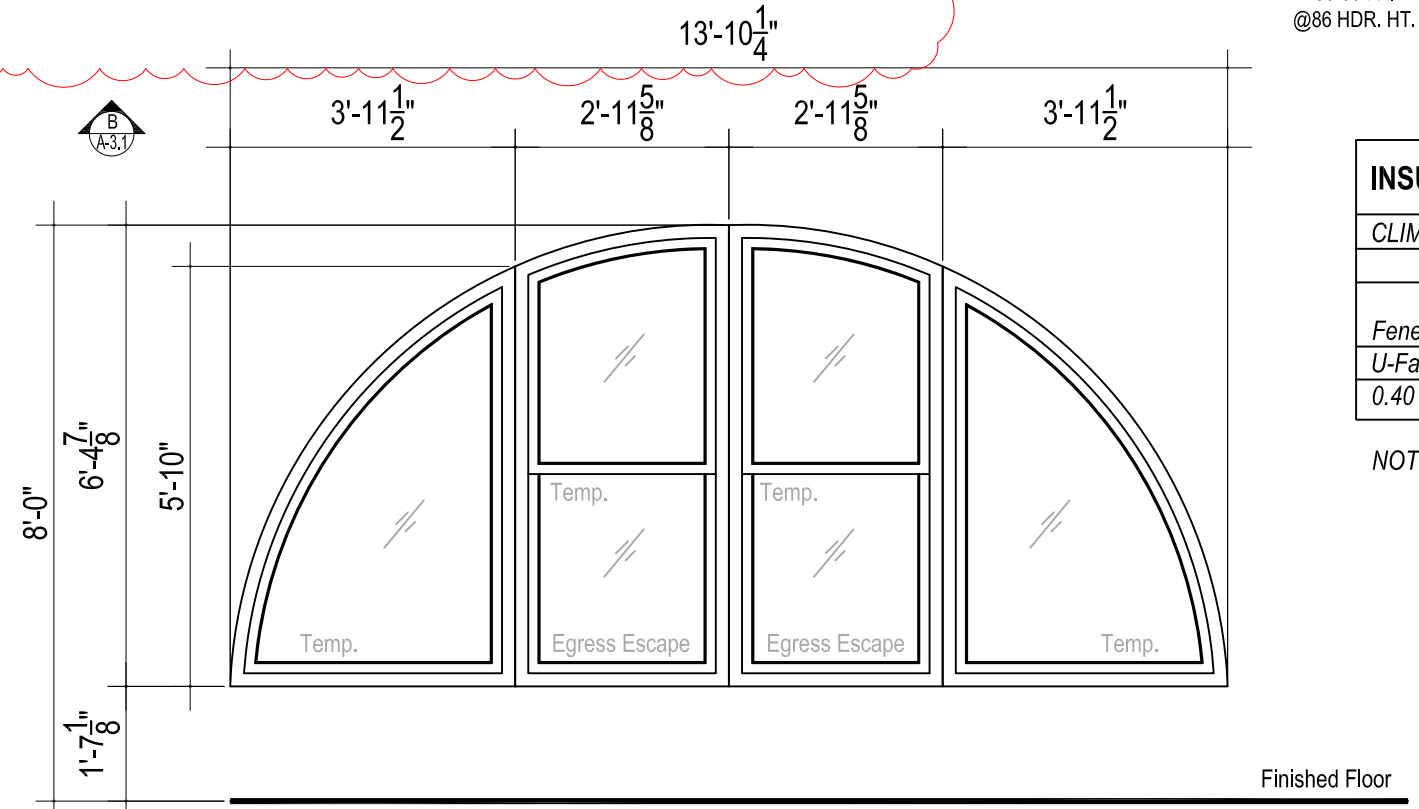
EXISTING FLOOR PLAN
EXISTING ELEVATIONS
SQUARE FOOTAGES



PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET



RENOVATED FLOOR PLAN  
Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)



SECTIONAL WINDOW ELEVATION  
Scale : 3/8" = 1'-0"

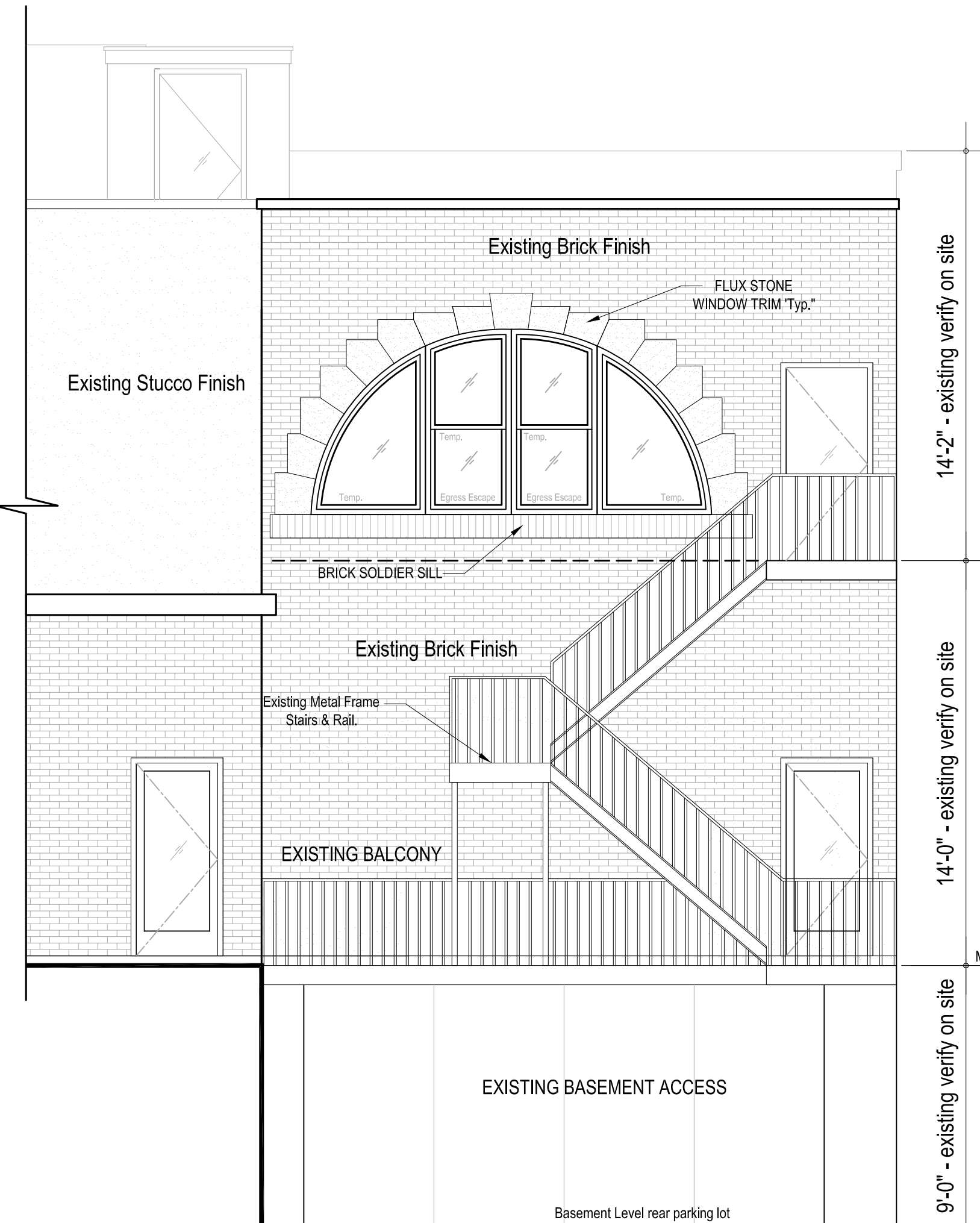
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										2015 IECC	TABLE R402.1.2	
CLIMATE		ZONE 4A		HENDERSON COUNTY								
WINDOWS		INSULATION					FOUNDATION					
Fenestration	Skylight	Glazed Fenestration	Ceiling	Wood Frame Wall	Mass Wall	Floor	Basement Wall	Slab R-Value	Crawl Space Wall			
U-Factor	U-Factor	SHGC	R-Value	R-Value	R-Value	R-Value	R-Value	And Depth	R-Value			
0.40	0.65	0.25	38	13	4/8	13	0	0	0			

NOTE: ALL NEW WINDOWS MUST MEET OR EXCEED ABOVE STATED REQUIREMENTS.

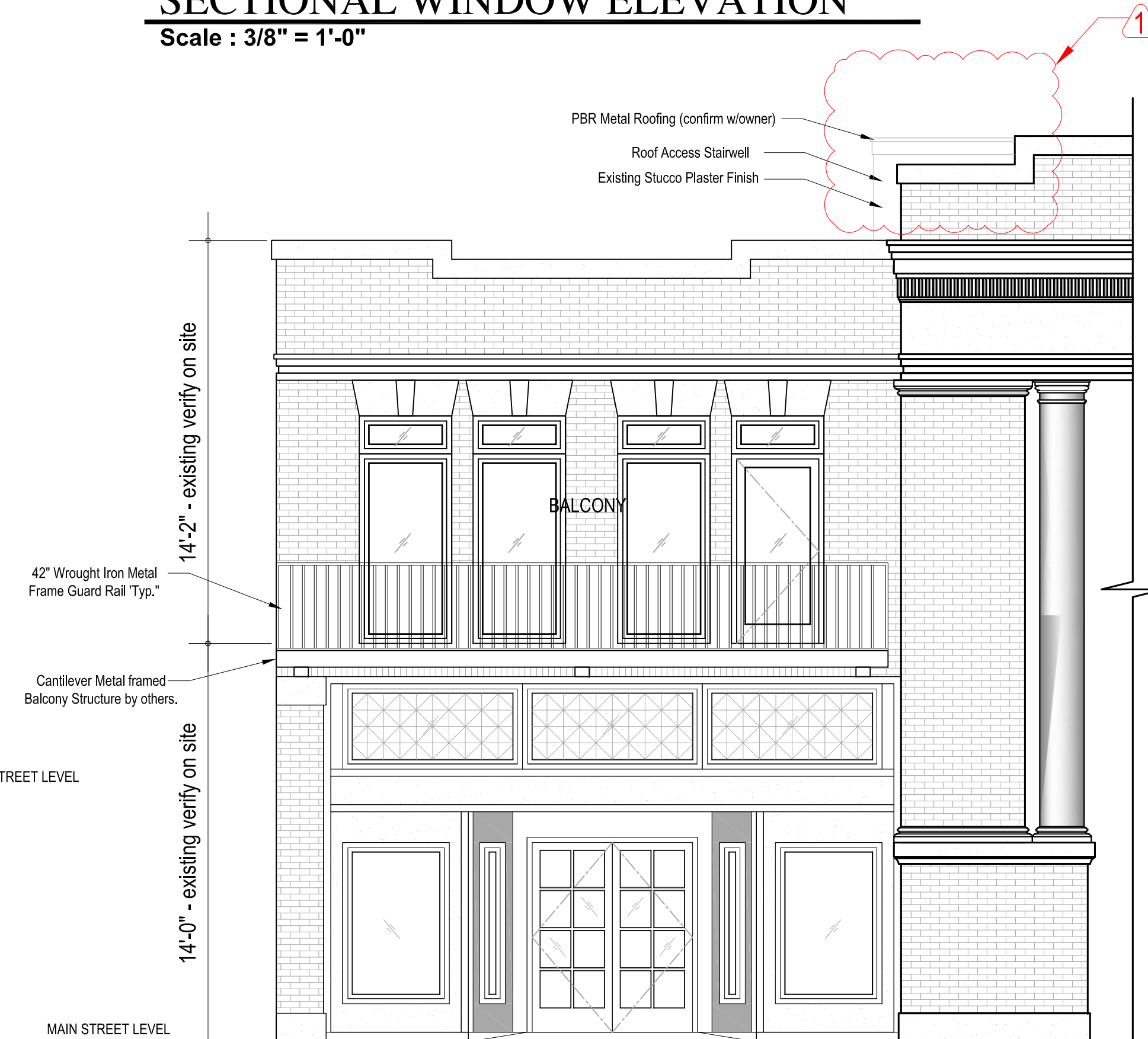
NOTE: ALL NEW WINDOWS MUST MEET OR EXCEED ABOVE STATED REQUIREMENTS.

PLAN NOTES & SPECIFICATIONS

- \*Do not scale drawings.
- \*Framing dimensions are exterior to exterior framing, exterior to center of window and interior face of stud to face of stud.
- \*Materials supplier to verify with contractor all beam joist and hanger sizes and provide detailed layout of locations and point load requirements.
- \*All angles shown in plan shall be 45° u.n.o.
- \*Where wood frame walls and partitions are covered on the interior with plaster, tile or similar materials and are subject to water-splash, the framing shall conform to section R702.4.
- \*Shower stalls and tubs with shower heads shall have walls finished with a non-absorbent surface over waterproof gypsum board (or a equal or better material) to height of not less than 70" above the drain inlet.
- \*Glazing in hazardous locations including showers and bathtub enclosures (glass doors and panels) shall comply with section R308.
- Emergency escape or rescue windows shall have a finished sill height not more than 44" above the floor and shall have a min... net clear opening of 5.7 sq. ft. The min... net clear opening height dimension shall be not less than 24" and the min... net clear opening width dimension shall not be less than 20" per R310.1.
- \*All windows within 24" of an arc of a door and less than 18" above finished floor shall be safety glass per 308.4.
- \*Draft stops shall be constructed of approved materials per Section R502.12.
- \*Approved smoke detectors shall be placed in each bedroom and in adjoining hall. They shall be hard-wired, inter-connected, and a battery back up per Section 317.
- \*All insulation shall have a flame spread rating of not more than 25 and shall have a smoke density not to exceed 450 per Section R320.1.
- \*Handrails at stair shall be continuous the full length of the stairs. The top of handrails shall be placed not less than 34" or more than 38" above the nosing of treads and landings per Section R315.
- \*Provide ventilation at all baths and utility rooms.
- \*All cabinet sizes are labeled in industry standard inches cabinet supplier to provide mfg... specific unit sizes and installation layout and details.
- \*It is the final responsibility of the general contractor to verify all dimensions, structural notes and window/door sizes and adjust to meet local and state building codes.
- \*All bedrooms shall have at least one operable window or exterior door approved for emergency escape or rescue.
- \*Fire stopping shall be provided as specified in Sections R602.8, R1001.17, R1003.12.
- Indicates Smoke Detectors
- Indicates Combo Carbon Monoxide/Smoke Detector.



RENOVATED REAR ELEVATION  
Scale : 1/4" = 1'-0"



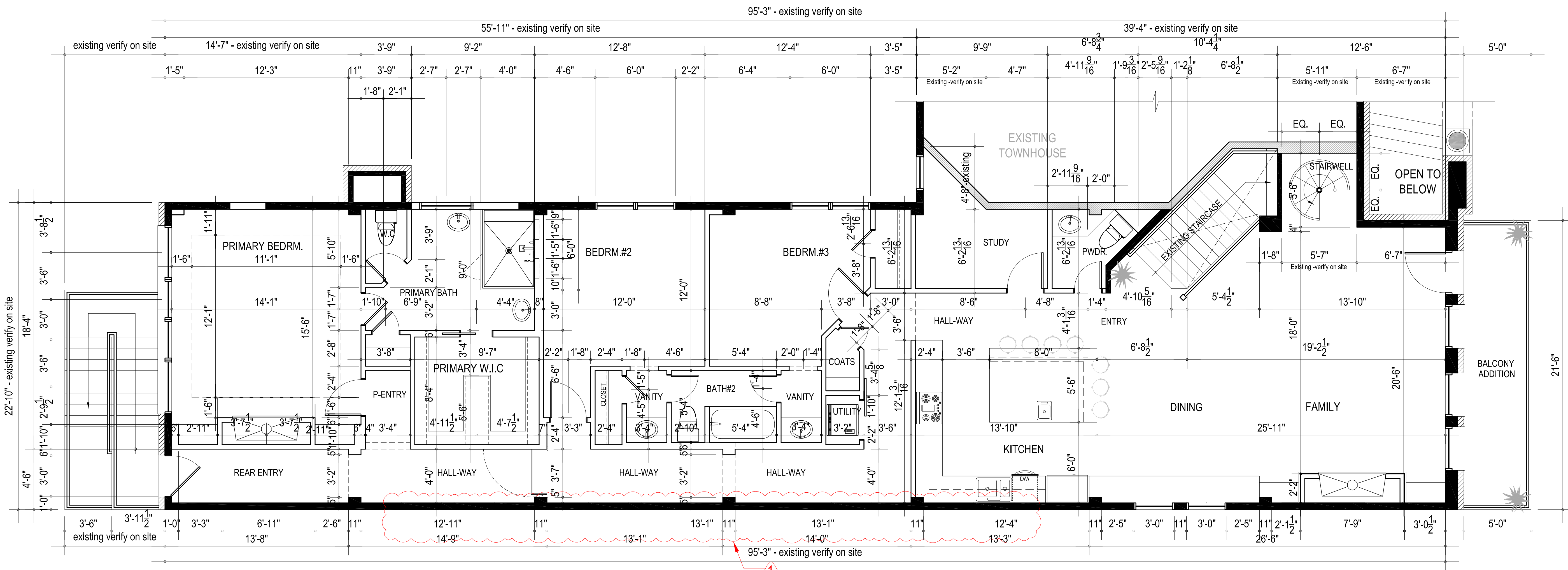
RENOVATED FRONT ELEVATION  
Scale : 1/4" = 1'-0"

SQUARE FOOTAGE	
EXISTING FLOOR AREA :-	
LIVING AREA	= ±2,042 S.F.
MAIN ENTRY AREA	= ± 67 S.F.
REAR ENTRY AREA	= ± 16 S.F.
NEW ADDITION AREA:-	
LIVING AREA	= ± 35 S.F.
OPEN BALCONY AREA	= ± 130 S.F.
ROOF ACCESS AREA	= ± 35 S.F.
FRAMED AREA	= ± 130 S.F.
EXISTING TOTAL FRAMED AREA	= ±2,300 S.F.
NEW TOTAL FRAMED AREA	= ±2,465 S.F.
NEW TOTAL RENOVATION AREA	= ±2,465 S.F.

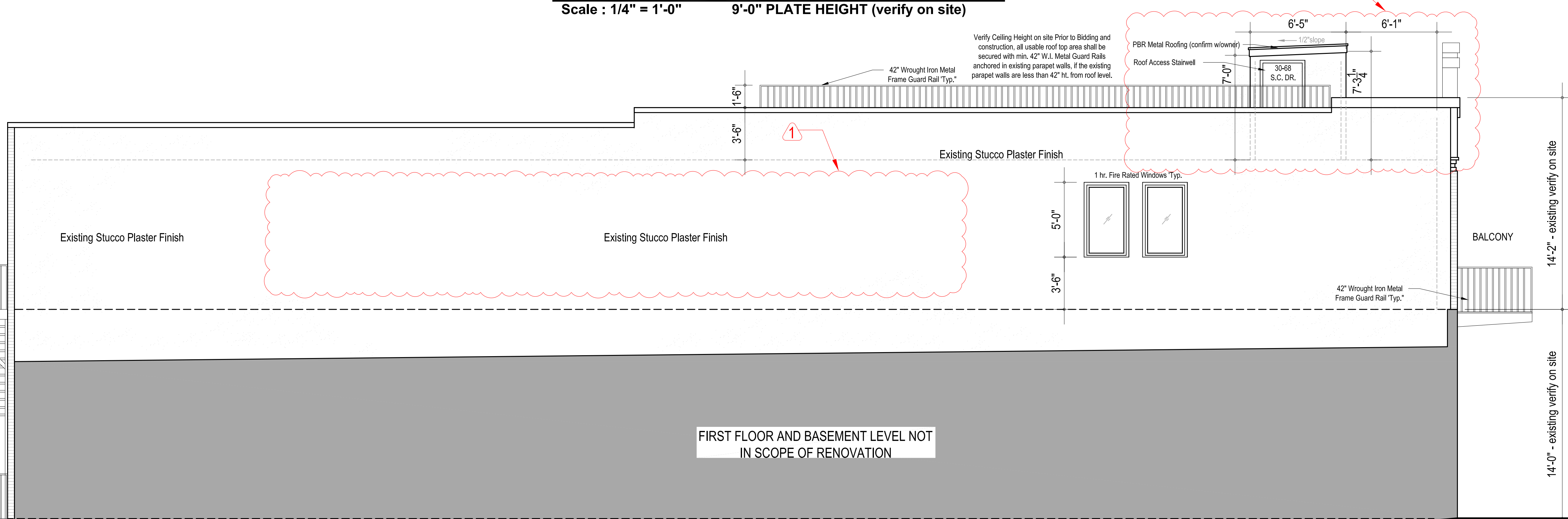
SPECIFICATIONS	
UNLESS OTHERWISE NOTED :-	
MAIN FLOOR OF RESIDENCE:-	
PLATE HEIGHT	= 9'-0" (verify on site)
CEILINGS	= 8'-10 1/2" (verify on site/match existing)
WINDOWS	= 6'-8" HEADER HEIGHT (U.O.N)
DOORS	= 6'-8" HEADER HEIGHT (U.O.N)
ROOF TYPE - EXISTING NOT IN SCOPE OF WORK	
ROOF PITCH - N/A	(verify on site)
WATER HEATER ( in attic as per City Codes)	
ATTIC VENTING - SOFFIT & RIDGE VENTS	
NOTES :all attic insulation shall be City Approved sprayed on or match existing.	
INDICATES EXISTING BRICK LEDGE.	
INDICATES EXISTING 1 HR. FIRE RATED WALL.	
INDICATES NEW 4" WALLS.	
INDICATES EXISTING INTERIOR 4" WALLS.	
INDICATES EXISTING EXTERIOR WALLS.	

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET 2012 INTERNATIONAL RESIDENTIAL CODES WITH CITY OF HOUSTON AMENDMENTS.





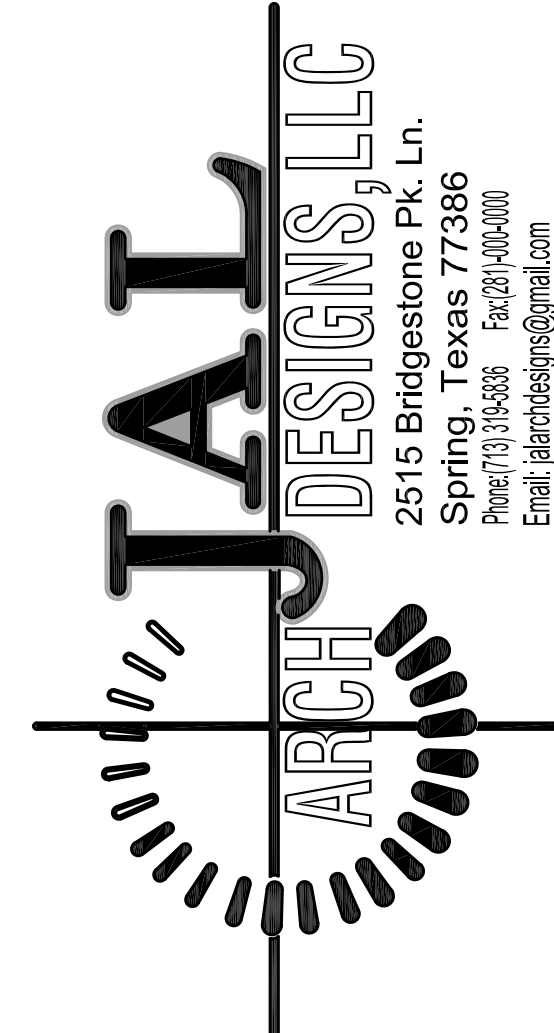
**DIMENSIONAL FLOOR PLAN**  
Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)



**RENOVATED LEFT ELEVATION**  
Scale : 1/4" = 1'-0"

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET 2012 INTERNATIONAL RESIDENTIAL CODES WITH CITY OF HOUSTON AMENDMENTS.

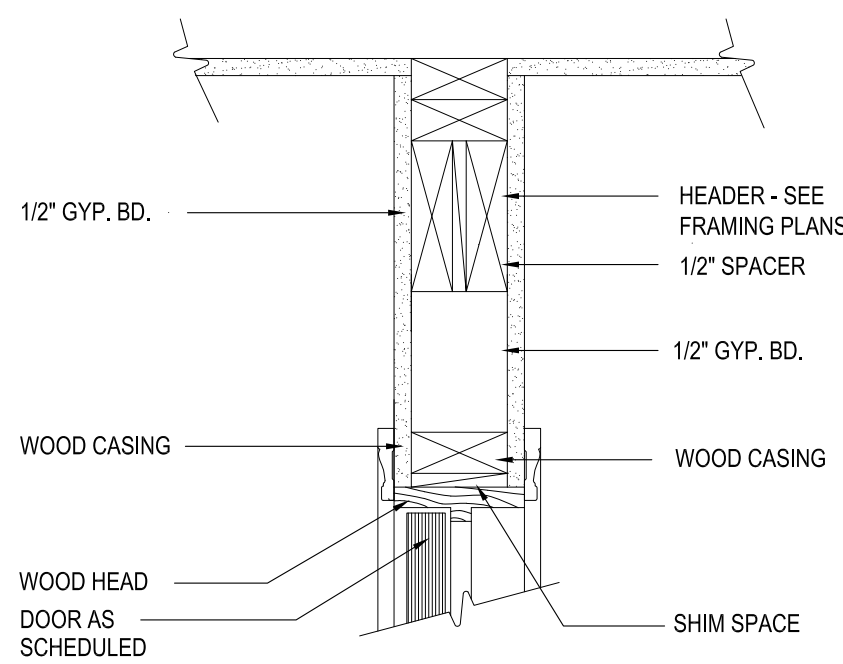
**PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET**



DIMENSIONAL RENOVATION FLOOR PLAN
RENOVATED LEFT ELEVATION

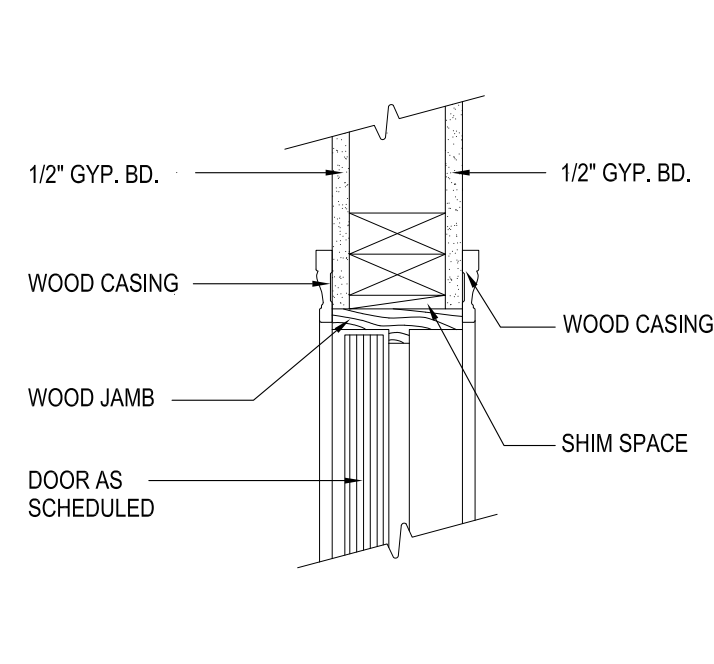
DATE :	NOVEMBER 29, 2021
PROJECT NO :	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R080523





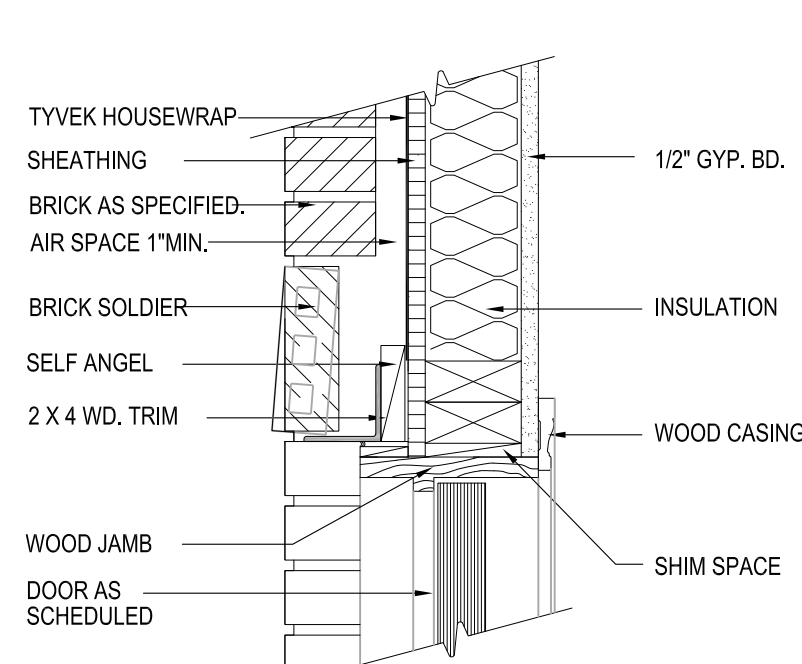
### INT. DOOR HEAD

SCALE 1 1/2"=1'-0"



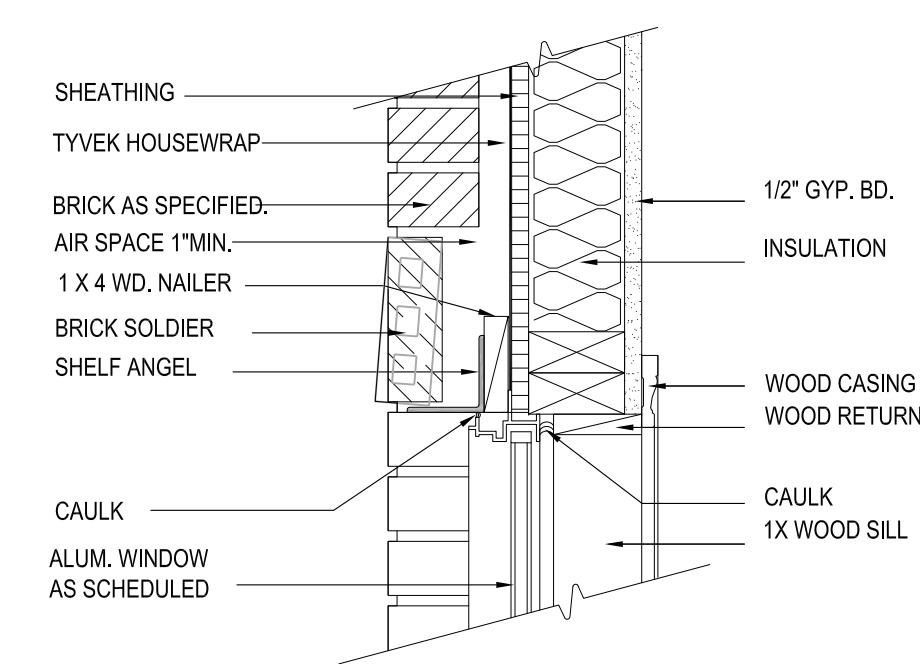
### INT. DOOR JAMB

SCALE 1 1/2"=1'-0"



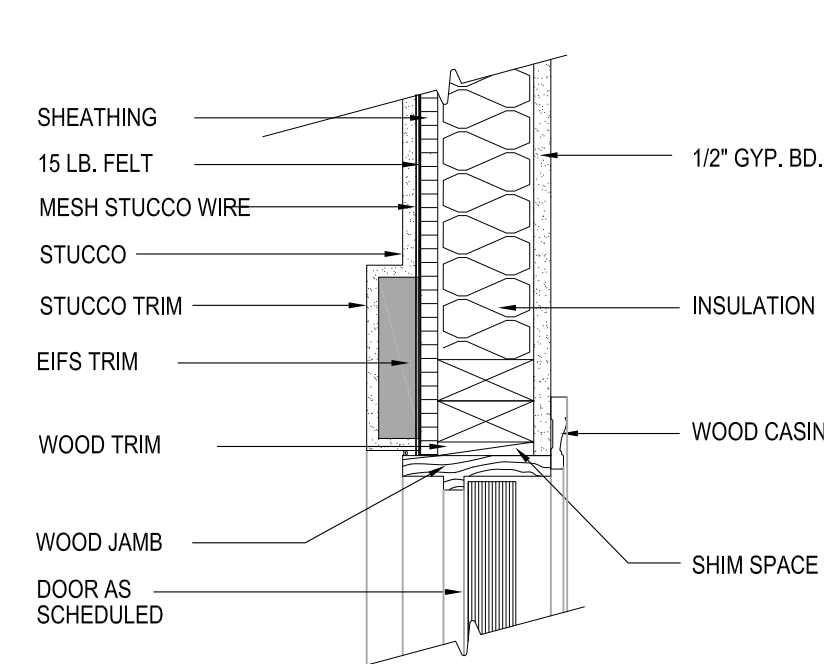
### EXT. DOOR JAMB @ BRICK

SCALE 1 1/2"=1'-0"



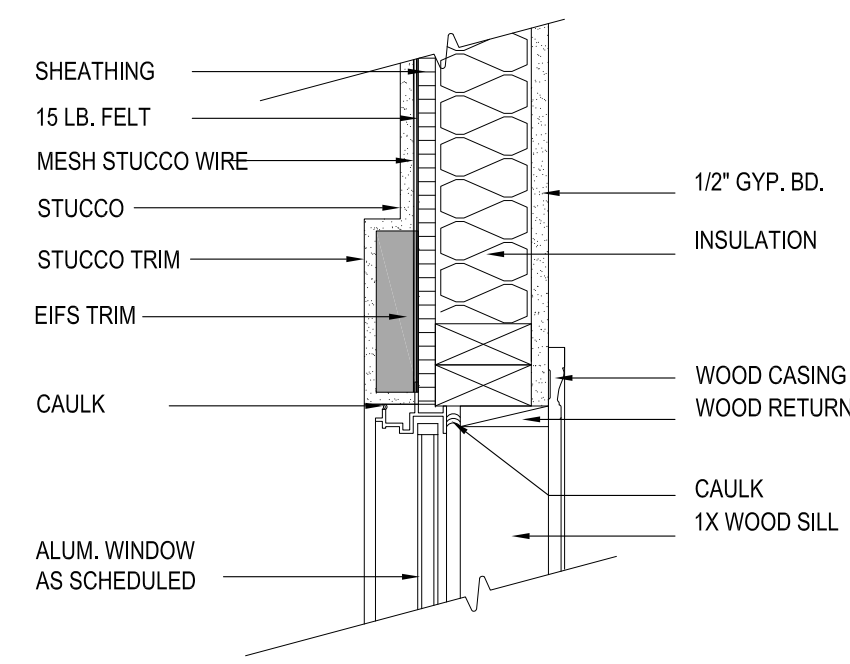
### EXT. WINDOW JAMB @ BRICK

SCALE 1 1/2"=1'-0"



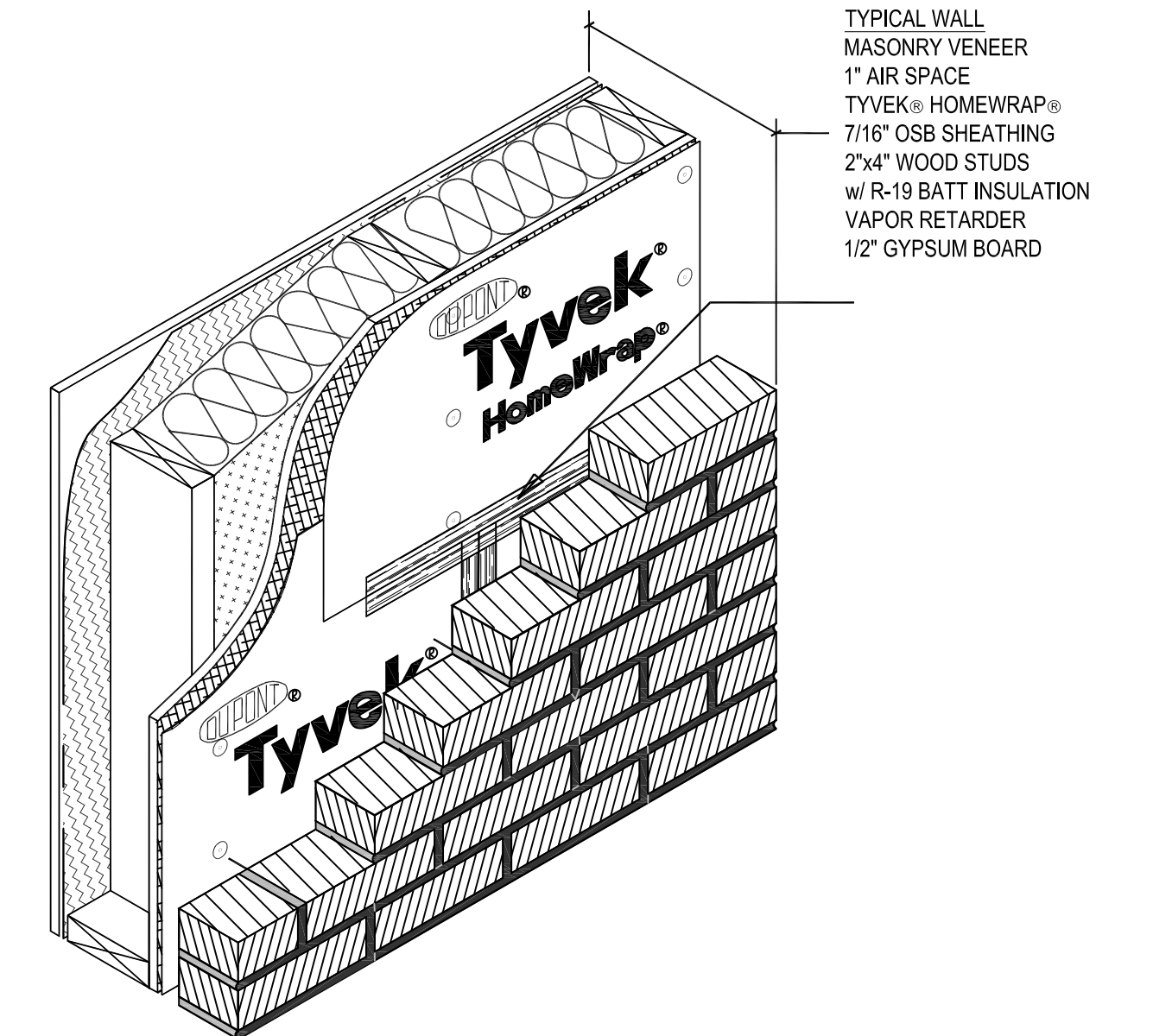
### EXT. DOOR JAMB @ STUCCO

SCALE 1 1/2"=1'-0"



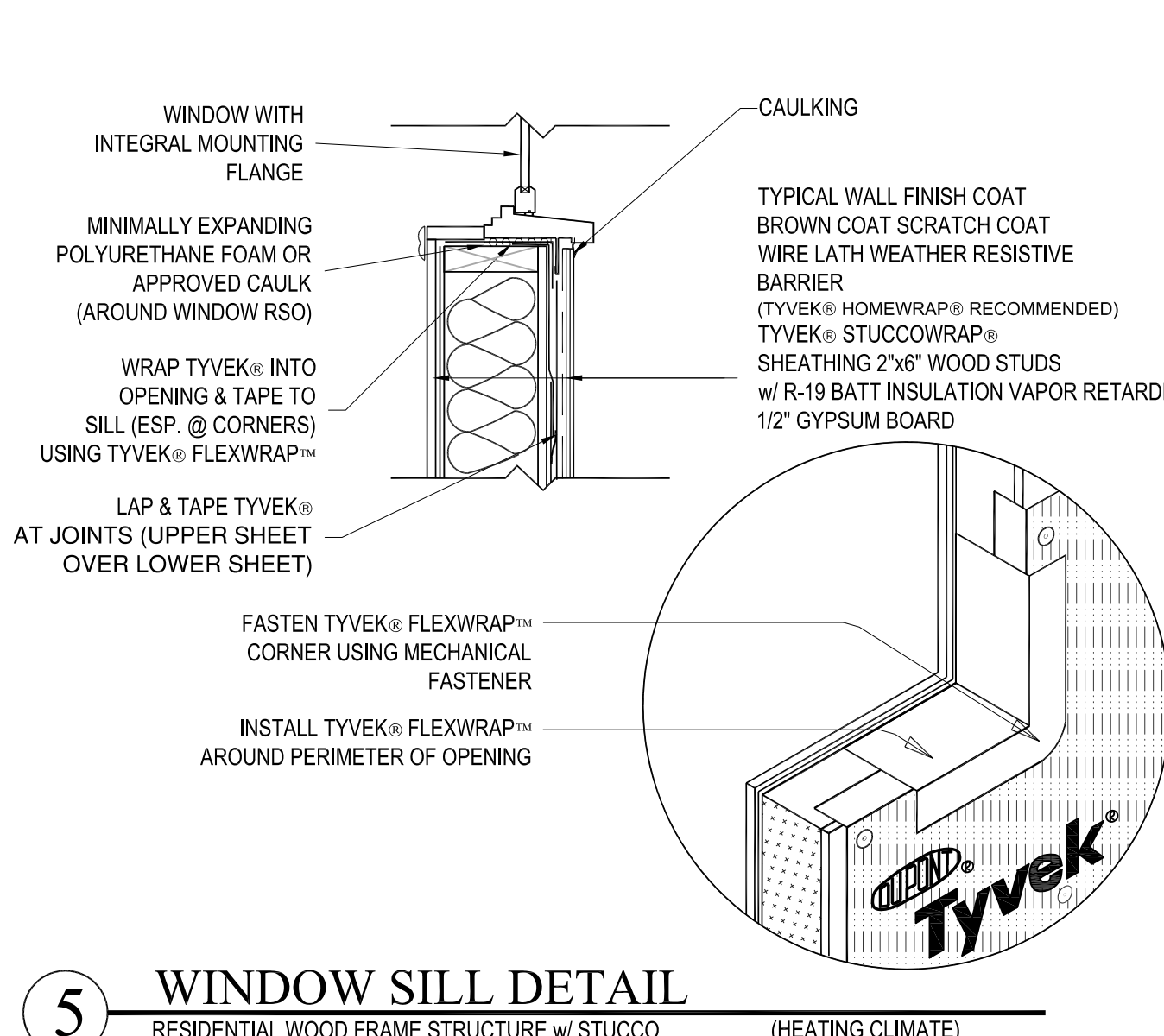
### EXT. WINDOW JAMB @ STUCCO

SCALE 1 1/2"=1'-0"



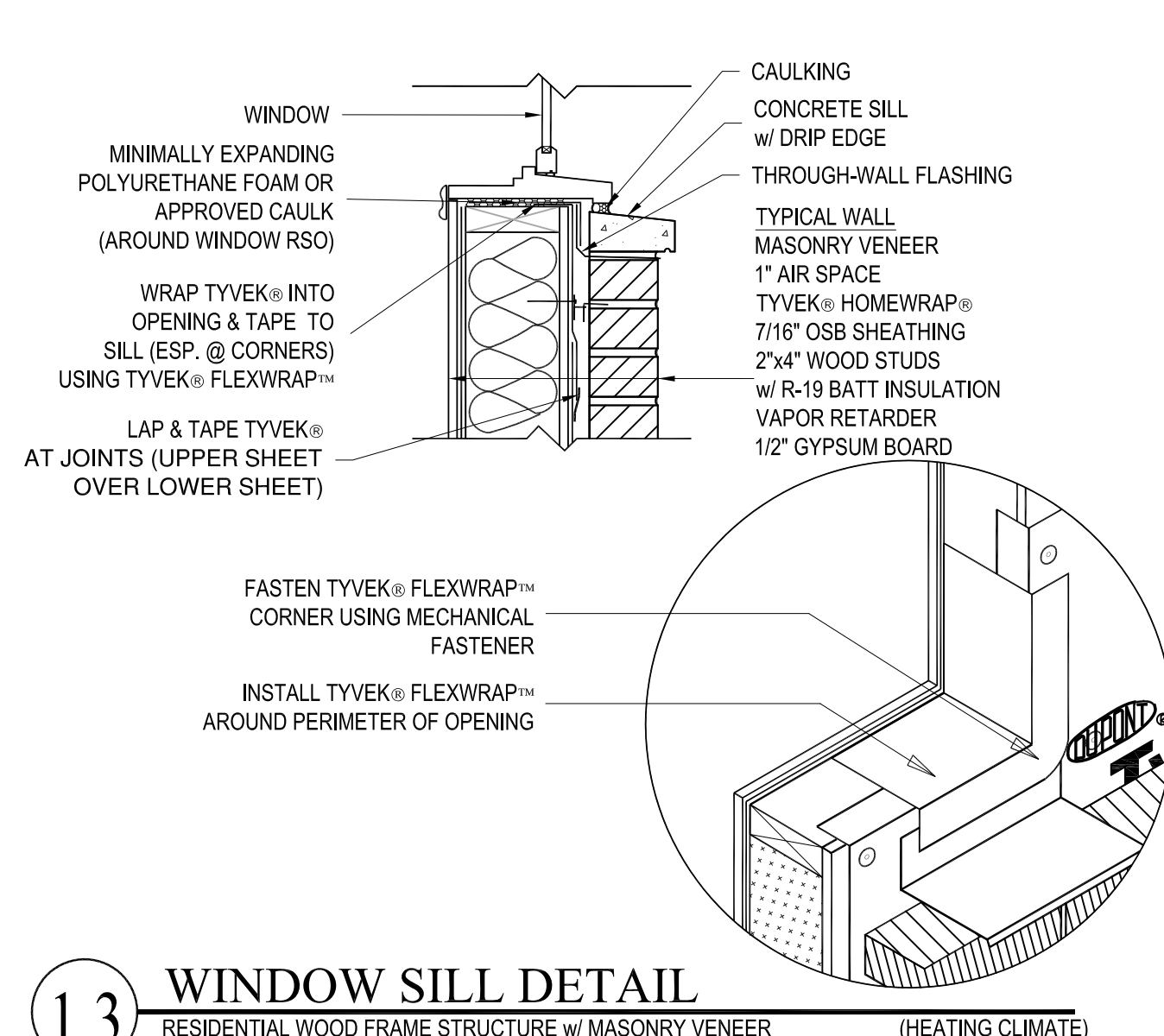
### 1.0 TYPICAL WALL ISOMETRIC

RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



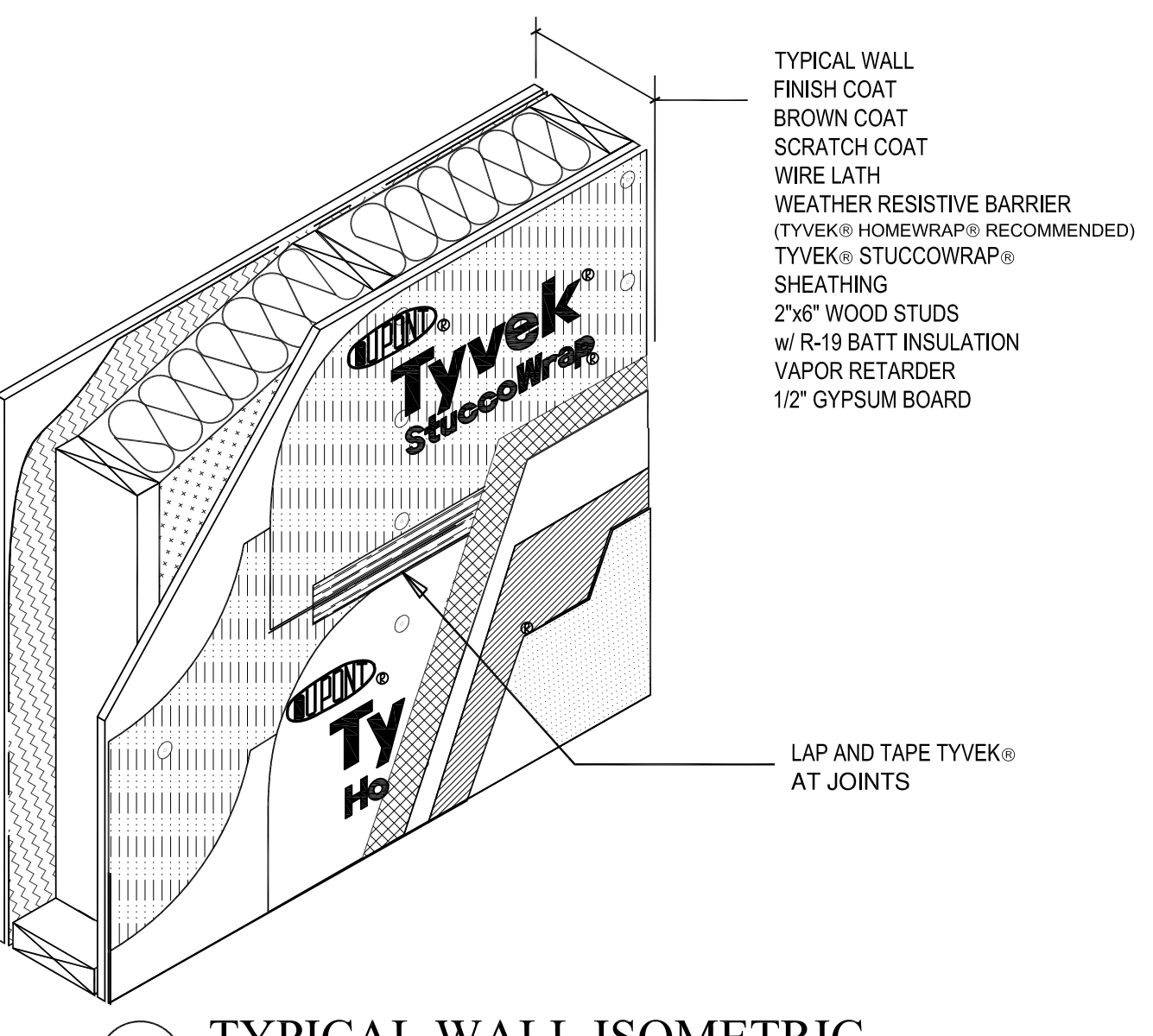
### 5 WINDOW SILL DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



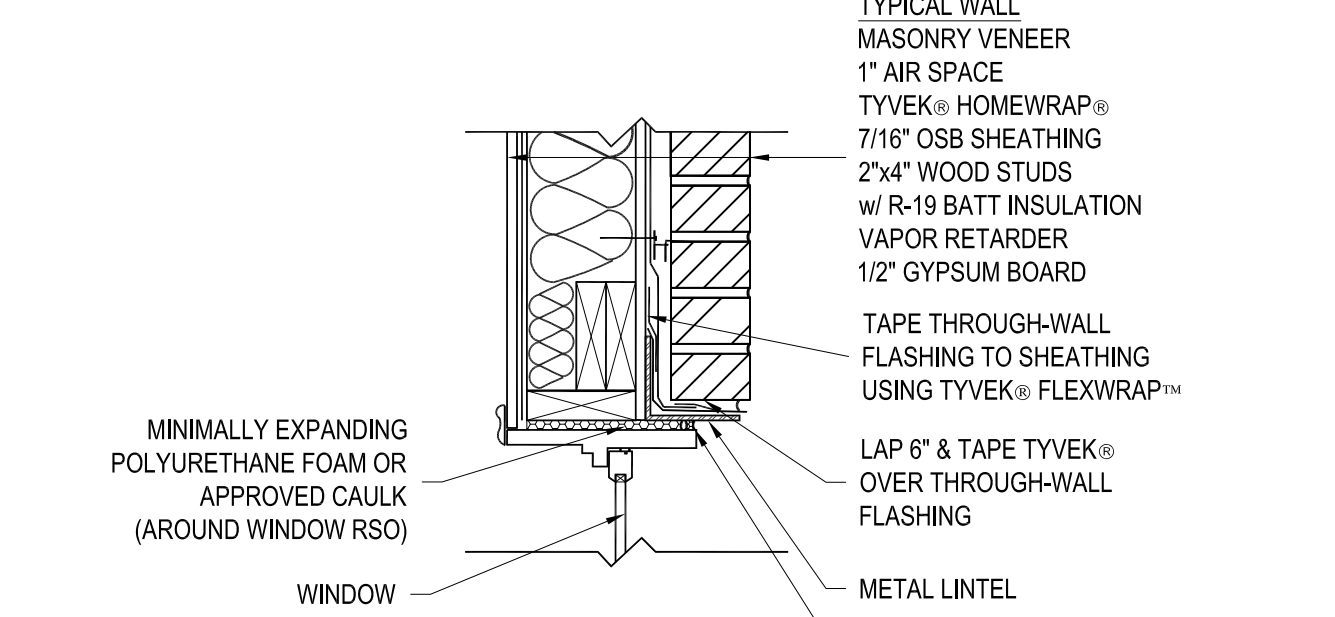
### 1.3 WINDOW SILL DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



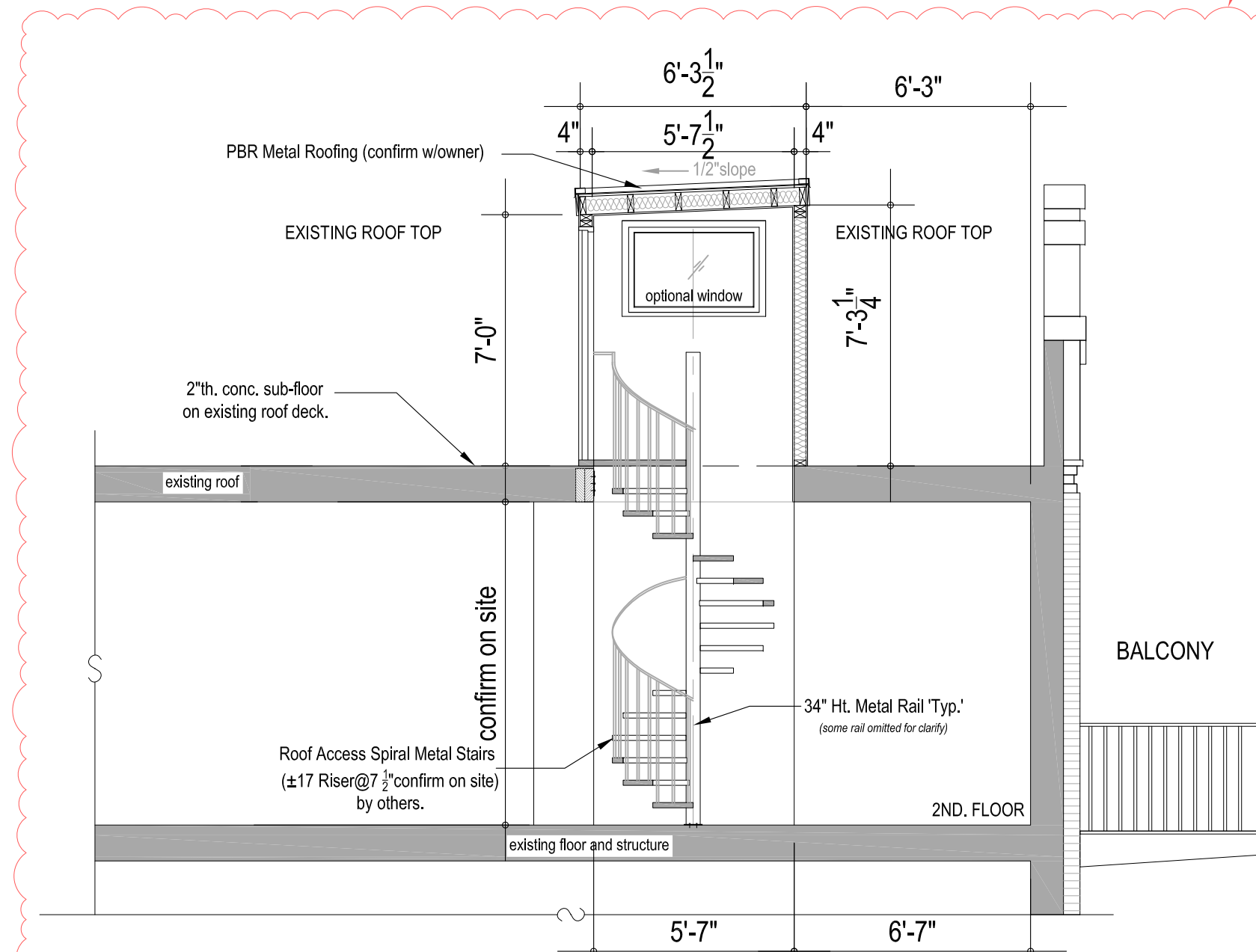
### 8 TYPICAL WALL ISOMETRIC

RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



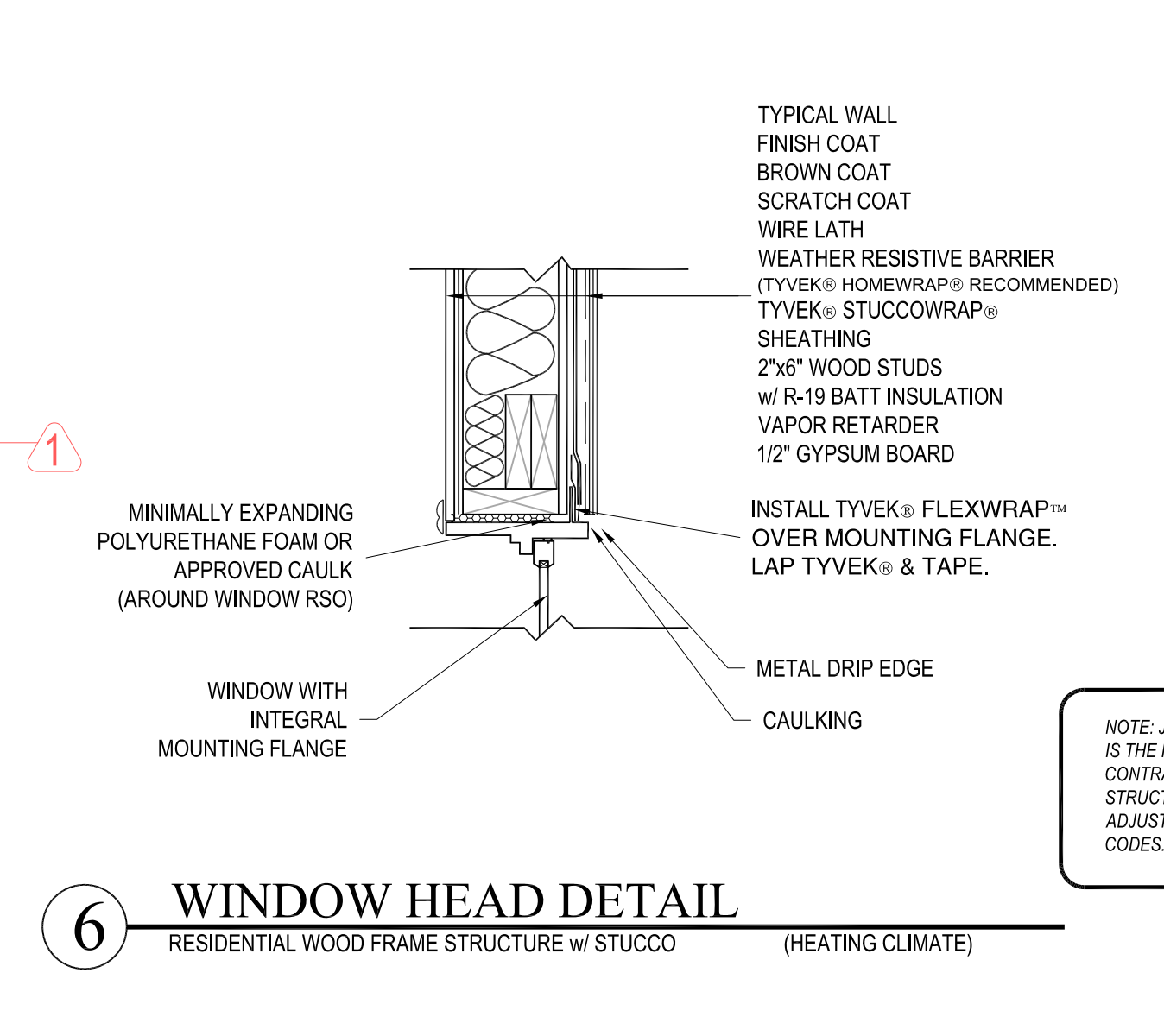
### 1.2 WINDOW HEAD DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



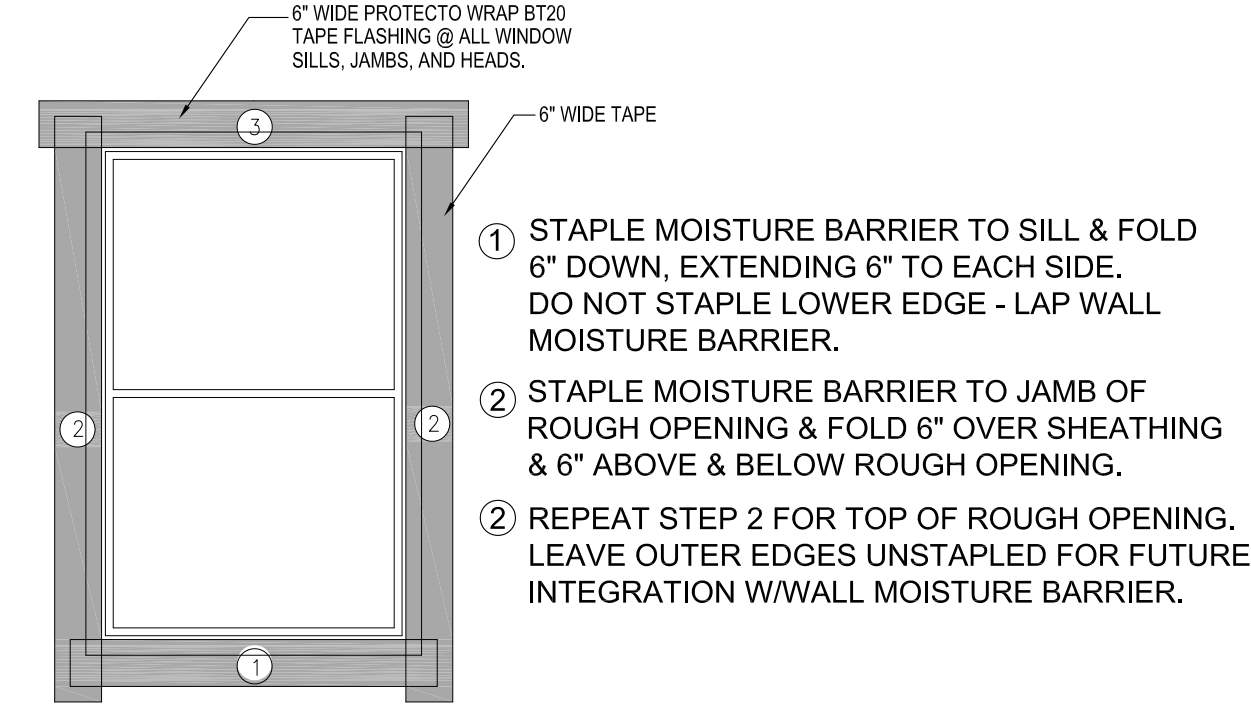
### ROOF ACCESS PART SECTION

Scale : 1/4" = 1'-0" (verify plate height on site)



### 6 WINDOW HEAD DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



### TYPICAL WINDOW FLASHING

NO SCALE (REFER STRUCTURAL FOR STUD SPACING)

#### MISCELLANEOUS NOTES:

ALL GLAZING WITHIN 15 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLATE GLASS TO HAVE MAXIMUM CLEAR SPAN OF 24 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE).

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

ATTIC R-38  
WALLS R-21  
FLOORS R-30

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES AS REQUIRED BY CITY OF HENDERSONVILLE DEVELOPMENT PERMIT AND AS SPECIFIED BY STRUCTURAL ENGINEER.

#### GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

#### BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER: \*  
DESIGNER: JAL Arch Designs, LLC  
BUILDER: \*

PLAN LEGEND	
FLOOR PLAN	
CONC	CONCRETE
CLG	CEILING
D/W	DISH WASHER
DISP	DISPOSAL
IRIS	1 ROD & 1 SHEF
2R2S	2 ROD & 2 SHELVES
TYP. CLG. MOULD	TYPICAL CEILING MOULD
K.S	KNEE SPACE
SHELVES	SHELVES
REF	REFRIGERATOR
OVEN COMB	OVEN W/MICROWAVE
MW	MICROWAVE
CRPT	CARPET
FLGS	FLAGSTONE
GYP	GYPSUM
SH, DL	SINGLE HUNG/DIVIDED LITE
FX, DL	FIX GLASS/DIVIDED LITE
HS, DL	HORIZONTAL SLIDER/DIVIDED LITE
FRAMING PLAN	
YPKD	YELLOW PINE KILN DRIED
SPP	SPRUCE PINE FUR
O.C	ON CENTER
D.B	DROP BEAM
F.B	FLUSH BEAM
DBL	DOUBLE
LVL	LAMINATED VENEER LUMBER
CANT	CANTILEVER
INTERIOR ELEVATION	
F.D	FURR DOWN
F	FILLER
F.P	FIREPLACE
OVER	OVEN FRONT
EXTERIOR ELEVATION	
PROJ	PROJECTED
O.H.D	OVERHEAD DOOR
PLHT	PLATE HEIGHT
PLT	PLATE
F.F	FINISH FLOOR
B.O	BOTTOM OF
T.O	TOP OF

## PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

DATE : NOVEMBER 29, 2021

PROJECT NO: JAL68-112921

DRAWN BY : J.A.L

REVISD PERMIT SET-R080523

SPECIFICATIONS AND DETAILS

WALL SECTION DETAILS

DOOR & WINDOW DETAILS

A

3

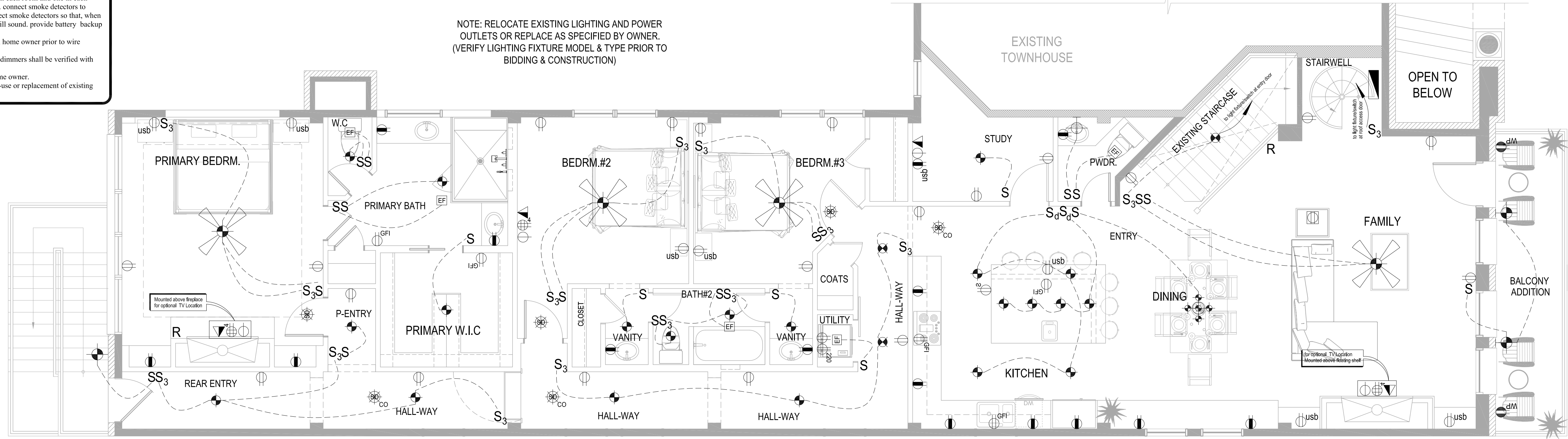


ELECTRICAL NOTES:

Home owner shall do a walk-thru with relevant installers to verify the exact location for outlets, lights, switches, cable, data, phone, audio, etc.

- electrical receptacles in bathrooms, kitchens and garages shall be g.f.i. org.f.i.c. per national electrical code requirements.
- provide one smoke detector in each room and one in each corridor accessing bedrooms. connect smoke detectors to house power and inter-connect smoke detectors so that, when any one is tripped, they all will sound. provide battery backup for all units.
- circuits shall be verified with home owner prior to wire installation.
- final switches for timers and dimmers shall be verified with home owner.
- fixtures to be selected by home owner.
- electrician shall verify the re-use or replacement of existing electrical panel box.

NOTE: RELOCATE EXISTING LIGHTING AND POWER OUTLETS OR REPLACE AS SPECIFIED BY OWNER. (VERIFY LIGHTING FIXTURE MODEL & TYPE PRIOR TO BIDDING & CONSTRUCTION)



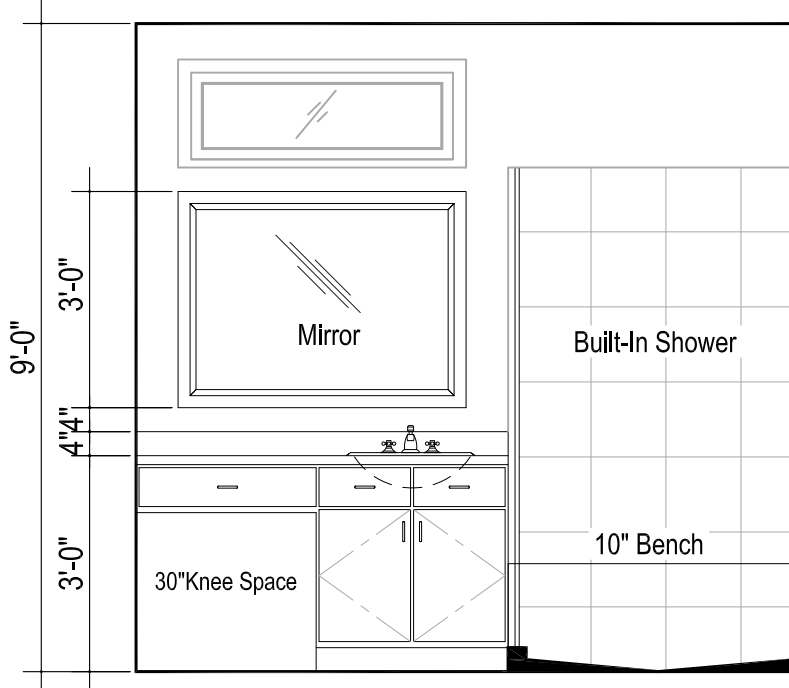
RENOVATION ELECTRICAL PLAN

Scale : 1/4" = 1'-0"

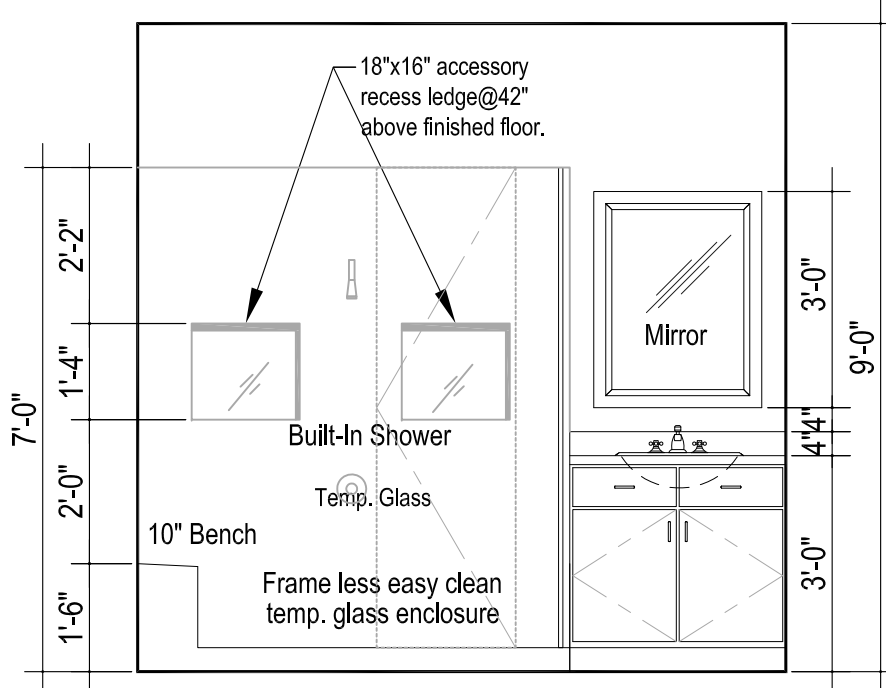
ELECTRICAL SCHEDULE

SYMBOL	ELECTRICAL SPECIFICATIONS	QUANTITY
	CRYSTAL CHANDELIER w/ LIGHT CEILING MOUNTED.	
	SMOKE DETECTOR MOUNTED IN CEILING.	
	CARBON MONOXIDE DETECTOR CEILING MOUNTED.	
	52" CEILING FAN WITH LIGHT MOUNTED ON CEILING.	
	INCANDESCENT OUTDOOR WALL MOUNTED LIGHT FIXTURE MOUNTED 6'-0" ABOVE FLOOR LEVEL.	
	INCANDESCENT LIGHT FIXTURE MOUNTED IN CEILING.	
	6" RECESS DOWN LIGHT MOUNTED IN CEILING.	
	3" RECESS POT LIGHT MOUNTED IN CEILING.	
	MINI RECESS LED PIN LIGHT MOUNTED IN CEILING.	
	16 CIRCUIT DISTRIBUTION PANEL MOUNTED 4'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN FLOOR.	
	110 VOLTS DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS GFCI (ground fault circuit interrupter) DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET W/USB CHARGER MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET W/USB CHARGER MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	110 VOLTS GFCI DUPLEX OUTLET MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	110 VOLTS WEATHER PROOF DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS MULTI-TAP POWER STRIP MOUNTED UNDER COUNTER AT KITCHEN ISLAND CABINET.	
	110 VOLTS QUADPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	THREE-WAY WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	FOUR-WAY WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE DIMMER SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	TELEPHONE JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	CAT 6 DATA JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	CABLE JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN CEILING.	
	EXHAUST FAN MOUNTED IN CEILING.	

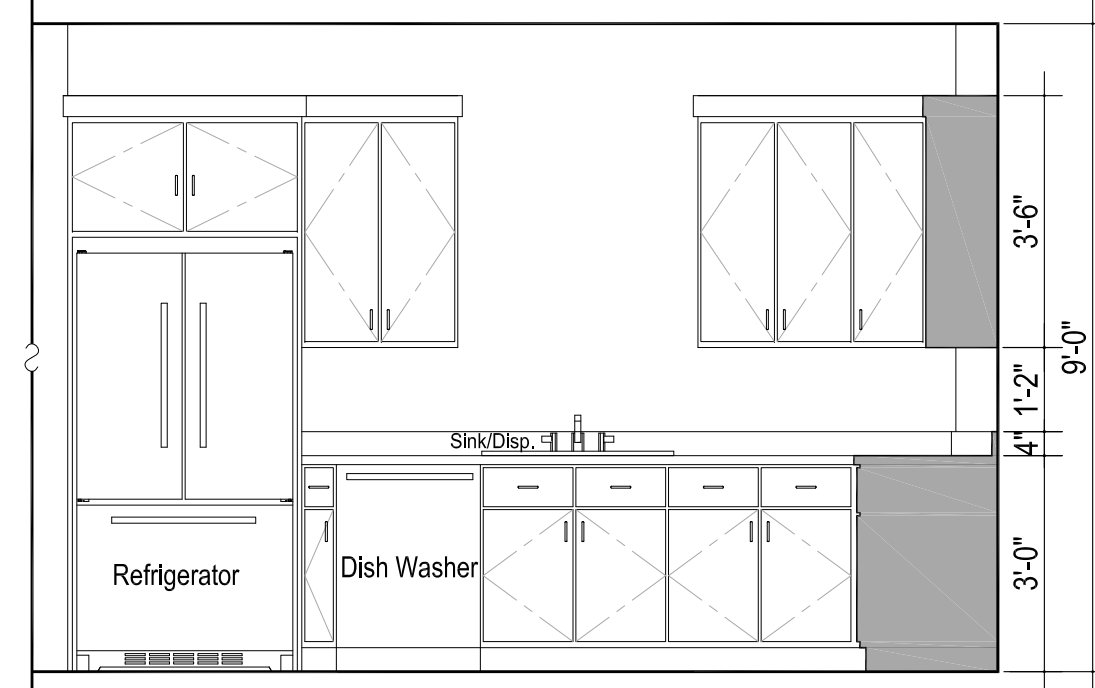
NOTE: ALL CONDUITS SHALL BE CONCEALED IN/ON WALLS FLOORS AND CEILING AND SHALL COMPLY TO LOCAL CODES. PROVIDE LIGHTING AND POWER IN ATTIC FOR MECHANICAL AND PLUMBING UNITS. COMPLY TO LOCAL CODES.



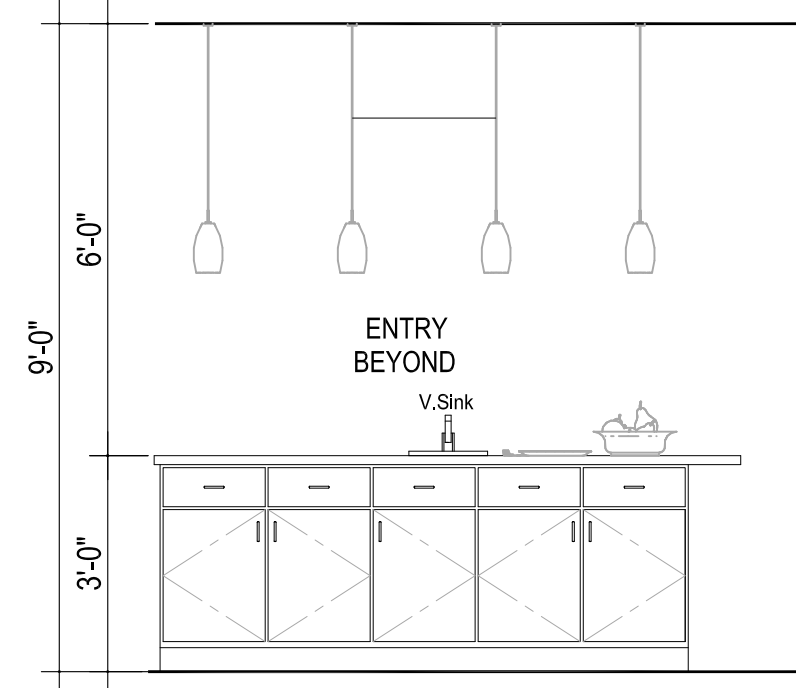
A PRIMARY BATH  
Scale : 3/8" = 1'-0"



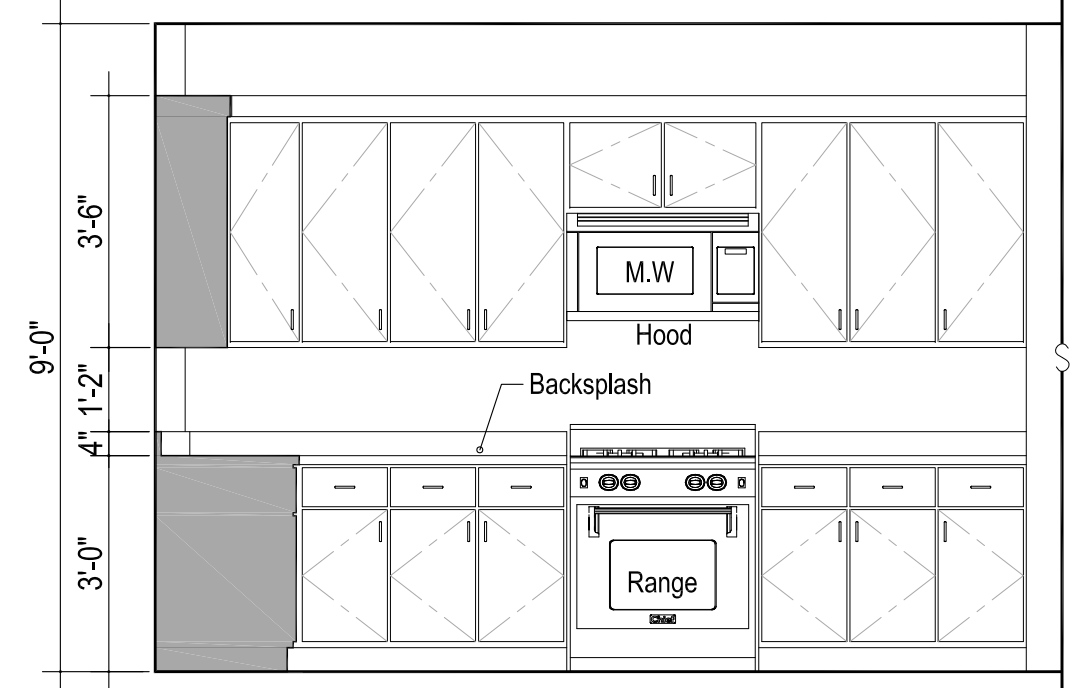
B PRIMARY BATH  
Scale : 3/8" = 1'-0"



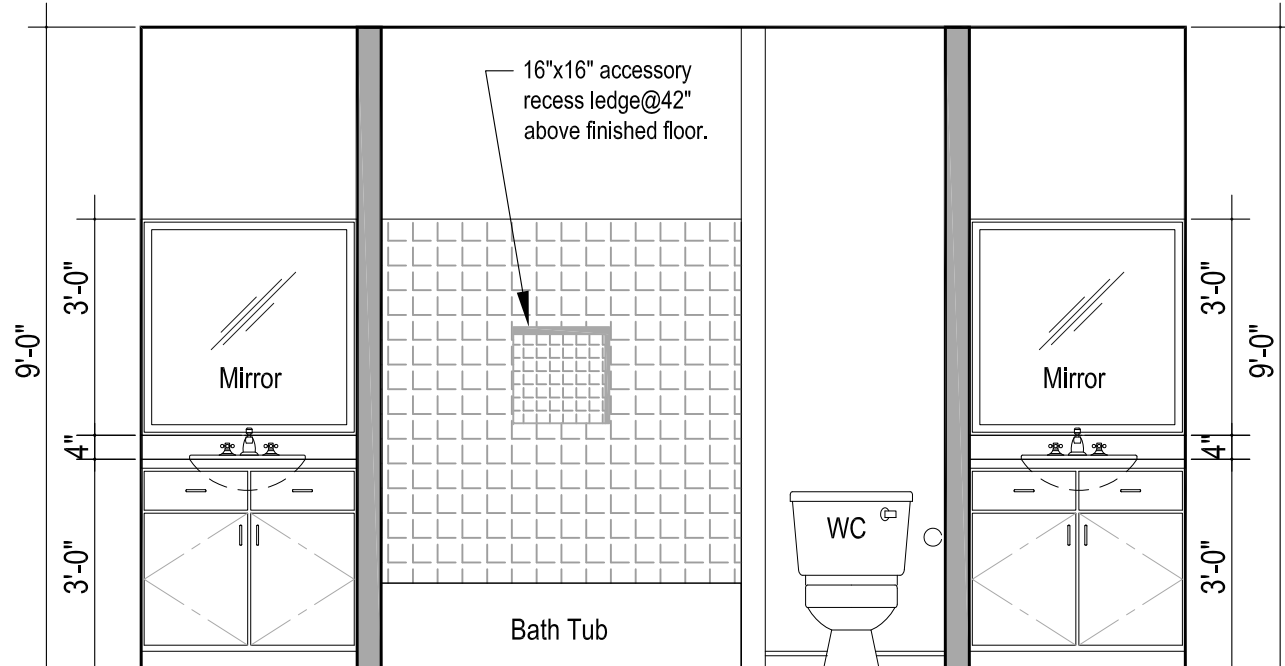
F KITCHEN  
Scale : 3/8" = 1'-0"



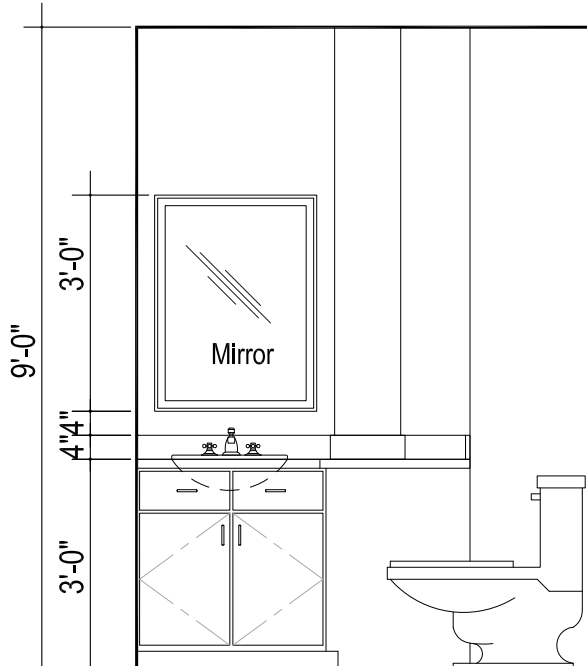
G ISLAND  
Scale : 3/8" = 1'-0"



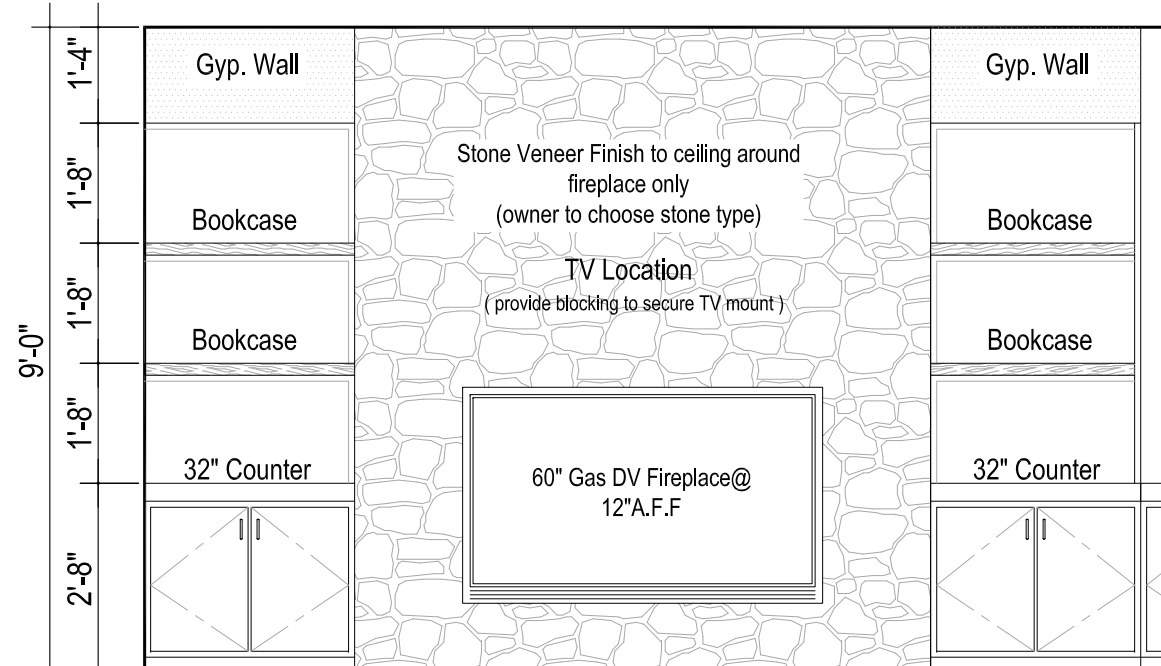
K KITCHEN  
Scale : 3/8" = 1'-0"



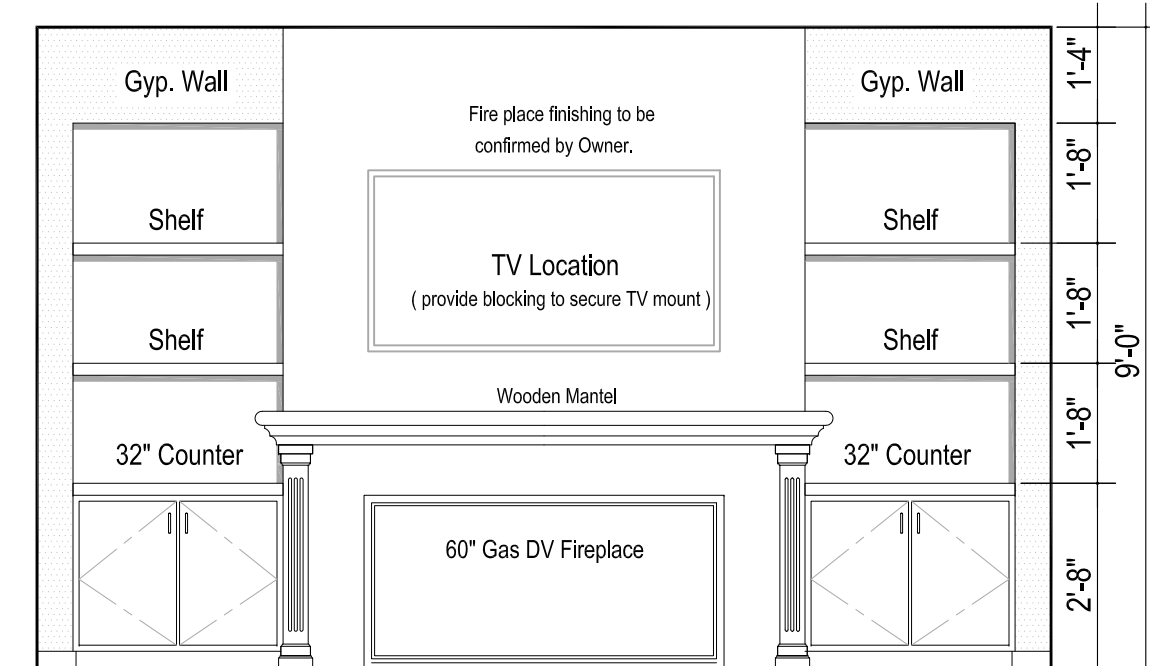
C VANITY  
Scale : 3/8" = 1'-0"



E POWDER  
Scale : 3/8" = 1'-0"



H FAMILY  
Scale : 3/8" = 1'-0"



J PRIMARY BEDRM.  
Scale : 3/8" = 1'-0"

KITCHEN AND CABINET NOTES:

- CONFIRM ALL CABINETS COLOR WITH HOME OWNER PRIOR TO ORDERING.
- CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.
- INSTALL HARDWARE ON SITE.
- INSTALL CROWN MOLDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER.
- CUT OVEN OPENING ON SITE, SEE APPLIANCE SPECIFICATIONS.
- INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
- ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
- USE MIN 6" DUCT FOR HOOD.
- CONFIRM FINAL MATERIALS FOR BACKSLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING

PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

RENOVATION ELECTRICAL PLAN

INTERIOR WALL ELEVATIONS

ELECTRICAL SCHEDULE

DATE : NOVEMBER 29, 2021

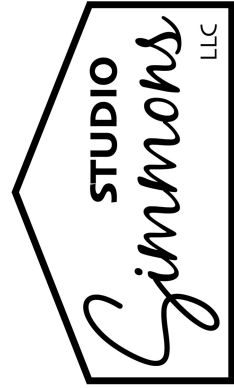
PROJECT NO: JAL68-112921

DRAWN BY : J.A.L

REVISED PERMIT SET-R080523

A 4.0





2508 Greeter Druid Hills Blvd  
Hendersonville, NC  
828.776.0995  
grace@studiosimmons.net

KRAUS RENOVATION  
225 NORTH MAIN STREET  
HENDERSONVILLE, NC

ROOF PLAN

DATE:

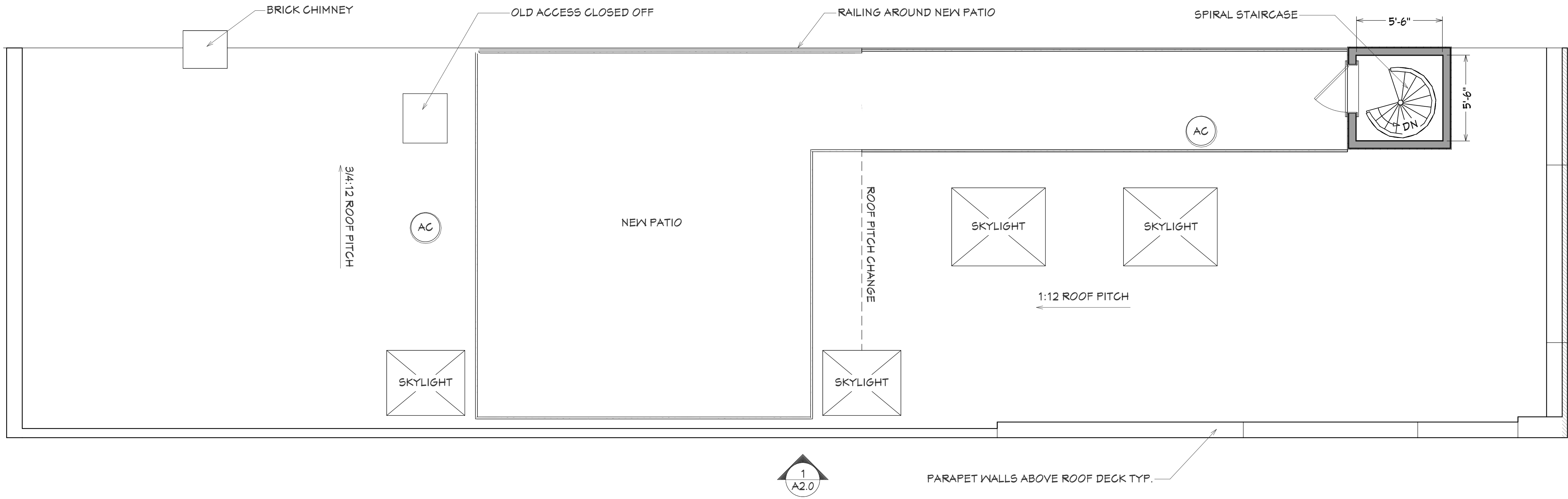
5/24/2023

SCALE:

1/4"=1'-0"

SHEET:

A1.0

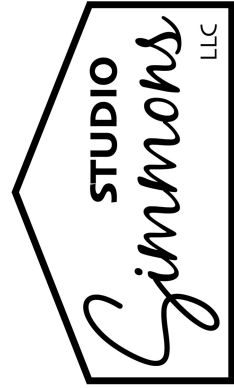


1  
A1.0

ROOF PLAN

SCALE: 1/4"=1'-0"





2508 Greater Druid Hills Blvd  
Hendersonville, NC  
828.776.0995  
groce@studiosimmons.net

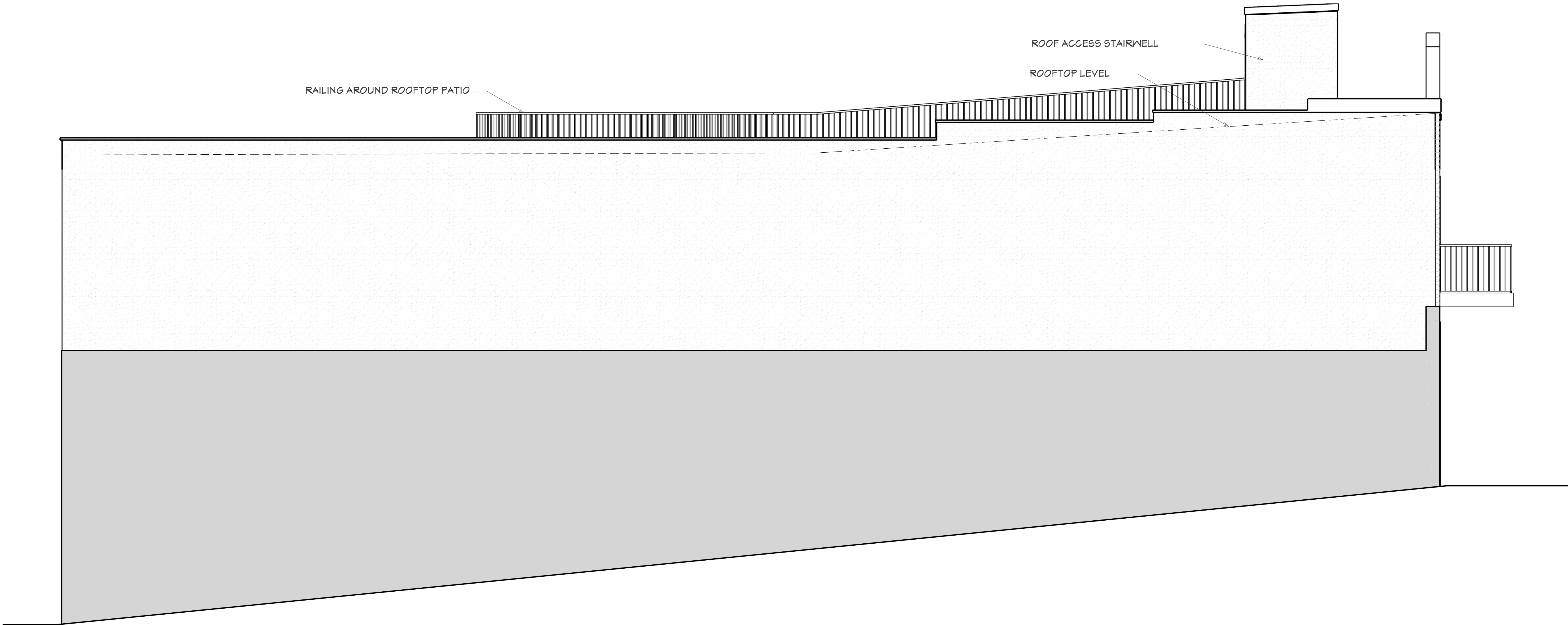
KRAUS RENOVATION  
225 NORTH MAIN STREET  
HENDERSONVILLE, NC

ELEVATION

DATE:  
5/24/2023

SCALE:  
1/4"=1'-0"

SHEET:  
**A2.0**



1  
A2.0

SOUTH ELEVATION

SCALE: 1/4"=1'-0"