

Point	Northing	Easting	Elev.	Invert In	Invert In	Invert In	Invert Out
SSMH 1	587216.733	967491.287	2114.34				2110.94
SSMH 2	587254.088	967760.155	2116.97	2106.67	2106.47		2106.37
SSMH 3	587279.593	967783.317	2117.31				2108.61
SSMH 4	587255.977	967776.612	2117.75	2108.75	2109.75	2111.85	2108.65
SSMH 5	586907.205	967811.576	2115.93	2106.03	2106.63		2105.93
SSMH 6	586897.615	967828.726	2115.55				2109.35
SSMH 7	586853.338	967455.010	2106.46	2106.46	2098.86		
SSMH 8	587177.466	967419.201	2115.69				2111.79
SSMH 9	586862.563	967444.817	2106.82	2101.12			2101.02
SSMH 10	586847.293	967405.495	2107.40				2100.6

Point	Northing	Easting	Elev.	Invert In	Invert In	Invert In	Invert Out
C/B 1	586897.538	967848.477	2115.98				2111.38
C/B 2	586928.048	967844.509	2116.06	2110.96	2110.96		2110.86
C/B 3	586939.034	967827.035	2115.33	2110.43			2110.03
C/B 4	586932.858	967786.018	2115.16	2109.96			2110.06
C/B 5	586877.778	967481.995		Unable to Obtain Inverts			
C/B 6	586888.198	967468.885	2105.68				2101.18
C/B 7	586846.524	967486.419	2105.61				2102.31
C/B 8	586883.753	967433.734	2107.14				2104.36
D/I 1	586922.508	967701.068	2109.80	2109.30	2109.30	2109.10	2107.90
D/I 2	587001.731	967612.387	2108.94	Unable to Obtain Inverts			

1.12 Acres
Area By Coordinate Computation

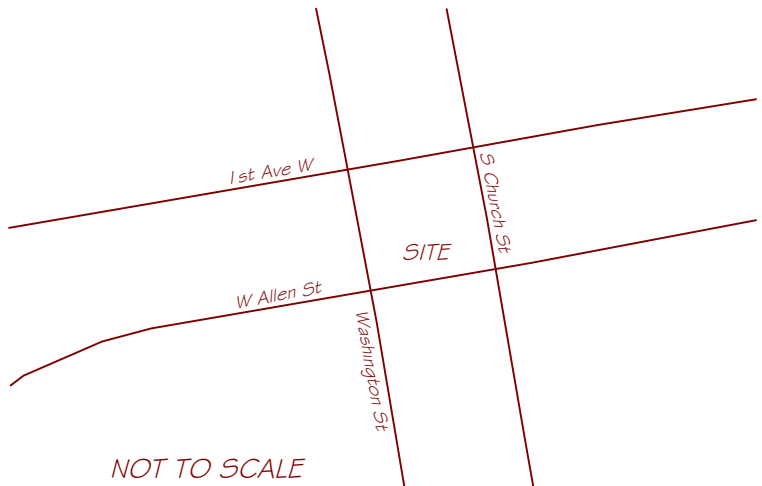
Building Setbacks as per
City of Hendersonville CMU Zoning:
Front: 12' from Back of Curb
Side: 5' if borders a street
Rear: 5' in borders a street

- Notes:
1. Property is subject to all easements, restrictions and right of ways of record.
 2. The locations of underground utilities are based on above-ground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered.
 3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate title search may disclose.
 4. The certification of survey and plat was prepared for the entity named in the title block hereon and does not extend to any other entity, unless recertified by the professional land surveyor.
 5. All miscellaneous survey related materials, including but not limited to, project plans, deed and ROW maps, field notes and data, survey reports, record title report, calculations, working drawings, estimates, and other materials acquired and/or prepared by the surveyor as instruments of service shall remain the property of the surveyor and assigns. This drawing is not valid unless the original signature and stamp are attached. Any reproduction or variance to this survey by electronic or any other means are not to be considered issued by the professional surveyor.
 6. Property is currently zoned CMU as per City of Hendersonville.
 7. Property is not located in a Water Supply Watershed.
 8. Property is not located within 1/2 mile of a designated Farmland Preservation District.
 9. Property is located in Zone X, Minimal Flood Risk as per FRIS Map Panel 956B, Map # 370095G800U effective date 10-02-2008.
 10. Contour Lines are at 1' intervals.

Legend:

ECM = Existing Concrete Monument
EIP = Existing Iron Pipe
EIS = Existing Iron Stake
IPS = Iron Pipe Set
= Unmarked Point, Unless Otherwise Noted
ROW/MON = Right of Way Monument
ROW = Right of Way
RRS = Railroad Spike
TBM = Temporary Benchmark
P/P = Power Pole
WM = Water Meter
WV = Water Valve
UPed = Utility Pedestal
CMP = Corrugated Metal Pipe
LP = Light Pole
F/H = Fire Hydrant
SSMH = Sanitary Sewer Manhole
STMH = Stormwater Manhole
CB = Catch Basin
DI = Drop Inlet
TL Pole = Traffic Light Pole
T/S Box = Traffic Signal Box
= Fence

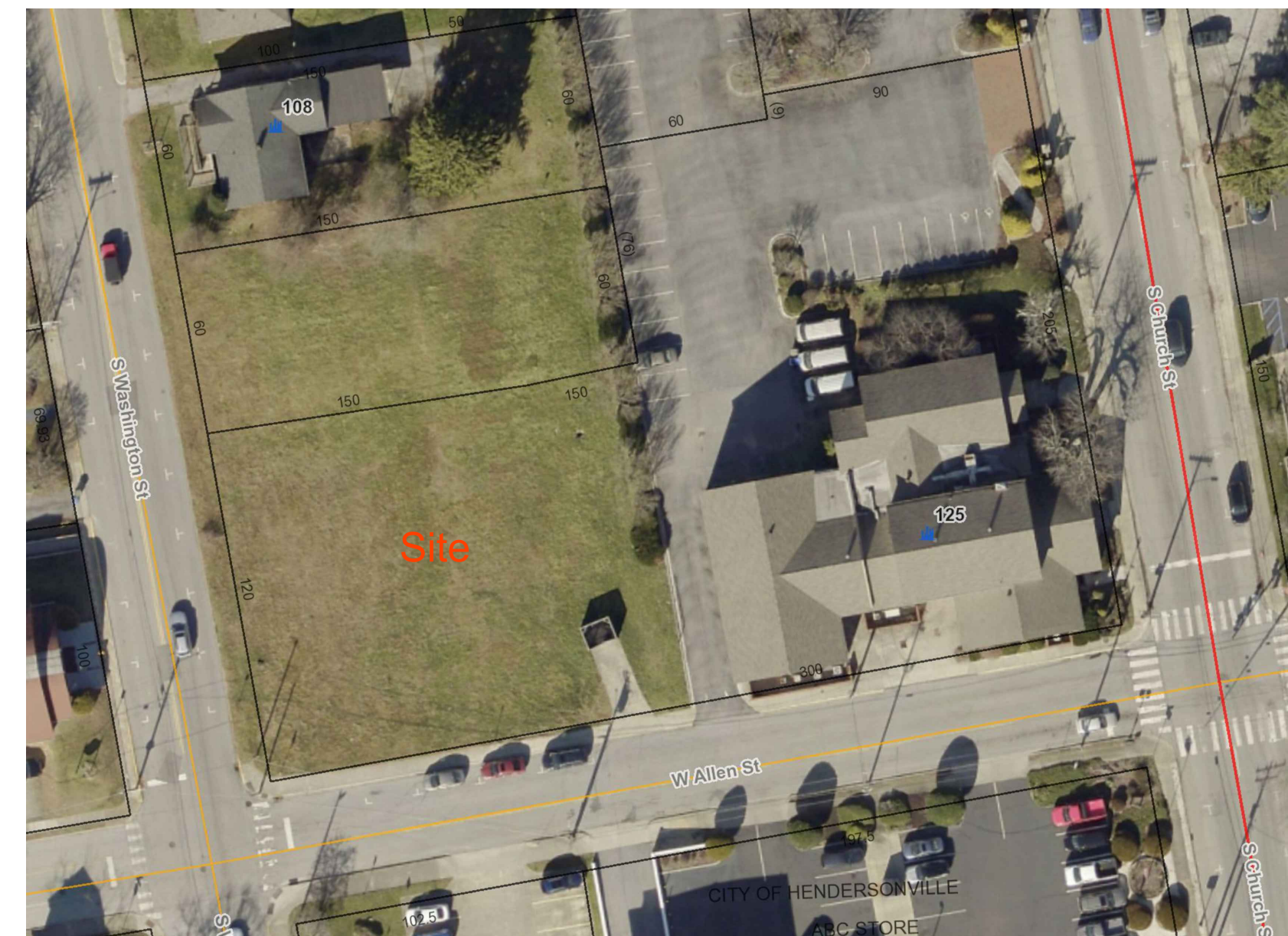
Global Positioning System Certification (RTK)
The Positional Accuracy Of The RTK Derived Positional Information Is 0.03' Horizontal & 0.03' Vertical
Horizontal Positions Are Referenced to NAD 83 (NRS 2011)
Vertical Positions Are Referenced to NAVD 88 (Geoid 12)
Combined Factor 0.99977581 (Ground To Grid)
Equipment Used: Carlson GPS-BRX6



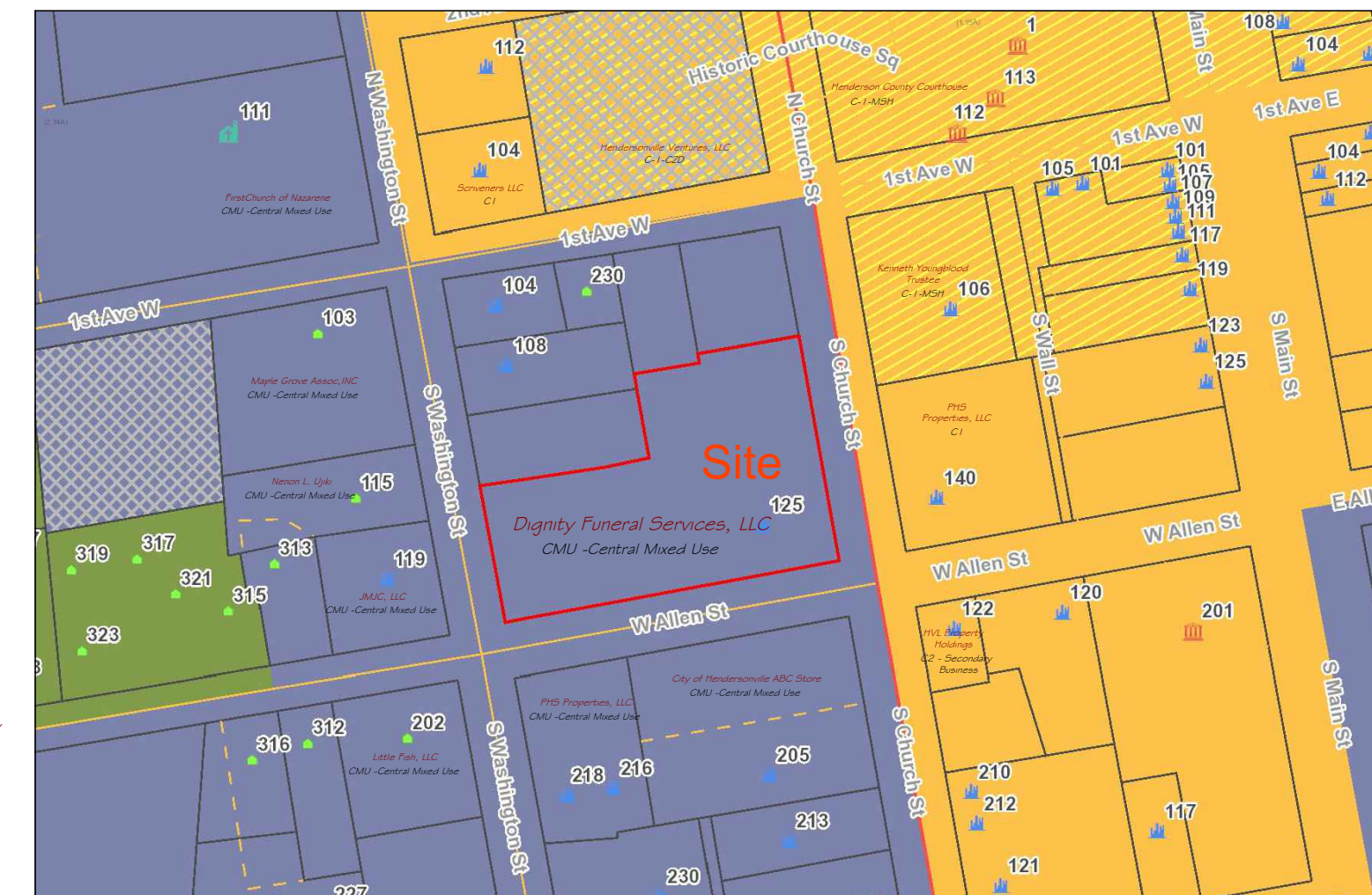
Notes:
1. There are no streams visible on this property.
Some maps show 2 streams on the property. If they ever existed they were piped many years ago.



Vicinity Map - Not to Scale



Aerial Map - 1" = 50'



Zoning Map - n.t.s.

Tree Symbols

- 403 Tree to Remain - See Tree Protection Notes
- 169 Tree to Remove

Survey - by Associated Land Surveyors

Other Consultants:

Owner / Developer
Dignity Funeral Services, Inc.

Project:
New Parking Area for
Dignity Funeral Services, Inc.

Sheet:
Survey

Designed By:

cds Creative Development Solutions
landscape architecture | land planning | community and resort design
1003 4th Avenue West, Hendersonville, North Carolina 27390
p 828 696 9922 | f 828 696 9924

ISSUE DATE: December 18, 2023

REVISIONS: April 10, 2024 - City comments
April 25, 2024 - City comments

DESIGNED BY: DB
DRAWN BY: SB
APPROVED BY: DSB

Project Number:

SHEET NUMBER:
L1

FirstChurch of Nazarene
CMU -Central Mixed Use

1st Avenue West
City of Hendersonville Maintained
Public, Asphalt

SSMH 1

SSMH 8

Tract 1
CMU -Central Mixed Use
Thomas R. Shepherd
Revocable Trust
D.B. 1625, Pg. 317

Maple Grove Assoc, INC
CMU -Central Mixed Use

Nanon L. Ujiki
CMU -Central Mixed Use

JMJC, LLC
CMU -Central Mixed Use

Little Fish, LLC
CMU -Central Mixed Use

Tract 3
CMU -Central Mixed Use
Thomas R. Shepherd
Revocable Trust
D.B. 1625, Pg. 317

Melody H. Shepherd
D.B. 3953, Pg. 407
CMU -Central Mixed Use

CMU -Central Mixed Use
Melody H. Shepherd
D.B. 3953, Pg. 407

Limits of Disturbance
18,140 s.f. = .416 acres

13,843 s.f.
Asphalt Pavement
Parking - 40 cars new

West Allen Street
City of Hendersonville Maintained
Public, Asphalt

PHS Properties, LLC
CMU -Central Mixed Use

City of Hendersonville ABC Store
CMU -Central Mixed Use

Kenneth Youngblood
Trustee
C-1-MSH

PHS
Properties, LLC
C-1

Site Calculations

Total Project Area = 1.12 acres / 48,787 s.f.
Proposed Lot Area Area = 1.12 acres / 48,787 s.f.
Buildings Site Coverage = 9,300 s.f. = 19%
Open Space Site Coverage = 9,405 s.f. = 19.2%
Parking Site Coverage existing = 15,690 s.f. = 32.2%
Parking Site Coverage proposed= 13,843 s.f. = 28.3%
Parking Site Coverage total = 29,533 s.f. = 60.5%
Other Site Coverage (sidewalks) = 380 s.f. = 0.7%
Common Open Space Site Coverage = 9,405 s.f. = 19.2%

Parking Calculations

Total Existing Parking unchanged = 14 spaces
Total New Parking = 46 spaces, 3 are accessible
Total Parking provided = 60 spaces, 3 are accessible
Total Parking required = 1 space per 4 seats of chapel
170 seat chapel = 43 spaces required
Employee Parking provided - 4 employees = 4 spaces
Handicap Parking provided - 3 spaces - van accessible

Grading Calculations

Total Proposed Disturbed Area = 18,140 s.f./ .416 acres
Percentage of Lot Disturbed = 37%
Proposed New Impervious Area = 14,163 s.f.
.325 acres
New Percentage of Lot Impervious Area = 29%

General Notes

The average slope in the area of construction for this site is approximately 1.3%
There are no floodplains on or adjacent to this property
This project is within the City Limits of Hendersonville
There is no new lighting proposed with this project.
There are no streams visible on this property. Some maps show 2 streams on the property. If they ever existed they were piped many years ago and no evidence of their existence.

Urban Open Space

The total s.f. of the main floor of this building is 9,300 s.f. with a basement level of 8,000 s.f.
Total s.f. of building is 17,300 s.f. which is below the 20,000 s.f. threshold for urban open space requirements.
Open Space Site Coverage = 9,405 s.f. = 19.2%

Other Consultants:

Owner / Developer
Dignity Funeral Services, Inc.

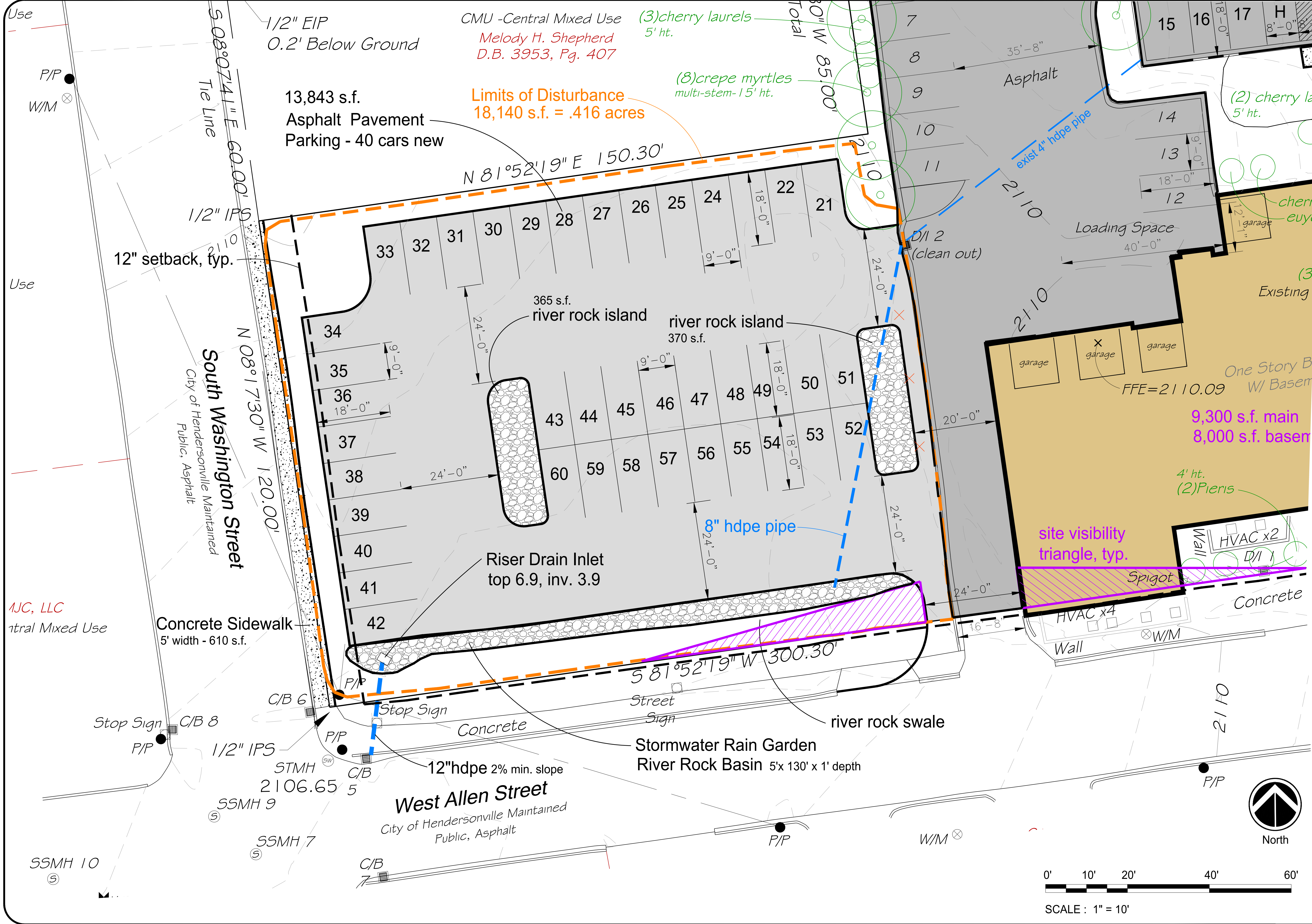
Project:
New Parking Area for
Dignity Funeral Services, Inc.

Sheet:
Site Plan

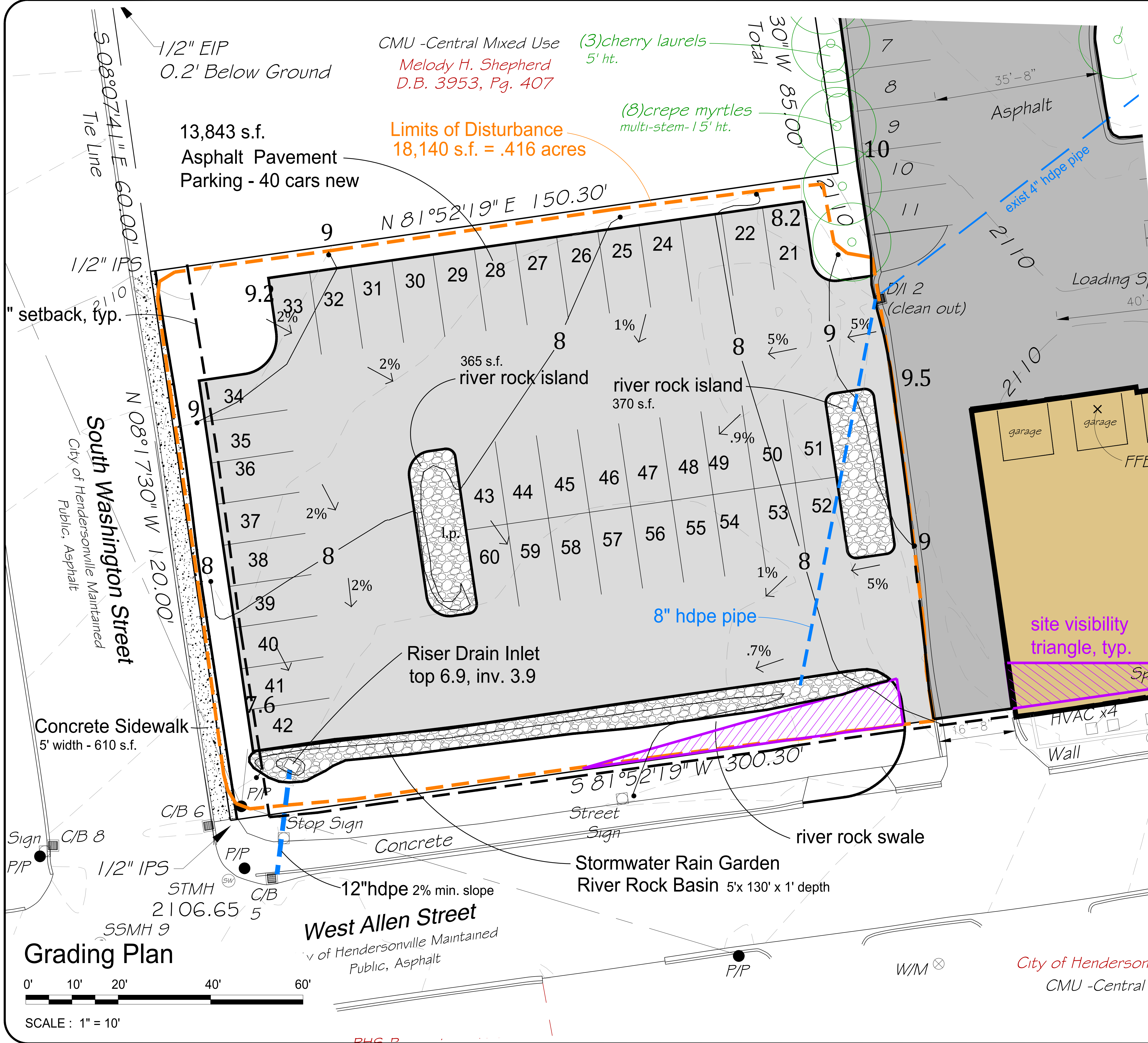
Designed By:
Creative Development
Solutions
landscape architecture | land planning | community and resort design
1003 4th Avenue West, Hendersonville, North Carolina 28739
p 828 696 9924 f 828 696 9924

ISSUE DATE: December 18, 2023
REVISIONS: April 10, 2024 - City comments
April 23, 2024 - City comments
DESIGNED BY: DB
DRAWN BY: SB
APPROVED BY: DSB

Project Number:
SHEET NUMBER:
L2



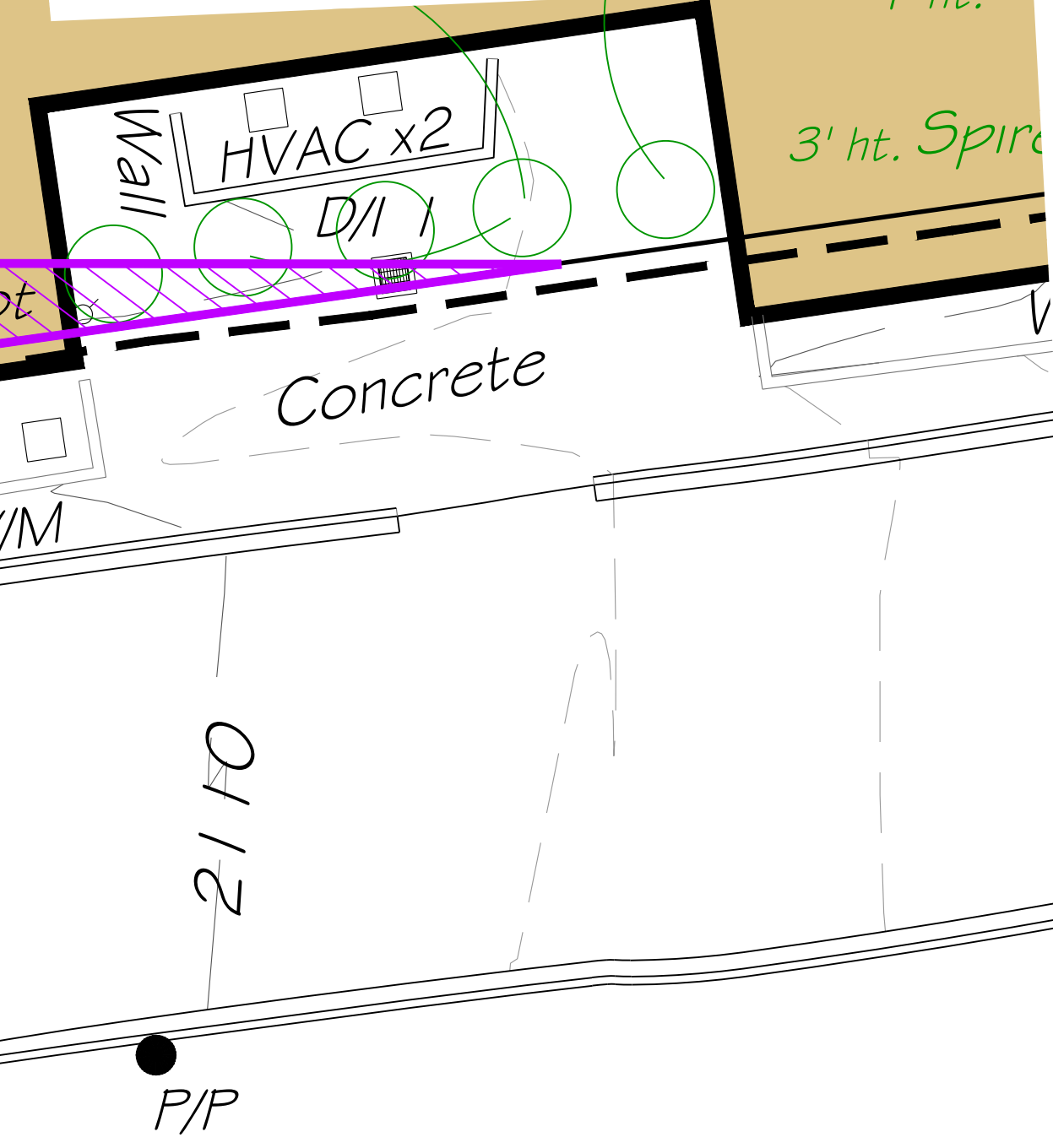
Other Consultants:	
Engineer - WGLA Engineering Surveyor - Associated Land Surveying	
Owner / Developer	
Dignity Funeral Services, Inc.	
-Owners- D.B. 3920 PG, 572, PIN: 9568- 76- 5983-00000	
Project:	
New Parking Area for Dignity Funeral Services, Inc.	
125 S. Chruch Street Hendersonville Township, Henderson County, NC	
Sheet:	
Site Plan	
Designed By:	
Creative Development Solutions landscape architecture land planning community and resort design 1003 4th Avenue West, Hendersonville, North Carolina 28739 p 828 696 9921 f 828 696 9924	
ISSUE DATE:	
December 18, 2023	
REVISIONS:	
April 10, 2024 - City comments April 26, 2024 - City comments	
DESIGNED BY:	
DB	
DRAWN BY:	
DSB	
APPROVED BY:	
Project Number:	
SHEET NUMBER:	
L2.1	



- GENERAL PLAN NOTES**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING NORTH CAROLINA 811 AT 1-800-632-4949 THREE (3) DAYS PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
 3. ALL WORKMANSHIP WILL CONFORM TO ALL CODES AND STANDARDS.
 4. THE CONTRACTOR SHALL VERIFY INVERT ELEVATIONS FOR EXISTING/PROPOSED PIPES AND EXISTING ROADWAY ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 5. SILT BARRIERS/FENCES MUST BE IN PLACE PRIOR TO BEGINNING GRUBBING/CLEARING. NO GRADING MAY BEGIN UNTIL SILT BARRIER INSTALLATION IS COMPLETE.
 6. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD LAYOUT OF PROPOSED IMPROVEMENTS.
 7. CONTRACTOR WILL ADHERE TO THE WEIGHT LIMITS PRESCRIBED ON COUNTY AND STATE MAINTAINED ROADS FOR HAULING EQUIPMENT AND/OR MATERIALS TO AND FROM THIS SITE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO THE STREETS OR UTILITIES DUE TO NON-COMPLIANCE OF WEIGHT LIMITS.
 8. THE CONTRACTOR IS RESPONSIBLE TO REMOVE OR CLEAN-OUT ANY SILT, DIRT, OR MUD, OR ANY OTHER TYPE OF DEBRIS THAT COMES OFF THIS SITE AND IS DEPOSITED OFF PROPERTY. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY OF THE ITEMS MENTIONED THAT ARE DEPOSITED ONTO PRIVATE OR COUNTY OWNED PROPERTY, INCLUDING RIGHT-OF-WAY AREA AND ROADWAYS.
 9. BACKFILL TRENCHES IN AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698 (STD. PROCTOR).
 10. EARTHWORK GRADES AND SLOPES AS SHOWN ARE APPROXIMATE. ADJUST DRIVEWAY LOCATION AND ELEVATIONS AS REQUIRED TO FIELD CONDITIONS. PROOF ROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST ALL AREAS AS REQUIRED BY OWNER. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED DUE TO POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE.
 11. THE GRADING CONTRACTOR SHALL PROOF ROLL THE DRIVEWAY AREA WITH A SHEEPS FOOT ROLLER. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTION EFFORT OR UNDERCUT AND BACK FILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
 12. ALL NEW ELEVATIONS SHOWN ARE APPROXIMATE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT FOR THE SUBGRADE.
 13. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
 14. GRAVEL TO BE INSTALLED IN DRIVEWAY AREA AS SOON AS POSSIBLE AND ADDED TO AS REQUIRED TO CONTROL MUD.
 15. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
 16. CONTOUR INTERVALS 2' - SEE PLANS
 17. ALL EROSION CONTROL MEASURES SHOWN AND STATED ON THIS PLAN ARE TO BE IMPLEMENTED THROUGH COMPLETION.
 18. STANDING GRASS OR MULCH OR FABRIC MUST BE PROVIDED FOR ALL DISTURBED AREAS BEFORE FINAL APPROVAL.

GROUND STABILIZATION		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERMITTERS AND HOW ZONES)

STABILIZATION = pavement, buildings, mulch, or wheat straw and grass seeding, or fabric and rip rap to cover all dirt and disturbed areas



Other Consultants:

Engineer - WGLA Engineering
Surveyor - Associated Land Surveying

Owner / Developer

Dignity Funeral Services, Inc.
-Owners-
D.B. 3920 PG. 572,
PIN: 9568- 76- 5983-00000

Project:

New Parking Area for
Dignity Funeral Services, Inc.
125 S. Chruuch Street
Hendersonville Township, Henderson County, NC

Sheet:

Grading Plan

Designed By:

cds

Creative Development Solutions
landscape architecture | land planning | community and resort design
1003 4th Avenue West, Hendersonville, North Carolina 28739
p 828 696 9922 | f 828 696 9924

ISSUE DATE:

December 18, 2023

REVISIONS:

April 10, 2024 - City comments
April 29, 2024 - City comments

DESIGNED BY:

DB

DRAWN BY:

SB

APPROVED BY:

DSB

Project Number:

SHEET NUMBER:

L3

Grading Plan



Landscape Calculations

Parking interior - 50% of trees and shrubs required in islands required - 1 large tree and 2 shrubs per 4,000 s.f

Existing Parking Area = 15,690 s.f. = 4 trees required + 8 shrubs
Existing Credits used = 4 trees (6" cal)

New Parking Area = 13,843 s.f. = 4 trees required + 7 shrubs

Plant Strip - required - 1 tree and 5 shrubs per 40 l.f

New Parking North plant strip = 150 l.f. = 4 trees required + 19 shrubs

Existing Parking west plant strip = 90 l.f. = 3 trees required + 12 shrubs
Existing Credits used = 3 tree credits + 6 shrubs

Buffer from Street - required - 1 shrub per 5'

New Parking - S. Washington Street = 120 l.f = 24 shrubs

New Parking - West Allen Street = 155 l.f = 31 shrubs required

Existing Parking - South Church Street = 45 l.f = 9 shrubs required
Existing Credits used = 7 shrubs

CMU Street Trees- required - 1 large tree per 35' or 1 small tree per 25'

S. Washington Street = 120 l.f = 4 large or 5 small trees

West Allen Street = 300 l.f = 9 large or 12 small trees

South Church Street = 205 l.f = 6 large or 9 small trees
Existing Credits used = 5 small trees

Urban Open Space - Exempt due to building size under 20,000 s.f.

Common Open Space Required 10% - Provided = 9,405 s.f. = 19.2%

Total Trees - required (2" caliper) = 15 trees - 7 tree credits used = 8 trees
(3-1/2" caliper) = 19 trees - 5 small Tree Credits used = 14 trees

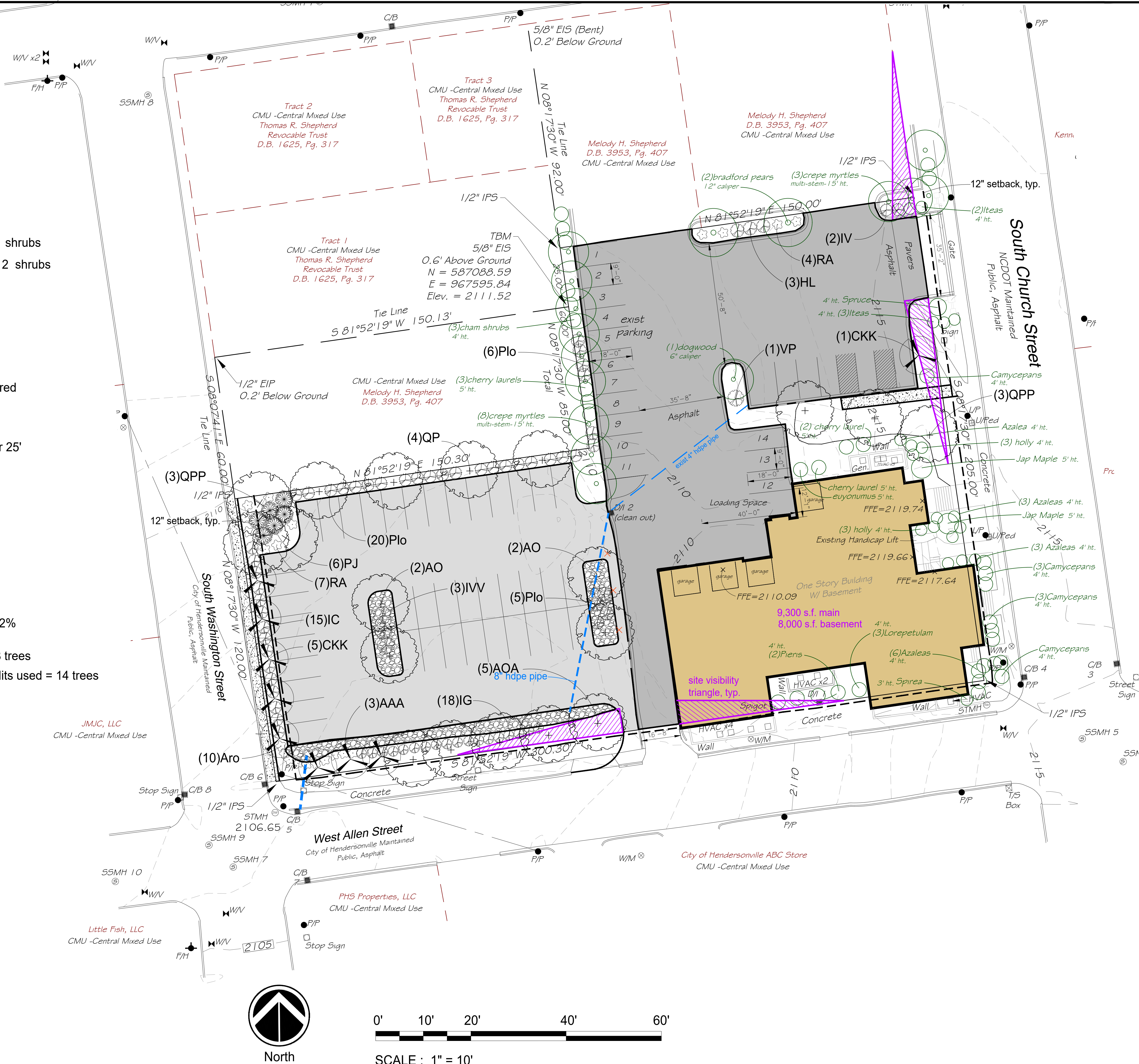
Total Trees - provided - 27 trees - 19 large and 8 small

Total Shrubs - required - 110 shrubs

Total Shrubs - provided - 100 shrubs

Total Tree Credits - Used = 12 trees

Total Shrub Credits - Used = 13 shrubs



ISSUE DATE: December 18, 2023 REVISIONS: April 10, 2024 - City comments April 29, 2024 - City comments	DESIGNED BY: DB DRAWN BY: SB APPROVED BY: DSB	Project Number: SHEET NUMBER: L3	Designed By: cds Creative Development Solutions landscape architecture land planning community and resort design 1003 4th Avenue West, Hendersonville, North Carolina 28739 p 828 696 9924 f 828 696 9924	Sheet: Landscape Plan	Project: New Parking Area for Dignity Funeral Services, Inc. 125 S. Church Street Hendersonville Township, Henderson County, NC	Owner / Developer Dignity Funeral Services, Inc. -Owners- D.B. 3920 PG, 572, PIN: 9568- 76- 59883-00000	Other Consultants: Engineer - WGLA Engineering Surveyor - Associated Land Surveying

Project Plant List

Trees - 27 Total

Key	Qty	Botonical Name	Common Name	Size	Remarks
AO	4	Acer 'October Glory'	October Glory Maple	2" Caliper, 10' Height	B&B, Single Straight Leader
AOA	5	Acer 'October Glory'	October Glory Maple	3-1/2" Caliper, 15' Height	B&B, Single Straight Leader
AAA	3	Amelchachier' Autumn Brilliance'	Autumn Brilliance Serviceberry	3-1/2" Caliper, 12' Height	B&B, Single Straight Leader
CKK	5	Cornus kousa ' Milky Way'	Milky Way Kousa Dogwood	3-1/2" Caliper, 12' Height	B&B, Single Straight Leader
QP	4	Quercus phellos	Willow Oak	2" Caliper, 10' Height	B&B, Single Straight Leader
QPP	6	Quercus phellos	Willow Oak	3-1/2" Caliper, 12' Height	B&B, Single Straight Leader

Evergreen Shrubs - 81 Total

Key	Qty	Botonical Name	Common Name	Size	Remarks
IC	15	Ilex crenata 'convexa'	Compact Japanese Holly	3 gallon, 18" Height	Full Plant
IG	18	Ilex glabra 'Shamrock'	Shamrock Holly	3 gallon, 18" Height	Full Plant
PLO	31	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	3 gallon, 18" Height	Full Plant
PJ	6	Pieris japonica 'Mt. Fire'	Mt. Fire Pieris	3 gallon, 18" Height	Full Plant
RA	11	Rhodonderdron 'Autumn Amethyst'	'Autumn Amethyst Azalea	3 gallon, 18" Height	Full Plant

Deciduous Shrubs - 19 Total

Key	Qty	Botonical Name	Common Name	Size	Remarks
Aro	10	Aronia 'Brilliantissima'	Brilliantissima Chokeberry	3 gallon, 18" Height	Full Plant
IVV	2	Ilex verticillata 'Red Sprite"	Red Sprite Holly	3 gallon, 18" Height	Full Plant
IVV	1	Ilex verticillata 'Jim Dandy'	Jim Dandy Holly	3 gallon, 18" Height	Full Plant
IV	2	Itea virginica 'Henry's Garnet'	Henry's Garnet Itea	3 gallon, 18" Height	Full Plant
HL	3	Hydrangea 'Limelight'	Limelight Hydrangea	3 gallon, 18" Height	Full Plant
VP	1	Viburnum pilcatum 'Shasta'	Shasta Virburnum	5 gallon, 24" Height	Full Plant

Landscape Notes

1. ALL AREAS SHOWN AS LARGE TREES, SMALL FLOWERING TREES, AND SHRUB AND PERENNIAL LANDSCAPING ON THE LANDSCAPE PLAN IS TO BE MULCHED AND SHALL RECEIVE A 3" DEPTH OF SHREDDED PINE BARK MULCH.
2. CONTRACTOR SHALL VERIFY QUANTITIES ON THE PLAN AND IS RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. PROVIDE UNIT PRICES FOR ALL PLANT AND TREE MATERIALS.
3. CONTRACTOR SHALL GUARANTEE ALL PLANTINGS FOR ONE YEAR FROM COMPLETION OF WORK. REPLACEMENT PLANTS AND LABOR SHALL BE PROVIDED AT CONTRACTORS' EXPENSE.
4. PRUNE ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT REMOVE THE CENTRAL LEADER OF ANY TREE OR PLANT. PLANTS SHALL NOT HAVE A SHEARED APPEARANCE AND MUST MEET MINIMUM SIZES AS INDICATED ON THE PLANT LIST.
5. ALL PLANT MATERIAL IS TO CONFORM TO THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. SEE PLANT LIST FOR SPECIFICATIONS AND SIZES. (NOTE: SIZE TO BE 'DBH' MEASURED 6" ABOVE GROUND)
6. LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, ESPECIALLY DUE TO UNDERSIZED OR DAMAGED MATERIALS.
7. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF ALL UTILITIES. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S COST.
8. ALL DEMOLISHED MATERIALS AND TRASH ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
9. ALL PLANTINGS HOLES AND BEDS ARE TO BE CLEANED OF ROCKS AND DEBRIS >1". EACH PLANT OR TREE IS TO BE HOLE AMENDED AND THE EXISTING NATIVE SOIL IS TO BE AMENDED WITH 25% OF NATURES HELPER AND 25% OF ORGANIC COMPOST (OR APPROVED EQUAL), THEN THOROUGHLY MIXED TOGETHER TO CREATE A PLANTING SOIL MIX.
10. ALL EXISTING AND PROPOSED TREES NOT CONTAINED WITHIN A MULCHED BED ARE TO RECEIVE A 3" DEPTH OF A 4' DIAMETER CIRCLE OF ABOVE SPECIFIED MULCH AROUND EACH TREE. EXCEPT WHERE TREES OCCUR IN SWALES, DITCHES, OR DRAINAGE PATTERNS, THEN ONLY USE 1' DIAMETER CIRCLES.
11. REPORT ANY POORLY DRAINED SOILS OR ANY DRAINAGE PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO REPORT SUCH CONDITIONS WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR CORRECTING THE PROBLEM AND REPLACING DAMAGED OR LOST PLANTS. PROPER PLANT DRAINAGE IS DEFINED BY FLOODING PLANTING HOLE TO SURROUNDING SOIL LEVEL WITH WATER AND COMPLETE PERCOLATION OF THE WATER WITHIN THE HOLE IN A 24 HOUR PERIOD.
12. LANDSCAPE ARCHITECT OR OWNER TO FIELD APPROVE THE PLACEMENT OF ALL PLANT MATERIALS.
13. FINE GRADE ALL PLANTING AREAS TO INSURE PROPER DRAINAGE. AREAS TO BE SEEDED ARE TO BE FREE OF DEBRIS AND ROCKS >1" PRIOR TO LAYING SOD OR APPLYING SEED.
14. PRIOR TO INSTALLATION, CONTRACTOR SHALL REVIEW PLANT AND LIGHT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER TO ELIMINATE CONFLICTS.
15. PROVIDE LABOR, EQUIPMENT, MATERIALS, AND SERVICE NECESSARY TO COMPLETE THE LANDSCAPE WORK.
16. INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
17. MAINTAIN ALL PLANT MATERIALS UNTIL FINAL ACCEPTANCE OR SUBSTANTIAL COMPLETION OF WORK. MAINTENANCE TO INCLUDE: WATERING, MULCHING, WEEDING, SPRAYING, MOWING, STRAIGHTENING, FERTILIZING, CLEANUP, ECT.



AO - October Glory Maple



QP -Willow Oak



CK - Kousa Dogwood



AAA -Autumn Brilliance Serviceberry



PLO - Otto Luyken Cherry Laurel



IC - Compact Japanese Holly



IG - Shamrock Holly



RA - Autumn Amethyst Azalea



Aro - Brilliantissima Chokeberry



IVV - Red Sprite Holly
IVV - Jim Dandy Holly



IV - Henry's Garnet Itea



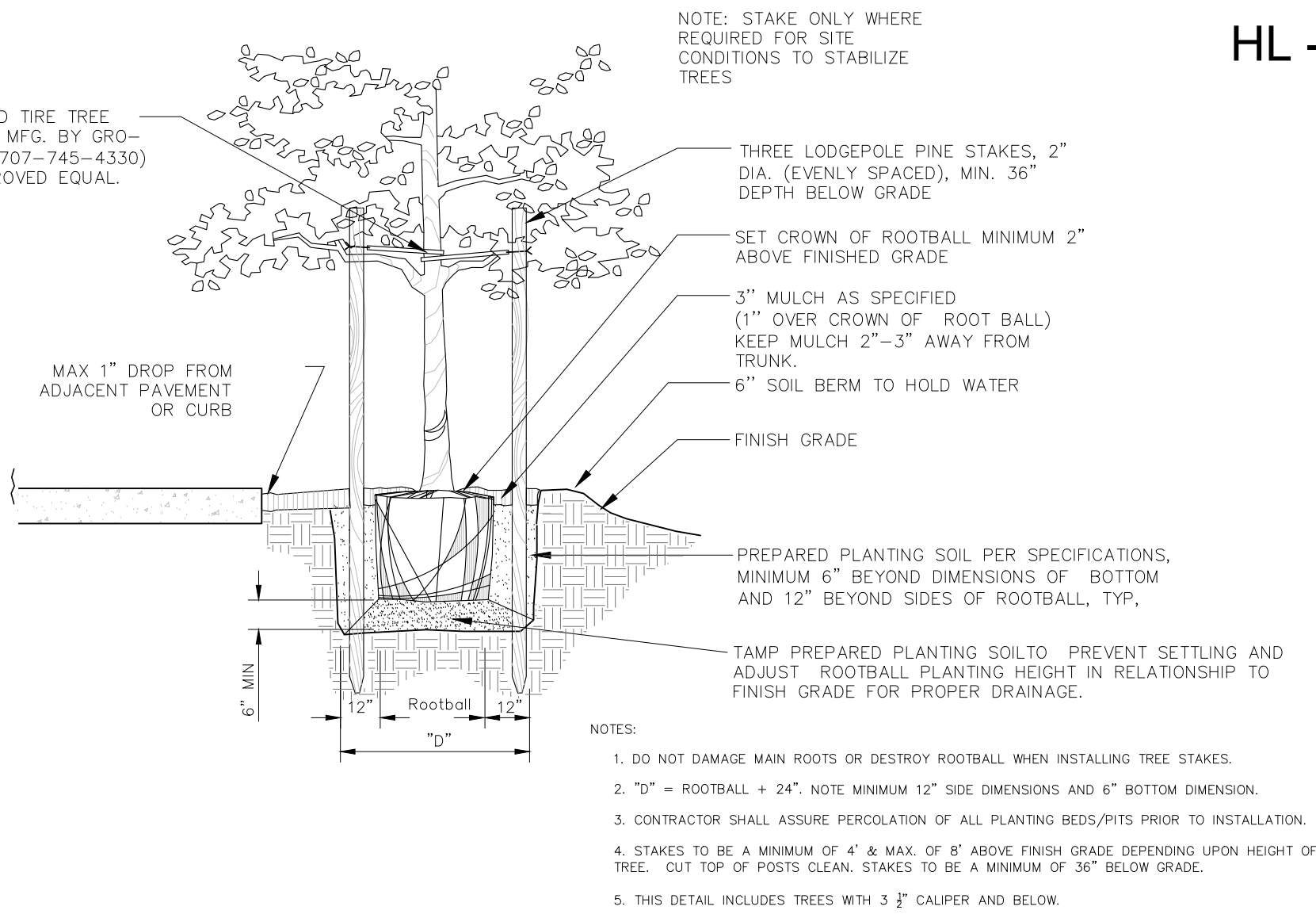
HL - Limelight Hydrangea



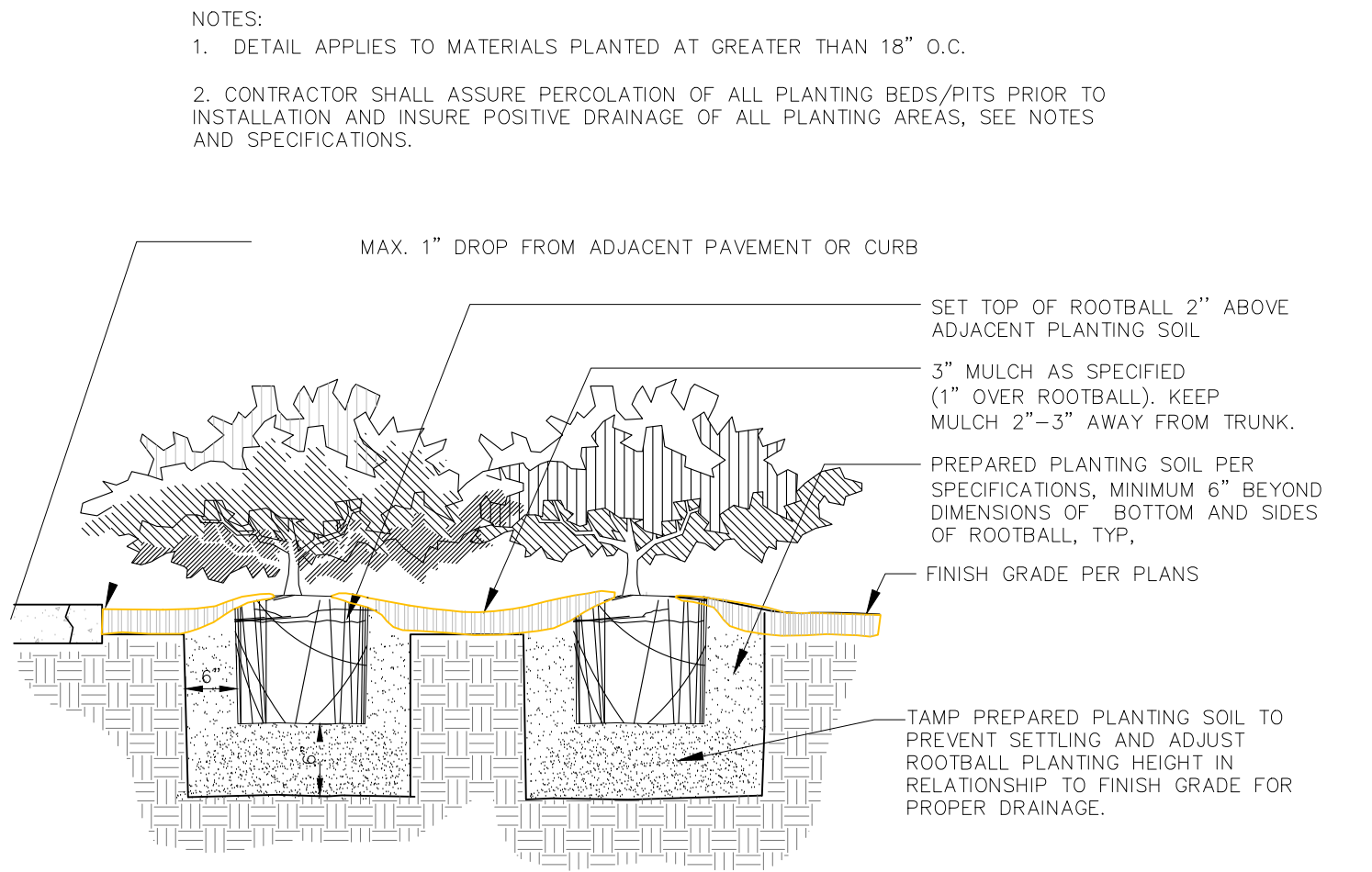
PJ - Mt. Fire Pieris



VP - Shasta Virburnum



2 Tree Planting Detail
Scale: NTS



1 Shrub Planting Detail
Scale: NTS

Other Consultants:

Owner / Developer
Dignity Funeral Services, Inc.

Project:
New Parking Area for
Dignity Funeral Services, Inc.

Sheet:
Landscape Specifications

Designed By:

creative development solutions
landscape architecture | land planning | community and resort design
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