

# 715 GREENVILLE HWY APARTMENTS

APARTMENTS

CITY OF HENDERSONVILLE

## NOTES

### SITE NOTES:

- PROJECT ADDRESS: 715 GREENVILLE HWY, HENDERSONVILLE NC 28792
- TOTAL ACREAGE: 9.01 AC
- ZONING: PCD
- PROJECT PIN NUMBER(S): 9568832082, 9568834302, 9568832474
- EXISTING TOPO INFO SHOWN WAS PROVIDED BY: JOHN COLE
- EXISTING BOUNDARY INFO PROVIDED BY: JOHN COLE
- FEMA FLOOD PANEL: 3700956800J
- RECEIVING STREAM: JOHNSON DRAINAGE DITCH
- SOIL TYPE(S): SOIL TYPES
- DEED BOOK / PAGE: DEED BK / PG
- LATITUDE / LONGITUDE: 35.3034 / -82.4580
- DISTURBED ACREAGE: 6.0 AC
- EROSION CONTROL REVIEW: HENDERSON COUNTY
- STORMWATER MANAGEMENT REVIEW: CITY OF HENDERSONVILLE

### GENERAL NOTES:

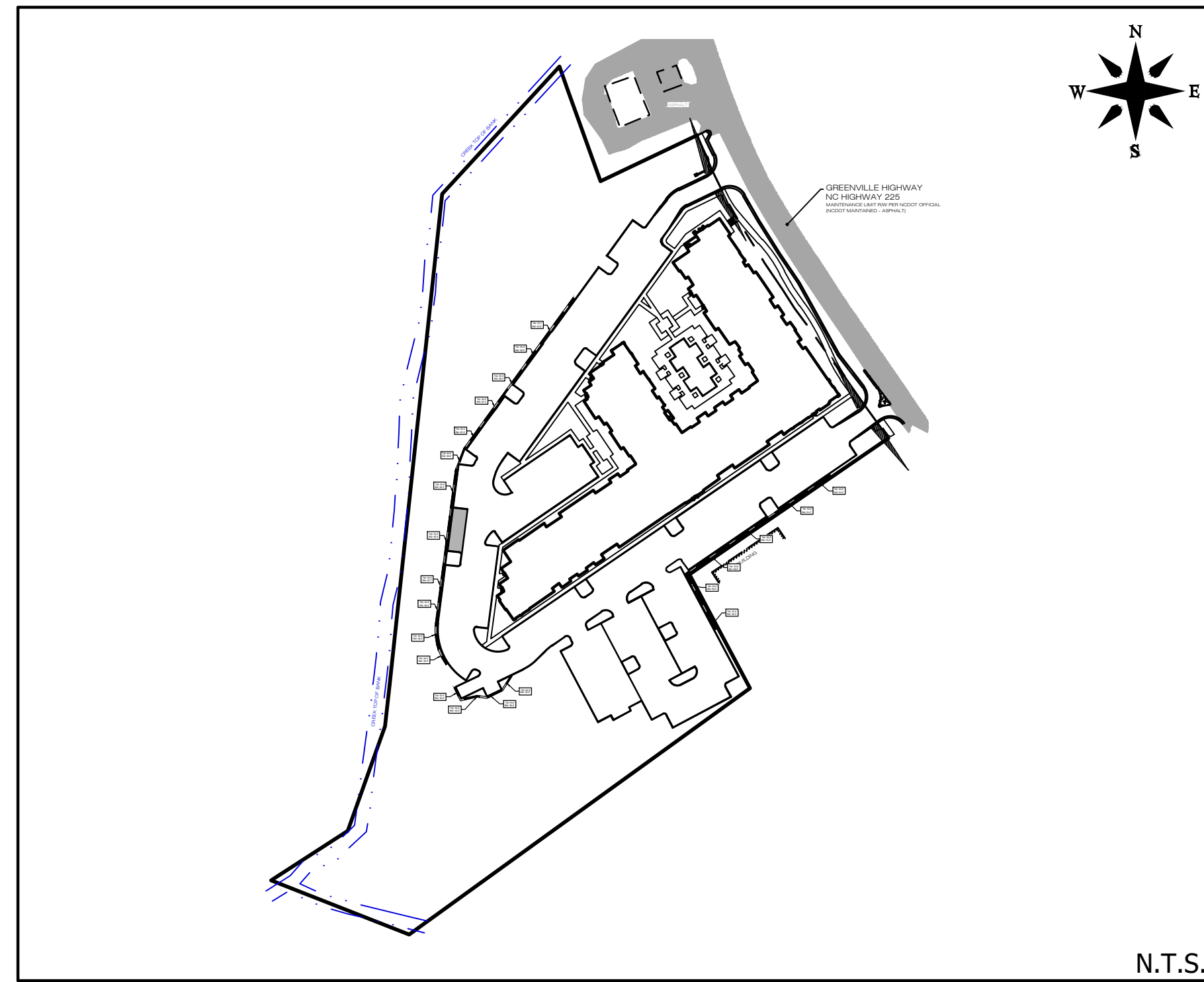
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND/OR MOVEMENT OF ANY SURVEY-LOCATED CONSTRUCTION STAKES. CONSTRUCTION STAKING SHALL REMAIN IN PLACE AND BE PROTECTED UNTIL THE OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD TO SUPERVISE CONSTRUCTION. IT IS SPECIFICALLY UNDERSTOOD THAT THE ENGINEERING FIRM DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION MEANS AND METHODS AND/OR SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION.
- THE ENGINEERING FIRM IS NOT RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS AND/OR ALL APPLICABLE REGULATORY RULES. THE ENGINEERING FIRM MAY BE CONTRACTED TO OBSERVE CONSTRUCTION AND ADVISE WITH REGARD TO ADHERENCE TO THE CONSTRUCTION DOCUMENTS AND REGULATORY COMPLIANCE, BUT NO RESPONSIBILITY WITH REGARD TO THE CONTRACTOR'S PERFORMANCE IS PROVIDED OR IMPLIED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW IMPROVEMENTS ON THE SUBJECT SITE AND ADJACENT PROPERTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES WHICH OCCUR DURING CONSTRUCTION.
- LOCATION OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE PROVIDED BY THE PROJECT SURVEYOR. THE LOCATION AND ANY INCLUSION OR OMISSION OF UNDERGROUND OR OVERHEAD UTILITIES IS THE SOLE RESPONSIBILITY OF THE PROJECT SURVEYOR AND NO WARRANTY IS PROVIDED OR IMPLIED BY THE LOCATION REFLECTED IN THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE, SIZE AND LOCATION OF ALL UTILITIES AND OTHER FEATURES WHICH MAY AFFECT CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION IF EXISTING CONDITIONS DIFFER FROM THOSE INDICATED IN THE PLANS. NO STREAM OR WETLAND DISTURBANCE SHALL OCCUR WITHOUT THE APPLICABLE PERMITTING FROM THE ARMY CORPS OF ENGINEERS AND STATE AND LOCAL AGENCIES.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, ANY LAND DISTURBING ACTIVITIES. EROSION CONTROL IS A REQUIREMENT REGARDLESS OF PERMIT REQUIREMENTS AND MEASURES SHOWN OR NOT SHOWN IN THESE PLANS.
- ANY EXCESS CUT/SPOIL MATERIAL DEVELOPED IN THE CONSTRUCTION OF THIS SITE SHALL BE DISPOSED OF AT AN APPROPRIATELY PERMITTED SPOIL SITE. CONTRACTOR TO PROVIDE PROOF OF PERMITS PRIOR TO PLACEMENT AT AN OFF-SITE LOCATION.
- ANY ALTERATION TO THE PLANS MUST BE APPROVED BY THE PROJECT ENGINEER AND/OR APPROPRIATE REGULATORY AGENCY PRIOR TO THE COMMENCEMENT OF WORK.

### INSPECTION SCHEDULE:

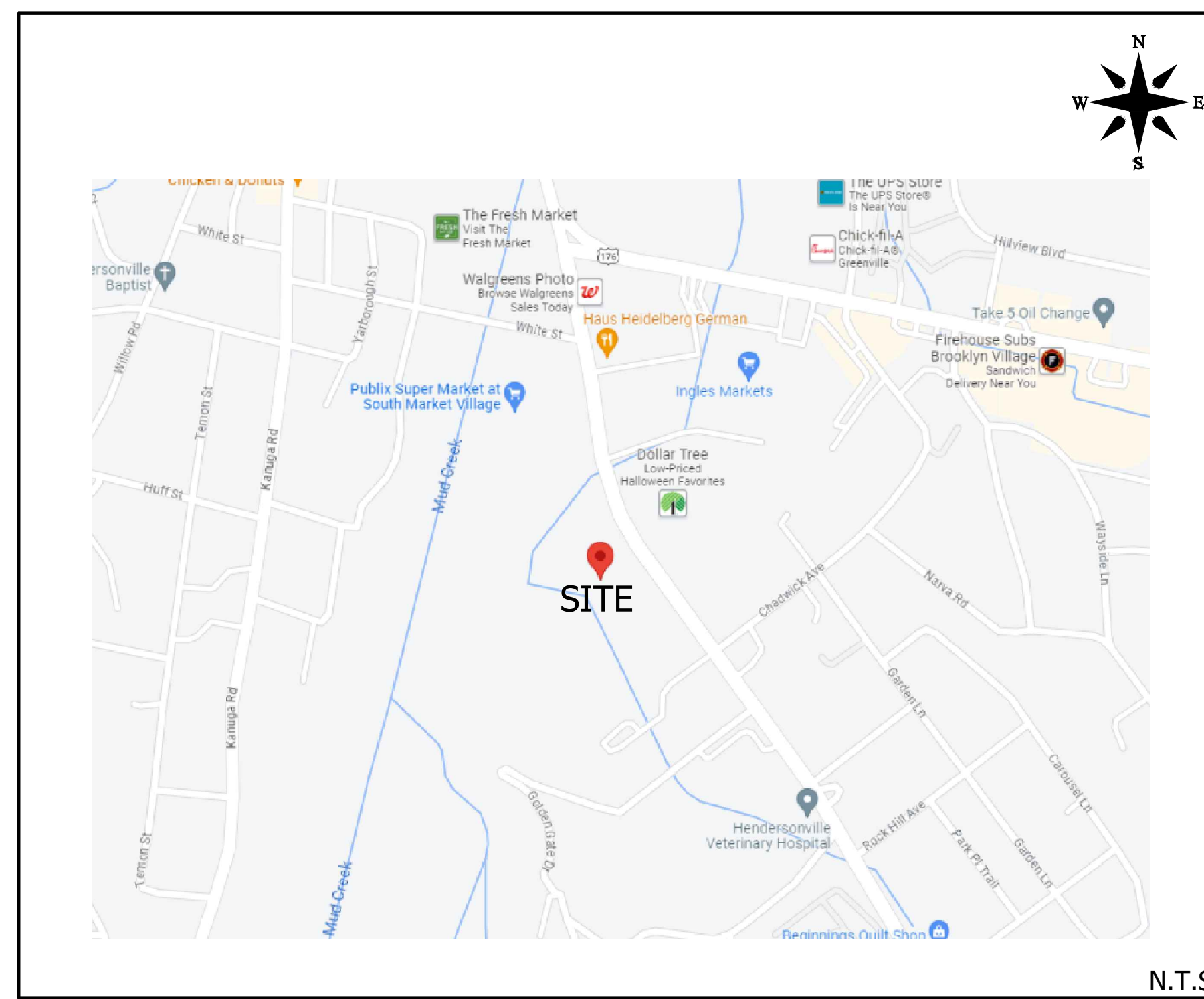
- NO CONSTRUCTION SHALL COMMENCE PRIOR TO A PRECONSTRUCTION MEETING WITH THE OWNER, THE CONTRACTOR, THE ENGINEER, AND A REPRESENTATIVE OF THE APPROVING JURISDICTION.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED AT OR PRIOR TO THE PRECONSTRUCTION MEETING.
- ENGINEER TO BE CALLED FOR PERIODIC INSPECTIONS.
- CALL ENGINEERING PRIOR TO COVERING UNDERGROUND STRUCTURES FOR FINAL INSPECTIONS.
- REFER TO MANUFACTURER'S SPECIFICATION MANUAL AND STATE AND LOCAL STANDARDS FOR ADDITIONAL REQUIREMENTS AND STANDARDS.



## PROJECT MAP



## VICINITY MAP



## CONTACTS

<b>DEVELOPER:</b> FIRST VICTORY, INC	<b>CONTACT INFO:</b> TRAVIS FOWLER travis@firstvictory.com 828-808-6433 542 S CALDWELL ST BREVARD, NC 28712
<b>OWNER:</b> SOUTH MARKET, LLC	<b>CONTACT INFO:</b> RICHARD HERMAN --- 828-577-4201 2809 HAMPTON DRIVE HENDERSONVILLE NC 28792
<b>ENGINEER:</b> BROOKS ENGINEERING ASSOCIATES, PA	<b>CONTACT INFO:</b> JOHN KINNAIRD JKINNAIRD@BROOKSEA.COM (828) 232-4700 15 ARLINGTON STREET ASHEVILLE, NC 28801
<b>SURVEYOR:</b> COLE SURVEY & DESIGN	<b>CONTACT INFO:</b> JOHN COLE N/A 549 ELK PARK DRIVE, SUITE 707 ASHEVILLE NC 28804
<b>LANDSCAPE ARCHITECT:</b> FIND THE LINE STUDIOS	<b>CONTACT INFO:</b> ROB DULL ROB@FINDTHELINESTUDIOS.COM 305 POLE CREAMS ROAD ASHEVILLE NC 28806

## SHEET INDEX

NO.:	TITLE:
C-0	COVER SHEET
C-1.0	MASTER PLAN
C-1.1	WIDENING PLAN
C-2.0	EXISTING CONDITIONS / SURVEY
C-5.0	OVERALL STORMWATER PLAN
C-7.0	UTILITY PLAN
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L-201	PRELIMINARY SITE PLAN
L-202	PRELIMINARY SITE PLAN
L-203	PRELIMINARY SITE PLAN
L-300	OVERALL LANDSCAPE PLANS
L-301	PRELIMINARY LANDSCAPE PLAN
L-302	PRELIMINARY LANDSCAPE PLAN
L-303	PRELIMINARY LANDSCAPE PLAN
L-304	PRELIMINARY LANDSCAPE PLAN
L-400	TREE CANOPY PLAN
ES-11	PHOTOMETRIC SITE PLAN
ES-12	SITE LIGHT FIXTURE SPECIFICATIONS
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A2.02	ELEVATIONS - S FACADE
ES-11	PHOTOMETRIC SITE PLAN
ES-12	SITE LIGHTING FIXTURE SPECIFICATIONS

**DEVELOPER PROPOSED CONDITIONS**

**1. PARKING SPACES**  
The number of permitted parking spaces shall be 288 (approx. 1.56 spaces per unit), as shown on the Site Plan. See Sec. 6-5 (providing a minimum requirement of 1 to 1.5 spaces per unit); Sec. 5-25-5.16 (providing that the applicant must demonstrate that parking is "adequate," while also providing that the number of parking spaces "should not exceed the minimum requirements" found in Sec. 6-5).

**2. TREE PLANTINGS**  
The number, size, and type of tree plantings required by Section 5-25-5.20 shall be planted. However, due to planting limitations within the floodway and conservation easement areas on the Project site, some of the 2" caliper trees required by Section 5-25-5.20 shall be planted in areas that also qualify for Vehicular Use Area plantings, as shown on the Landscape Plan.

**3. BUILDING FACADE**  
Facade offsets along the East Elevation may exceed the 16 ft. offset requirement provided in Section 5-25-12(b) as shown on the Site Plan and Elevations. No wall shall exceed 26 feet in length without an offset. Offsets may be provided either in exterior walls or at balconies.

**4. BUS SHELTER**  
A bus shelter (Sec. 5-25-5.13) shall not be required due to the proximity of an existing bus shelter on a neighboring property (Henderson County PIN #5568-82-7951) to the south of the Project site.

**5. LOADING ZONES**  
In lieu of the required 12'x40' loading zone, the developer proposes to provide three parking spaces that are designated as loading zones. See Sec. 6-6.

**6. FLOODWAY PLANTINGS / MAINTENANCE**  
To the extent practicable within the limitations of the Floodplain Development Permit required by the attached site plan and grading plan, Developer shall implement a vegetative planting and management plan that will create and enhance the existing wetland and wildlife habitat of the open space areas outside the footprint of the developed area, stream buffer(s) and the Wetland Conservation Area. The plan should include diverse and appropriate species of native upland and/or wetland shrubs, appropriate trees and perennial herbaceous plants (including warm season grasses, sedges, and plants important to pollinators), and all planted species shall be selected from the City's Recommended Landscape Species List for Street Trees and Land Development Projects. No turf grasses may be used. The plan shall be developed by a qualified landscape architect (with wildlife habitat management expertise), and shall incorporate an appropriate long-term invasive species management and control plan.

**CITY PROPOSED CONDITIONS**

1. Developer shall install all recommended traffic mitigations found in the approved Traffic Impact Analysis, in accordance with City and NCDOT requirements prior to final certificate of occupancy.

No.	REVISIONS/SUBMISSIONS	Date
1	PLANNING AND ZONING SUBMITTAL	8/01/2024
2	PLANNING BOARD SUBMITTAL	11/04/2024

**PRELIMINARY - NOT FOR CONSTRUCTION**

**CDG ENGINEERS & ASSOCIATES, INC.**  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEERS  
LICENSE NO. 70-C-4573

Designed: JHK	Reviewed: JHK
Drawn: JHK	Scale: AS NOTED
Checked: JHK	Date: 8/01/2024

15 Arlington Street  
Asheville, N.C. 28801  
Phone: 1-828-232-4700  
Fax: 1-828-232-1331  
www.brooksea.com

**CDG ENGINEERS AND ASSOCIATES, INC**

Project No: **597223**

**C-0**

Drawing Title: **COVER SHEET**

**715 GREENVILLE HWY APARTMENTS**

CITY OF HENDERSONVILLE NORTH CAROLINA

**MASTER PLAN LEGEND**

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- EXIST. BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXIST. CURB
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
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- NEW HD PAVEMENT
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**IMPERVIOUS AREA SUMMARY:**  
 Proposed Impervious Area: 184,401sf  
 Proposed Impervious Percent: 47.0%

**DEVELOPER PROPOSED CONDITIONS**

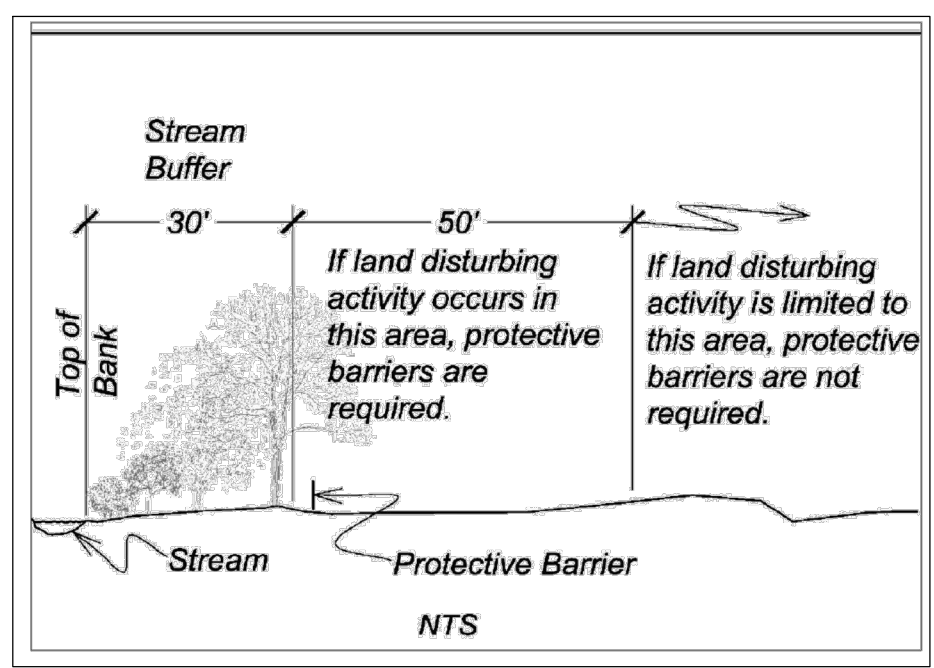
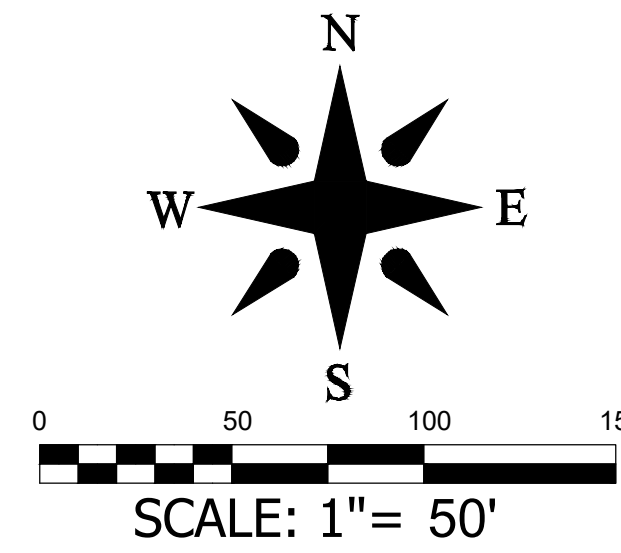
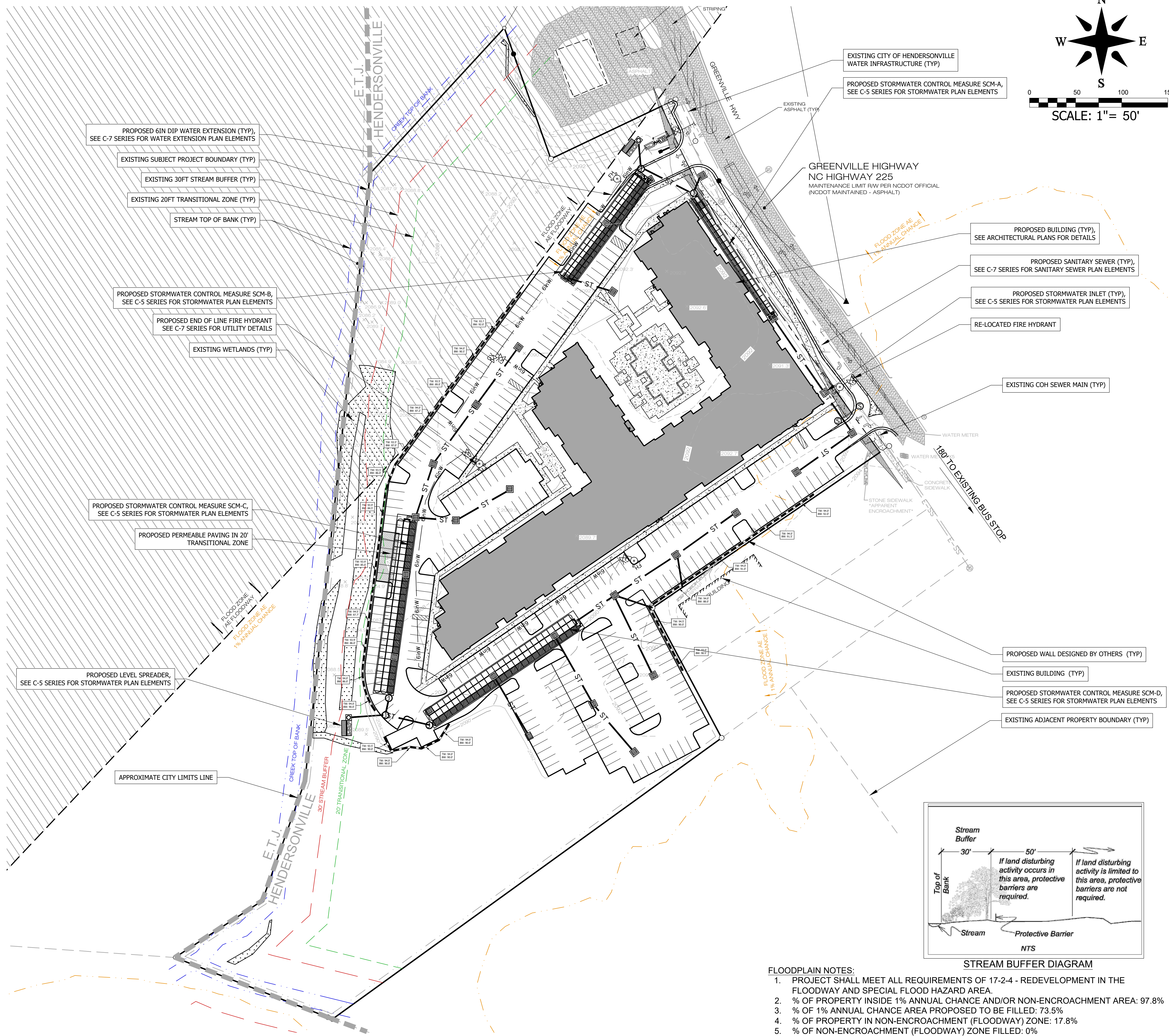
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 HENDERSONVILLE NC 28792  
 PIN NUMBER: 9568832082, 9568834302, 9568832474  
 PROPERTY SIZE: 9.01 AC  
 ZONING REVIEW: CITY OF HENDERSONVILLE  
 EROSION CONTROL REVIEW: HENDERSON COUNTY  
 STORMWATER REVIEW: CITY OF HENDERSONVILLE  
 ZONING CLASSIFICATION: PCD  
 PROPOSED NUMBER OF UNITS: 185  
 PROPOSED DENSITY: 20.55 UNITS / AC  
 PROPERTY OWNER: SOUTH MARKET, LLC  
 CONTACT: RICHARD HERMAN  
 ADDRESS: 2809 HAMPTON DRIVE  
 HENDERSONVILLE NC 28792  
 EMAIL: ---  
 PHONE: 828-577-4201  
 DEVELOPER: FIRST VICTORY, INC  
 CONTACT: TRAVIS FOWLER  
 ADDRESS: 642 S. CALDWELL ST  
 BREVARD, NC 28712  
 EMAIL: travis@firstvictory.com  
 PHONE: 828-808-6433  
 ENGINEER: BROOKS ENGINEERING ASSOCIATES  
 CONTACT: JOHN KINNAIRD  
 ADDRESS: 15 ARLINGTON ST  
 ASHEVILLE, NC 28801  
 EMAIL: JKINNAIRD@BROOKSEA.COM  
 PHONE: 828-232-4700  
 LANDSCAPE ARCH: FIND THE LINE STUDIOS  
 CONTACT: ROB DULL  
 ADDRESS: 305 POLE CREAMAN ROAD  
 ASHEVILLE NC 28806  
 EMAIL: ROB@FINDTHELINESTUDIOS.COM  
 PHONE: 828-674-5592

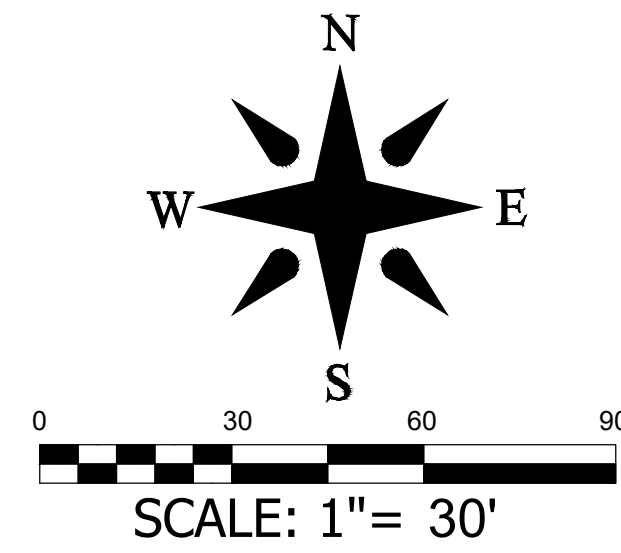
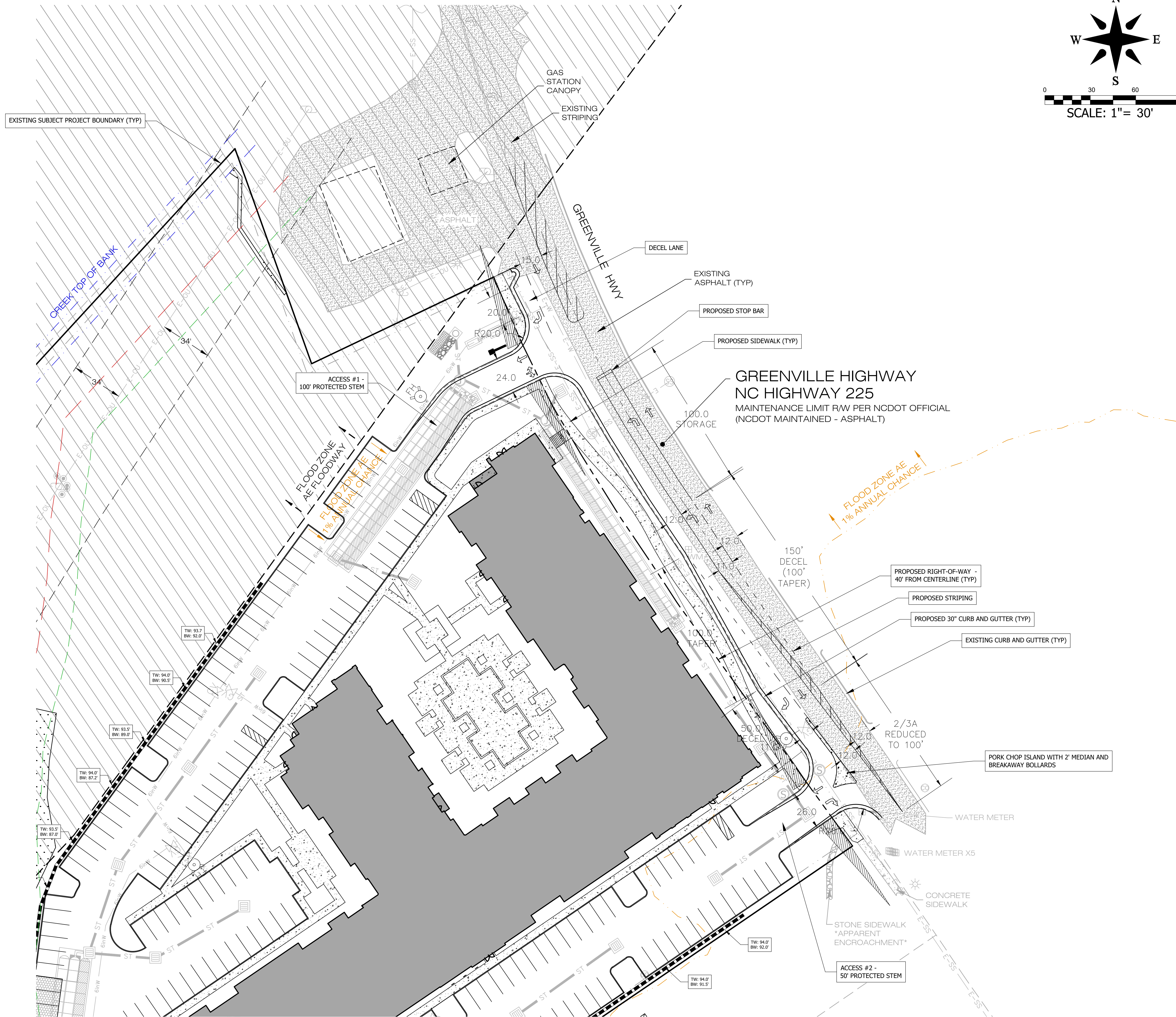


- FLOODPLAIN NOTES:**
1. PROJECT SHALL MEET ALL REQUIREMENTS OF 17-2-4 - REDEVELOPMENT IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA.
  2. % OF PROPERTY INSIDE 1% ANNUAL CHANCE AND/OR NON-ENCROACHMENT AREA: 97.8%
  3. % OF 1% ANNUAL CHANCE AREA PROPOSED TO BE FILLED: 73.5%
  4. % OF PROPERTY IN NON-ENCROACHMENT (FLOODWAY) ZONE: 17.8%
  5. % OF NON-ENCROACHMENT (FLOODWAY) ZONE FILLED: 0%

	Date	8/01/2024			
	REVISIONS/SUBMISSIONS	1	PLANNING AND ZONING SUBMITTAL	11/04/2024	
		2	PLANNING BOARD SUBMITTAL		
 NORTH CAROLINA PROFESSIONAL ENGINEERS LICENSE NO. 4573	PRELIMINARY - NOT FOR CONSTRUCTION				
Reviewed: JHK Scale: AS NOTED Date: 8/01/2024 Designed: JHK Drawn: JHK Checked: JHK	15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com				
CDG ENGINEERS AND ASSOCIATES, INC	715 GREENVILLE HWY APARTMENTS CITY OF HENDERSONVILLE NORTH CAROLINA				
Project No: <b>597223</b>	Drawing Title: <b>C-1.0 MASTER PLAN</b>				File Location: C:\Users\jkinnaird\CDG_Inc\Civil_Site - Documents\Projects\2024\Final Victory - 715 Greenville Hwy\Civil_CAD_Basefiles\Civil_Base-897223.dwg

**MASTER PLAN LEGEND**

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Project No: <b>597223</b>	Drawing Title: <b>C-1.1 WIDENING PLAN</b>	City of Hendersonville NORTH CAROLINA	715 GREENVILLE HWY APARTMENTS	<b>CDG ENGINEERS AND ASSOCIATES, INC</b>	Date: 8/01/2024
					Revisions/Submissions: 1 PLANNING AND ZONING SUBMITTAL 2 PLANNING BOARD SUBMITTAL
<b>PRELIMINARY - NOT FOR CONSTRUCTION</b>					
Designed: JHK Drawn: JHK Checked: JHK		Reviewed: JHK Scale: AS NOTED Date: 8/01/2024		15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com	

File Location: C:\Users\jkinnaird\CDG, Inc\Civil Site - Documents\Projects\2024\Final Victory - 715 Greenville Hwy\Civil\_CAD\_Basefiles\Civil\_Base-597223.dwg



**GRADING AND STORMWATER LEGEND**

	EXIST. BOUNDARY
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	EXISTING BUILDING
	EXISTING SIDEWALK
	EXISTING PAVEMENT
	EXIST. CURB
	EXIST. MANHOLE
	EXIST. SANITARY SEWER
	EXIST. SEWER CLEAN OUT
	EXIST. WATER LINE
	EXIST. WATER METER
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. OVERHEAD UTILITIES
	EXIST. POWER POLE
	EXIST. UNDERGRND UTILITIES
	EXIST. STORM DRAIN
	EXIST. CURB INLET
	EXIST. JUNCTION BOX
	EXIST. DROP INLET
	EXIST. TELE MANHOLE
	EXIST. DROP INLET
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. MINOR CONTOUR
	EXIST. MAJOR CONTOUR
	NEW BUILDING
	NEW PAVEMENT
	NEW HD PAVEMENT
	NEW CONCRETE SIDEWALK
	NEW GRAVEL
	NEW CURB & GUTTER
	NEW YARD INLET
	NEW DROP INLET
	NEW CURB INLET
	NEW JUNCTION BOX
	NEW HEADWALL
	NEW FLARED END SECTION
	NEW RIP-RAP OUTLET PROTECTION
	NEW STORM PIPE
	GRASS-LINED DITCH WITH MATTING
	RIP-RAP LINED DITCH
	NEW MINOR CONTOUR
	NEW MAJOR CONTOUR
	NEW SPOT GRADE
	NEW PROPERTY LINES
	NEW RIGHT OF WAY
	NEW WATER DISTRIBUTION MAIN
	NEW WATER FIRE HYDRANT
	NEW MANHOLE
	NEW SEWER LINE
	LIMITS OF DISTURBANCE
	NEW WALL (BY OTHERS)
	TEMP. TREE PROTECTION FENCE

**GRADING AND STORMWATER NOTES**

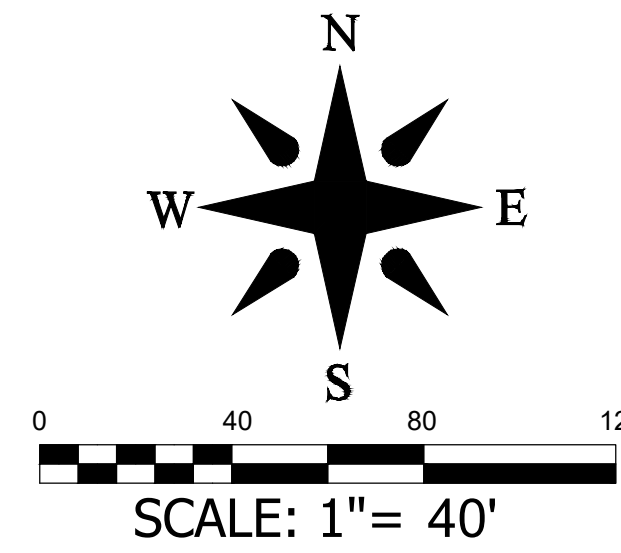
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AND AN AMENDED PLAN BE SUBMITTED AND APPROVED SHOWING MODIFIED EROSION CONTROL DEVICES.
- THE SITE SHALL RECEIVE TEMPORARY/PERMANENT SEEDING WITHIN 7 DAYS OF COMPLETION OF GRADING OPERATIONS IN AN AREA. SEEDING MIXES SHALL CONFORM WITH SPECIES DESIGNATIONS AS OUTLINED IN THE TABLE PROVIDED IN THE PLANS. ALL GRADED SLOPES INCLUDING TOPSOIL ARE TO HAVE A GROUND COVER ESTABLISHED WITHIN 21 CALENDAR DAYS.
- FOR ALL CONSTRUCTED SEVERE SLOPES GREATER THAN 2:1, THE SLOPE SHALL BE DESIGNED BY A NORTH CAROLINA REGISTERED ENGINEER WITH GEOTECHNICAL EXPERTISE. FOR ALL CONSTRUCTED SEVERE SLOPES GREATER THAN 2:1 AND GREATER THAN 5' IN HEIGHT, AN INSPECTION AND A STABILITY CERTIFICATE BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE IS REQUIRED. FOR ALL CONSTRUCTED SEVERE SLOPES WITHIN PROPOSED OR EXISTING PUBLIC RIGHTS-OF-WAY, PERIODIC INSPECTIONS AND COMPACTION REPORTS BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE ARE REQUIRED. THE OWNER SHALL BE RESPONSIBLE FOR ENGAGING THESE SERVICES.
- ALL FILL SLOPES SHALL BE COMPACTED FULL DEPTH TO NOT LESS THAN 95 PERCENT MAXIMUM DENSITY (STANDARD PROCTOR), SHALL BE PLACED ON A SURFACE CLEAR OF GROWTH AND DEBRIS AND BE PROPERLY BENCH AND DRAINED.
- FOR FILL MATERIALS: UNLESS A PERMIT TO OPERATE A LANDFILL FROM NCDOT - DIVISION OF WASTE MANAGEMENT IS ON FILE FOR THE OFFICIAL SITE, ACCEPTABLE FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DEGRADABLE MATERIALS, MASONRY, CONCRETE/BRICK IN SIZES EXCEEDING 12 INCHES, AND ANY MATERIALS WHICH WOULD CAUSE THE SITE TO BE REGULATED AS A LANDFILL BY THE STATE OF NORTH CAROLINA.
- ALL SLOPES GREATER THAN 4:1 SHALL BE SEEDED AND COVERED WITH NORTH AMERICAN GREEN SC150 (UNLESS OTHERWISE SPECIFIED) OR APPROVED EQUAL EROSION CONTROL MATTING AND SECURED TO MANUFACTURERS SPECIFICATIONS.
- AN APPROVED GRADING PERMIT IS REQUIRED FOR THE BORROW OR WASTE SITE PRIOR TO INITIATION OF ANY LAND DISTURBING ACTIVITY.
- ALL STORMWATER MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT SPECIFICATIONS AND DETAILS.
- ALL STRUCTURAL SCMS SHALL BE IN ACCORDANCE WITH NCDOT SPECIFICATIONS AND DETAILS.
- ALL STORMWATER PIPES MUST MEET THE MINIMUM REQUIREMENTS OF 2 FEET OF COVER IN LOAD BEARING AREAS AND 1 FT COVER IN NON-LOAD BEARING AREAS OR AS SPECIFIED BY THE PIPE MANUFACTURER.
- ALL DEVELOPMENT, REDEVELOPMENT, AND LAND DISTURBING ACTIVITY WHICH REQUIRE STRUCTURAL SCM(S) OR STORMWATER MANAGEMENT CONTROL FACILITIES SHALL REQUIRE A MAINTENANCE AND ACCESS EASEMENT WHICH MUST BE SHOWN ON THE AS-BUILT DRAWINGS AND RECORDED AT THE REGISTER OF DEEDS OFFICE AS PART OF THE PROCESS TO CLOSE THE PERMIT AND OBTAIN A CERTIFICATE OF OCCUPANCY. MAINTENANCE AND ACCESS EASEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE COH STANDARD SPECIFICATIONS AND DETAILS MANUAL FOR THE SPECIFIC TYPE OF SCM.
- AN OPERATION AND MAINTENANCE (O&M) PLAN SHALL BE PROVIDED DURING CLOSEOUT FOR THE PROJECT. THE O&M PLAN SHALL SPECIFY ALL OPERATION AND MAINTENANCE WORK NECESSARY FOR THE FUNCTION OF ALL SCM COMPONENTS, INCLUDING THE STORMWATER CONVEYANCE SYSTEM, PERIMETER DEVICES, INLETS AND STABILIZING VEGETATION. THE O&M PLAN SHALL SPECIFY METHODS TO BE USED TO MAINTAIN OR RESTORE THE SCM(S) TO DESIGN SPECIFICATIONS IN THE EVENT OF FAILURE. O&M PLANS SHALL BE SIGNED BY THE OWNER AND NOTARIZED. THE OWNER SHALL KEEP MAINTENANCE RECORDS AND THESE SHALL BE AVAILABLE UPON REQUEST BY THE PARTY RESPONSIBLE FOR ENFORCING THE STORMWATER PROGRAM UNDER WHICH THE SCM(S) WERE APPROVED.
- STORMWATER CLOSEOUT DOCUMENTS ARE REQUIRED WHEN THE PROJECT IS COMPLETE AND BEFORE A PERMANENT CERTIFICATE OF OCCUPANCY CAN BE ISSUED. ALL CLOSEOUT DOCUMENTS WILL BE SUBMITTED IN ONE PACKAGE. AN INCOMPLETE SUBMITTAL WILL NOT BE ACCEPTED AND WILL RESULT IN A DELAY IN THE CLOSEOUT PROCEDURES FOR THE PROJECT.
- AN OPERATION AND MAINTENANCE AGREEMENT AND EASEMENTS SHALL BE RECORDED AT THE REGISTER OF DEEDS OFFICE ALONG WITH THE AS-BUILT DRAWINGS.

- EXISTING 30FT STREAM BUFFER (TYP)
- EXISTING 20FT TRANSITIONAL ZONE(TYP)
- PROPOSED GRATED DROP INLET (TYP)
- PROPOSED BUILDING (TYP) - ALL ROOF LEADERS AND OTHER IMPERVIOUS AREAS ARE TO BE DIRECTED TOWARDS STORMWATER COLLECTION SYSTEM FOR TREATMENT/DETENTION UTILIZING ROOF LEADERS, POP-UP DRAINAGE EMITTERS, OR SIMILAR RUNOFF CONTROL DEVICES
- PROPOSED RETAINING WALL (TYP), SPECIFICATIONS AND DESIGN BY OTHERS, SEE C-5 SERIES SHEETS FOR HEIGHTS
- PROPOSED PERMEABLE PAVING IN 20' TRANSITIONAL ZONE
- EXISTING WETLANDS (TYP)
- PROPOSED JUNCTION MANHOLE (TYP), SEE SHEET FOR DETAIL
- PROPOSED STORMWATER CONTROL MEASURE SCM-C,
- PROPOSED STORMWATER CONTROL MEASURE SCM-D,
- PROPOSED CURB INLET (TYP), SEE SHEET FOR DETAIL

**DEVELOPMENT DATA**

PROPERTY ADDRESS: 715 GREENVILLE HWY  
 HENDERSONVILLE NC 28792  
 PIN NUMBER: 9568832082 9568834302 9568832474  
 PROPERTY SIZE: 9.01 AC  
 ZONING REVIEW: CITY OF HENDERSONVILLE  
 EROSION CONTROL REVIEW: HENDERSON COUNTY  
 STORMWATER REVIEW: CITY OF HENDERSONVILLE  
 ZONING CLASSIFICATION: PCD  
 PROPOSED NUMBER OF UNITS: 185  
 PROPOSED DENSITY: 20.55 UNITS / AC  
 PROPERTY OWNER: SOUTH MARKET, LLC  
 CONTACT: RICHARD HERMAN  
 ADDRESS: 2809 HAMPTON DRIVE  
 HENDERSONVILLE NC 28792  
 EMAIL: rherman@southmarket.com  
 PHONE: 828-677-4201  
 DEVELOPER: FIRST VICTORY, INC  
 CONTACT: TRAVIS FOWLER  
 ADDRESS: 542 S CALDWELL ST  
 BREVARD, NC 28712  
 EMAIL: travis@firstvictory.com  
 PHONE: 828-808-6433  
 ENGINEER: BROOKS ENGINEERING ASSOCIATES  
 CONTACT: JOHN KINNAIRD  
 ADDRESS: 15 ARLINGTON ST  
 ASHEVILLE, NC 28801  
 EMAIL: JKINNAIRD@BROOKSEA.COM  
 PHONE: 828-232-4700  
 LANDSCAPE ARCH: FIND THE LINE STUDIOS  
 CONTACT: ROB DULL  
 ADDRESS: 305 POLE CREAMS ROAD  
 ASHEVILLE NC 28806  
 EMAIL: ROB@FINDTHELINESTUDIOS.COM  
 PHONE: 828-674-5592

IMPERVIOUS AREA SUMMARY:  
 Proposed Impervious Area: 184,401sf  
 Proposed Impervious Percent: 47.0%



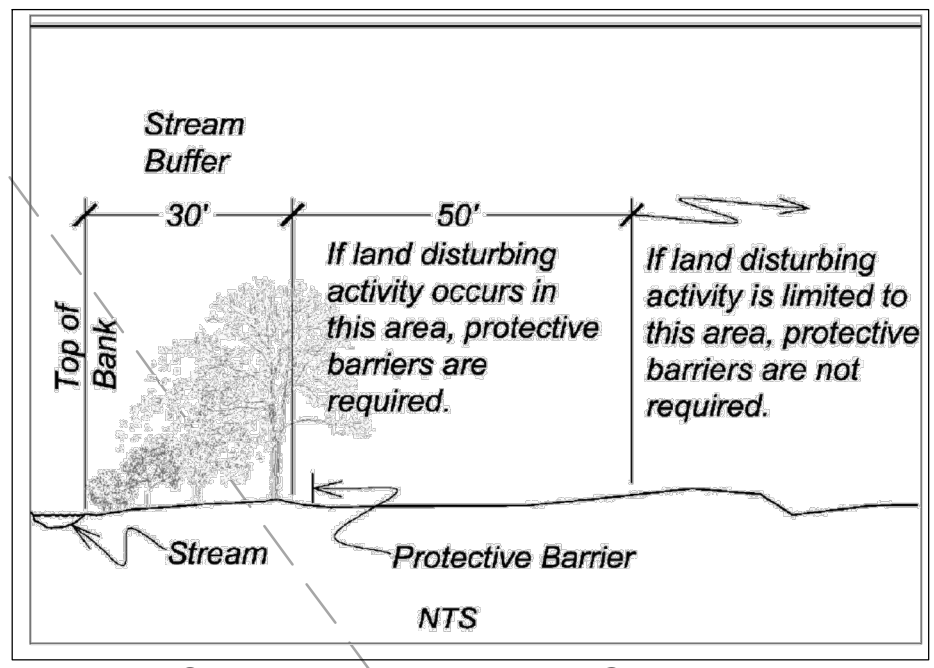
GREENVILLE HIGHWAY  
 NC HIGHWAY 225  
 MAINTENANCE LIMIT RW PER NCDOT OFFICIAL  
 (NCDOT MAINTAINED - ASPHALT)

PROPOSED STORMWATER CONTROL MEASURE SCM-A,

EXISTING 100 YEAR FLOOD LINE (TYP)

PROPOSED STORMWATER PIPE TO CONVEY OFFSITE STORMWATER TO SCM DUE TO PROPOSED WALL

PROPOSED STORMWATER PIPE TO CONVEY STORMWATER FROM EXISTING SUMP PUMP TO SCM



**FLOODPLAIN NOTES:**

- PROJECT SHALL MEET ALL REQUIREMENTS OF 17-24 - REDEVELOPMENT IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA.
- % OF PROPERTY INSIDE 1% ANNUAL CHANCE AND/OR NON-ENCROACHMENT AREA: 97.8%
- % OF 1% ANNUAL CHANCE AREA FILLED: 73.5%
- % OF PROPERTY IN NON-ENCROACHMENT (FLOODWAY) ZONE: 17.8%
- % OF NON-ENCROACHMENT (FLOODWAY) ZONE FILLED: 0%

Date	8/01/2024
	11/04/2024
REVISIONS/SUBMITTALS	PLANNING AND ZONING SUBMITTAL
	PLANNING BOARD SUBMITTAL
No.	1
	2
Designed:	JHK
Drawn:	JHK
Checked:	JHK
Reviewed:	JHK
Scale:	AS NOTED
Date:	8/01/2024
15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com	
<b>CDG ENGINEERS AND ASSOCIATES, INC</b>	
Project No:	597223
Drawing Title:	OVERALL STORMWATER PLAN
715 GREENVILLE HWY APARTMENTS CITY OF HENDERSONVILLE NORTH CAROLINA	
C-5.0	

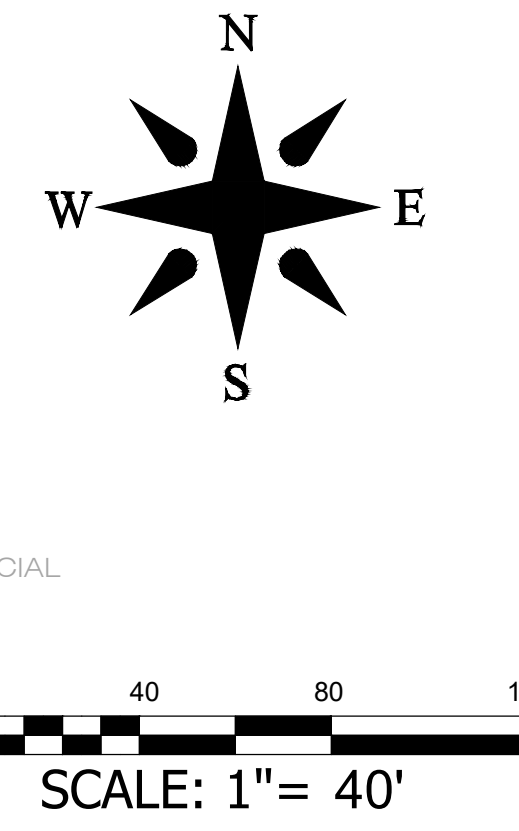
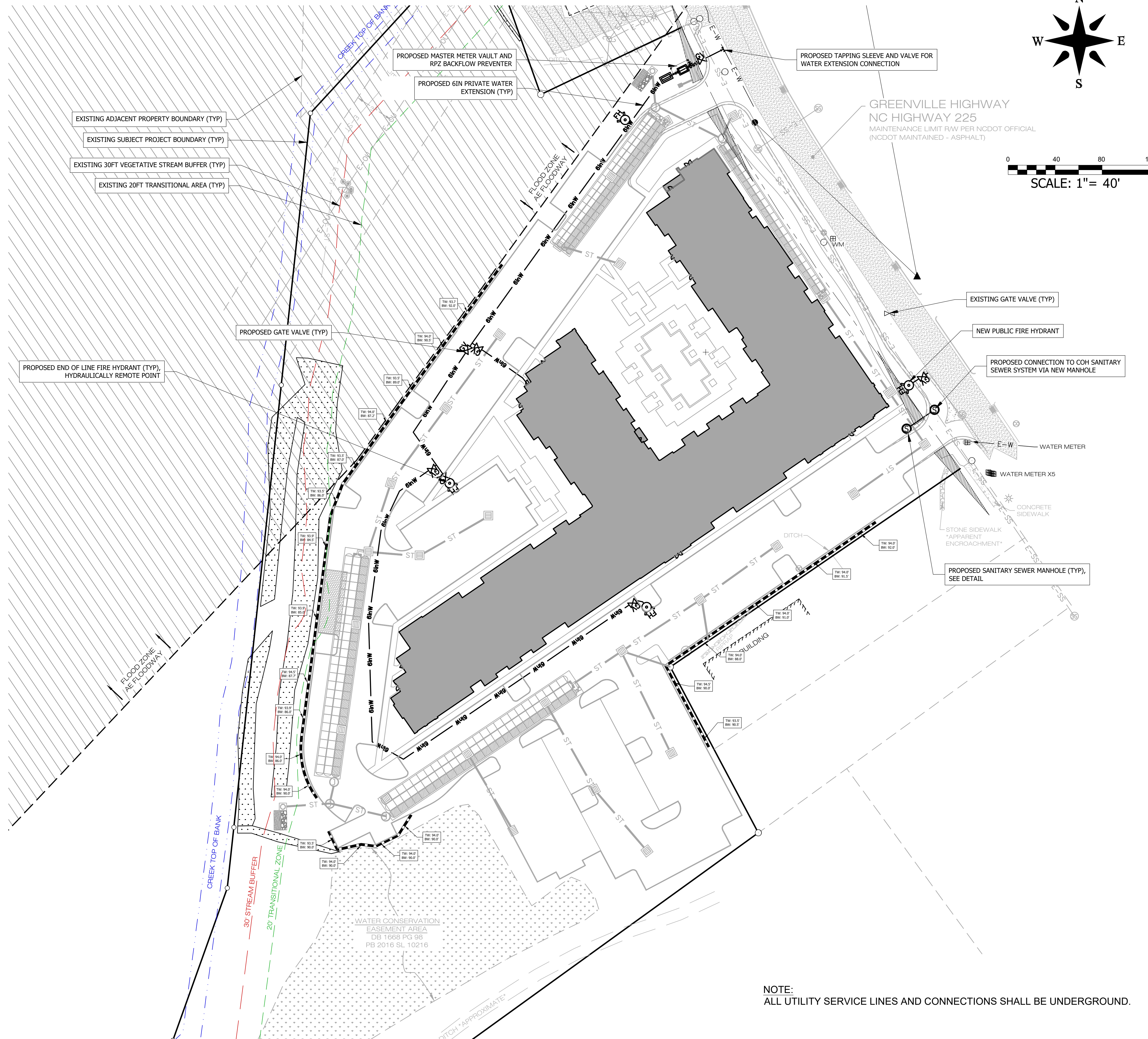
File Location: C:\Users\jgh.kinnaird\CDG, Inc\Civil Site - Documents\Projects\2024\Final Victory - 715 Greenville Hwy\Civil\_CAD\_Basefiles\Civil\_Base-597223.dwg

**UTILITIES LEGEND**

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. MANHOLE
- E-SS EXIST. SANITARY SEWER
- E-W EXIST. SEWER CLEAN OUT
- EXIST. WATER LINE
- EXIST. WATER METER
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- EXIST. OVERHEAD UTILITIES
- EXIST. POWER POLE
- EXIST. UNDERGROUND UTILITIES
- EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. JUNCTION BOX
- EXIST. DROP INLET
- EXIST. TELE MANHOLE
- EXIST. DROP INLET
- EXIST. TRANSFORMER
- EXIST. LIGHT POLE
- E-WE EXIST. SEWER EASEMENT
- EXIST. WATER EASEMENT
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BOX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLOW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CO / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)

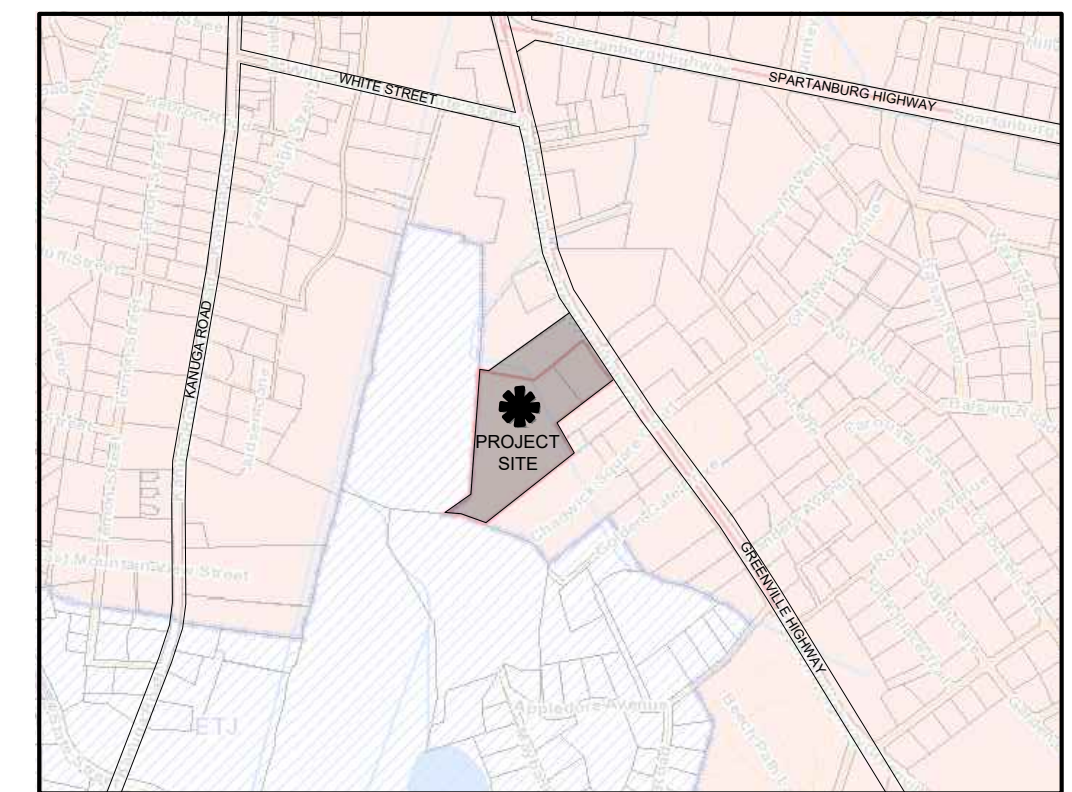
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 PROPOSED NUMBER OF UNITS: 185  
 PROPOSED DENSITY: 20.55 UNITS / AC  
 PROPERTY OWNER: SOUTH MARKET, LLC  
 CONTACT: RICHARD HERMAN  
 ADDRESS: 2809 HAMPTON DRIVE  
 HENDERSONVILLE NC 28792  
 EMAIL: ---  
 PHONE: 828-577-4201  
 DEVELOPER: FIRST VICTORY, INC  
 CONTACT: TRAVIS FOWLER  
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 BREVARD, NC 28712  
 EMAIL: travis@firstvictory.com  
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 LANDSCAPE ARCH.: FIND THE LINE STUDIOS  
 CONTACT: ROB DULL  
 ADDRESS: 305 POLE CREAMS ROAD  
 ASHEVILLE NC 28806  
 EMAIL: ROB@FINDTHELINESTUDIOS.COM  
 PHONE: 828-674-5592



**NOTE:**  
 ALL UTILITY SERVICE LINES AND CONNECTIONS SHALL BE UNDERGROUND.

<b>Project No:</b> 597223	<b>715 GREENVILLE HWY</b>	<b>APARTMENTS</b>	<b>CITY OF HENDERSONVILLE</b>	<b>NORTH CAROLINA</b>	<b>REVISIONS/SUBMITTALS</b>									
<b>Drawing Title:</b> UTILITY PLAN	<b>C-7.0</b>				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">No.</th> <th style="width: 15%;">Date</th> <th style="width: 80%;">Description</th> </tr> <tr> <td>1</td> <td>8/01/2024</td> <td>PLANNING AND ZONING SUBMITTAL</td> </tr> <tr> <td>2</td> <td>11/04/2024</td> <td>PLANNING BOARD SUBMITTAL</td> </tr> </table>	No.	Date	Description	1	8/01/2024	PLANNING AND ZONING SUBMITTAL	2	11/04/2024	PLANNING BOARD SUBMITTAL
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1	8/01/2024	PLANNING AND ZONING SUBMITTAL												
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 <p><b>CDG ENGINEERS AND ASSOCIATES, INC.</b>                  15 Arlington Street                  Asheville, N.C. 28801                  Phone: 1-828-232-4700                  Fax: 1-828-232-1331                  www.brooksea.com</p>					<p><b>PRELIMINARY - NOT FOR CONSTRUCTION</b></p>									



VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**SITE COVERAGE:**  
BUILDING GROSS FLOOR AREA: 231,037 SF

**BUILDING FOOTPRINT:** 58,367 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

**BUILDING HEIGHT:** 52'0" (SEE ARCHITECTURAL PLANS)

**PROPOSED NUMBER OF UNITS:** 185 UNITS  
**PROPOSED DENSITY:** 20.5 UNITS / AC

**STREET AND PARKING SQUARE FOOTAGE:** 102,231 SF  
**STREET AND PARKING PERCENTAGE OF SITE:** 26% OF SITE

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

**CIVIL ENGINEER:**  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

**ZONING:**  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

**SETBACKS:**  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
SIDE: 5'  
REAR: 10'

**OPEN SPACE REQUIREMENTS:**  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

**OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF):**  
49% OF REQUIRED OPEN SPACE AREA

**COMMON SPACE REQUIREMENTS:**  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

**ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):**  
9.5% OF REQUIRED COMMON SPACE AREA

**PARKING REQUIREMENTS:**  
PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS:  
NUMBER OF UNITS: 185 UNITS (170 1/2 BEDROOM & 15 3 BEDROOM)  
PARKING REQUIRED: 193 SPACES  
PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)

**NOTES:**  
PROJECT SHALL MEET ALL REQUIREMENTS OF 17-2-4-REDEVELOPMENT IN THE FLOOD WAY AND SPECIAL FLOOD HAZARD AREA  
ALL UTILITY SERVICE LINES AND CONNECTIONS SHALL BE UNDERGROUND  
OPEN SPACE SHOWN MUST BE PRESERVED AND MAINTAINED IN PERPETUITY. OPEN SPACE TO BE MAINTAINED BY DEVELOPER.

715 GREENVILLE HWY MULTI-FAMILY

715 GREENVILLE HWY  
HENDERSONVILLE, NC

PREPARED FOR:  
FIRST VICTORY INC.

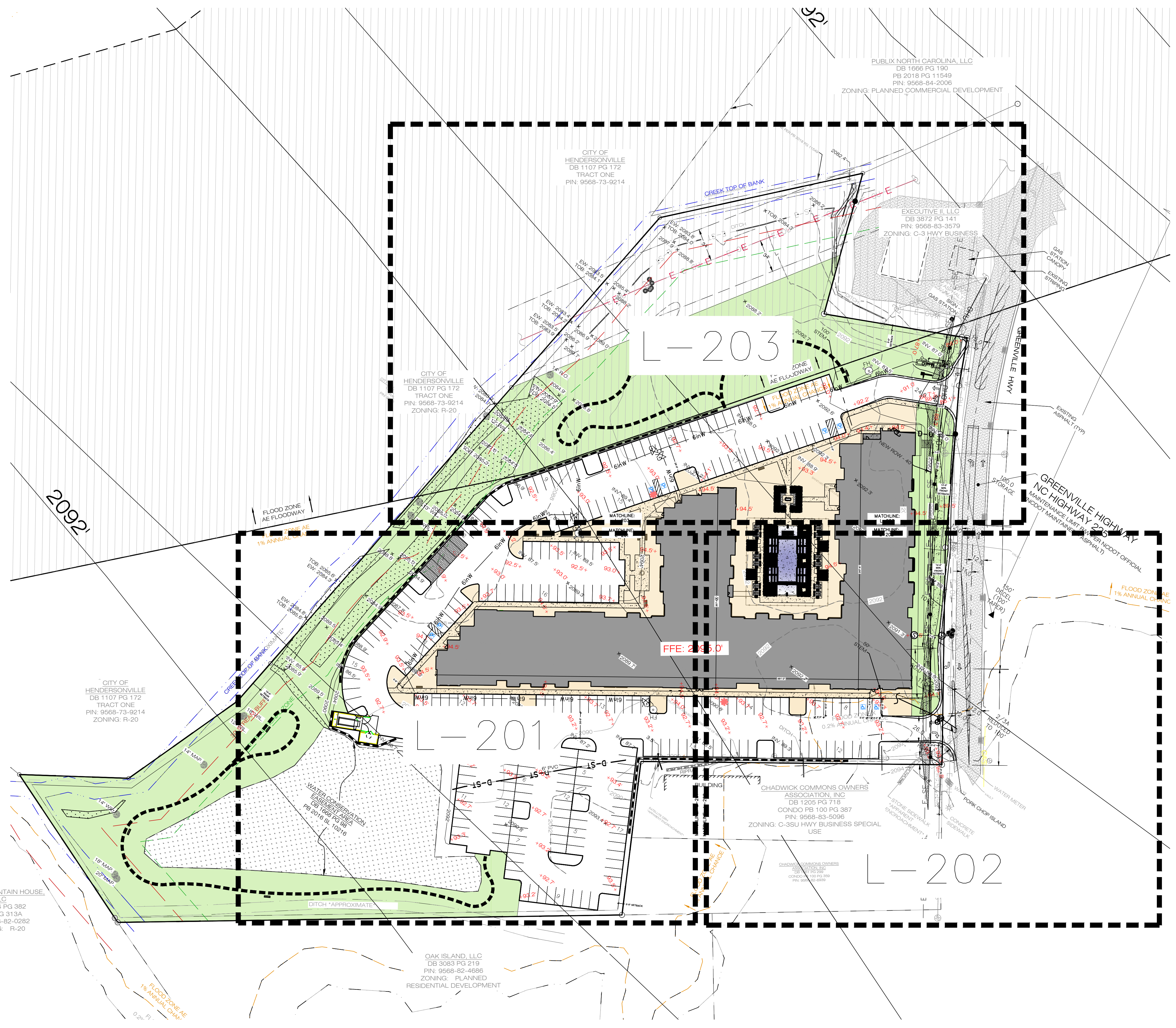
OVERALL SITE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	C2D SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.

L-200



HANNA MOUNTAIN HOUSE, LLC  
DB 1674 PG 382  
PB B PG 313A  
PIN: 9568-82-0282  
ZONING: R-20

OAK ISLAND, LLC  
DB 3083 PG 219  
PIN: 9568-82-4686  
ZONING: PLANNED  
RESIDENTIAL DEVELOPMENT

CHADWICK COMMONS OWNERS ASSOCIATION, INC  
DB 1205 PG 718  
CONDO PB 100 PG 387  
PIN: 9568-83-5096  
ZONING: C-3SU HWY BUSINESS SPECIAL USE

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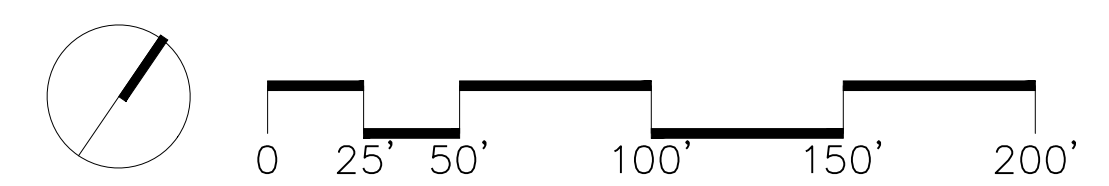
PUBLIX NORTH CAROLINA, LLC  
DB 1666 PG 190  
PB 2018 PG 11549  
PIN: 9568-84-2006  
ZONING: PLANNED COMMERCIAL DEVELOPMENT

EXECUTIVE II, LLC  
DB 3872 PG 141  
PIN: 9568-83-3579  
ZONING: C-3 HWY BUSINESS

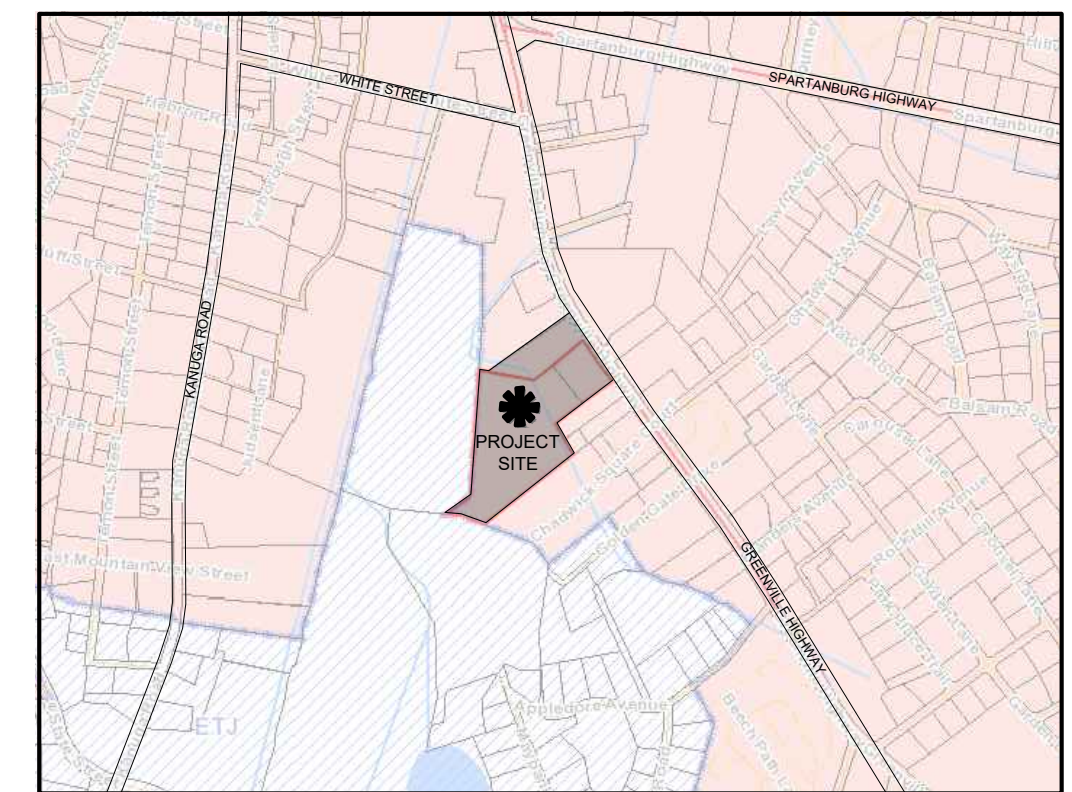
CITY OF HENDERSONVILLE  
DB 1107 PG 172  
TRACT ONE  
PIN: 9568-73-9214

CITY OF HENDERSONVILLE  
DB 1107 PG 172  
TRACT ONE  
PIN: 9568-73-9214  
ZONING: R-20

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DB 1107 PG 172  
TRACT ONE  
PIN: 9568-73-9214  
ZONING: R-20



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2	11.4.24	P&Z SUBMITTAL



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
BUILDING GROSS FLOOR AREA: 231,037 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING FOOTPRINT: 58,367 SF  
PERCENTAGE OF TOTAL SITE: 8.2%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS  
PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
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DEVELOPER:  
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CIVIL ENGINEER:  
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BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCZ  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
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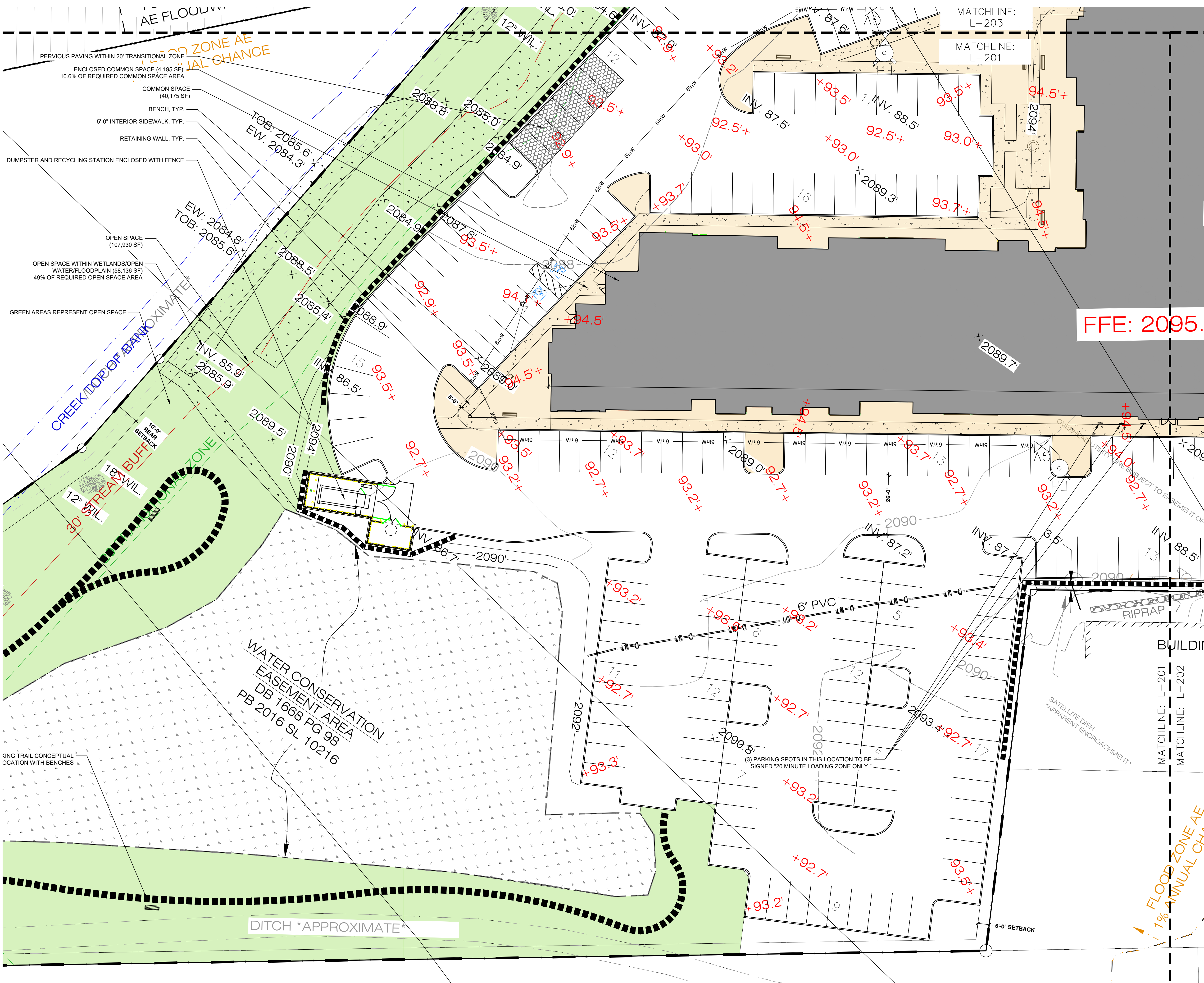
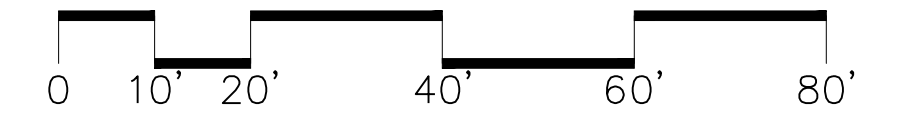
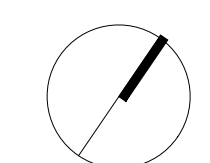
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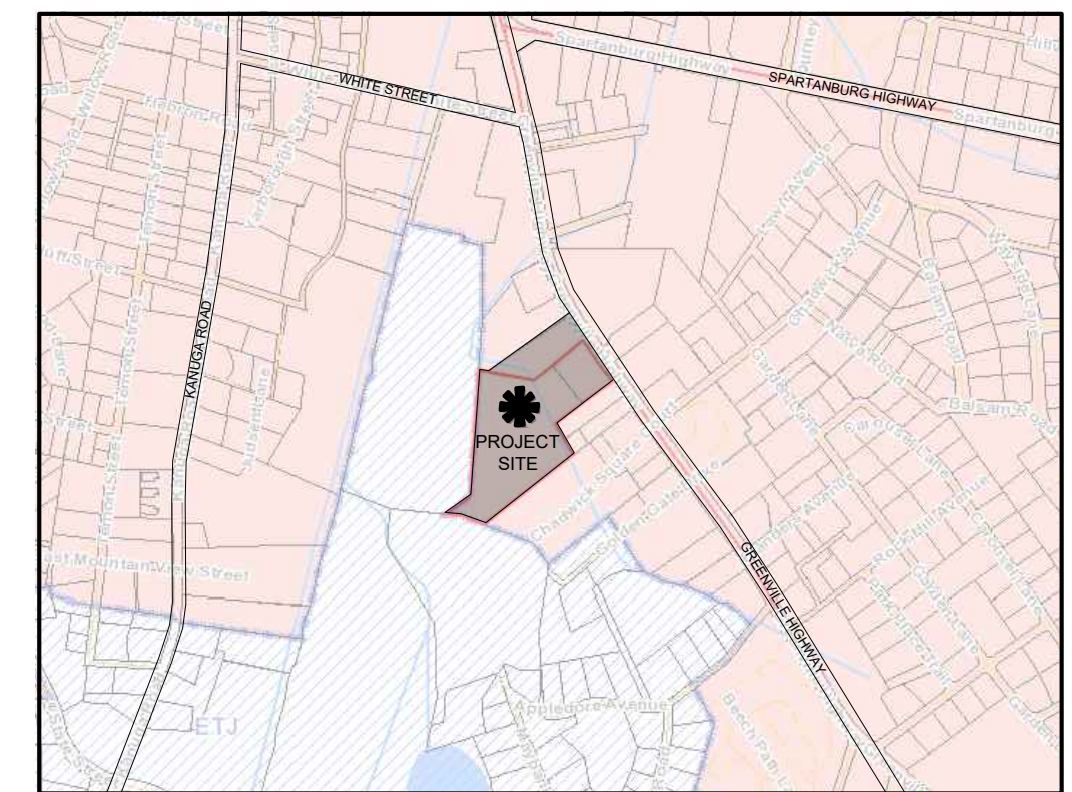
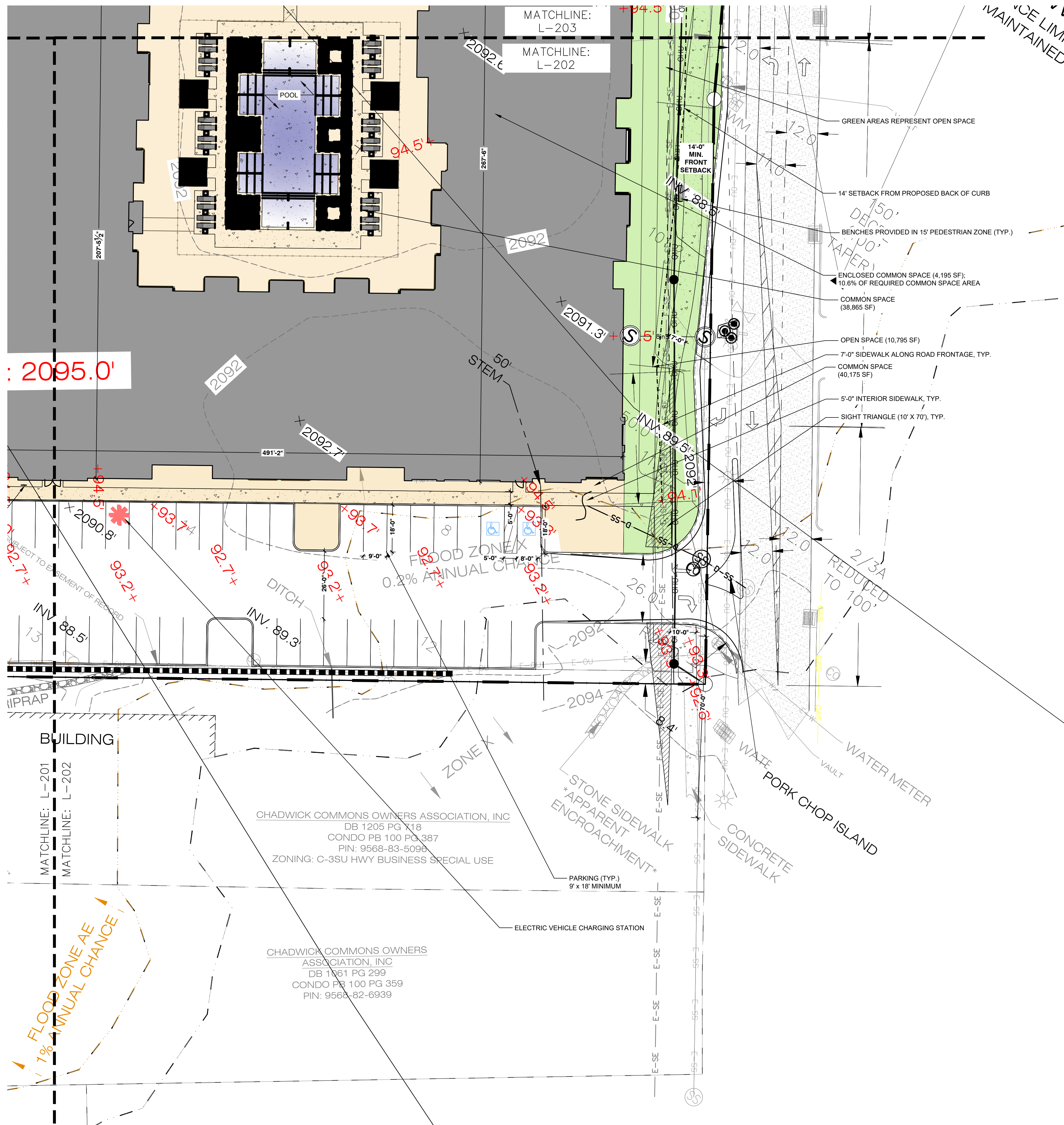
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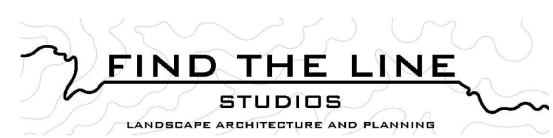
OPEN SPACE REQUIREMENTS:  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
9.5% OF REQUIRED COMMON SPACE AREA

PARKING REQUIREMENTS:  
PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS:  
NUMBER OF UNITS: 185 UNITS (170 1/2 BEDROOM & 15 3 BEDROOM)  
PARKING REQUIRED: 193 SPACES  
PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)



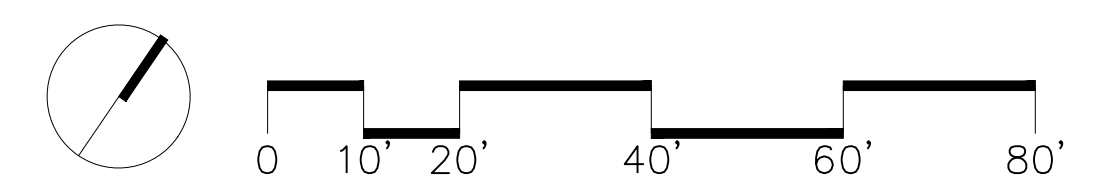
CONSULTANTS

NOT FOR  
CONSTRUCTION

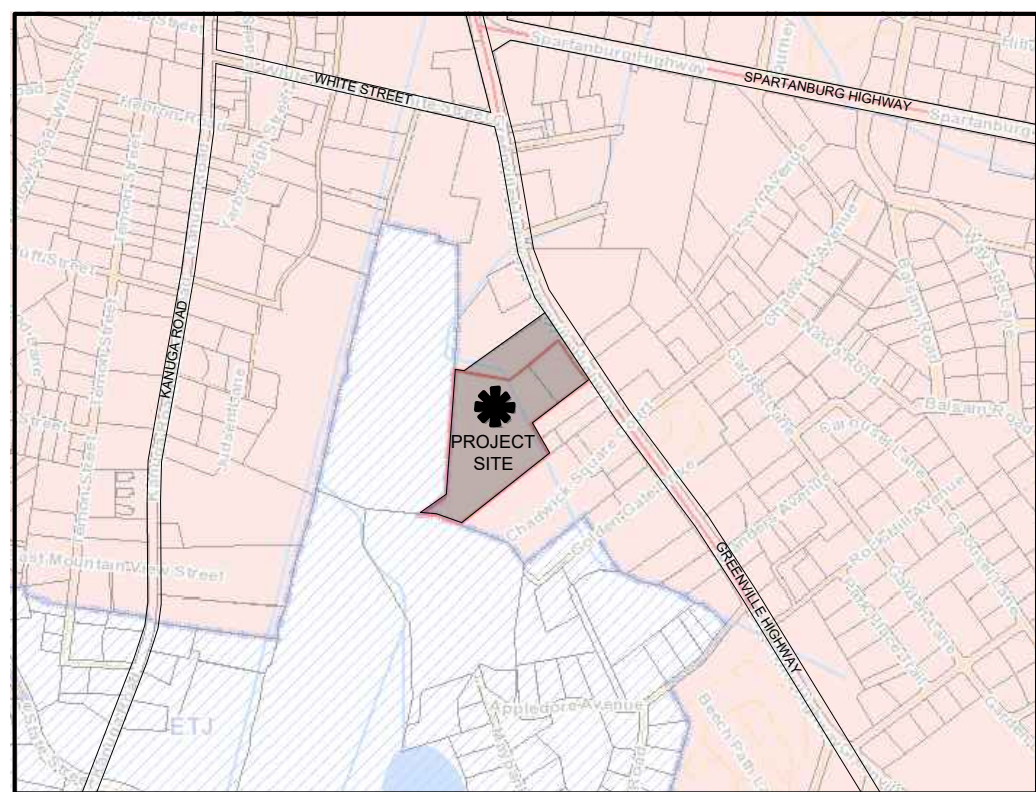
715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR:  
FIRST VICTORY INC.  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PRELIMINARY SITE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL



SHEET NO.  
L-202



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
BUILDING GROSS FLOOR AREA: 231,037 SF

BUILDING FOOTPRINT: 58,367 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS  
PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
SIDE: 5'  
REAR: 10'

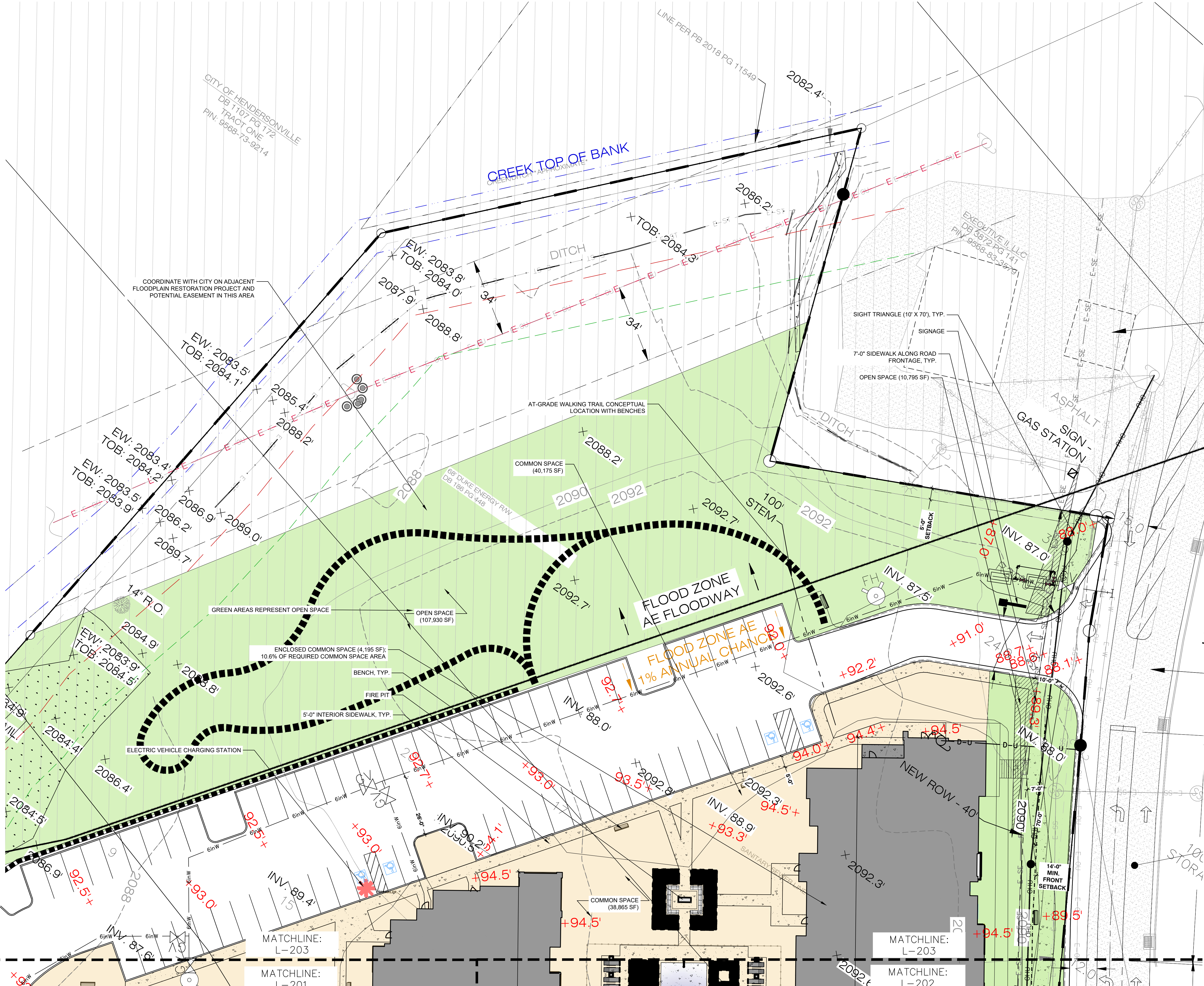
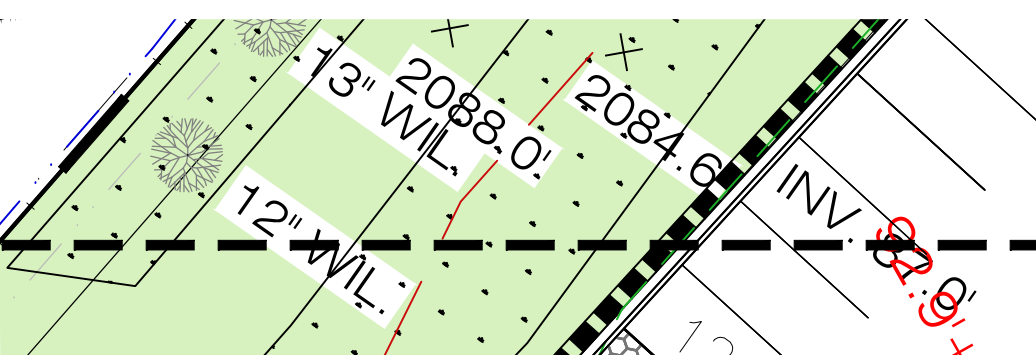
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OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
49% OF REQUIRED OPEN SPACE AREA

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COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
9.5% OF REQUIRED COMMON SPACE AREA

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PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS:  
NUMBER OF UNITS: 185 UNITS (170 1/2 BEDROOM & 15 3 BEDROOM)  
PARKING REQUIRED: 193 SPACES  
PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)



CONSULTANTS

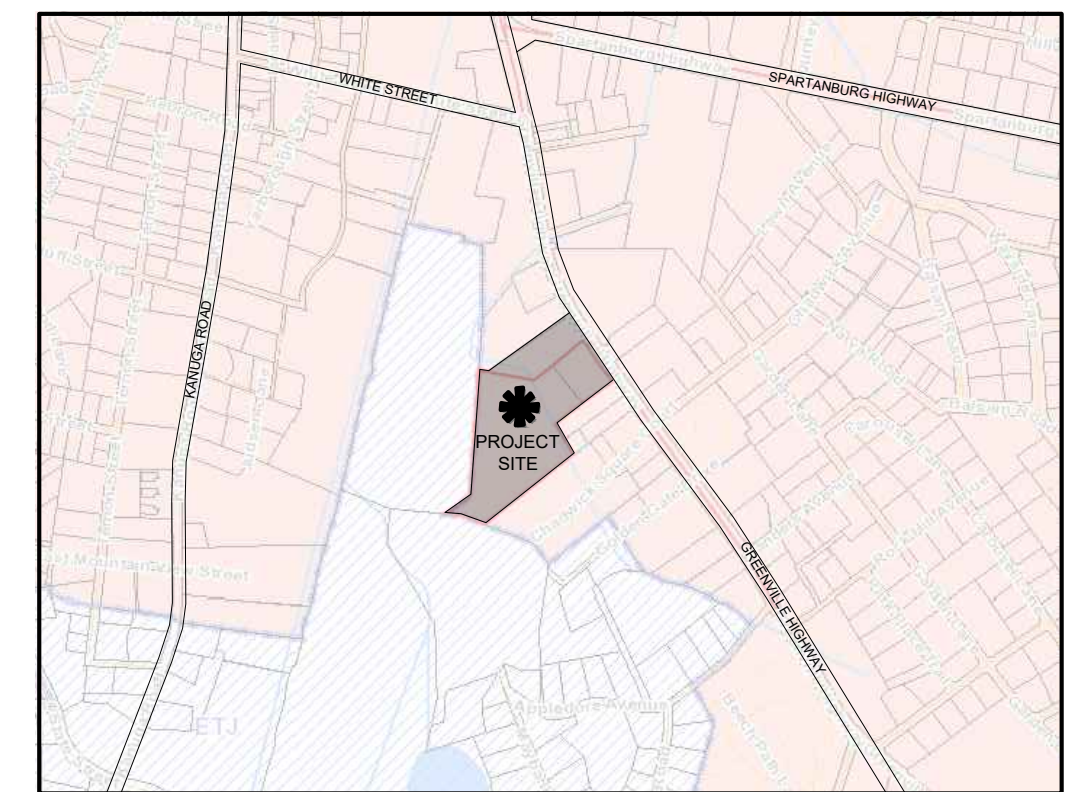
NOT FOR  
CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PREPARED FOR:  
FIRST VICTORY INC.  
PRELIMINARY SITE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.  
L-203



VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

**CIVIL ENGINEER:**  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

**OPEN SPACE REQUIREMENTS:**  
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OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
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COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
9.5% OF REQUIRED COMMON SPACE AREA

**LANDSCAPE REQUIREMENTS:**

**VEHICLE USE AREA (VUA):**  
1 TREE AND 2 SHRUBS PER 3,000 SF  
TOTAL VUA: 102,231 SF  
TREES REQUIRED: 35 TREES  
TREES PROVIDED: 74 TREES  
SHRUBS REQUIRED: 69 SHRUBS  
SHRUBS PROVIDED: 73 SHRUBS

**PLANTING STRIPS (PS):**  
1 TREE & 5 SHRUBS PER 40LF  
TOTAL LF: 374 LF  
TREES REQUIRED: 10 TREES  
TREES PROVIDED: 11 TREES  
SHRUBS REQUIRED: 47 SHRUBS  
SHRUBS PROVIDED: 62 SHRUBS

**STREET TREES (ST):**  
1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET  
TOTAL LF: 422 LF (715 GREENVILLE HWY)  
TREES REQUIRED: 13 (10 LARGE MATURING TREES / 3 MEDIUM MATURING)  
TREES PROVIDED: 10 LARGE-MATURING TREES / 5 MEDIUM MATURING TREE

**COMMON SPACE TREE PLANTINGS (CS):**  
1 TREE AND 5 SHRUBS PER 1,200 SF  
TOTAL COMMON SPACE PROVIDED: 44,372 SF  
TOTAL TREE PLANTINGS REQUIRED: 37  
TOTAL TREE PLANTINGS PROPOSED: 84  
TOTAL SHRUB PLANTINGS REQUIRED: 185  
TOTAL SHRUB PLANTINGS PROVIDED: 250

**OPEN SPACE LANDSCAPING (OS):**  
1 TREE AND 5 SHRUBS PER 4,000 SF  
TOTAL OPEN SPACE PROVIDED: 118,725 SF  
TOTAL TREE PLANTINGS REQUIRED: 30  
TOTAL TREE PLANTINGS PROPOSED: 32  
TOTAL SHRUB PLANTINGS REQUIRED: 148  
TOTAL SHRUB PLANTINGS PROVIDED: 150

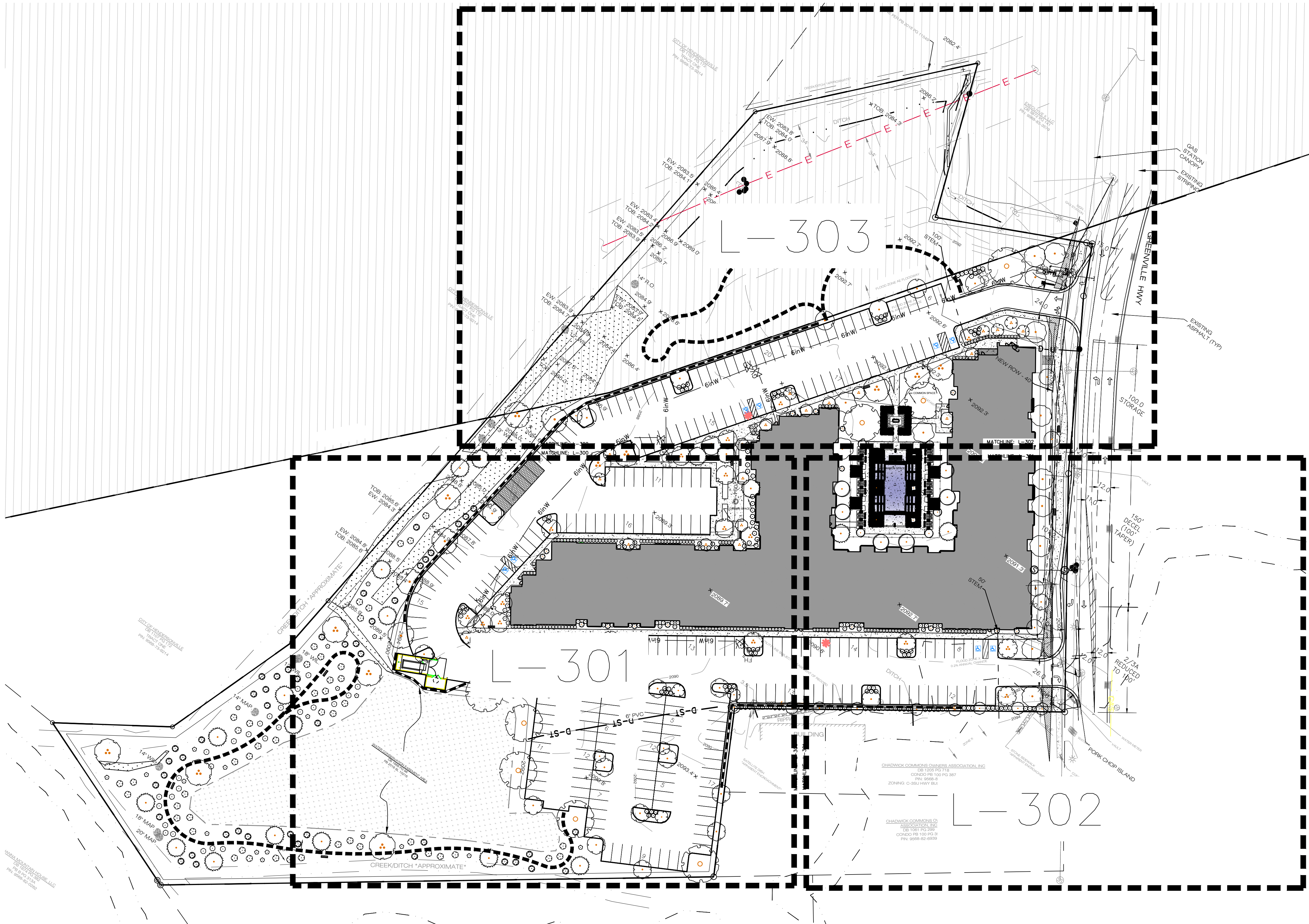
**COMPLIANCE NOTES**

- ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS. ALL SIDEWALKS SHALL PROVIDE ADEQUATE HANDICAP ACCESSIBILITY AT CROSSWALKS.
- ANY PLANT MATERIAL TO BE INSTALLED IN THE R.O.W. SHALL BE APPROVED WITH AN ENCROACHMENT AGREEMENT WITH NCDOT.
- LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWERLINES AND SEWERLINE EASEMENTS. NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.
- ALL PROPOSED PARKING SPACES ARE WITHIN 45' OF A VUA TREE PLANTING AS REQUIRED.
- 50% OFF ALL REQUIRED VUA PLANTINGS ARE LOCATED WITHIN PROPOSED LANDSCAPE ISLANDS AS REQUIRED.

**PLANTING LEGEND**

VUA = VEHICULAR USE AREA REQUIREMENT  
PS = PLANTING STRIP REQUIREMENT  
ST = STREET TREE REQUIREMENT  
CS = COMMON SPACE REQUIREMENT  
OS = OPEN SPACE REQUIREMENT

# OF PLANTS Plant Description  
3 Large Deciduous Tree (ST)  
ZONING USE ABBREVIATION (SEE LEGEND)



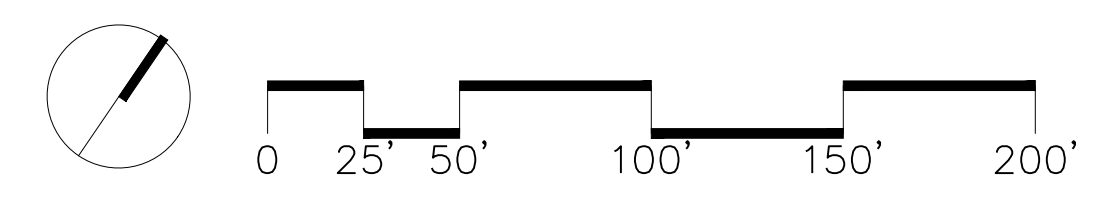
715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR:  
FIRST VICTORY INC.  
OVERALL LANDSCAPE PLAN

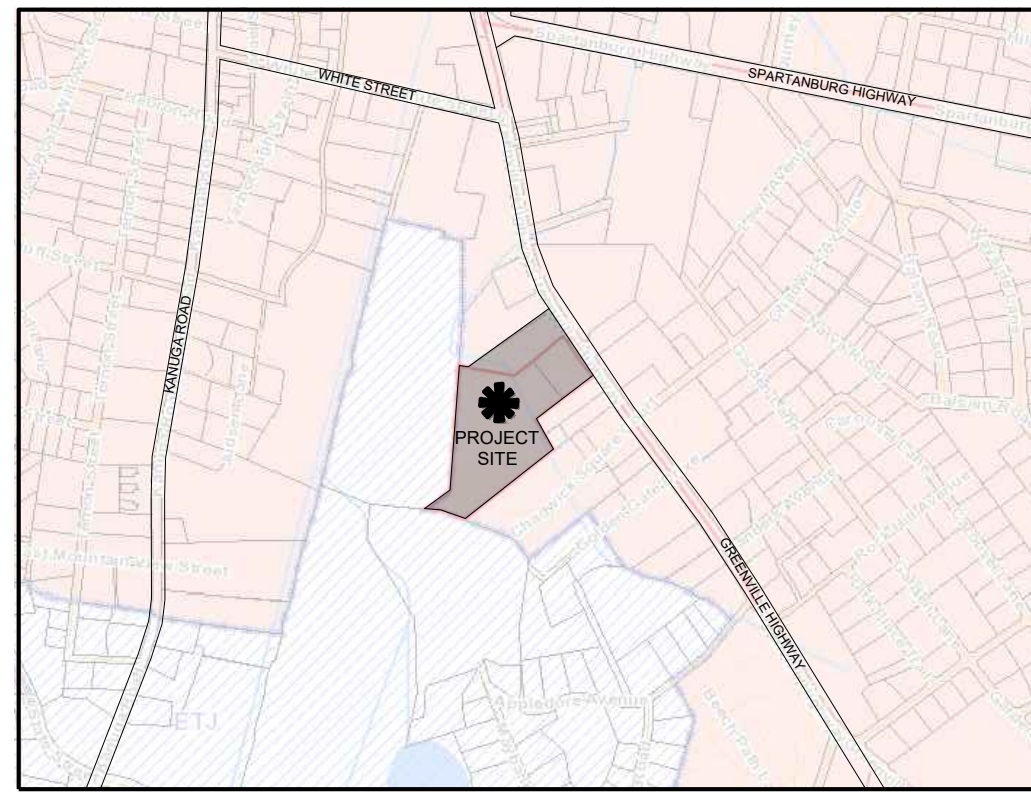
**PLAN SET**

#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.

L-300





VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

**CIVIL ENGINEER:**  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

**OPEN SPACE REQUIREMENTS:**  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,726 SF (30.3%)

**OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF):**  
49% OF REQUIRED OPEN SPACE AREA

**COMMON SPACE REQUIREMENTS:**  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

**ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):**  
9.5% OF REQUIRED COMMON SPACE AREA

**LANDSCAPE REQUIREMENTS:**

**VEHICLE USE AREA (VUA):**  
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TOTAL VUA: 102,231 SF  
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**STREET TREES (ST):**  
1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET  
TOTAL LF: 422 LF (715 GREENVILLE HWY)  
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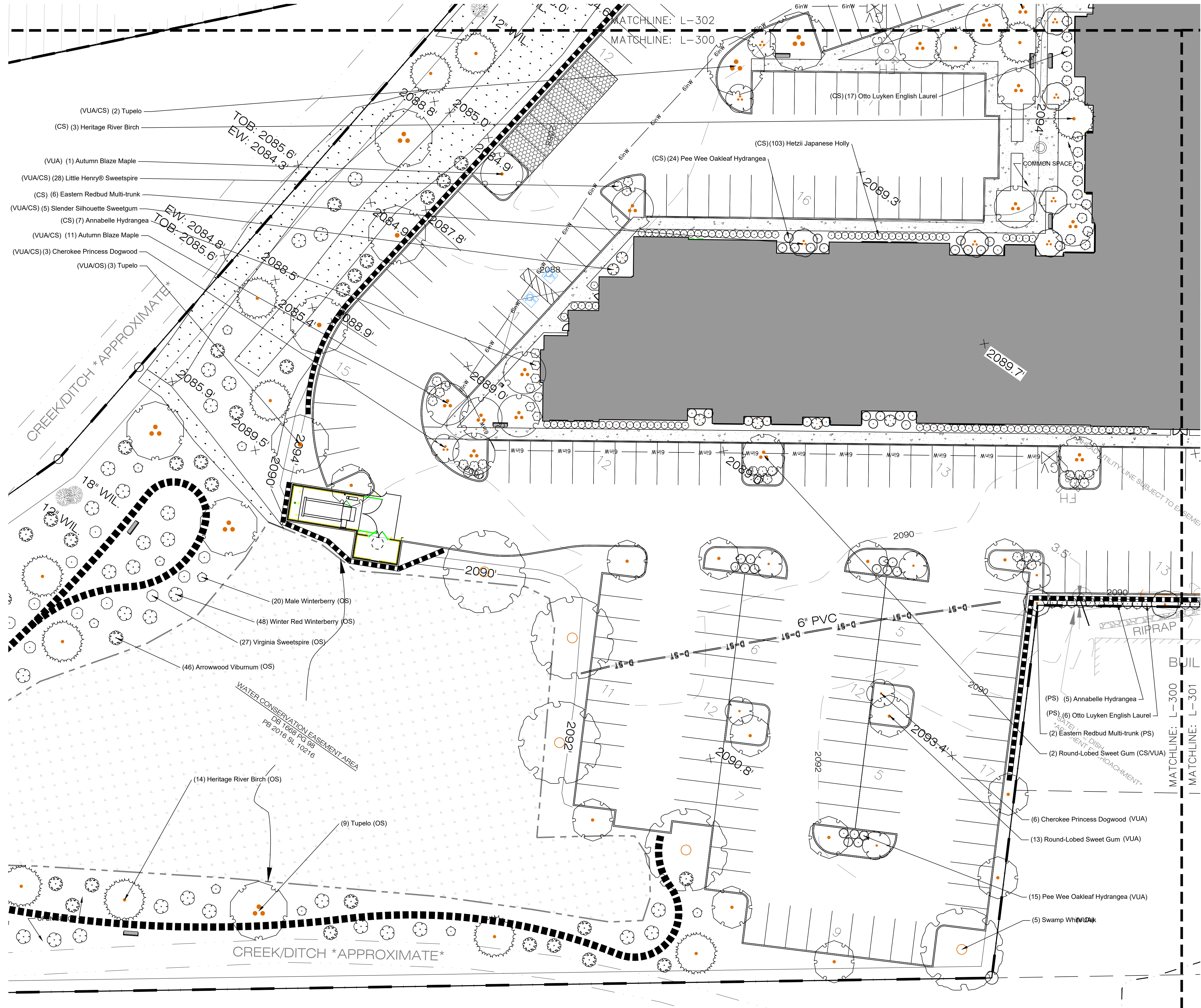
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# OF PLANTS	Plant Description
3	Large Deciduous Tree (ST)
	ZONING USE ABBREVIATION (SEE LEGEND)

- COMPLIANCE NOTES**
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CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PREPARED FOR:  
FIRST VICTORY INC.  
PRELIMINARY LANDSCAPE PLAN

**PLAN SET**

#	DATE	DESCRIPTION
1	7.29.24	C2D SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.  
L-301



**LANDSCAPE REQUIREMENTS:**

**VEHICLE USE AREA (VUA):**  
 1 TREE AND 2 SHRUBS PER 3,000 SF  
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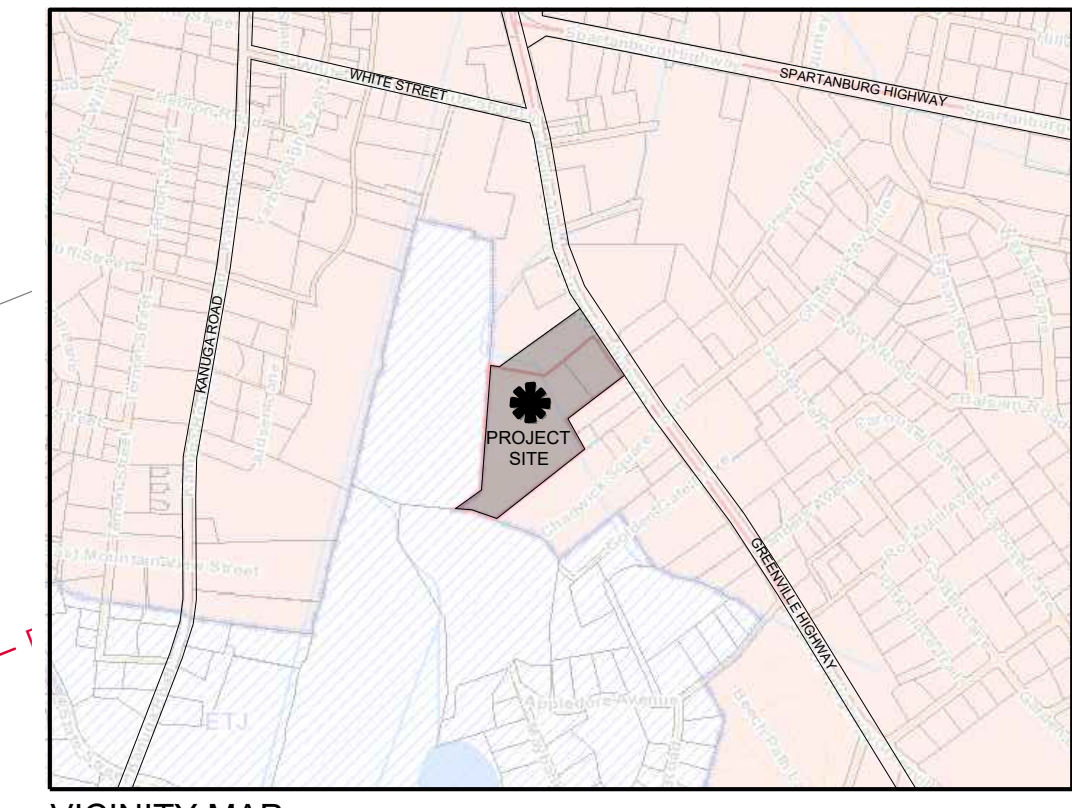
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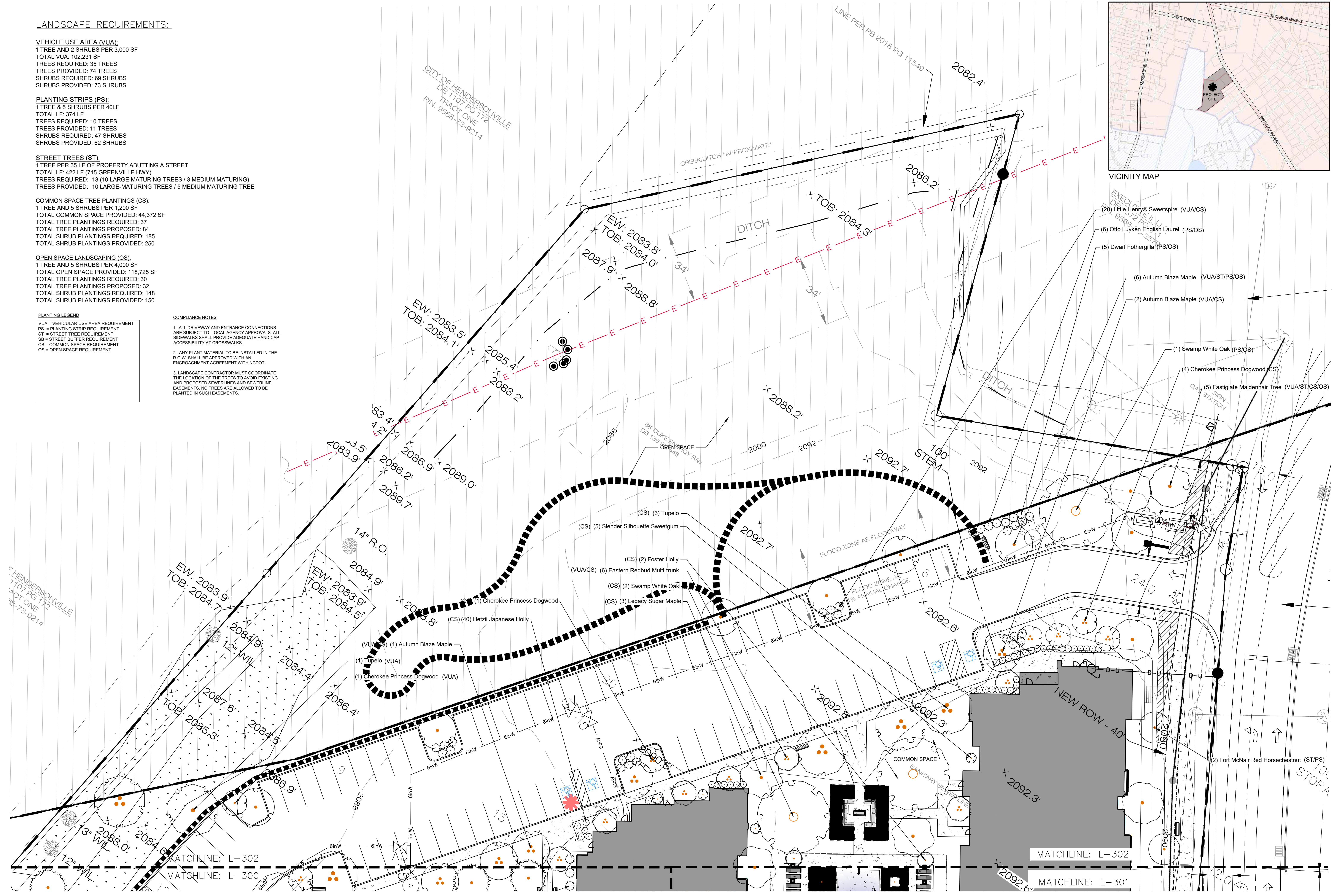
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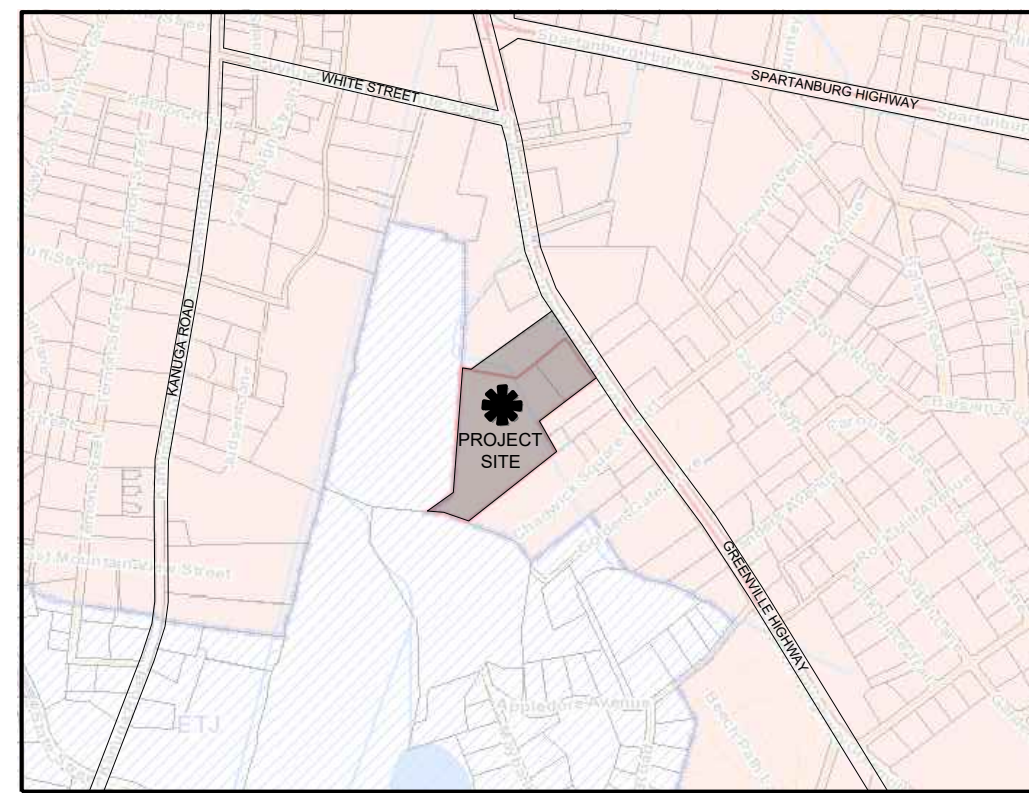
VICINITY MAP



715 GREENVILLE HWY MULTI-FAMILY  
 715 GREENVILLE HWY  
 HENDERSONVILLE, NC  
 PREPARED FOR:  
 FIRST VICTORY INC.  
 PRELIMINARY LANDSCAPE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	C2D SUBMITTAL
2	11.4.24	P&Z SUBMITTAL



VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
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**CIVIL ENGINEER:**  
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TOTAL SHRUB PLANTINGS PROVIDED: 150

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
<b>TREES</b>					
	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	3	
	Acer x freemanii 'Jeffsred' / Autumn Blaze Maple	1.5" Cal.	B&B	7	
	Acer x freemanii 'Jeffsred' / Autumn Blaze Maple	3" Cal.	B&B	14	
	Aesculus x camea 'Fort McNair' / Fort McNair Red Horsechestnut	3" Cal.	B&B	5	
	Betula nigra 'Heritage' / Heritage River Birch	3" Cal.	B&B	19	Multi-Stemmed
	Cercis canadensis / Eastern Redbud Multi-trunk	1.5" Cal.	B&B	9	
	Cercis canadensis / Eastern Redbud Multi-trunk	3" Cal.	B&B	12	
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	3" Cal.		8	
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	5'-6' HT		7	
	Ginkgo biloba 'Fastigiata' / Fastigate Maidenhair Tree	3" Cal.	B&B	10	
	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	3" Cal.	B&B	6	
	Ilex x attenuata 'Fosteri' / Foster Holly	3" Cal.	B&B	5	
	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	1.5" Cal.	B&B	14	
	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	3" Cal.	B&B	5	
	Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweetgum	3" Cal.	B&B	15	
	Magnolia virginiana / Sweet Bay Magnolia	3" Cal.	B&B	6	
	Nyssa sylvatica / Tupelo	1.5" Cal.	B&B	4	
	Nyssa sylvatica / Tupelo	3" Cal.	B&B	12	
	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	8	
<b>SHRUBS</b>					
	Fothergilla gardenii / Dwarf Fothergilla	3 gal.		5	
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	3 gal.		26	
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	3 gal.		51	
	Ilex crenata 'Hetzi' / Hetzii Japanese Holly	3 gal.		184	
	Ilex verticillata 'Male' / Male Winterberry	3 gal.		20	
	Ilex verticillata 'Winter Red' / Winter Red Winterberry	3 gal.		48	
	Itea virginica / Virginia Sweetspire	3 gal.		27	
	Itea virginica 'Sprich' / Little Henry® Sweetspire	3 gal.		58	
	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	3 gal.		53	
	Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum	3 gal.		46	

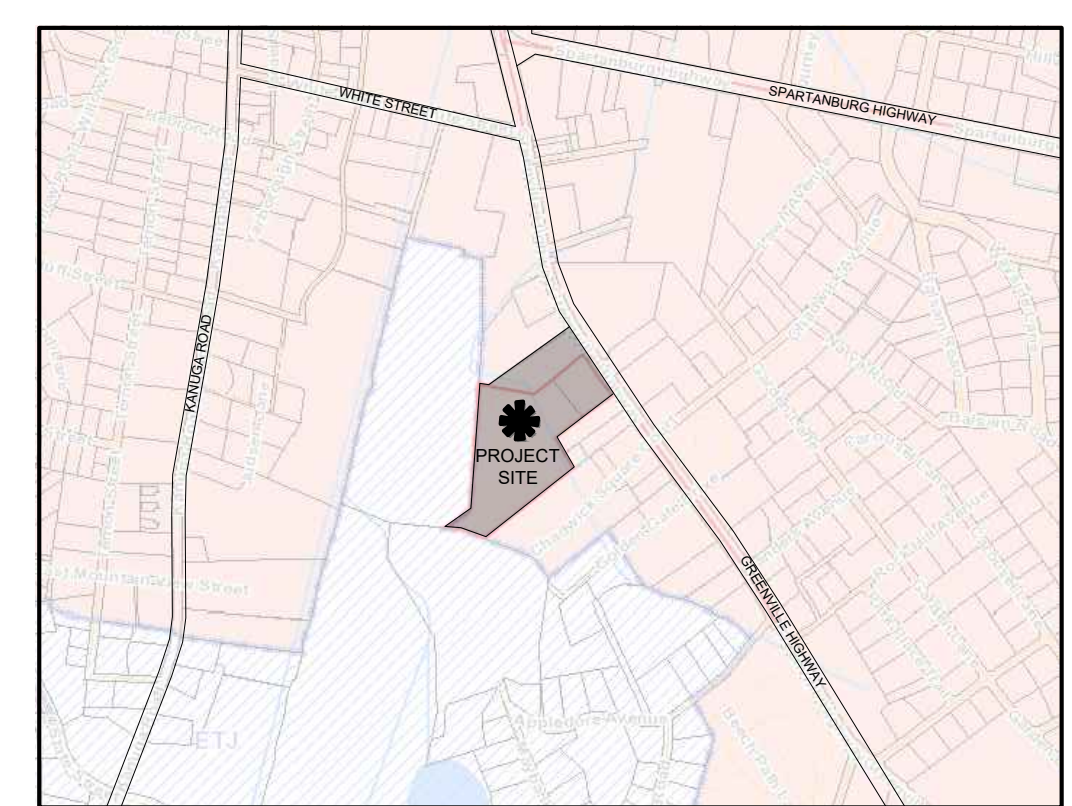
NOT FOR  
CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PREPARED FOR:  
FIRST VICTORY INC.  
PRELIMINARY LANDSCAPE  
PLAN

PLAN SET		
#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

PLAN SET

#	DATE	DESCRIPTION
1	11.4.24	P&Z SUBMITTAL



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
BUILDING GROSS FLOOR AREA: 231,037 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING FOOTPRINT: 58,367 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS  
PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

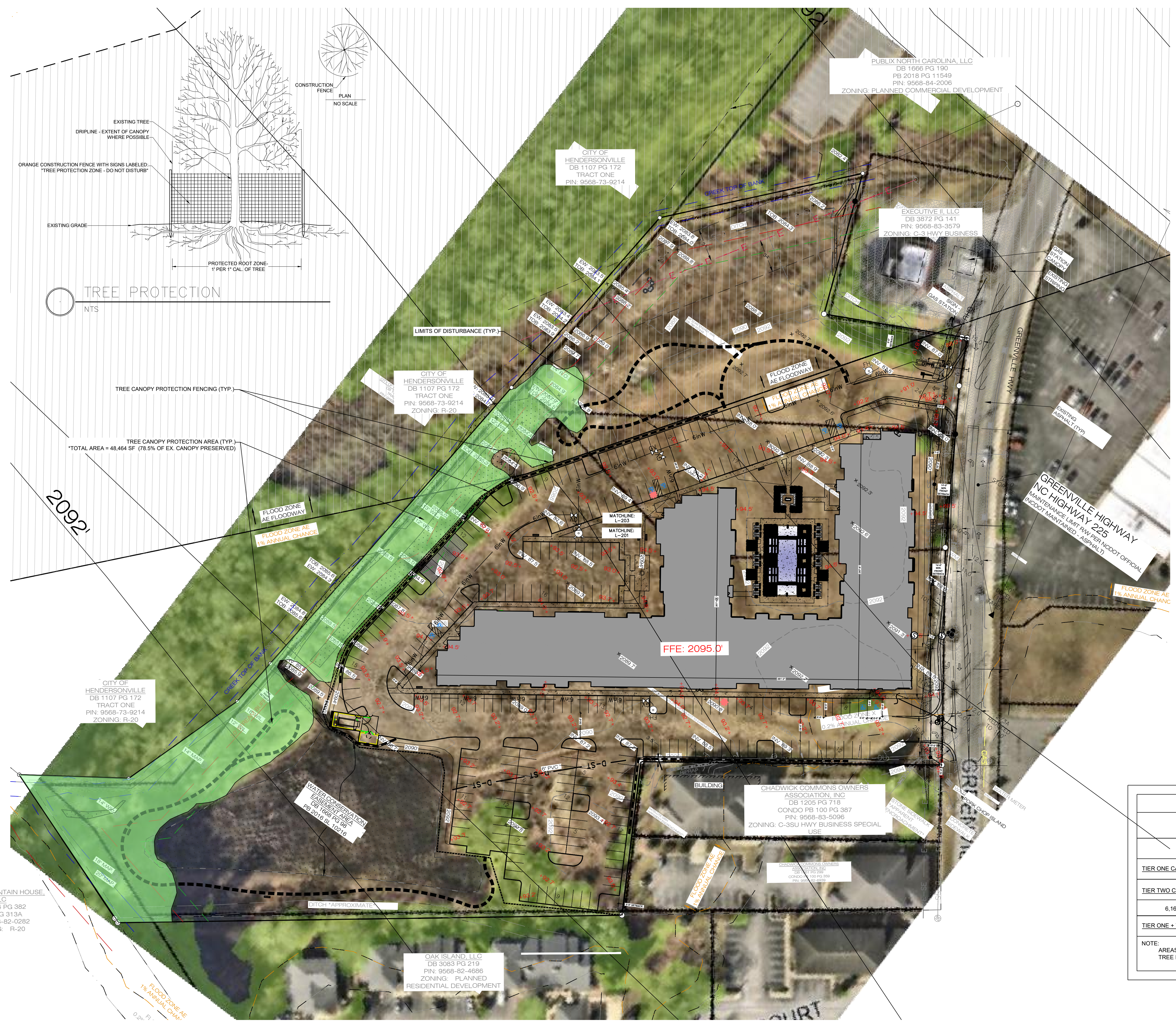
PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

TREE CANOPY PROTECTION DATA				
TOTAL LAND AREA: 392,475.6 SF (9.01 AC)				
EXISTING TREE CANOPY (FROM GIS TREE CANOPY MAP): 15.7% (61,672.68 SF)				
TIER ONE CANOPY REQUIRED	20%	(12,334.5 sf)	TIER ONE CANOPY PROVIDED	20% (12,334.5 SF)
TIER TWO CANOPY REQUIRED	6,167.3 sf (10%)		TIER TWO PRESERVED	36,129.5 sf (58.5%)
			TIER TWO PLANTED	0 sf (0%)
			TIER TWO PAYMENT-IN-LIEU	0 sf (0%)
TIER ONE + TIER TWO TOTAL CANOPY PRESERVED: 78.5% (48,464 SF)				
NOTE: AREAS DESIGNATED AS TREE CANOPY PROTECTION AREAS SHALL REMAIN AS SUCH IN PERPETUITY. TREE REMOVAL SHALL BE PROHIBITED IN THESE AREAS UNLESS OTHERWISE PERMITTED.				



HANNA MOUNTAIN HOUSE, LLC  
DB 1674 PG 382  
PB B PG 313A  
PIN: 9568-82-0282  
ZONING: R-20

OAK ISLAND, LLC  
DB 3083 PG 219  
PIN: 9568-82-4686  
ZONING: PLANNED  
RESIDENTIAL DEVELOPMENT

CHADWICK COMMONS OWNERS ASSOCIATION, INC  
DB 1205 PG 718  
CONDO PB 100 PG 387  
PIN: 9568-83-5096  
ZONING: C-3SU HWY BUSINESS SPECIAL USE

STERNE DEVELOPMENT GROUP, LLC  
DB 1199 PG 209  
CONDO PB 100 PG 388  
PIN: 9568-83-5098

PUBLIX NORTH CAROLINA, LLC  
DB 1666 PG 190  
PB 2018 PG 11549  
PIN: 9568-84-2006  
ZONING: PLANNED COMMERCIAL DEVELOPMENT

EXECUTIVE II, LLC  
DB 3872 PG 141  
PIN: 9568-83-3579  
ZONING: C-3 HWY BUSINESS

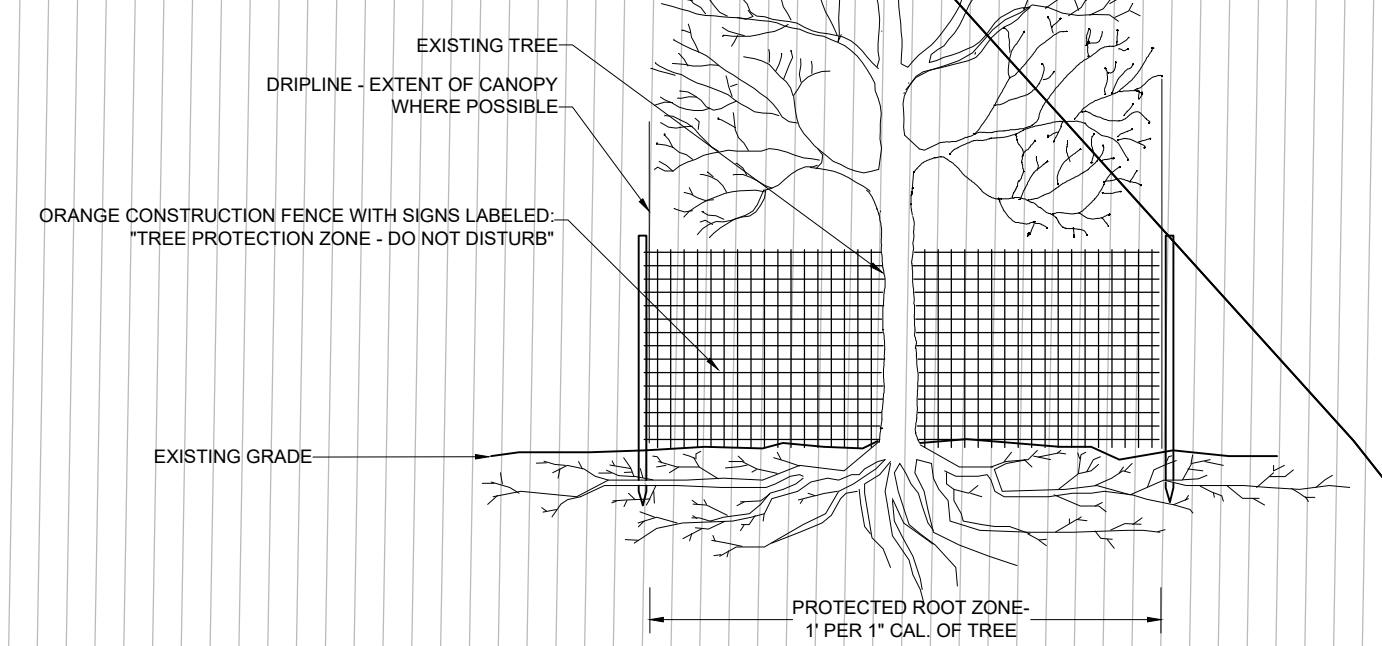
CITY OF HENDERSONVILLE  
DB 1107 PG 172  
TRACT ONE  
PIN: 9568-73-9214

CITY OF HENDERSONVILLE  
DB 1107 PG 172  
TRACT ONE  
PIN: 9568-73-9214  
ZONING: R-20

CITY OF HENDERSONVILLE  
DB 1107 PG 172  
TRACT ONE  
PIN: 9568-73-9214  
ZONING: R-20

WATER CONSERVATION ESSENTIAL AREA  
DB 2116 PG 69  
PB 2116 SL 10216

TREE PROTECTION  
NTS





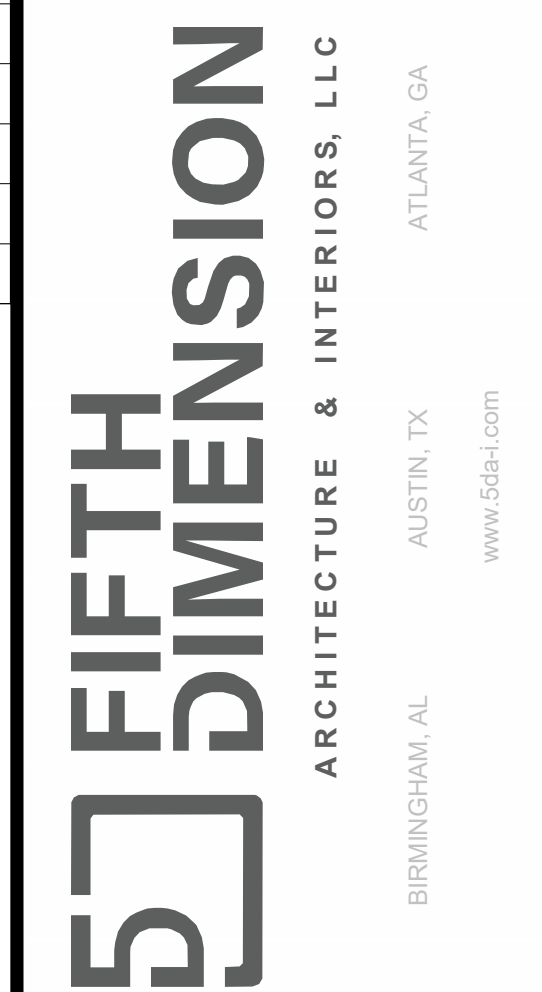


**EXTERIOR MATERIAL LEGEND**

(M1)	BRICK VENEER
(L1)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 1
(L2)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 2
(L3)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 3
(L4)	FIBER CEMENT LAP SIDING, STAGGERED - PAINT 2
(L5)	FIBER CEMENT LAP SIDING, 2" EXPOSURE DIAGONAL - PAINT 2
(P1)	FIBER CEMENT PANELS - PAINT 1
(P2)	FIBER CEMENT PANELS - PAINT 2
(B1)	BOARD & BATTEN - PAINT 1
(B2)	BOARD & BATTEN - PAINT 2
(R1)	ASPHALT SHINGLE ROOF
(R2)	METAL ROOF

PRELIMINARY

FOR INTERIM REVIEW ONLY.  
NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION.



PLANNING AND  
ZONING  
SUBMITTAL

**715 GREENVILLE HIGHWAY  
MULTIFAMILY**  
CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

**REVISIONS**

Δ	DATE	DESCRIPTION
2	12/15/2023	PLANNING AND ZONING SUBMITTAL
3	1/02/2024	PLANNING AND ZONING RESUBMITTAL

PROJ. NO.	ISSUE DATE
23013	10/31/23

SHEET NAME:  
ELEVATIONS - E  
FACADE & NE  
CORNER

SHEET NO:  
**A2.01**



**2** NORTH ELEVATION - LEASING ENTRY  
SCALE: 1/8" = 1'-0"



**1** EAST ELEVATION - GREENVILLE HIGHWAY  
FRONTAGE  
SCALE: 1/8" = 1'-0"



**3 SOUTH ELEVATION - RIGHT**  
SCALE: NTS

**EXTERIOR MATERIAL LEGEND**

(M1)	BRICK VENEER
(L1)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 1
(L2)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 2
(L3)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 3
(L4)	FIBER CEMENT LAP SIDING, STAGGERED - PAINT 2
(L5)	FIBER CEMENT LAP SIDING, 2" EXPOSURE DIAGONAL - PAINT 2
(P1)	FIBER CEMENT PANELS - PAINT 1
(P2)	FIBER CEMENT PANELS - PAINT 2
(B1)	BOARD & BATTEN - PAINT 1
(B2)	BOARD & BATTEN - PAINT 2
(R1)	ASPHALT SHINGLE ROOF
(R2)	METAL ROOF



**2 SOUTH ELEVATION - LEFT**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION - OVERALL**  
SCALE: 1/16" = 1'-0"

PRELIMINARY

FOR INTERIM REVIEW ONLY.  
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OR CONSTRUCTION.

**FIFTH DIMENSION**  
ARCHITECTURE & INTERIORS, LLC  
ATLANTA, GA  
BIRMINGHAM, AL  
AUSTIN, TX  
www.5dhi.com

PLANNING AND  
ZONING  
SUBMITTAL

**715 GREENVILLE HIGHWAY  
MULTIFAMILY**  
CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

**REVISIONS**

Δ	DATE	DESCRIPTION
2	12/15/2023	PLANNING AND ZONING SUBMITTAL
3	1/02/2024	PLANNING AND ZONING RESUBMITTAL

PROJ. NO. 23013 | ISSUE DATE 10/31/23

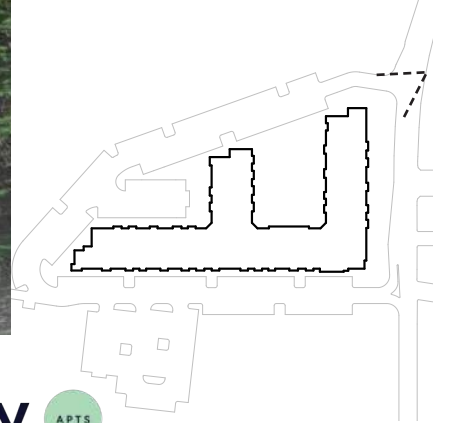
SHEET NAME:  
ELEVATIONS - S  
FACADE

SHEET NO:  
**A2.02**



# EXTERIOR CONCEPTS

LPA HENDERSONVILLE MULT-FAMILY | HENDERSONVILLE, NC | OCTOBER 01, 2024



MAIN LEASING CORNER AND ENTRY



REAR ENTRIES

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022



STREET VIEW

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022



SOUTH ENTRANCE

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022



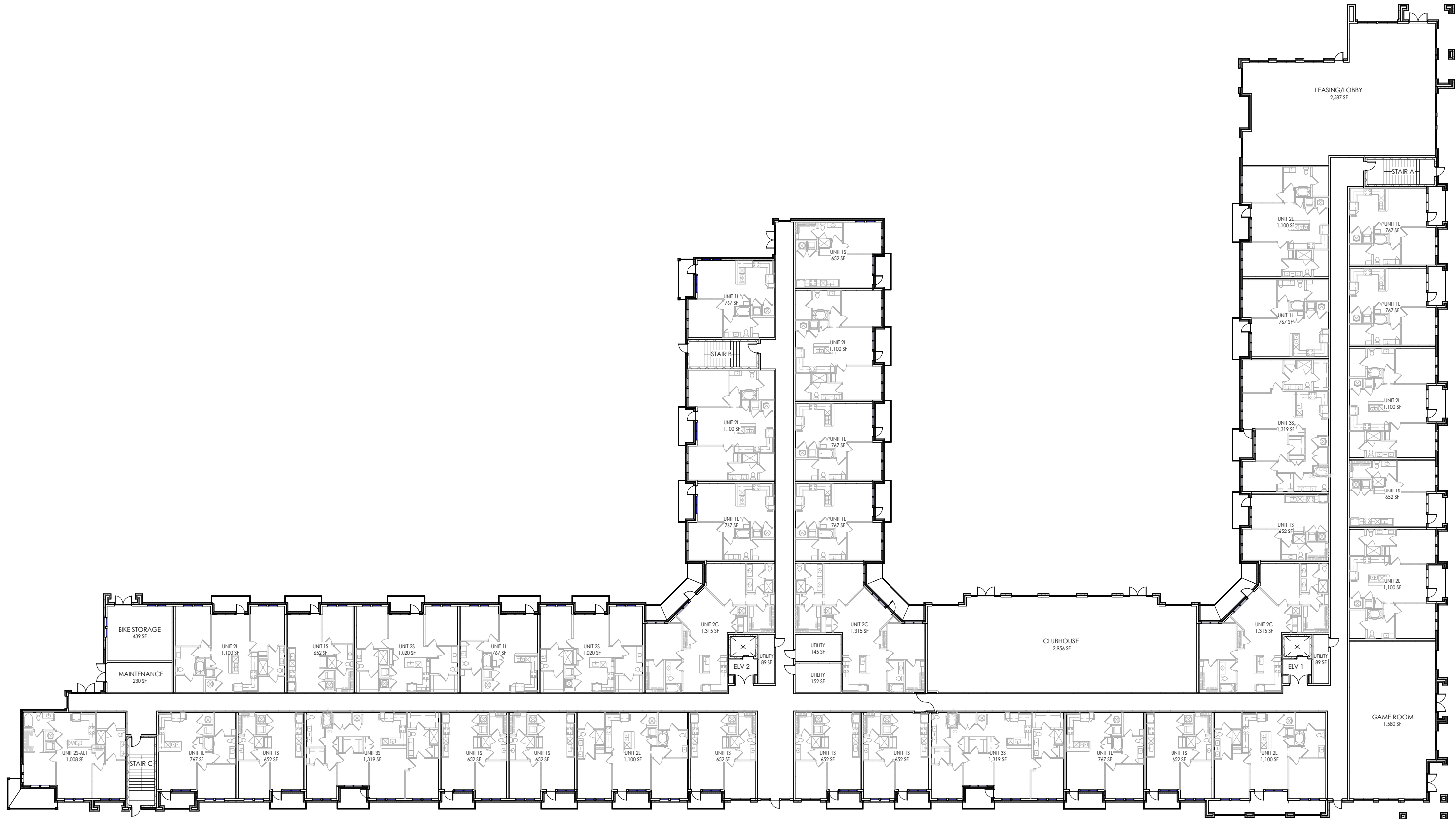


POOL COURTYARD

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022

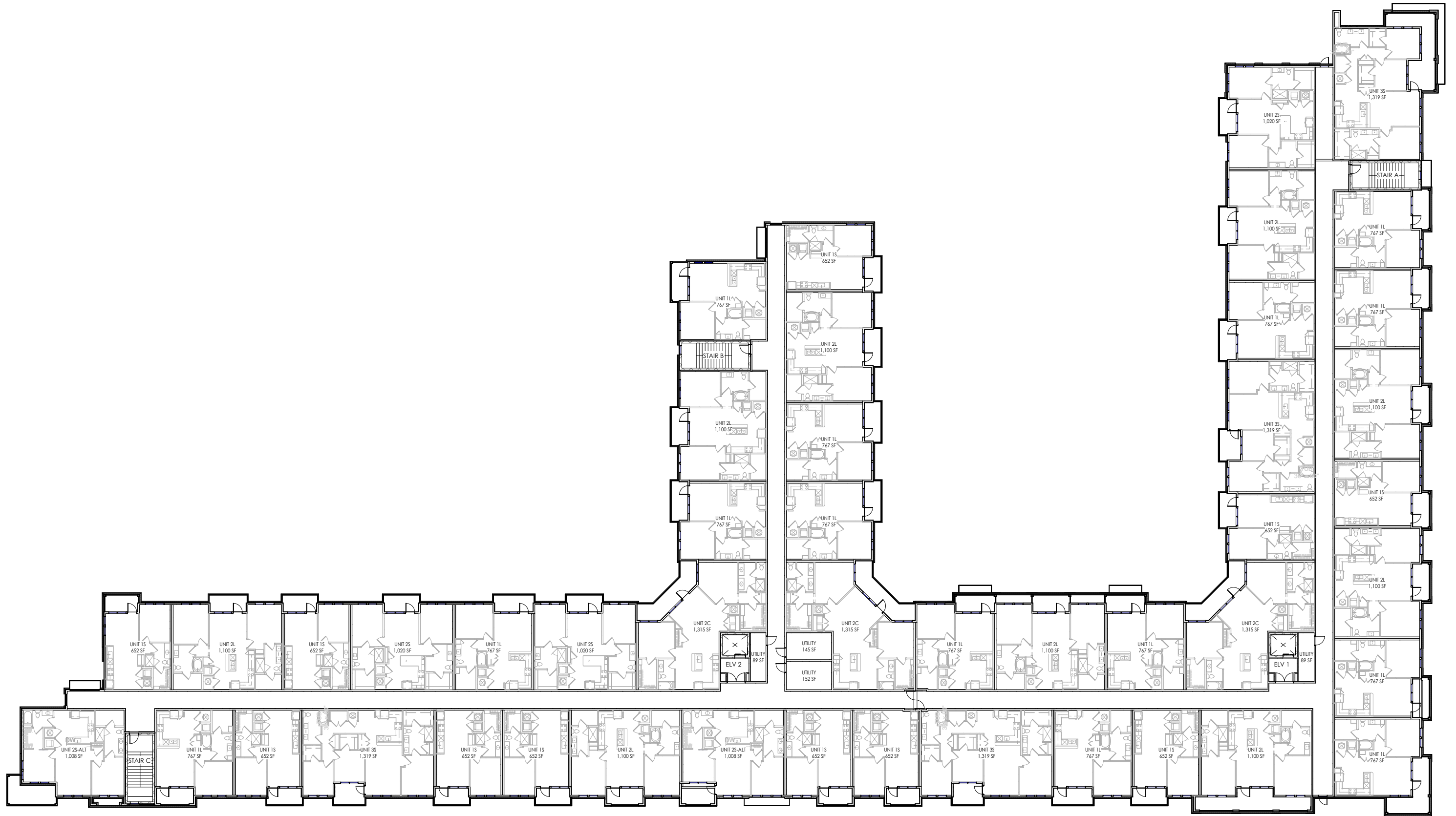


REAR SIDE



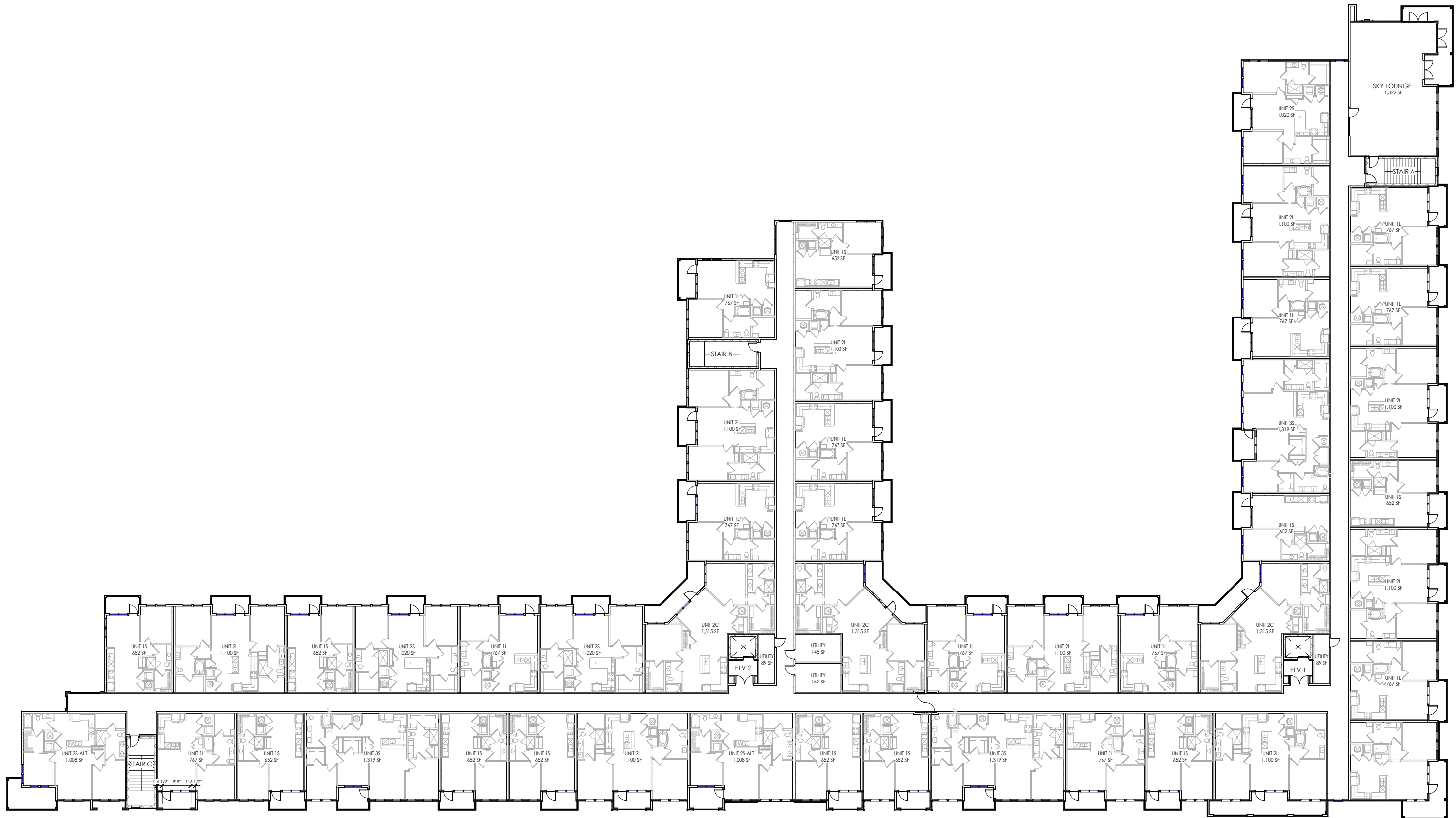
OVERALL PLAN: LEVEL 1

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022



OVERALL PLAN: LEVEL 2-3

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022



OVERALL PLAN: LEVEL 4

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022



MAIN LEASING CORNER AND ENTRY

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022