

Huerfano County
Regional Building Authority Board
400 Main Street, Suite B
Walsenburg, Colorado 81089
719-738-1220 ext. 103



PROPERTY OWNER / BUILDER LIABILITY FORM

The Huerfano County Regional Building Authority Board (HCRBA) allows for the issuing of building permits to property owners. Owners should carefully consider the liabilities and responsibilities they will be accepting under the HCRBA Contractor Licensing and Building Code Regulations.

By signing this document, the property owner understands and accepts the following:

1. It is the responsibility of the building permit applicant to ensure all subcontractors hold at a minimum a current Type "D" license approved by the HCRBA, with the exception of State Licensed Electricians, Plumbers, and Manufactured Home Set persons.
Failure to do this may result in the issuing of a Stop Work Order.

Please note: The Town of La Veta requires state licensed contractors to register with the Town before performing any work.
2. It is imperative that owners ascertain subcontractors have the required insurance in place to protect their investment. Please contact your insurance agent for guidance with this very important subject matter.
3. The property owner acting as a Permit Applicant is responsible for correcting all code deviations as required, including the work done by subcontractors.
4. It shall be the duty of the permit applicant to cause the work to remain accessible and exposed for inspection purposes. Neither the building official nor the jurisdiction shall be liable for expenses entailed in the removal or replacement of any material required to allow inspection.

Bryan D. Chevall
Property Owner(s) Name (please print)

[Signature]
Property Owner(s) Signature

9 May 2023
Date

Building Inspectors: File original form with project file. A copy should be provided to the property owner.

Huerfano County Land Use Department
 400 Main Street, Suite B, Walsenburg, Colorado 81089
 Office: 719-738-1220, ext. 117
 To Request an Inspection: 719-738-1220, ext. 104



BUILDING PERMIT APPLICATION

PROPERTY OWNER'S INFORMATION:

Name: Bryan D. Chevauht
 Mailing Address: 4529 Co. Rd. 660
 City, State, Zip: Rye, CO 81069
 Phone No. 1/2: 719-252-1752
 E-Mail Address: dchevauht@PDR.net

CONTRACTOR'S INFORMATION:

Name: Owner
 Mailing Address: _____
 City, State, Zip: _____
 Phone No. 1/2: /
 E-Mail Address: _____

TYPE:

- New construction
- Remodel
- Addition
- Demolition
- In kind replacement
- Extension of building permit

OCCUPANCY:

- Site built residential
- Manufactured residential
- Residential accessory building
- Commercial
- Agricultural
- Industrial

INTENDED USE:

- Single or multi family dwelling
- Residential garage
- Agricultural animal husbandry
- Commercial (give details in comments)
- Industrial (give details in comments)
- Storage (note stored materials in comments)

COMMENTS (OTHER / MISC): _____

HOA/POA has reviewed and approves of the proposed construction. HOA Representative: _____

THIS PROPERTY IS NOT LOCATED IN AN HOA / POA. APPLICANT'S SIGNATURE: _____

APPLICANT'S SIGNATURE: Bryan D. Chevauht

SUBMITTAL DATE: _____

BELOW THIS LINE FOR USE BY BUILDING DEPARTMENT ONLY

GENERAL INFORMATION:

Property Owner name: _____
 Subdivision / Sec, Tw, Rg: _____
 Lot & filing or ¼ section: _____
 County Schedule No: _____ Subdivision No: _____
 County Zoning District: _____ Region: _____
 Property Address: _____
 Nearest P.O.: _____

OTHER REQUIRED PERMITS:

- Conditional use
- Variance
- Temporary resident
- Temporary use
- H.B. 1041 Development
- Sanitation Permit
- Others: _____
- County road access
- H.B. 1041 Flood Plain
- Sign permit
- State electrical
- State plumbing
- Lot consolidation

| OCCUPANCY: | BUILDING SIZE: (SQUARE FEET) | COST OF BUILDING (PER SQUARE FEET) | VALUATION: |
|------------|---------------------------------|---------------------------------------|------------|
| | | | |
| | | | |
| | | | |
| | | | |

PAYMENT OF FEES:

COUNTY RECEIPT NO: _____ FEE MODIFIER: x 0.0115
 PERSONAL CHECK NO: _____ PERMIT FEE: _____

BUILDING PERMIT FEES:

Permit Fee: _____
 Plan Review Fee: _____
 TOTAL PERMIT FEE: _____

APPROVAL: _____

HUERFANO COUNTY BUILDING INSPECTOR DATE: _____

COUNTY BUILDING PERMIT NO:

PRIMARY OCCUPANCY CLASS:

TYPE OF CONSTRUCTION:

Huerfano County Land Use Department
400 Main Street, Suite B, Walsenburg, Colorado 81089
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BUILDING PERMIT APPLICATION

ZONING INFORMATION:

ACREAGE: _____ ZONING: _____
REQUIRED SETBACKS: FRONT _____ SIDE _____ REAR _____
SFHA? _____ AIRPORT OVERLAY: _____ WITHIN 3 MILES OF CITY/TOWN? _____
PRIMARY STRUCTURE? _____ TYPE: _____
ACCESSORY STRUCTURE: _____ (EXISTING RESIDENCE OR PRIMARY STRUCTURE? YES OR NO)
AG STRUCTURE? _____ CONSTRUCTION TYPE: _____
EXEMPT? YES OR NO

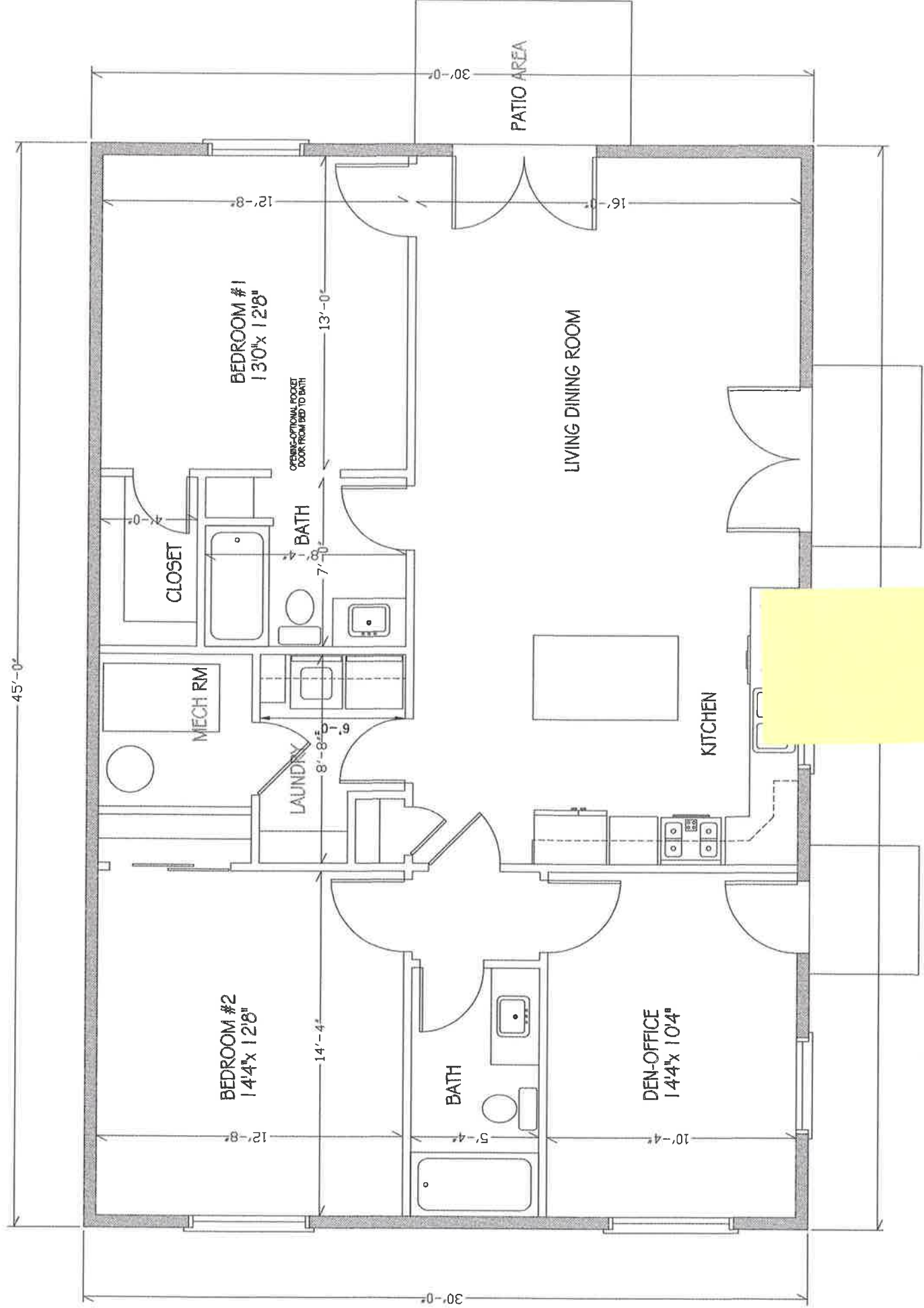
STAFF COMMENTS:

APPROVED _____

DENIED _____

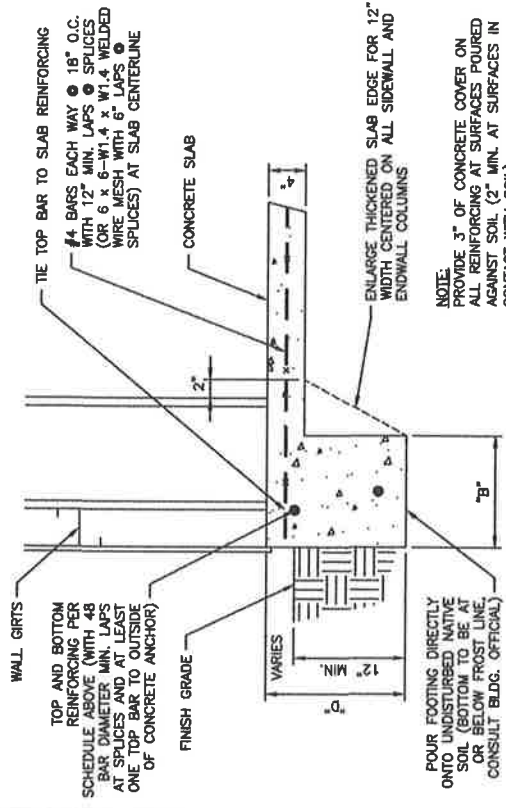
STAFF SIGNATURE

DATE



| LOCATIONS | "B" | "D" | TOP REINF. | BOTTOM REINF. |
|-----------|-----|-----|------------|---------------|
| SIDEWALLS | 12" | 12" | (1)-#4 | (1)-#4 |
| ENDWALLS | 12" | 12" | (1)-#4 | (1)-#4 |

* NOTE: INSTALL TOP REINFORCING BAR AT A DISTANCE FROM EDGE OF SLAB EQUAL TO DEPTH OF WALL GIRTS.



POUR FOOTING DIRECTLY ONTO UNDISTURBED NATIVE SOIL (FOOTING TO BE AT LEAST 12" FROM PROPERTY LINE). (CONSULT BLDG. OFFICIAL)

NOTE:
PROVIDE 3" OF CONCRETE COVER ON ALL REINFORCING AT SURFACES POURED AGAINST SOIL (2" MIN. AT SURFACES IN CONTACT WITH SOIL).

NOTES:
1) SLAB REINFORCING SHOWN ABOVE IS SPECIFIED AS A METHOD OF CONTROLLING SHRINKAGE CRACKING AT THE SLAB SURFACE. CUSTOMER MAY CHOOSE ANOTHER METHOD OR REMOVE SLAB REINFORCING ALL TOGETHER, BUT CUSTOMER WILL ASSUME ALL RESPONSIBILITY FOR THE PERFORMANCE OF THE SLAB. IF ANY OTHER METHOD IS CHOSEN BESIDES WHAT IS SHOWN ON THIS DETAIL, CUSTOMER SHALL INSTALL AT EACH FRAME, (1) #4 CONT. BAR SIDEWALL--TO-SIDEWALL WITH A 6" 90° HOOK AT EACH END AROUND FRAME COLUMN CONCRETE ANCHOR GROUP.
2) SLAB DESIGN AND REINFORCING SPECIFIED IS BASED SOLELY ON THE 'SOIL DESIGN PRESSURE' INDICATED ON DRAWING SHEET 1, ASSUMING A MAX. POINT (WHEEL) LOAD OF 3000#. SLAB DESIGN FOR ANY OTHER SLAB THICKNESS OR POINT LOADS SHALL BE PROVIDED BY OTHERS.
3) SLAB AND FOUNDATION DESIGN SHOWN IS FOR STRUCTURAL PURPOSES ONLY. SLAB DESIGN SHOWN DOES NOT ADDRESS SLAB CONCRETE STRENGTH FOR WEAR RESISTANCE, VAPOR OR MOISTURE BARRIERS, SLAB SUBBASE MATERIAL SPECIFICATIONS OR INSTALLATION METHODS, OR THERMAL (INSULATION) REQUIREMENTS. A QUALIFIED PROFESSIONAL SHOULD BE RETAINED TO PROVIDE GUIDANCE FOR THOSE CONCERNS NOT ADDRESSED ON THIS DETAIL.

Y : SLAB DETAIL

SCALE: NO SCALE

Structural Engineering by:
ACTBUILDING SYSTEMS®
Metal Building Engineering, LLC
Fourteen Pk., CO 2664
engr@actbuilding.com



ACTBUILDING SYSTEMS®

Job Name: **Bighorn Steel Buildings Inc.**
Job Address: **Bryan Chenault**
4529 County Rd 680
Rye, CO 81069

DATE: 04/20/23
DRAWN BY: M.L.L./2023/03/02

DATE: 04/20/23
DRAWN BY: M.L.L./2023/03/02



4-7-23

Found

Bryan Chenault, here is your complete building quotation.

Quote #86040026, 3/28/2023

Building Type

30' - 0" wide x 45' - 0" long x 10' - 0" high building
with roof pitch of 2:12

Building Options

(3) Personnel door openings
(5) Window openings
Roof finish: 26G painted
Wall finish: 26G painted

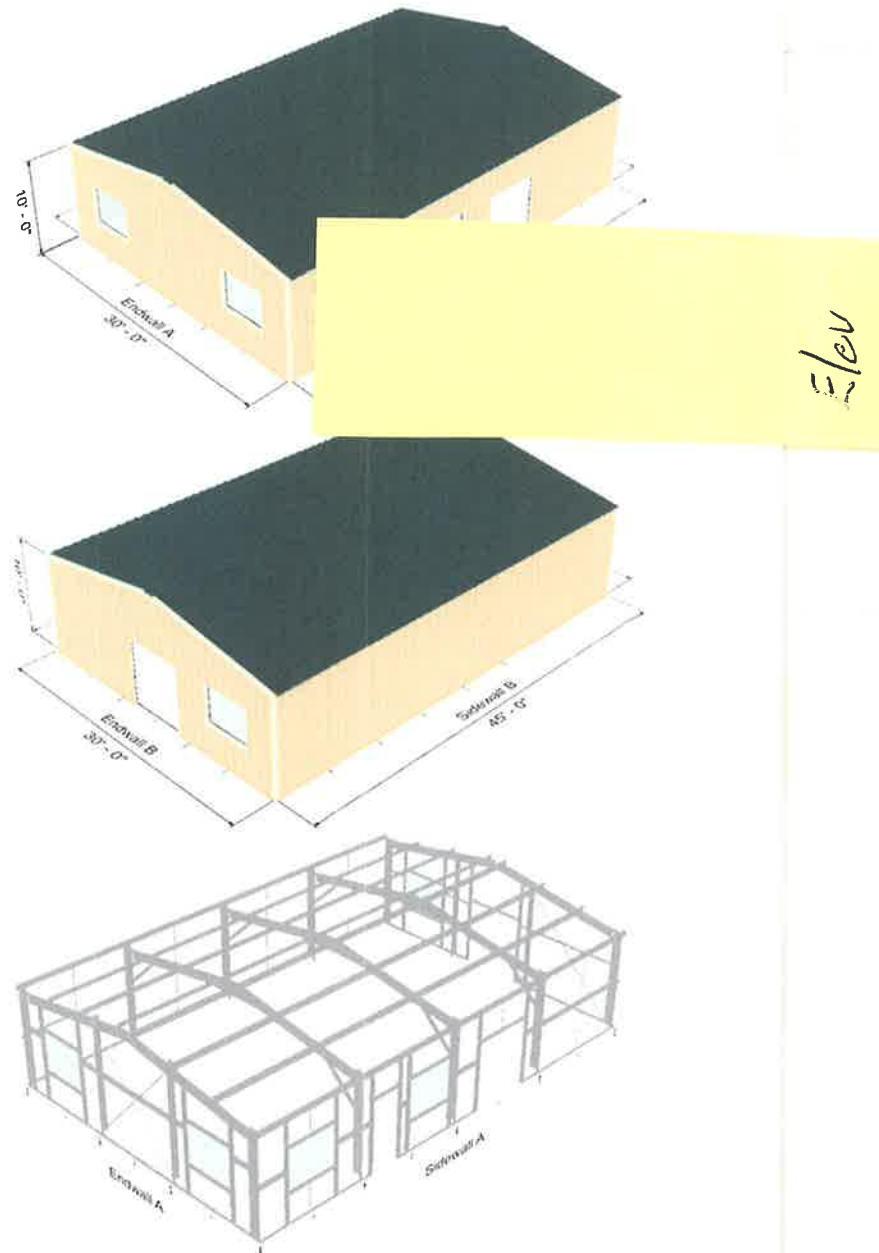
Stamped Engineering Plans

Slab foundation plans included
30 psf ground snow load
115 mph wind speed, exposure 'C'
2018 IBC

Total Price

\$18,994.92

Delivery included, no taxes included
Price valid for 30 days



**Next Step: If you are happy with your quote and ready to lock in years of value,
secure your building at the best price today by signing the following Building
Component Sales Agreement**

WARRANTY DEED

THIS DEED, Made, between Carole M. Haeger

of the said County of and State of Colorado, grantor, and Bryan D. Chenault and Cynthia J. Chenault

whose legal address is 7218 Starbridge Drive Houston, Texas 77095
of the said County of and State of Texas, grantee:

WITNESS, that the grantor, for and in consideration of the sum of Thirty Four Thousand dollars and Zero cents receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantees, their heirs and assigns forever, not in tenancy in common but in joint tenancy, all the real property, together with improvements, if any, situate, lying and being in the said County of Huerfano and State of Colorado described as follows:

Township 25 South, Range 67 West of the 6th P.M.
Section 33: SE1/4NE1/4, according to the records of the clerk and recorder for Huerfano County Colorado
as known by street and number as: Vacant Land
Walsenburg, Colorado 81089

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantees, their heirs and assigns forever. And the grantor, for himself, his heirs, and personal representatives, does covenant, grant, bargain, and agree to and with the grantees, their heirs and assigns, that at the time of the enscaling and delivery of these presents, he is well seized of the premises above conveyed, has good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except:

The grantor shall and will WARRANTY AND FOREVER DEFEND the above-bargained premises in the quiet and peaceable possession of the grantees, their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof. The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

Carole M. Haeger
Carole M. Haeger

Carole HAEGER

Deed

County of *Huerfano*)
State of *Colorado*) ss.

The foregoing instrument was acknowledged before me by Carole M. Haeger

My commission expires *12/30/2000* Witness my hand and official seal.



Sandra J. Dotter
Notary Public

412 Benedicta Avenue
Trinidad, CO 81082
719-846-2213
Fax: 719-846-4472

Wal

Fax: 719-150-2000

Septic

Las Animas Huerfano Counties

PERMIT # _____

Property Information:

Property Address 4529 CR 660 City RYE Zip 81069

Legal Description/Parcel # Township 25 South, Range 67 West of the 6th P.M. Section 33: SE1/4NE1/4 Lot Size: 40 acres

If property is gated, please provide gate code: N/A

Proposed Use: Residential Commercial (describe) _____ Other _____

Water Supply: Municipal _____ Well _____ Cistern Number of Bedrooms 2



Property Owner Bryan D. & Cynthia J. Chenault Daytime Phone 719-252-1752

Mailing Address 4529 CR 660, Rye, CO 81069

Email Address dchenault@PDQ.net

Agent self Phone 719-252-1752

Licensed Installer self Phone 719-252-1752

Email dchenault@PDQ.net

Owner or Authorized Agent Signature [Signature]



CURRENT FEES AS APPROVED BY THE LAS ANIMAS-HUERFANO COUNTIES BOARD OF HEALTH

All Payments are due at the time of application submittal by cash, check, or credit card

Permit Fees are Non-Refundable

Permits Shall Expire One Year From Date of Issuance

| | | |
|---------------------------|-------------------------|--------------------|
| New Permit—\$625.00 | Date Paid <u>3/2/23</u> | Receipt# <u>CC</u> |
| Repair Permit—\$250.00 | Date Paid _____ | Receipt# _____ |
| Permit Renewal -\$250.00 | Date Paid _____ | Receipt# _____ |
| Soils Evaluation-\$150.00 | Date Paid _____ | Receipt# _____ |

Website: <https://hs-h-health.colorado.gov/>

GENERAL NOTES

- CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMITY WITH ALL LOCAL LAWS, ORDINANCES RULES AND REGULATIONS OF GOVERNMENT AUTHORITIES HAVING JURISDICTION.
- BEFORE COMMENCEMENT OF THE WORK AND PRIOR TO ORDERING ANY MATERIALS, THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS SHOWN IN THE CONTRACT.
- THESE DRAWINGS REQUIRE COMPLETE AND OPERATIONAL BUILDING SYSTEMS COMPONENTS. ANY MISC. ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE DIMENSIONS FOR BOTH QUANTITY TAKE-OFFS AND CONSTRUCTION. SHOULD A DISCREPANCY OCCUR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, IMMEDIATELY CONTACT THE PROCURER OF THESE DRAWINGS AND DOCUMENTS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN ALL LARGER SCALE DETAILS GOVERN OVER SMALL SCALE.
 - DRYWALL PARTITIONS ARE DIMENSIONED FACE OF STUD TO FACE OF STUD.
- THE CONTRACTOR SHALL SUBMIT ALL PROPOSED SUBSTITUTIONS TO THE DESIGNER IN WRITING WITH SUFFICIENT INFORMATION, SAMPLES AND DIFFERENCE IN COST FOR AN INFORMED EVALUATION. SUBSTITUTIONS MUST BE APPROVED IN WRITING BEFORE THEY MAY BE USED.
- THE CONTRACTOR SHALL IMMEDIATELY, WHEN NOTIFIED OF A PROPOSED CHANGE, DEVELOP COST AND SCHEDULE AMIFICATIONS FOR OWNER APPROVAL/ACCEPTANCE.
- THE CONTRACTOR SHALL PERFORM HIGH-QUALITY PROFESSIONAL WORK, USING ONLY WORKMEN WHO ARE SKILLED AND EXPERIENCED IN THE SPECIFIC TASKS REQUIRED. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT STRAIGHT LINES. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB, AND AT ACCURATE RIGHT ANGLES, OR FLUSH WITH ADJOINING MATERIALS.
- THE CONTRACTOR SHALL ARRANGE TO ACCOMMODATE "NOT IN CONTRACT" WORK WHEN INFORMATION IS INADEQUATE, REQUEST FURTHER INSTRUCTION BEFORE PROCEEDING.

- SHOP DRAWINGS**
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT INFORMATION, AND/OR SAMPLES AS REQUIRED TO EXPLAIN WORK OF ALL TRADES.
 - DESIGNER SHALL REVIEW SHOP DRAWINGS AND SAMPLES WITH REASONABLE PROMPTNESS SO AS TO CAUSE NO DELAY. SUCH REVIEW IS ONLY FOR CONFORMITY TO THE DESIGN CONCEPT FOR THE PROJECT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCS. THE REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE A REVIEW OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS. SHOP DRAWINGS THAT CONTAIN EXCESSIVE ERRORS OR THAT ARE INCOMPLETE WILL BE RETURNED FOR RE-SUBMITTAL, AND ANY DELAY THEREBY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAKE ANY REVISIONS AS NOTED BY THE DESIGNER AND RESUBMIT CORRECTED SHOP DRAWINGS FOR REVIEW AND/OR RECORD.
 - THE DESIGNER'S REVIEW OF SHOP DRAWINGS OR SAMPLES SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF ANY DEVIATION FROM THE CONTRACT DOCS. UNLESS THE CONTRACTOR HAS INFORMED THE DESIGNER IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION, NOR SHALL THE DESIGNER'S REVIEW RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR SAMPLES.
 - NO PORTION OF THE WORK REQUIRING SHOP DRAWINGS OR SAMPLE SUBMISSIONS SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE DESIGNER.
- SUBMITTALS**
 - SHOP DRAWINGS REQUIRED FOR WORK UNDER THIS PROJECT:
 - REFER SPECIFICATIONS FOR ADDITIONAL SUBMITTALS
 - FINISH CARPENTRY AND MILLWORK
 - NEW DOORS AND FRAMES
 - ELECTRICAL (SEE ELECTRICAL DRAWINGS)
 - MECHANICAL (SEE MECHANICAL DRAWINGS)
 - CARPET
 - PAINT
 - ALUM. STOREFRONT WINDOWS
 - TRUSSES (HANDFRAMED AND PREFAB)
 - PRODUCT DATA REQUIRED FOR WORK UNDER THIS PROJECT:
 - PAINTING MATERIALS LIST
 - ELECTRICAL (SEE ELECTRICAL DRAWINGS)
 - PLUMBING
 - SAMPLES REQUIRED FOR WORK UNDER THIS PROJECT:
 - PAINT FINISHES (12x12)
 - WOOD AND PLASTIC LAMINATE FINISHES
 - TILE FLOORING
 - STONE VENEER
 - STUCCO FINISHES
 - CONCRETE TILE ROOF

- ALL CONTRACTOR REQUESTS FOR SUBSTITUTION OF SPECIFIED ITEMS SHALL BE MADE IN ACCORDANCE WITH THE FOLLOWING:
 - SUBMIT TWO (2) COPIES OF EACH REQUEST.
- THE CONTRACTOR SHALL UPON COMPLETION REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED, OR SPLATTERED ON SURFACES, INCLUDING LIGHT FIXTURES, DIFFUSERS, REGISTERS, FITTINGS, ETC. THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL SWITCH AND OUTLET PLATES, SURFACE HARDWARE ETC., BEFORE PAINTING PROTECTING AND REPLACING SAME WHEN PAINTING IS COMPLETE.
- APPLICATION FOR ALL PAINTED SURFACES SHALL NOT BE LESS THAN A TWO-COAT SYSTEM, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD INSPECTION OF THE SURFACES TO RECEIVE PAINT AND ASSURING THAT SUCH SURFACES ARE ACCEPTABLE FOR APPLICATION OF FINISH WORK.
- CONTRACTOR SHALL TAKE CARE TO PROTECT EXISTING FINISHED SURFACES MILLWORK, HARDWARE, EQUIPMENT AND FIXTURES WHICH ARE TO REMAIN.

FRAMING NOTES

- FRAMING LUMBER - (AS PER PLAN) 2x4 STUDS MIN.
 - 2x4 SILL PLATES: HEM FIR, STANDARD AND BETTER FB= 475/550 PSI, E= 1,200,000 PSI
 - 2x4 (MIN.) UP TO 8'-0": HEM FIR STUD GRADE, FB= 450/725 PSI, E= 1,200,000 PSI
 - 2x4 OVER 8'-0": HEM FIR STANDARD AND BETTER FB= 475/550 PSI, E= 1,200,000 PSI
 - 2x4 6" AND LARGER: HEM FIR STANDARD AND BETTER FB= 1,000/1,150 PSI, E= 1,400,000 PSI
- PROVIDE MINIMUM 2x10 HEADERS OVER ALL DOOR AND WINDOW OPENINGS UNLESS OTHERWISE NOTED ON PLAN.
- PROVIDE MINIMUM 1-2x POST UNDER EACH END OF ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED ON PLAN.
- MICROLAM BEAMS BY TRUSS JOIST CORP. SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM DESIGN UNIT STRESSES:
 - FLEXURAL STRESS: 2600 PSI
 - HORIZONTAL SHEER PERP. TO GLUE LINE: 285 PSI
 - COMPR. PERP. TO GRAIN PARALLEL WITH THE GLUE LINE: 500 PSI
 - MODULUS OF ELASTICITY: 1,600,000 PSI
- PRE-ENGINEERED TRUSSES SHALL BE DESIGNED AND FABRICATED UNDER THE SUPERVISION OF A COLORADO LICENSED PROFESSIONAL ENGINEER FOR THE LOADS AND CONDITIONS SPECIFIED ON THE DRAWINGS.
- PLYWOOD SHALL CONFORM TO THE AMERICAN PLYWOOD ASSOCIATION'S CURRENT PRODUCT STANDARD SPECIFICATION AND SHALL BE PERFORMANCE RATED BY THE AMERICAN PLYWOOD ASSOCIATION TO THE GRADES SPECIFIED.
 - ROOF SHEATHING SHALL BE 1/2" APA 321/G EXPOSURE 1 RATED PLYWOOD, NAIL WITH 8d NAILS @ 4' O.C. AT PANEL PERIMETER AND @ 6' O.C. @ INTERMEDIATE.
 - FLOOR SHEATHING SHALL BE 3/4" APA 48/24, EXPOSURE 1 RATED, TONGUE AND GROOVE PLYWOOD, GLUE AND NAIL WITH 8d NAILS @ 6' O.C. AT PANEL PERIMETER AND @ 10' O.C. AT INTERMEDIATE FRAMING.
- SHEATH ALL EXTERIOR WALLS WITH STRUCTURAL RED GRADE THERMO-FLY SHEATHING AS MANUFACTURED BY SIMPLEX PRODUCTS DIVISION, FASTEN PER MANUFACTURERS SPECIFICATIONS.
- PROVIDE RM JOIST OR SOLID BLOCKING UNDER ALL BEARING POINTS. BLOCKING UNDER POSTS LARGER THAN 2-2x4 MUST BE FULL AREA OF POST.
- ALL TRUSSES AND ROOF RAFTERS TO BE TIED TO BEARING WITH ONE (1) SIMPSON H2.5 HURRICANE CLIP OR EQUAL.
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED @ 16' O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATES.
 - PROVIDE 1/2" DIAMETER x 10" LONG A307 ANCHOR BOLTS @ MAX. 4'-0" O.C. EMBEDDED 7". MINIMUM OF 2 BOLTS PER PIECE. LOCATE 1 BOLT WITHIN 12" OF EACH END OF EACH PIECE.
 - ROOF OVERFRAMING TO BE MINIMUM 2x6 RAFTERS @ 24" O.C. BEAR DIRECTLY ON TRUSSES/RAFTERS BELOW OR SOLID BLOCKING BETWEEN MEMBERS.

EXTERIOR STUDS

- STUD HEIGHTS TO 8'-11/8" TO BE 2x4 AT 16" ON CENTER.
- STUD HEIGHTS ABOVE 8'-1-1/8" TO 9'-1-1/8" TO BE 2x4 AT 16" ON CENTER.
- STUD HEIGHTS ABOVE 9'-1-1/8" - SEE PLAN.

INTERIOR STUDS

- INTERIOR BEARING AND NON-BEARING PARTITIONS TO BE 2x4 AT 16" ON CENTER.

DESIGN WIND LOAD

- BASIC PRESSURE = 19 PSF @ 85 MPH, EXPOSURE C.

DISCREPANCIES MAY EXIST BETWEEN THE PLANS OR FIELD CONDITIONS. PLEASE REVIEW THE ENTIRE SET OF CONSTRUCTION PLANS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL PLACE THE ENTIRE RESPONSIBILITY FOR RESOURCES UPON THE CONTRACTOR. © 2023


ADVANCED DESIGN/BUILD, LLC
 ATT. DAVE WEHRICH
 702 POLK STREET
 PUEBLO, COLORADO 81004
 (719) 259-4704 fax
 (719) 240-9465 cell
 (719) 744-0544 office
 EMAIL: dave@advanceddb.com
 DAVE@dave.wehrich@pb.coe.edu

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A SINGLE FAMILY RESIDENCE
THE CHENAULT RESIDENCE
 4529 COUNTY ROAD 660 (RTE) COLORADO 81069

| | |
|-----------|-----------|
| DATE: | 12-2022 |
| REDLINES: | 1-22-2023 |
| REDLINES: | 3-30-2023 |

ABBREVIATIONS: GENERAL PROJECT NOTES: PROJECT DIRECTORY SHEET INDEX

| <p>ABBREVIATIONS:</p> <table border="1"> <tr><td>ACT.</td><td>ACOUSTIC TILE</td><td>E.W.</td><td>EACH WAY</td></tr> <tr><td>A.B.</td><td>ANCHOR BOLT</td><td>E.W.C.</td><td>ELECTRIC WATER COOLER</td></tr> <tr><td>ACOUS.</td><td>ACOUSTICAL</td><td>EXH.</td><td>EXHAUST</td></tr> <tr><td>ADJ.</td><td>ADJUSTABLE</td><td>(E) EX.</td><td>EXISTING</td></tr> <tr><td>A.F.F.</td><td>ABOVE FINISHED FLOOR</td><td>EXST.</td><td>EXISTING</td></tr> <tr><td>AL.</td><td>ALUMINUM</td><td>EXP.</td><td>EXPANSION</td></tr> <tr><td>ALT.</td><td>ALTERNATE</td><td>EXT.</td><td>EXTERIOR</td></tr> <tr><td>ARCH.</td><td>ARCHITECTURAL</td><td>F.B.O.</td><td>FURNISHED BY OWNER</td></tr> <tr><td>ASPH.</td><td>ASPHALT</td><td>F.B.T.</td><td>FURNISHED BY TENANT</td></tr> <tr><td>BR.</td><td>BULKHEAD</td><td>F.D.</td><td>FLOOR DRAIN</td></tr> <tr><td>B.S.</td><td>BOTH SIDES</td><td>FDN.</td><td>FOUNDATION</td></tr> <tr><td>B4D</td><td>BOARD & BATTION</td><td>F.E.</td><td>FIRE EXTINGUISHER</td></tr> <tr><td>BD.</td><td>BOARD</td><td>F.E.C.</td><td>FIRE EXTINGUISHER CABINET</td></tr> <tr><td>BTUM.</td><td>BUTYLUMOUS</td><td>F.H.C.</td><td>FIRE HOSE CABINET</td></tr> <tr><td>BLDG.</td><td>BUILDING</td><td>FIN.</td><td>FINISHED</td></tr> <tr><td>BK.</td><td>BLOCK</td><td>F.I.O.</td><td>FURNISHED & INSTALLED BY OWNER</td></tr> <tr><td>BM.</td><td>BOOM</td><td>F.I.T.</td><td>FURNISHED & INSTALLED BY TENANT</td></tr> <tr><td>BOT.</td><td>BOTTOM</td><td>F.L. FL.</td><td>FLOOR</td></tr> <tr><td>BRG.</td><td>BEARING</td><td>FT.</td><td>FOOT OR FEET</td></tr> <tr><td>BSMT.</td><td>BASEMENT</td><td>FTG.</td><td>FOOTING</td></tr> <tr><td>B.SECT.</td><td>BUILDING SECTION</td><td>FUT.</td><td>FUTURE</td></tr> <tr><td>COL.</td><td>COLUMN</td><td>GA.</td><td>GAUGE</td></tr> <tr><td>CAB.</td><td>CABINETS</td><td>GALV.</td><td>GALVANIZED</td></tr> <tr><td>(C)</td><td>CAULK</td><td>G.C.</td><td>GENERAL CONTRACTOR</td></tr> <tr><td>CI</td><td>CAST IRON</td><td>G.S.</td><td>GALVANIZED STEEL</td></tr> <tr><td>C.I.P.</td><td>CAST IN PLACE</td><td>GL.</td><td>GLASS</td></tr> <tr><td>C.J.</td><td>CONTROL JOINT</td><td>GND.</td><td>GROUND</td></tr> <tr><td>CLG.</td><td>CEILING</td><td>GR.</td><td>GRADE</td></tr> <tr><td>C.M.U.</td><td>CONCRETE MASONRY UNIT</td><td>GYP.</td><td>GYP-SUM</td></tr> <tr><td>CONC.</td><td>CONCRETE</td><td>H.S.</td><td>HARDEN & SEAL</td></tr> <tr><td>CONN.</td><td>CONNECTION</td><td>H.B.</td><td>HOSE BIBB</td></tr> <tr><td>CONT.</td><td>CONTINUOUS</td><td>H.C.</td><td>HOLLOW CORE</td></tr> <tr><td>CONSTR.</td><td>CONSTRUCTION</td><td>HDBD.</td><td>HARDBOARD</td></tr> <tr><td>CNTL.</td><td>COUNTER</td><td>HWAR.HW.</td><td>HARDWARE</td></tr> <tr><td>C.T.</td><td>CERAMIC TILE</td><td>HWOD.</td><td>HARDWOOD</td></tr> <tr><td>D.A.</td><td>DOUBLE ACTING</td><td>H.M.</td><td>HOLLOW METAL</td></tr> <tr><td>DBL.</td><td>DOUBLE</td><td>HORZ.</td><td>HORIZONTAL</td></tr> <tr><td>DETAL.</td><td>DETAIL</td><td>HGT.</td><td>HEIGHT</td></tr> <tr><td>D.F.</td><td>DRINKING FOUNTAIN</td><td>HTR.</td><td>HEATER</td></tr> <tr><td>DIA.</td><td>DIAMETER</td><td>HD.</td><td>HEAD</td></tr> <tr><td>DN.</td><td>DOWN</td><td>I.D.</td><td>INSIDE DIAMETER</td></tr> <tr><td>DRWG.</td><td>DRAWING</td><td>INSUL.</td><td>INSULATION</td></tr> <tr><td>EA.</td><td>EAVE</td><td>INT.</td><td>INTERIOR</td></tr> <tr><td>E.J.</td><td>EXPANSION JOINT</td><td>JM.</td><td>JAMB</td></tr> <tr><td>ELEC.</td><td>ELECTRIC</td><td>JAW.</td><td>JAWITOR</td></tr> <tr><td>TL.</td><td>ELEVATION</td><td>JST.</td><td>JOIST</td></tr> <tr><td>ELEV.</td><td>ELEVATOR</td><td>JT.</td><td>JOINT</td></tr> <tr><td>EQ.</td><td>EQUAL</td><td>KIT.</td><td>KITCHEN</td></tr> <tr><td>EQUIP.</td><td>EQUIPMENT</td><td></td><td></td></tr> </table> | | | | ACT. | ACOUSTIC TILE | E.W. | EACH WAY | A.B. | ANCHOR BOLT | E.W.C. | ELECTRIC WATER COOLER | ACOUS. | ACOUSTICAL | EXH. | EXHAUST | ADJ. | ADJUSTABLE | (E) EX. | EXISTING | A.F.F. | ABOVE FINISHED FLOOR | EXST. | EXISTING | AL. | ALUMINUM | EXP. | EXPANSION | ALT. | ALTERNATE | EXT. | EXTERIOR | ARCH. | ARCHITECTURAL | F.B.O. | FURNISHED BY OWNER | ASPH. | ASPHALT | F.B.T. | FURNISHED BY TENANT | BR. | BULKHEAD | F.D. | FLOOR DRAIN | B.S. | BOTH SIDES | FDN. | FOUNDATION | B4D | BOARD & BATTION | F.E. | FIRE EXTINGUISHER | BD. | BOARD | F.E.C. | FIRE EXTINGUISHER CABINET | BTUM. | BUTYLUMOUS | F.H.C. | FIRE HOSE CABINET | BLDG. | BUILDING | FIN. | FINISHED | BK. | BLOCK | F.I.O. | FURNISHED & INSTALLED BY OWNER | BM. | BOOM | F.I.T. | FURNISHED & INSTALLED BY TENANT | BOT. | BOTTOM | F.L. FL. | FLOOR | BRG. | BEARING | FT. | FOOT OR FEET | BSMT. | BASEMENT | FTG. | FOOTING | B.SECT. | BUILDING SECTION | FUT. | FUTURE | COL. | COLUMN | GA. | GAUGE | CAB. | CABINETS | GALV. | GALVANIZED | (C) | CAULK | G.C. | GENERAL CONTRACTOR | CI | CAST IRON | G.S. | GALVANIZED STEEL | C.I.P. | CAST IN PLACE | GL. | GLASS | C.J. | CONTROL JOINT | GND. | GROUND | CLG. | CEILING | GR. | GRADE | C.M.U. | CONCRETE MASONRY UNIT | GYP. | GYP-SUM | CONC. | CONCRETE | H.S. | HARDEN & SEAL | CONN. | CONNECTION | H.B. | HOSE BIBB | CONT. | CONTINUOUS | H.C. | HOLLOW CORE | CONSTR. | CONSTRUCTION | HDBD. | HARDBOARD | CNTL. | COUNTER | HWAR.HW. | HARDWARE | C.T. | CERAMIC TILE | HWOD. | HARDWOOD | D.A. | DOUBLE ACTING | H.M. | HOLLOW METAL | DBL. | DOUBLE | HORZ. | HORIZONTAL | DETAL. | DETAIL | HGT. | HEIGHT | D.F. | DRINKING FOUNTAIN | HTR. | HEATER | DIA. | DIAMETER | HD. | HEAD | DN. | DOWN | I.D. | INSIDE DIAMETER | DRWG. | DRAWING | INSUL. | INSULATION | EA. | EAVE | INT. | INTERIOR | E.J. | EXPANSION JOINT | JM. | JAMB | ELEC. | ELECTRIC | JAW. | JAWITOR | TL. | ELEVATION | JST. | JOIST | ELEV. | ELEVATOR | JT. | JOINT | EQ. | EQUAL | KIT. | KITCHEN | EQUIP. | EQUIPMENT | | | <p>GENERAL PROJECT NOTES:</p> | | | | <p>PROJECT DIRECTORY</p> <p>BUILDER:</p> <p>DEVELOPER:</p> <p>DESIGNER:</p>  <p>ATT. DAVE WEHRICH 702 POLK STREET PUEBLO, COLORADO 81004 (719) 259-4704 fax (719) 240-9465 cell (719) 744-0544 office EMAIL: dave@advanceddb.com DAVE@dave.wehrich@pb.coe.edu</p> <p>STRUCTURAL ENGINEER:</p> | | | | <p>SHEET INDEX</p> <table border="1"> <tr> <td>1.0a of 4</td> <td>TITLE SHEET/COVER SHEET/FRONT ELEVATION</td> </tr> <tr> <td>2.0a of 4</td> <td>ELEVATIONS</td> </tr> <tr> <td>3.0a of 4</td> <td>MAIN STORY FLOOR PLANS</td> </tr> <tr> <td>4.0a of 4</td> <td>FOUNDATION PLANS, DETAILS</td> </tr> </table> <p>PLAN ISSUE AND RELEASE</p> <table border="1"> <tr> <th>ISSUE</th> <th>RELEASE DATE</th> </tr> <tr> <td>REDLINES REDLINES REDLINES</td> <td>12-2022 1-22-2023 3-30-2023</td> </tr> </table> | | | | 1.0a of 4 | TITLE SHEET/COVER SHEET/FRONT ELEVATION | 2.0a of 4 | ELEVATIONS | 3.0a of 4 | MAIN STORY FLOOR PLANS | 4.0a of 4 | FOUNDATION PLANS, DETAILS | ISSUE | RELEASE DATE | REDLINES REDLINES REDLINES | 12-2022 1-22-2023 3-30-2023 |
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| ACT. | ACOUSTIC TILE | E.W. | EACH WAY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A.B. | ANCHOR BOLT | E.W.C. | ELECTRIC WATER COOLER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ACOUS. | ACOUSTICAL | EXH. | EXHAUST | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ADJ. | ADJUSTABLE | (E) EX. | EXISTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A.F.F. | ABOVE FINISHED FLOOR | EXST. | EXISTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AL. | ALUMINUM | EXP. | EXPANSION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ALT. | ALTERNATE | EXT. | EXTERIOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ARCH. | ARCHITECTURAL | F.B.O. | FURNISHED BY OWNER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ASPH. | ASPHALT | F.B.T. | FURNISHED BY TENANT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BR. | BULKHEAD | F.D. | FLOOR DRAIN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| B.S. | BOTH SIDES | FDN. | FOUNDATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| B4D | BOARD & BATTION | F.E. | FIRE EXTINGUISHER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BD. | BOARD | F.E.C. | FIRE EXTINGUISHER CABINET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BTUM. | BUTYLUMOUS | F.H.C. | FIRE HOSE CABINET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BLDG. | BUILDING | FIN. | FINISHED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BK. | BLOCK | F.I.O. | FURNISHED & INSTALLED BY OWNER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BM. | BOOM | F.I.T. | FURNISHED & INSTALLED BY TENANT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BOT. | BOTTOM | F.L. FL. | FLOOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BRG. | BEARING | FT. | FOOT OR FEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BSMT. | BASEMENT | FTG. | FOOTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| B.SECT. | BUILDING SECTION | FUT. | FUTURE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| COL. | COLUMN | GA. | GAUGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CAB. | CABINETS | GALV. | GALVANIZED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (C) | CAULK | G.C. | GENERAL CONTRACTOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CI | CAST IRON | G.S. | GALVANIZED STEEL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C.I.P. | CAST IN PLACE | GL. | GLASS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C.J. | CONTROL JOINT | GND. | GROUND | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CLG. | CEILING | GR. | GRADE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C.M.U. | CONCRETE MASONRY UNIT | GYP. | GYP-SUM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONC. | CONCRETE | H.S. | HARDEN & SEAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONN. | CONNECTION | H.B. | HOSE BIBB | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONT. | CONTINUOUS | H.C. | HOLLOW CORE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONSTR. | CONSTRUCTION | HDBD. | HARDBOARD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CNTL. | COUNTER | HWAR.HW. | HARDWARE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C.T. | CERAMIC TILE | HWOD. | HARDWOOD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| D.A. | DOUBLE ACTING | H.M. | HOLLOW METAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DBL. | DOUBLE | HORZ. | HORIZONTAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DETAL. | DETAIL | HGT. | HEIGHT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| D.F. | DRINKING FOUNTAIN | HTR. | HEATER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DIA. | DIAMETER | HD. | HEAD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DN. | DOWN | I.D. | INSIDE DIAMETER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRWG. | DRAWING | INSUL. | INSULATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EA. | EAVE | INT. | INTERIOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E.J. | EXPANSION JOINT | JM. | JAMB | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ELEC. | ELECTRIC | JAW. | JAWITOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TL. | ELEVATION | JST. | JOIST | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ELEV. | ELEVATOR | JT. | JOINT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EQ. | EQUAL | KIT. | KITCHEN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EQUIP. | EQUIPMENT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1.0a of 4 | TITLE SHEET/COVER SHEET/FRONT ELEVATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2.0a of 4 | ELEVATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3.0a of 4 | MAIN STORY FLOOR PLANS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4.0a of 4 | FOUNDATION PLANS, DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ISSUE | RELEASE DATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REDLINES REDLINES REDLINES | 12-2022 1-22-2023 3-30-2023 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

SCALE: AS NOTED
 DRAWN BY: D.WEHRICH
 CHECKED BY: D.WEHRICH
 DATE: MARCH 2023
 JOB #

1.0
 of
FOUR

BASIC BUILDING SPECIFICATIONS:

THIS STRUCTURE HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM OR REMOVAL OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE AND DIRECTION OF REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER.

THIS METAL BUILDING IS DESIGNED WITH DESIGN PRACTICES WHICH ARE BASED ON PERTINENT PROCEDURES, AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES, AND ACCEPTED PRACTICES IN THE LOW RISE METAL AND AGRICULTURAL BUILDING INDUSTRY.

AMERICAN INSTITUTE OF STEEL CONSTRUCTION
SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS 9TH. EDITION.

AMERICAN IRON AND STEEL INSTITUTE:
"SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS"

INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS:
"UNIFORM BUILDING CODE"

AMERICAN WELDING SOCIETY
"STRUCTURAL WELDING CODE"

METAL BUILDING MANUFACTURERS ASSOCIATION
"METAL BUILDING SYSTEMS MANUAL"

HIGH STRENGTH BOLTS AND THEIR INSTALLATION SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A-325 AND ARE DESIGNED AS BEARING TYPE CONNECTIONS WITH THREADS INCLUDED IN THE SHEAR PLANE. TIGHTENING OF THESE BOLTS IS RECOMMENDED BY THE TURN-OF-NUT METHOD, PER A.I.S.C. SPECIFICATION FOR STRUCTURAL JOINTS.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.

STEEL NOTES:

- 1.) ALL CONSTRUCTION TO COMPLY WITH THE LATEST EDITION OF AISC.
- 2.) ALL MACHINE BOLTS TO COMPLY WITH ASTM A-307/A-325.
- 3.) ALL HOT ROLLED OR COLD ROLLED SHEET AND STRIP USED IN FABRICATION OF COLD FORMED STRUCTURAL MEMBERS SHALL HAVE A MINIMUM YIELD STRENGTH OF 55 K.S.I.
- 4.) ALL SHOP CONNECTIONS SHALL BE WELDED IN ACCORDANCE WITH A.W.S. STRUCTURAL WELDING CODE.
- 5.) ALL FIELD WELDING IS TO BE PERFORMED BY AN A.W.S. CERTIFIED WELDER USING E70XX ELECTRODES.
- 6.) ALL STRUCTURAL STEEL TO COMPLY WITH A.S.T.M. DUAL SPECIFICATION (F_y=50 K.S.I.)

DESIGN CRITERIA:

| | |
|---------------------|-----------|
| ROOF DEAD LOAD | 3 PSF |
| COLLATERAL LOAD: | 20.00 PSF |
| ROOF LIVE LOAD: | 35 PSF |
| ROOF SNOW LOAD: | 1.15 MPH |
| BASIC WIND SPEED: | D |
| SEISMIC ZONE: | |
| IMPORTANCE FACTORS: | |
| WIND LOAD | 1.00 |
| SNOW LOAD | 1.00 |
| SEISMIC LOAD | 1.00 |

THE DESIGN LOADS AND COMBINATIONS ARE APPLIED IN ACCORDANCE WITH FOLLOWING BUILDING CODE (IBC 16) NOTES:

- 1.) ROOF DESIGN IS BASED ON THE LARGER ROOF LIVE LOAD OR SNOW LOAD.
- 2.) THIS PROJECT IS DESIGNED AS "CLOSED" ACCESSORIES (DOORS, WINDOWS, ETC.) BY OTHERS MUST BE DESIGNED AS "COMPONENTS AND CLADDING" IN ACCORDANCE TO BE SPECIFIED WIND PROVISIONS OF THE REFERENCED BUILDING CODE.

GENERAL FRAMING NOTES:

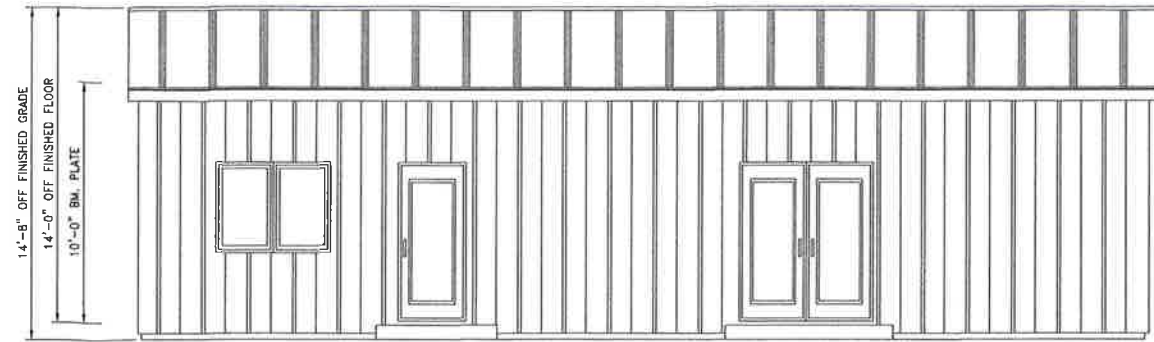
- 1.) THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION:
- 2.) DEAD LOADS:
 - A. FLOOR.....15 PSF
 - B. ROOF.....20 PSF
- 3.) LIVE LOADS:
 - A. ROOF (SNOW).....30 PSF
 - B. FLOORS.....40 PSF
 - C. WIND.....115 MPH (EXP. C)
- 4.) FOUNDATION:
 - A. THE STRUCTURE SHALL BE FOUNDED ON SPREAD FOOTINGS PLACED ON A MIN. 4" OF STRUCTURAL FILL WITH A MINIMUM BEARING CAPACITY OF 2,400 PSF.
 - B. REFER TO SOIL REPORT FOR ALL PERTINENT INFO. AND SOIL BEARING CAPACITIES.
 - C. FOUNDATION WALLS ARE DESIGNED TO BE SUPPORTED AT THE TOP AND BOTTOM BY FLOOR CONSTRUCTION. WALLS SHALL NOT BE BACK FILLED UNTIL SUCH FLOORS IN PLACE.
 - D. MINIMUM FROST DEPTH OF FOOTINGS SHALL BE 30" (TOP OF FINISHED GRADE TO THE BOTTOM OF FOOTING). FIELD VERIFY ALL TOP OF FOOTING ELEVATIONS.
- 5.) CONCRETE:
 - A. CONCRETE HAS BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318). ALL CONCRETE SHALL BE OF STONE AGGREGATE, UNLESS OTHERWISE NOTED.
 - MIN. 28 DAY COMPRESSIVE STRENGTH SHALL BE:
 1. SLABS.....4000 PSI
 2. ALL OTHER CONCRETE.....3000 PSI
 - B. REINFORCING SHALL BE NEW BILLET STEEL ASTM A615, GRADE 60, EXCEPT BARS TO BE WELDED SHALL BE ASTM A706, GRADE 60. PROVIDE CORNER BARS TO MATCH ALL HORIZONTAL REINFORCING. PROVIDE (2) #5" AROUND ALL OPENINGS IN CONCRETE AND EXTEND BARS 24" PAST EDGES OF OPENINGS.
 - C. LAP SPLICES SHALL BE CLASS B, OR EQUAL. USE THE FOLLOWING LAP LENGTHS, U.N.O.
 - (1) NO. 6 BARS AND SMALLER:
 - A. 57 BAR DIAMETERS FOR 3,000 PSI CONCRETE.
 - B. 50 BAR DIAMETERS FOR 4,000 PSI CONCRETE.
 - D. REINFORCING PLACEMENT: PROVIDE CHAIRS, STANDEES, ADDITIONAL REINFORCEMENT, AND ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT POSITION SHOWN. SUPPORT OF REINFORCEMENT ON FORM TIES, BRICK, OR OTHER UNACCEPTABLE MATERIAL WILL NOT BE ALLOWED.
 - E. MINIMUM CONCRETE COVER:
 - (1) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3 INCHES
 - (2) CONCRETE EXPOSED TO EARTH OR WEATHER:
 - A. #6" REBAR AND LARGER.....2 INCHES
 - B. #5" REBAR AND SMALLER.....1.5 INCHES
 - (3) CONCRETE NOT EXPOSED TO EARTH OR WEATHER.....3/4 INCHES
 - F. ANCHOR RODS (BOLTS) SHALL BE GRADE MIN. 36 CONFORMING TO ASTM F1554, AND SHALL HAVE A MIN. CONCRETE EMBEDMENT OF 7" WITH A 2" HOOK, UNLESS OTHERWISE NOTED.
 - G. EXTERIOR SLABS, SIDEWALKS SHALL BE 4" THICK (MIN.) REINFORCED WITH W1.4x W1.4 W.W.F.
6. STEEL:
 - A. STRUCTURAL STEEL SHALL BE DETAILED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS AND LOCAL CODES.
 - MINIMUM YIELD STRENGTH:
 - 50 KSI FOR SQUARE/RECTANGULAR HSS (ASTM A500, GR.C)
 - 50 KSI FOR WIDE FLANGE MEMBERS (ASTM A992)
 - 46 KSI FOR ROUND HSS (ASTM A500 GR. C)
 - 35 KSI FOR ROUND PIPE (ASTM A53, GR. B)
 - 36 KSI FOR ALL OTHER MEMBERS (ASTM A36)
 - B. CONNECTIONS:
 1. UNFACTORED CONNECTION CAPACITIES ARE NOTED ON DRAWINGS.
 - USE STANDARD FRAMED BEAM CONNECTIONS MEETING THE REQUIREMENTS OF THE "MANUAL OF STEEL CONST. - ASD" USE 3/4" DIAMETER, A325-NBOLTS MIN. SNUG-TIGHTENED, OR ASTM F1852 TENSION CONTROLLED BOLTS.
 2. MINIMUM WELDS PER AISC SPECIFICATION AND AWS D1.1, NOT LESS THAN CONTINUOUS 3/16" FILLET, E70XX ELECTRODES. UNLESS NOTED OTHERWISE, WELDING OF REINFORCING TO EMBEDS SHALL BE DONE TO DEVELOP 1.5 TIMES THE YIELD OF THE REINFORCING.
 - C. COLUMN BASE PLATES THAT REQUIRE GROUT SHALL BEAR ON NON-SHRINKING GROUT.
7. WOOD:
 - A. FRAMING LUMBER SHALL BE (U.N.O.)
 - (1) STUDS.....HEM-FIR STUD GRADE
 - (2) STUDS HEADERS.....HEM-FIR#2
 - (3) JOISTS/R rafters.....HEM-FIR #2
 - B. WOOD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
 - C. STAINLESS STEEL (OR GALV.) CONNECTORS, FASTENERS AND ANCHORS SHALL BE USED WITH THE PRESERVATIVE-TREATED WOODS.
 - D. EXTERIOR WALLS SHALL BE FULLY SHEATHED WITH 7/16" ORIENTED STRAND BOARD (O.S.B.) OR APPROVED EQUIVALENT.
 - E. PLYWOOD WEB JOISTS, VERSA-LAM LVL (2.1E - NOTED V.L. ON PLANS) AND VERSA STUD LVL (1.7E-NOTED V.S. ON PLANS) SHALL BE MANUFACTURED BY BOISE CASCADE, OR APPROVED EQUIVALENT. JOISTS AND BEAMS SHALL NOT BE MODIFIED WITH THE WRITTEN CONSENT OF THE ENGINEERED PLANS SPECIFIED.
 - F. ROOF TRUSSES SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. TRUSS DEFLECTIONS SHALL NOT EXCEED:
 - TOTAL LOAD: L/180, NOR 1 INCH.
 - LIVE LOAD: L/240, NOR 3/4 INCH.
 REFER TO ALL TRUSS DRAWINGS FOR INFORMATION, DETAILS, AND CONNECTIONS.

B. DRAWING COORDINATION:

- A. DIMENSIONS ON DRAWINGS SHALL BE VERIFIED WITH ALL ARCHITECTURAL DRAWINGS AND ENGINEERING, AND DETERMINED PRIOR TO CONSTRUCTION.
- B. DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED.
- C. SHOP DRAWINGS SHALL BE DRAWN AND PREPARED BY FABRICATOR.
- D. ANY SUBSTITUTIONS, OR CHANGES TO THE STRUCTURE DETAILED IN THESE DRAWINGS TO BE DISCUSSED AND DETERMINED PRIOR TO CONSTRUCTION BEGINNING.

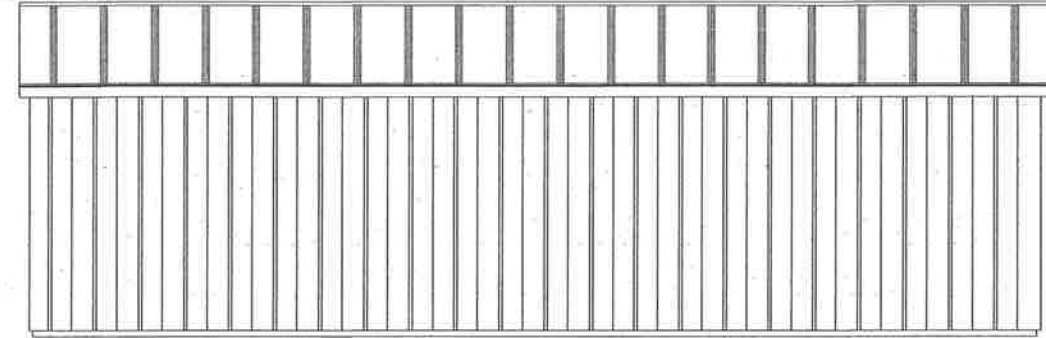
ELEVATION STANDARD NOTES

- 1.) PROVIDE 26 GAUGE GALVANIZED IRON FLASHING AT ALL ROOF PENETRATIONS, ROOF VALLEYS, AND ROOF TERMINATIONS @ WALLS. PAINT TO MATCH ROOF.
- 2.) ALL EXPOSED WOOD TO BE PAINTED OR STAINED.
- 3.) WHERE NECESSARY, STEP TOP AND BOTTOM OF FOUNDATION TO FOLLOW FINISH GRADE.
- 4.) ALL EXPOSED METAL TO BE PAINTED UNLESS INDICATED OTHERWISE.
- 5.) EXTERIOR PORCH STAIRS TO HAVE 7" MAX. RISE AND 11" MIN. TREAD.
- 6.) EXTERIOR PORCH STAIRS HAVING 2 OR MORE RISERS SHALL HAVE A HANDRAIL AT 36" TO 38" MIN. ABOVE STAIR NOSING.
- 7.) EXTERIOR PORCHES MORE THAN 30" ABOVE GRADE TO HAVE 36" MIN. GUARD (HAND) RAIL.



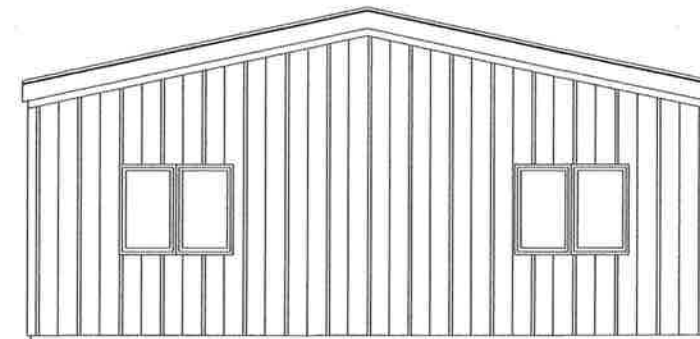
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



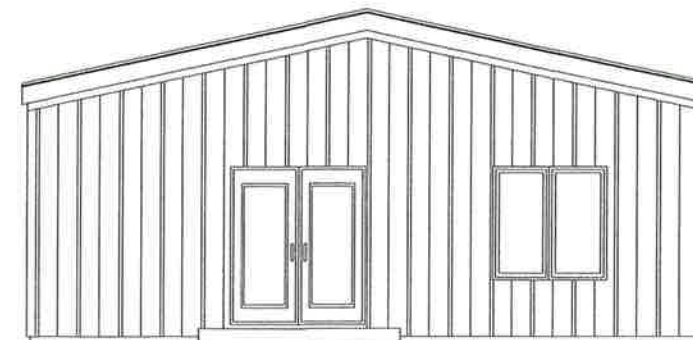
REAR ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DISCREPANCIES MAY EXIST BETWEEN THE PLANS OR FIELD CONDITIONS. PLEASE REVIEW THE ENTIRE SET OF CONSTRUCTION PLANS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL PLACE THE ENTIRE RESPONSIBILITY FOR RESOLUTION UPON THE CONTRACTOR. ©JAG2023

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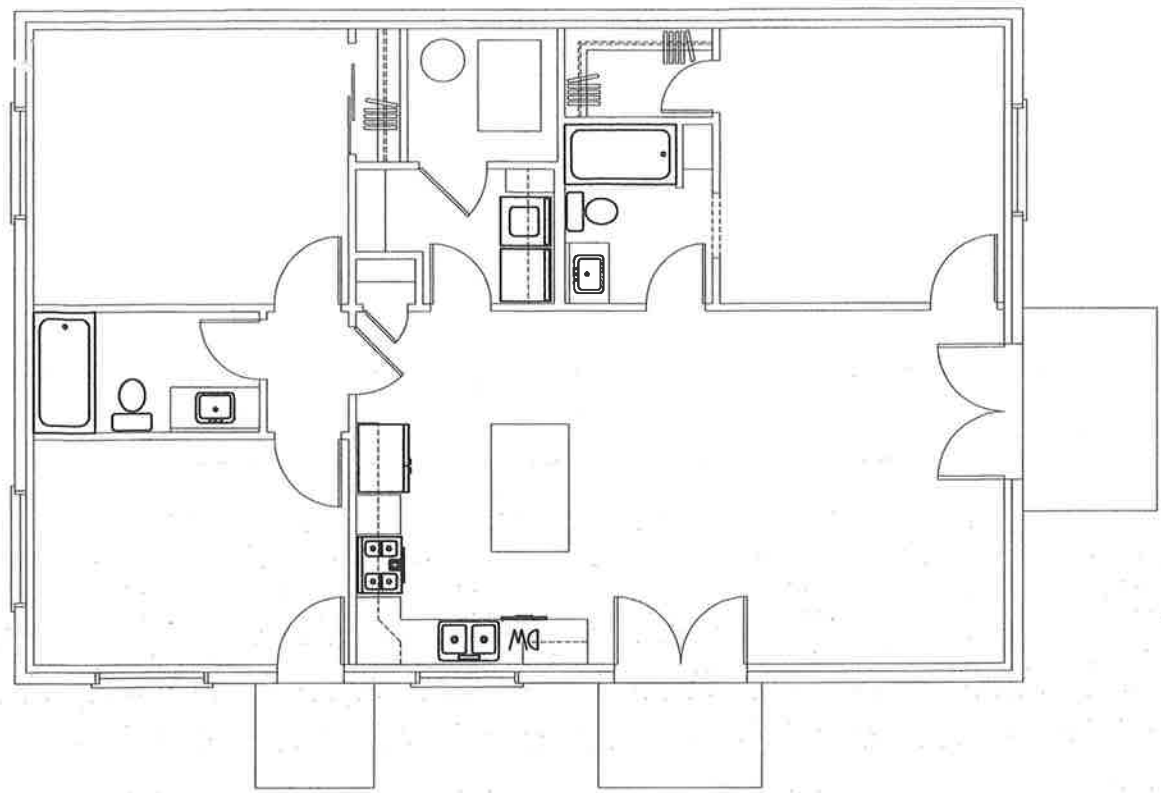
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A SINGLE FAMILY RESIDENCE
THE CHENAULT RESIDENCE
4529 COUNTY ROAD 660 (RTE) COLORADO 81069

| | |
|----------|-----------|
| DATE: | |
| REDLINES | 12-2022 |
| REDLINES | 1-22-2023 |
| REDLINES | 3-30-2023 |

| | |
|-------------|------------|
| SCALE: | AS NOTED |
| DRAWN BY: | D. WEHRICH |
| CHECKED BY: | D. WEHRICH |
| DATE: | MARCH 2023 |
| JOB # | |

2.0
of
FOUR



MAIN STORY ELEC. PLANS

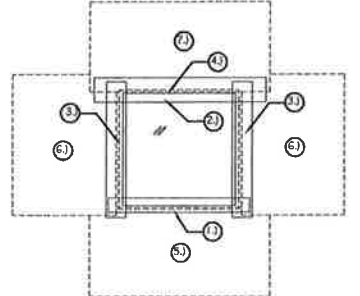
SCALE: 1/4" = 1'-0"

- FAN
- FAN W LIGHT
- EXHAUST FAN- CEILING MOUNT- EXTERIOR VENTING
- SMOKE DETECTOR- ALL INTERCONNECTED HARDWARE W/ BATTERY BACKUP
- RECESSED CAN LIGHT (DOWNLIGHT)
- RECESSED CAN LIGHT (DOWNLIGHT) @ BATHROOMS OVER TUB/SHOWER TO BE VAPOR PROOF OR WATER PROOF
- CEILING MOUNTED FIXTURE
- EXTERIOR CORNER SPOT LIGHTING W/ SWITCHES LOCATED BY CONTRACTOR
- WEATHERPROOF 110 VOLT EXTERIOR OUTLET
- 110 VOLT DUPLEX OUTLET W GROUND FAULT INTERRUPT
- 110 VOLT DUPLEX WALL OUTLET
- WALL SWITCH
- WALL SWITCH W DIMMER
- WALL SWITCH W MORE THAN ONE LOCATION
- PHONE TELEPHONE JACK
- CABLE JACK FOR TV

PANEL BOARD SCHEDULE

| 100% 40 10 20 CIRCUIT MAIN BREAKER | | | |
|------------------------------------|----|---------|---------|
| A | 1 | 20 AMPS | 30 AMPS |
| B | 3 | 20 AMPS | 30 AMPS |
| C | 5 | 20 AMPS | 30 AMPS |
| A | 7 | 20 AMPS | 30 AMPS |
| B | 9 | 20 AMPS | 30 AMPS |
| C | 11 | 20 AMPS | 30 AMPS |
| A | 13 | 20 AMPS | 30 AMPS |
| B | 15 | 20 AMPS | 30 AMPS |
| C | 17 | 20 AMPS | 30 AMPS |
| A | 19 | 20 AMPS | 30 AMPS |
| B | 21 | 20 AMPS | 30 AMPS |
| C | 23 | 20 AMPS | 30 AMPS |
| A | 25 | 20 AMPS | 30 AMPS |
| B | 27 | 20 AMPS | 30 AMPS |
| C | 29 | 20 AMPS | 30 AMPS |
| A | 31 | 20 AMPS | 30 AMPS |
| B | 33 | 20 AMPS | 30 AMPS |
| C | 35 | 20 AMPS | 30 AMPS |
| A | 37 | 20 AMPS | 30 AMPS |
| B | 39 | 20 AMPS | 30 AMPS |
| C | 41 | 20 AMPS | 30 AMPS |

- 1) INSTALL 9" SILL FLASHING WITH OUTSIDE 4 1/2" LEFT LOOSE TO ALLOW FOR COUNTER FLASHING
- 2) PLACE WINDOW AND SCREW IT INTO WALL
- 3) INSTALL 9" JAMB FLASHING THAT EXTENDS 9" ABOVE AND BELOW WINDOW
- 4) INSTALL HEAD FLASHING THAT EXTENDS 9" PAST JAMB FLASHING
- 5) INSTALL PROTECTIVE PAPER UNDER THE UN-ADHERED 4 1/2" OF SILL FLASHING
- 6) INSTALL PROTECTIVE PAPER OVER JAMB FLASHING AND PROTECTIVE PAPER INSTALLED UNDER SILL FLASHING IN STEP 5
- 7) INSTALL PROTECTIVE PAPER OVER HEAD FLASHING AND PROTECTIVE PAPER OVER JAMB INSTALLED IN STEP 1



WINDOW FLASHING DET

TYPICAL COMMON WALL CONSTRUCTION

5/8" TYPE #4 G.W.S. CROWN ONLY 90° QUAD OR 7/8" O.C.S. WALL CROWN ON 2x4 S.M.F. WOOD STUDS @ 16" O.C. IN MAX. 2 1/2" SILL SILL. 5/8" INSULATION BATT @ 16" O.C. SILL AND JAMB

TYPICAL FLOOR CONSTRUCTION

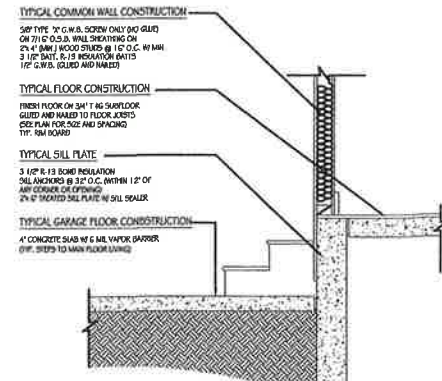
FRESH FLOOR ON 3/4" 1x4 SHAPED GIRDERS AND NAIL TO FLOOR JOISTS. SEE PLAN FOR SILL AND DRAPING. TYP. 5/8" SILL BOARD

TYPICAL SILL PLATE

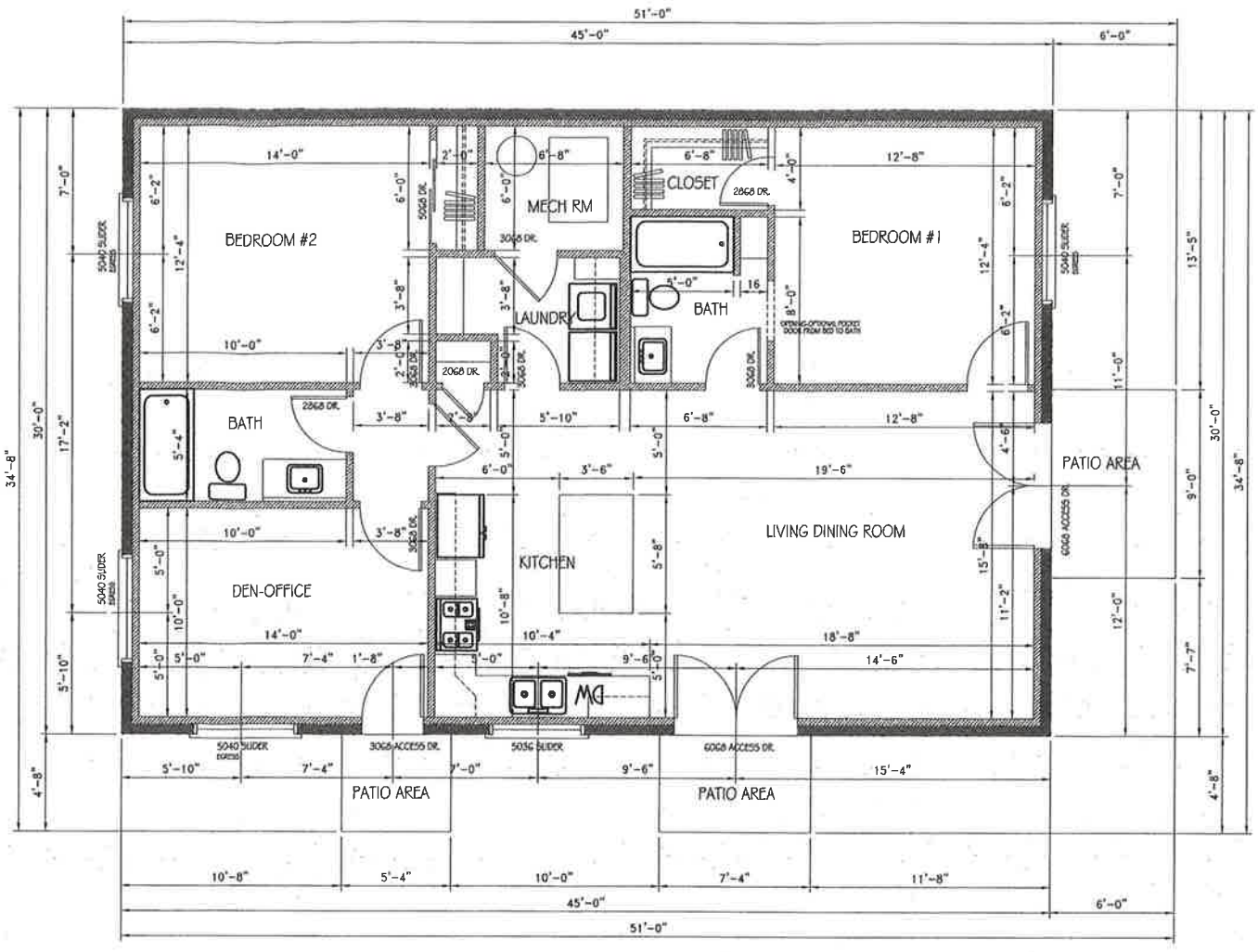
3 1/2" x 6 1/8" SILL INSULATION SILL ANCHORS @ 32" O.C. WITHIN 1 1/2" OF ANY CORNER OF CEILING. 2x4 SILL PLATE W/ SILL SEALER

TYPICAL GARAGE FLOOR CONSTRUCTION

4" CONCRETE SLAB W/ 6 MIL VAPOR BARRIER (6"V. STEPS TO MAIN FLOOR LIVING)



PORCH/PATIO STEP DOWN



MAIN STORY FLOOR PLANS

SCALE: 1/4" = 1'-0"

- TYP. FOUNDATION WALL (8")
- TYP. EXTERIOR WALL (2x 4"/2x 6")
- TYP. INTERIOR WALL (2x 4")

| BASE PLAN (SQUARE FOOTAGES) | |
|-----------------------------|----------------|
| MAIN LEVEL LIVING | 1350.0 |
| PATIO AREAS | SEE CONTRACTOR |
| TOTAL UNDER ROOF | 1350.0 |

- GENERAL CONSTRUCTION NOTES**
- 1) DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 - 2) CONTRACTOR SHALL VERIFY DIMENSIONS OF ANY CONCRETE OR CONCRETE FROM TO PROCEEDING WITH WORK.
 - 3) ALL STRUCTURAL MEMBER SHALL HAVE THE FOLLOWING ARE UNLESS NOTED OTHERWISE: SOUTHERN PINE, FB 1800 D 15.
 - 4) ALL FOOTINGS, FOUNDATIONS, SLABS SHALL BE ON MATERIAL OF COMPACTED SOIL HAVING A MIN. BEARING OF 2500 P.S.F. AS DETERMINED AND VERIFIED BY A REGISTERED TESTING LABORATORY.
 - 5) ALL CONSTRUCTION SHALL BE PERFORMED BY A LICENSED MASONRY OR MASONRY IN ACCORDANCE WITH ALL CODES, REGULATIONS, ORDINANCES AND RESTRICTIONS HAVING JURISDICTION.
 - 6) ALL VEGETATION AND ORGANIC MATTER SHALL BE REMOVED FROM PLACING ALL EMB. FOUNDATION SHALL BE ON EXISTING COMPACTED OR UNDEVELOPED AREAS. ALL EMB. SHALL BE 12" IN DEPTH AND TO 30% UNDOUBT AS PER A.S.T.M. PROCTOR TEST OR APPROVED PRACTICE TEST.
 - 7) FOOTINGS SHALL HAVE BEEN REINFORCED FOR A SOLE BEARING PRESSURE OF 2,500 P.S.F. SOIL BORINGS MUST BE MADE BY A TESTING LABORATORY TO DETERMINE THE ASSUMED SOIL BEARING CAPACITY.
 - 8) CONCRETE SHALL HAVE A SLAB OF 2" W/ WALL AND A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS: FOUNDATIONS AND SLABS ON GRADE 2,500 P.S.I. COLUMNS AND BEAMS 3,000 P.S.I. CONCRETE CURING FOR ALL FORMS IN PLACE CONCRETE SHALL BE AS FOLLOWS: FOUNDATIONS 7 DAYS ON GRADE 28 DAYS IN PLACE. CONCRETE SHALL BE CURED BY 7 DAYS ON GRADE 28 DAYS IN PLACE.
 - 9) REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. A-618 SPECIFICATIONS FOR NEW DEPOSITED REBAR. ALL REBAR SHALL BE WITH A MIN. YIELD STRENGTH OF 60,000 P.S.I. IT SHALL BE DETAIL, FABRICATED AND PLACED AS RECOMMENDED BY A.C.I.
 - 10) UNLESS NOTED OTHERWISE SHALL CONFORM TO A.S.T.M. A-36, W/ 36" ON EACH SIDE OF BEARING WALLS AND 3/4" FLAT HEAD OF FOOTING AND REBAR PROTECTIVE COATING.
 - 11) CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO A.S.T.M. C-90 MASONRY SHALL CONFORM TO A.S.T.M. C-90 TYPE M.
 - 12) ALL ROOF JOISTS, TRUSSES, OUTRIGGERS, BEAMS AND GIRDERS SHALL BE SECURED WITH APPROVED GALVANIZED METAL TIE CLIPS, ANCHORS TO THE BEAMS OR GIRDERS PERMITTED.
 - 13) ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
 - 14) PROVIDE SCHED. AND TYPED TRUSS SPACING AND CALCULATIONS FOR DESIGNER APPROVAL, PRIOR TO FABRICATION OF TRUSSES. PROVIDE TRUSS CALCULATIONS FOR ALL TRUSSES AND GIRDERS.
 - 15) USE SILL W/ SILL SEAL FOR EXTERIOR WOOD FLOOR.
 - 16) ALL STUCCO SEPARATOR COATS SHALL BE ALLOWED 24 HOUR DRYING PERIOD. (6"V)
 - 17) SUBMITTALS OF CERTIFIED PRODUCTS AND OR MATERIALS BY WRITTEN REQUEST TO AND SUBJECT TO APPROVAL BY OWNER/ENGINEER.
 - 18) VERIFY ALL WORK IS IN ACCORDANCE WITH ALL CODES AND ORDINANCES.

- ELECTRICAL NOTES**
- 1) PROVIDE GFI CIRCUITS FOR ALL BATHROOM, GARAGE, EXTERIOR OUTLETS AND AS SHOWN ON PLANS. ALL WIRE SHALL BE THE CORRECT UNLESS NOTED OTHERWISE. VERIFY WITH ELEC. CONTRACTOR.
 - 2) PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LEAD AND LINES.
 - 3) NOTE: (SEE)
 - 4) ELECTRIC FITTINGS FROM AND APPLIANCES SHALL BE U.L. APPROVED AS PER CONTRACT.
 - 5) PROVIDE NEW FLEXIBLE GENERAL DUTY SAFETY SWITCHES AT REC. EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER AND AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 6) ALL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES AND LAWS.
 - 7) (SEE) (SEE) (SEE)
 - 8) ALL BREAKER PANELS TO BE EQUIPPED WITH CODE APPROVED SURGE PROTECTOR.
 - 9) OUTDOOR LANDSCAPE LIGHTING AND ANCHOR BORES TO BE COORDINATED WITH LANDSCAPE CONSULTANT OR OWNER.
 - 10) STEREO PRACTICE, OUTLET, ETC. TO BE COORDINATED WITH INDIVIDUAL CONSULTANT/OWNER OR OWNER.
 - 11) ALL THERMOSTAT LOCATIONS TO BE COORDINATED AND APPROVED BY JOB SUPERVISOR PRIOR TO CONSTRUCTION.
 - 12) ALL CENTRAL VACUUM SUCT PORT LOCATIONS TO BE COORDINATED AND APPROVED BY JOB SUPERVISOR PRIOR TO INSTALLATION.
 - 13) INCOMING ELECTRIC SERVICE LOCATIONS TO BE COORDINATED WITH LOCAL TRANSFORMER LOCATION.
 - 14) FIELD VERIFY LOCATION OF F.P.L. ELECTRIC METER AND DISCONNECTS, COORDINATE LOCATION OF METER OUTLETS, METER BINS, METER BOXES, AND CONDUIT RUNS, ETC. WITH ACTUAL ELECTRIC SERVICE LOCATIONS.
 - 15) MINIMUM NUMBER OF RECEPTACLES PER DEMAND CIRCUIT SHALL BE SIX (6).
 - 16) ALL RECEPTACLES WITHIN 6'-0" OF SINK SHALL BE GFI OUTLETS.
 - 17) ALL CLOSET LIGHTING SHALL MEET AND COMPLY WITH NEC 410.6.
 - 18) SMOKE DETECTORS SHALL BE HARD WIRED AND TEST SELF CONTAINED BATTERY BACKUP. DETECTORS SHALL BE INSTALLED 5-6 FT. ALL DETECTORS SHALL BE 18" MAXIMUM SPACING.
 - 19) SECURITY SYSTEM AND WIRING DISTRIBUTION PANEL FOR TELEPHONE, TV, CABLE, AND SATELLITE COAX TO BE LOCATED IN LAUNDRY ROOM WALL. APPROX. 20" H/15" W. ENCLOSURE DEPOSITED 120 VOLT 15 AMP CIRCUIT BREAKER PANEL. (SEE SPECIFICATIONS)

DISCREPANCIES MAY EXIST BETWEEN THE PLANS OR BETWEEN THE PLANS AND FIELD CONDITIONS. PLEASE REVIEW THE ENTIRE SET OF CONSTRUCTION PLANS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL PLACE THE ENTIRE RESPONSIBILITY FOR RESOLUTION UPON THE CONTRACTOR. © JAD80023

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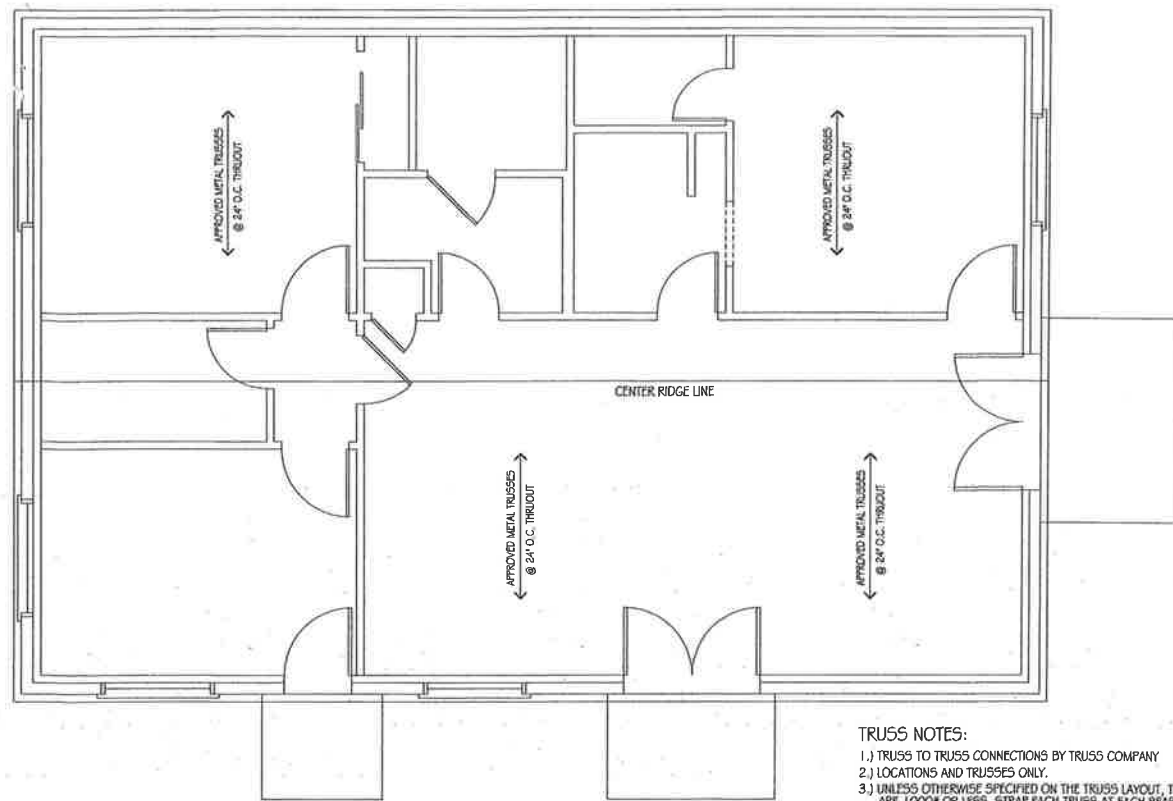
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A SINGLE FAMILY RESIDENCE
THE CHENAULT RESIDENCE
4529 COUNTY ROAD 660 (RVE) COLORADO 81069

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| DATES: | |
| REDLINES | 12-2022 |
| REDLINES | 1-22-2023 |
| REDLINES | 3-30-2023 |

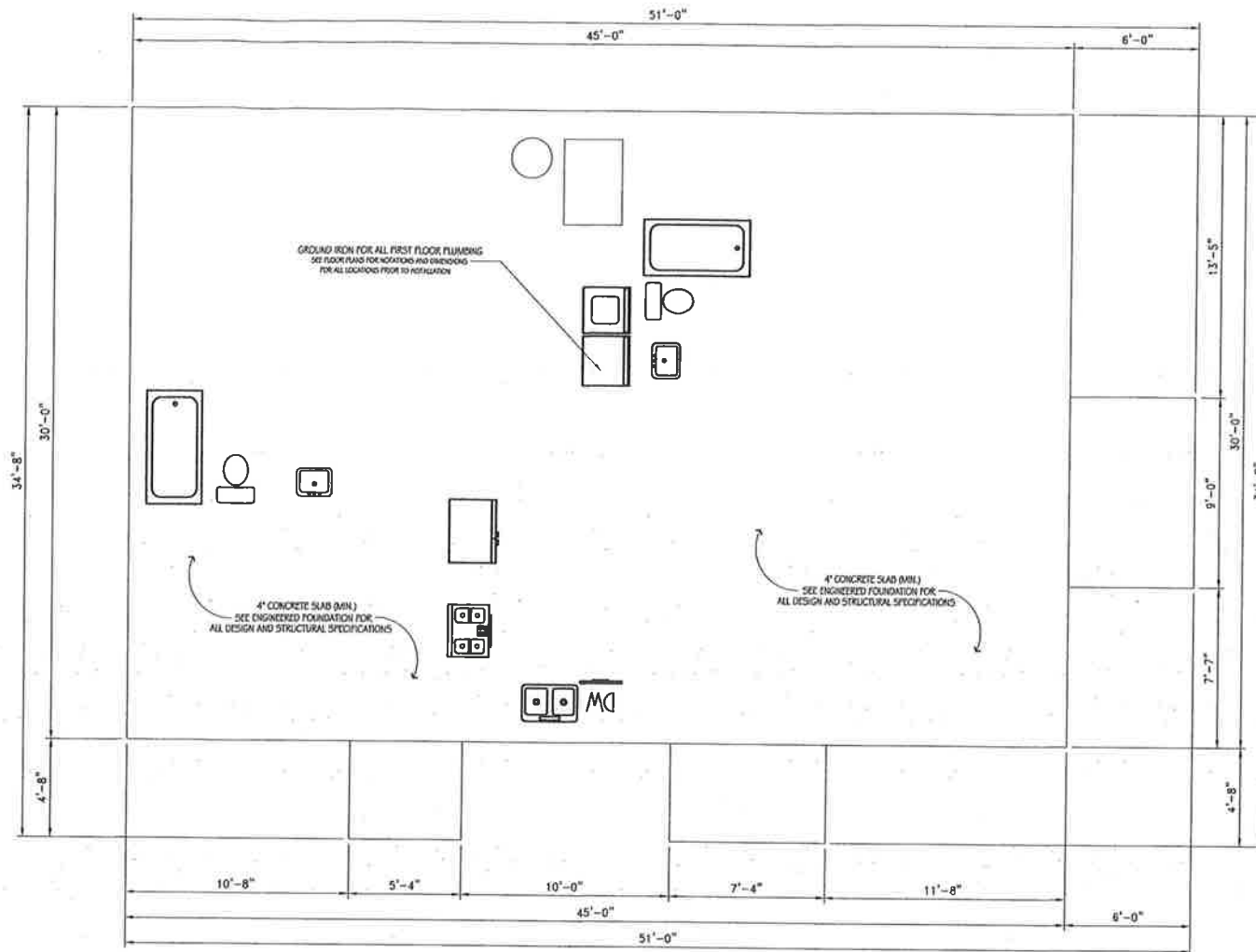
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| SCALE: | AS NOTED |
| DRAWN BY: | D. WEHRICH |
| CHECKED BY: | D. WEHRICH |
| DATE: | MARCH 2023 |
| JOB #: | |

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FOUR



- TRUSS NOTES:**
- 1.) TRUSS TO TRUSS CONNECTIONS BY TRUSS COMPANY
 - 2.) LOCATIONS AND TRUSSES ONLY.
 - 3.) UNLESS OTHERWISE SPECIFIED ON THE TRUSS LAYOUT, TRUSS UPLIFTS ARE 1000# OR LESS. STRAP EACH TRUSS AT EACH BEARING W/ MSTA-1B 1-4-10d PER STRAP AS APPROPRIATE.
 - 4.) STRAP GE 24" O.C. W/ STRAP SPECT. ABOVE AS APPROPRIATE.
 - 5.) TYP. OUTLOOKERS 2x 4" @ 24" O.C. 400# UPLIFT EACH BEARING. SECURE W/ H3 AT TOP CHORD OR DROP GLE AND TO JACK TOP CHORD W/ 3-16d.
 - 6.) TYP. COMMON AND END JACKS 7" AND LESS 400# UPLIFT 8-10d PER MSTA-1B.
 - 7.) POST CONNECTIONS: BASE ABU44 OR EQUAL / TOP (2) MSTA-1B W/ 1-4-10d.
 - 8.) HEADER CONNECTIONS: (2) MSTA-1B W/ 1-4-10d OR MBHA OR EQUAL.
 - 9.) USE 1/2" 10d NAILS IN STRAPS UNLESS OTHERWISE NOTED. (NO SPLITTING OR CRACKING ALLOWED.)
 - 10.) EQUIVALENT HARDWARE PERMITTED THROUGHOUT.

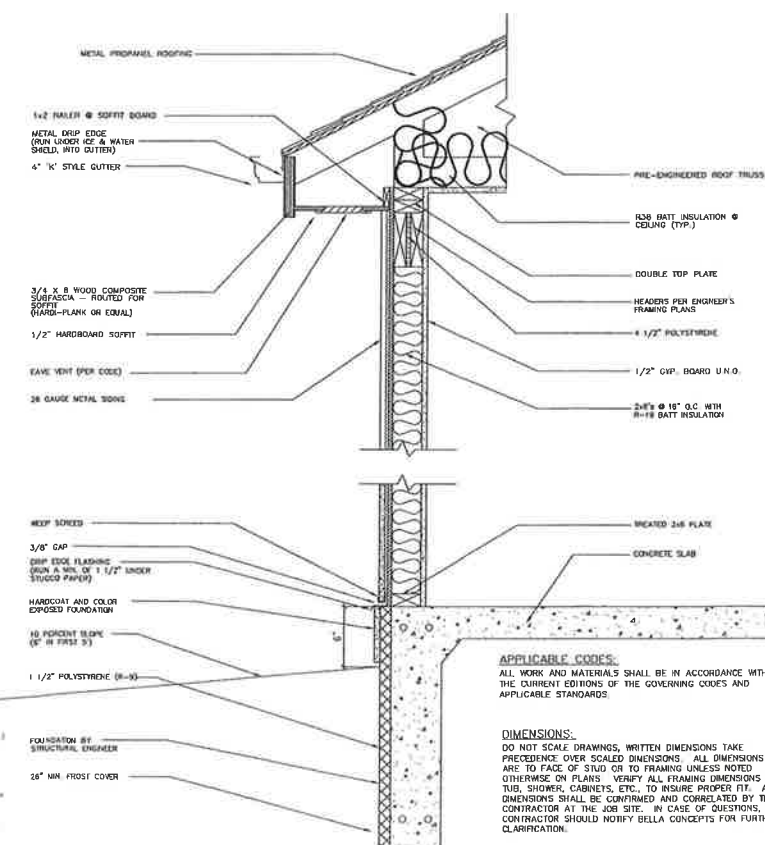
ROOF FRAMING PLANS



SLAB ON GRADE PLANS

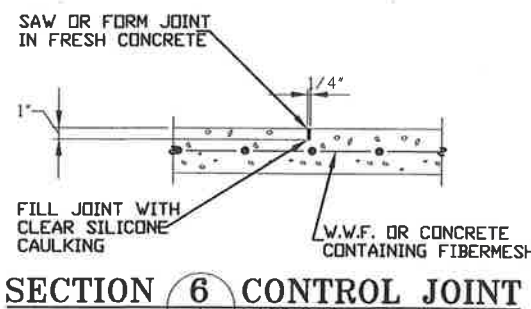
SCALE: 1/4" = 1'-0"

CONDITIONED WALL SECTION



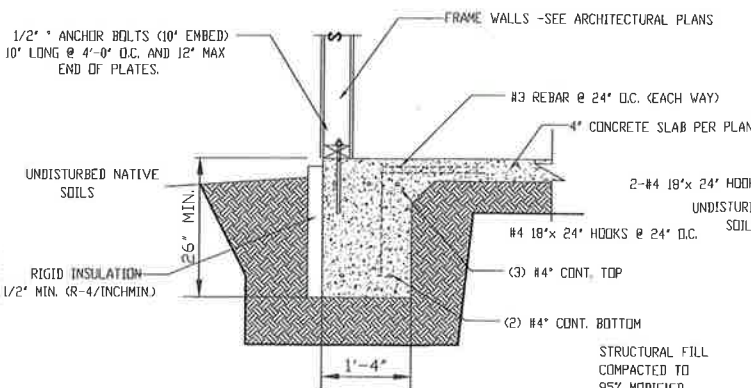
APPLICABLE CODES:
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE GOVERNING CODES AND APPLICABLE STANDARDS.

DIMENSIONS:
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FRAMING UNLESS NOTED OTHERWISE ON PLANS. VERIFY ALL FRAMING DIMENSIONS AT THE CONTRACTOR AT THE JOB SITE. IN CASE OF QUESTIONS, THE CONTRACTOR SHOULD NOTIFY BELLA CONCEPTS FOR FURTHER CLARIFICATION.



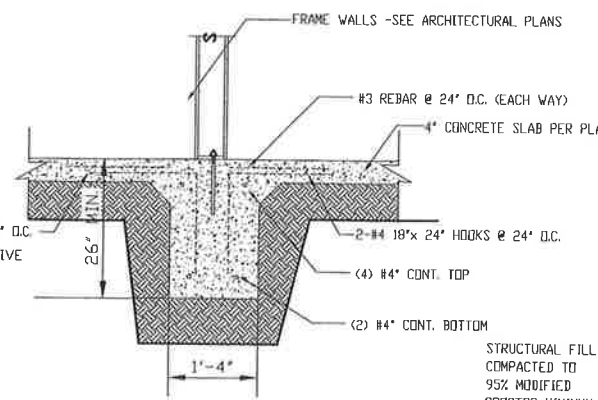
SECTION 6 CONTROL JOINT

SCALE: 1 1/8" = 1'-0"



SECTION A WALL DETAIL

SCALE: 3/4" = 1'-0"



SECTION B INTERIOR

SCALE: 3/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES**
- 1.) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONFLICTS OR CONDITIONS PRIOR TO PROCEEDING WITH WORK.
 - 2.) CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS IN THE FIELD.
 - 3.) ALL STRUCTURAL LUMBER SHALL HAVE THE FOLLOWING MIN. VALUES UNLESS NOTED, SOUTHERN PINE, FB-1800 E-15.
 - 4.) ALL FOUNDATION, FOUNDATIONS, SLABS SHALL BE ON NATURAL OR COMPACTED SOIL HAVING A MIN. BEARING OF 2500 P.S.F. AS DETERMINED AND NOTED BY A REGISTERED TESTING LABORATORY.
 - 5.) ALL CONSTRUCTION SHALL BE PERFORMED IN A GOOD WORKMANLIKE MANNER IN ACCORDANCE WITH ALL CODES, REGULATIONS, ORDINANCES AND RESTRICTIONS OF THE JURISDICTION.
 - 6.) ALL LOCATION AND DIMENSION MARKS SHALL BE REMOVED PRIOR TO PLACING FILL DIRT. FOUNDATION SHALL BE ON EXISTING FILL CONCRETE IN AREAS OF FILL MORE THAN 12" DEPTH AND TO 36" DEPTH AS PER A.S.T.M. PRODUCTION TEST OR ACCEPTED PRACTICE TEST.
 - 7.) FOUNDATIONS SHALL HAVE BEEN DESIGNED FOR A SOIL BEARING PRESSURE OF 2,500 P.S.F. SOIL BORINGS MUST BE MADE BY A TESTING LABORATORY TO CONFIRM THE ASSUMED SOIL BEARING PRESSURE.
 - 8.) CONCRETE SHALL HAVE BEEN DESIGNED FOR A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS: FOUNDATIONS AND SLABS ON GRADE 3,500 P.S.F. CONCRETE SHALL BE PLACED IN PLACE CONCRETE SHALL BE AS FOLLOWS: FOUNDATIONS 4" COLUMNS 4" FLOOR SLABS 3" SLABS IN CONTACT WITH SOIL 3" SLABS NOT IN CONTACT WITH SOIL 2" SLABS
 - 9.) REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. A.C. 108 SPECIFICATIONS FOR NEW DEFORMED BARS (STEEL) AND JOINTS TO CONFORM WITH A MIN. YIELD STRENGTH OF 60,000 P.S.I. IT SHALL BE DETAIL, FURNISHED AND REBAR SHALL BE REBAR.
 - 10.) ALL REBAR SHALL BE EPOXY COATED CONFORMING TO A.S.T.M. A. 108, W/ 30" ON EACH SIDE OF BEARING WALLS AND 30" FROM EACH SIDE OF BEARING PILES.
 - 11.) CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH A.S.T.M. C-800 WORK SHALL CONFORM TO A.S.T.M. C-1200, TYPE I.
 - 12.) ALL ROOF JOISTS, TRUSSES, OUTLOOKERS, BEAMS AND SHEETS SHALL BE GALVANIZED WITH APPROVED GALVANIZED METAL SHEET GALVANIZED TO THE 12 BOARD OR BEARING PARTITION.
 - 13.) ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
 - 14.) PRELIMINARY AND FINAL SHOP DRAWINGS AND CALCULATIONS FOR DESIGNERS APPROVAL, PRIOR TO FABRICATION OF PARTS, SHALL BE SUBMITTED FOR ALL METAL AND BRASS.
 - 15.) LOCK SHALL BE ONLY FOR EXTERIOR WOOD WORK.
 - 16.) ALL STEEL SCREWS SHALL BE ALUMINUM OR GALVANIZED STEEL. (SEE SPEC. 05100) SHALL BE APPROVED BY OWNER/DESIGNER.
 - 17.) SUBSTITUTIONS OF SPECIFIED PRODUCTS AND OR MATERIALS BY WRITTEN REQUEST TO AND SUBJECT TO APPROVAL BY OWNER/DESIGNER.
 - 18.) HOLLOW WALL CONSTRUCTION.
 - 19.) PERFORM ALL WORK IN ACCORDANCE WITH ALL CODES AND ORDINANCES.

- ELECTRICAL NOTES**
- 1.) PROVIDE OR CREDIT FOR ALL ELECTRICAL, GARAGE, EXTERIOR OUTLETS AND AS SHOWN ON PLANS. ALL WIRE SHALL BE THIN CENTER UNLESS NOTED OTHERWISE. VERIFY WITH SUBCONTRACTOR.
 - 2.) PREWIRE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND LIMITS.
 - 3.) NOTE LEGS:
 - 4.) ELECTRICAL PARTS FROM AND ATTACHMENTS SHALL BE U.L. APPROVED AS PER CONTRACT.
 - 5.) PROVIDE NON-FUSIBLE OVERCURRENT PROTECTIVE DEVICES BY AC SUPPLYING, AND ALL PARTS NOT VULNERABLE TO OVERCURRENT PROTECTIVE DEVICES AND AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 6.) ALL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES AND LAWS.
 - 7.) MEMBER IS RESPONSIBLE:
 - 8.) ALL SERVICE PANELS TO BE EQUIPPED WITH GFCI APPROVED SINGLE PROTECTOR.
 - 9.) OUTDOOR LANDSCAPE LIGHTING AND JUNCTION BOXES TO BE COORDINATED WITH LANDSCAPE CONSULTANT COMPANY.
 - 10.) SERVICE PANELS, DEVICES, ETC. TO BE COORDINATED WITH ALL APPLICABLE CONSULTANTS/COMPANY OR OWNER.
 - 11.) ALL NECESSARY LOCATIONS TO BE COORDINATED AND APPROVED BY JOB SUPERVISOR PRIOR TO CONSTRUCTION.
 - 12.) ALL CENTRAL VACUUM MEET POINT LOCATIONS TO BE COORDINATED AND APPROVED BY JOB SUPERVISOR PRIOR TO INSTALLATION.
 - 13.) INCOMING ELECTRIC SERVICE LOCATIONS TO BE COORDINATED WITH LOCAL TRANSFORMER LOCATION.
 - 14.) FIELD VERIFY LOCATION OF T.P.S. ELECTRIC METER AND DISCONNECTS, COORDINATE LOCATIONS OF WIRE OUTLETS FROM PERMS, SHOWERS, AC CONDENSING UNITS, ETC. WITH ACTUAL ELECTRIC SERVICE LOCATIONS.
 - 15.) MINIMUM NUMBER OF RECEPTACLES PER OPERATING CIRCUIT SHALL BE ONE (1).
 - 16.) ALL RECEPTACLES MUST BE GFCI UNLESS NOTED OTHERWISE.
 - 17.) ALL GFCI CIRCUITS SHALL MEET AND COMPLY WITH NEC 410.4.
 - 18.) SMOKE DETECTORS SHALL BE HARD WIRED AND HAVE SELF-CONTAINED BATTERY BACKUP. DETECTORS SHALL BE TYPICAL W/ 50 ALL DETECTORS SHALL BE SHARED.
 - 19.) SECURITY SYSTEM AND WIRING DISTRIBUTION PANEL FOR TELEPHONE, TV, CABLE, AND SATELLITE CABLE TO BE LOCATED IN LAUNDRY ROOM WALL. APPROX. 28" H. 19" W. ENCLOSURE DEREGISTERED 120 VOLT 15 AMP CIRCUIT BREAK PANEL. (SEE SPECIFICATIONS).

DISCREPANCIES MAY EXIST BETWEEN THE PLANS AND FIELD CONDITIONS. PLEASE REVIEW THE ENTIRE SET OF CONSTRUCTION PLANS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL PLACE THE ENTIRE RESPONSIBILITY FOR RESOLUTION UPON THE CONTRACTOR. © 2023

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A SINGLE FAMILY RESIDENCE
THE CHENAULT RESIDENCE
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| DATE: | 12-2022 |
| REVISED: | 1-22-2023 |
| REVISED: | 3-30-2023 |

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| DRAWN BY: | D. WEHRICH |
| CHECKED BY: | D. WEHRICH |
| DATE: | MARCH 2023 |
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