



APPLICATION:  
**APPEARANCE REVIEW**  
 2020 Chestnut Road, Homewood, IL 60430

**PROPERTY INFORMATION**

**Street Address:** 3233 183rd Street Homewood, IL 60430

**Property Index Number(s):** 32-02-201-039-0000

**Zoning District:**

- R-1     R-2     R-3     R-4  
 B-1     B-2     B-3     B-4  
 M-1     M-2     PL-1     PL-2

**Application Request**

Select all applicable boxes for Appearance Commission requests below.

- New Construction, including:     Existing Development  
   » Building Elevations                     Exterior Alterations  
   » Landscape Plan                          Landscape Plan  
   » Lighting, Photometric Plan         Lighting, Photometric Plan  
   » Signage                                     Signage  
  
 Sign Variance

**Proposed Development or Alterations:**

Remodeling & Addition to Existing Automobile Dealership, including Sitework.

**APPLICANT**

Name Marc Smith  
 Company E. Anthony, Inc.  
 Address 18521 Spring Creek Drive, Unit F  
           Tinley Park, Illinois 60477  
 Phone 708-802-8230  
 Email ms@eanthonyinc.com  
 Role Sr. Project Manager

**PROPERTY OWNER**

Name Steve Phillipos  
 Company Homewood Ford, LLC  
 Address 3233 183rd Street  
           Homewood, Illinois 60430  
 Phone 708-798-1668  
 Email sphillipos@homewoodford.com  
 Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

Marc Smith  
 Applicant Name

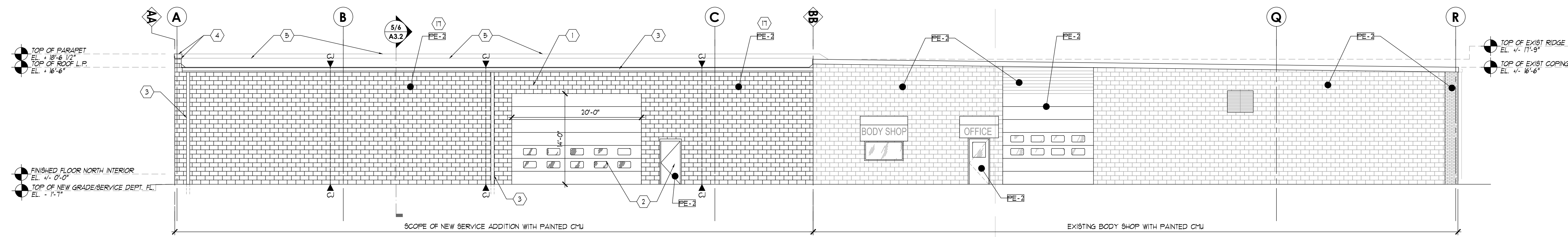
*Marc W. Smith*  
 Applicant Signature

07/10/2024  
 Date

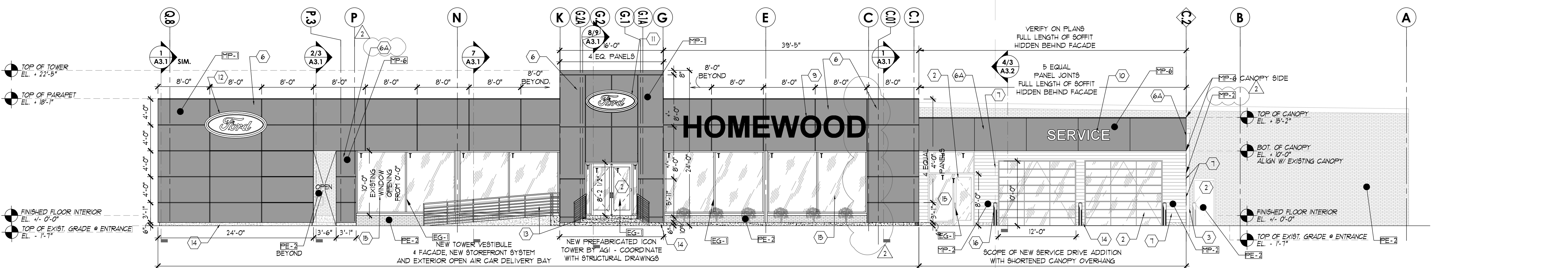
**Staff Notes**

*Do not write below this line.*

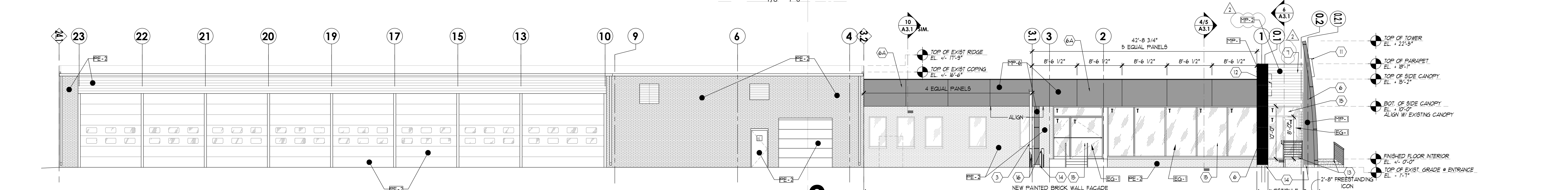
CASE NO: _____	Fee: _____ <input type="checkbox"/> Paid	Date Received: _____
<b>Request:</b> _____	<b>Action:</b> _____	<b>Comments/Conditions:</b> _____
		<b>Date:</b> _____
This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.		
Name: _____	Signature: _____	Date: _____



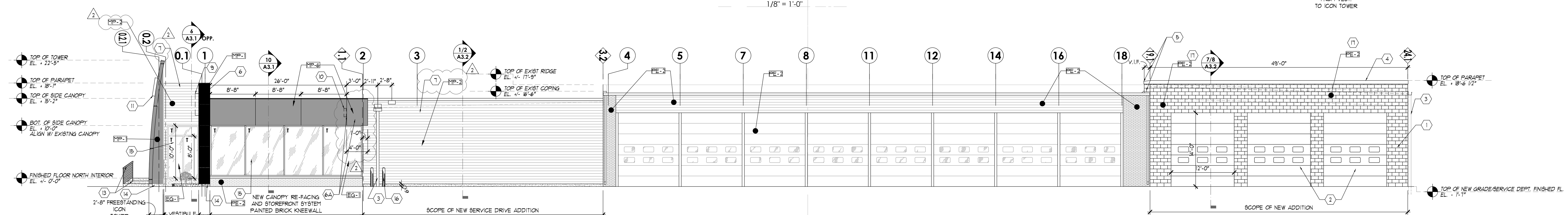
**PROPOSED SOUTH ELEVATION 4**  
1/8" = 1'-0"



**PROPOSED NORTH ELEVATION 2**  
1/8" = 1'-0"



**PROPOSED EAST ELEVATION 2**  
1/8" = 1'-0"



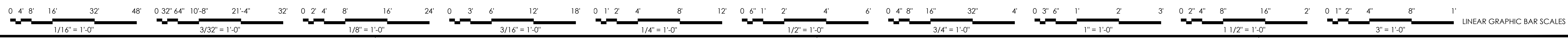
**PROPOSED WEST ELEVATION 1**  
1/8" = 1'-0"

**KEY NOTES**

- NEW CMU WALL CONSTRUCTION - REFER TO FLOOR PLAN AND WALL SECTIONS FOR ADD. INFO.
- NEW EXTERIOR DOORS - REFER TO DOOR SCHEDULE FOR ADD. INFO.
- NEW ROOF GUTTER AND DOWNSPOUT - REFER TO ROOF PLAN FOR ADD. INFO.
- NEW PARAPET WALL AND COPING - REFER TO WALL SECTIONS FOR ADD. INFO.
- NEW LINE OF CMU PARAPET BEYOND BUILT UP TO LEVEL OUT EXISTING SLOPED PARAPET OF EXISTING SERVICE DEPT. CMU EXTERIOR WALL.
- ACM - PRESSURE EQUALIZED RAIN SCREEN (DRY JOINT) METAL PANEL SYSTEM. ARCONIC REINFORCED LONG BRUSHED ALUMINUM OR FORD APPROVED EQUAL. REFER TO REFERENCE FINISH SPECIFICATIONS SHEET A2.1.
- ACM - PRESSURE EQUALIZED RAIN SCREEN (DRY JOINT) CANOPY METAL PANEL SYSTEM. ARCONIC REINFORCED FEWTER OR FORD APPROVED EQUAL. REFER TO REFERENCE FINISH SPECIFICATIONS SHEET A2.1.
- CORRUGATED METAL (EXPOSED, PAINTED FASTENER). ALCOA SLATE GREY OR FORD APPROVED EQUAL. REFER TO REFERENCE FINISH SPECIFICATIONS SHEET A2.1.
- NOT USED.
- 39" HIGH DEALER NAME LETTERS. REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM FOR ADDITIONAL INFO. SIGNAGE PROVIDED AND INSTALLED BY "AGI". SEE FORD PROTOTYPE PACKAGE.
- 18" HIGH SERVICE LETTERS. REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM FOR ADDITIONAL INFO. SIGNAGE PROVIDED AND INSTALLED BY "AGI". SEE FORD PROTOTYPE PACKAGE.
- 21 S.F. FORD SIGN. REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM FOR ADDITIONAL INFO. SIGNAGE PROVIDED AND INSTALLED BY "AGI". SEE FORD PROTOTYPE PACKAGE.
- 31 S.F. FORD SIGN. REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM FOR ADDITIONAL INFO. SIGNAGE PROVIDED AND INSTALLED BY "AGI". SEE FORD PROTOTYPE PACKAGE.
- NEW CONC. RAMP, LANDING, STAIRS, AND STEEL GUARDRAILS AND HANDRAILS. REFER TO ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION AND DETAILS AND STRUCTURAL DRAWINGS FOR CONC. REINFORCING/QUANTIFICATION DETAILS.
- NEW CONC. FOUNDATION - REFER TO BUILDING AND WALL SECTIONS/STRUCTURAL DWGS. FOR ADD. INFO.
- EXTERIOR WINDOW(S). (ALL WINDOWS TO BE A FIXED NON-OPERABLE TYPE) KAWNEER TRIFAB 451T SYSTEM - SOLARBAN 60 GLAZING LOW-E, 1/2" TEMPERED GLAZED INSULATED GLASS FRAMES TO BE CLEAR ANODIZED, PROVIDE PRE-FORMED SILL PAN FLASHINGS W/ STOP ENDS & BACKDRAH AS REQ'D, MATCHING THE ADJACENT HAS. COLOR FLASH OVER SILL W/ DRIP EDGE.
- NEW CONCRETE BOLLARDS - REFER TO DETAIL AND PLAN ON SHEET A8.10.
- POLYGUARD FLUID APPLIED AIR/MOISTURE BARRIER OVER NEW CMU.

**LEGEND**

- CJ MAS CJ FROM DR / WINDOW HEAD TO T1 MAS, TYP SEE DETAIL 2 ON SH4 A1.0
- HP MAS CJ FROM T1 FON TO T1 MAS (FH) TYP SEE DETAIL
- T GLAZING TO BE TEMP SAFETY GL.



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708-802-8200

**HOMWOOD FORD DEALERSHIP REMODELING**  
3233 183rd St, Homewood, IL 60430

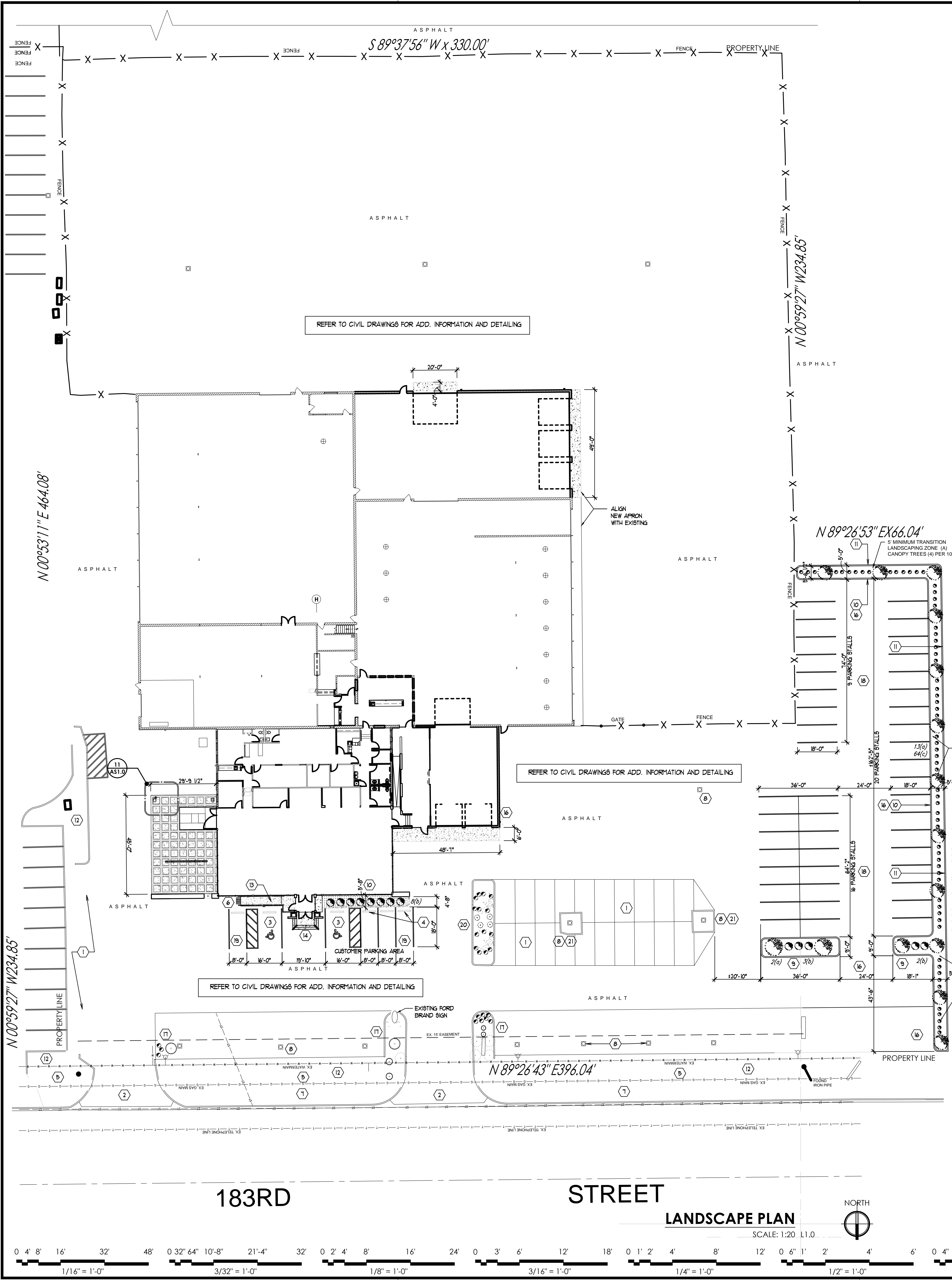
Revisions:  
 1. CLARIFICATION/REVISION #2 4/25/24  
 2. FORM REVIEW CORRECTIONS/REVISION #1 3/22/24  
 3. REVIEW COMMENTS - 3/6/24  
 4. ISSUED FOR PERMIT AND BID 1/15/24

Drawing Date: 1/15/24  
 Project Number: 22083

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Sheet Name: **EXTERIOR ELEVATIONS**  
 Sheet Number: **A2.0**  
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### AREA & PLANTING CALCULATIONS

PLANT AND SYMBOL	PLANT FACT	PLANT QUANTITY	BOTANICAL NAME COMMON NAME	DETAIL	PLANT SIZE	REMARKS
ISLAND TREES	X(a)	11	QUERCUS ALBURA RED OAK	11L10	2-1/2" CAL.	B 4 B
		13	HYDRANGEA PANCULATA FLOWERING SHRUBS - QUICKFIRE HYDRANGEA	24L10	5 GAL (24")	SPACED 28'-0" OC
GROUND COVER	X(c)	64	LITTLE HENRY® SWEET SPIRE # 3 GAL (18"-24") AND APPROVED HARDWOOD MULCH BEDDED AS PER THE INSTALLATION NOTES	34L10	3 GAL	SPACED 3'-0" OC

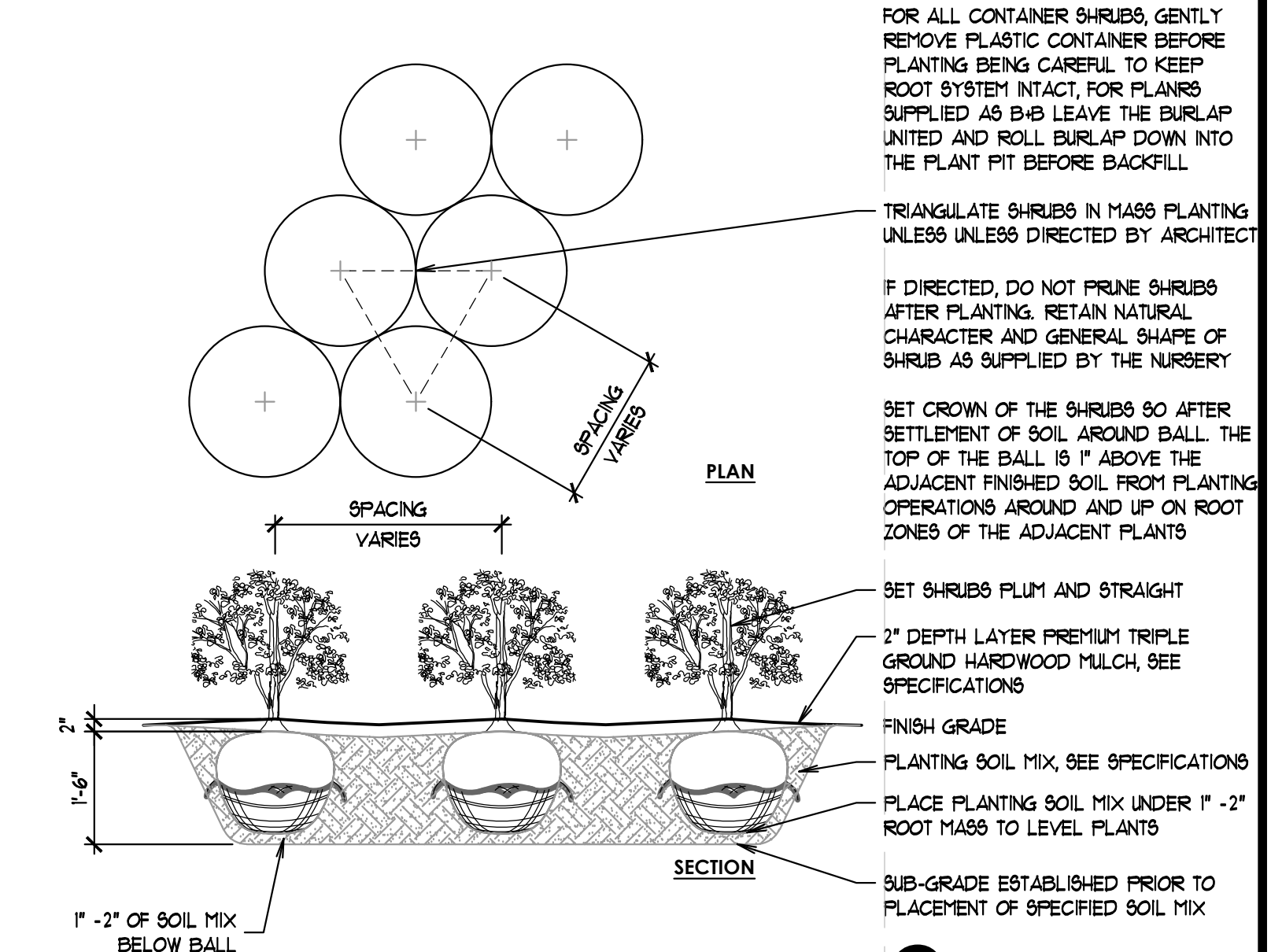
REMARK(S):

- ### KEY NOTES
- EXISTING VEHICLE SALE PARKING STALL(S) - TO REMAIN, TYPICAL
  - EXISTING ASPHALT DRIVEWAY TO REMAIN - NO WORK
  - NEW ACCESSIBLE PARKING STALL(S) - REFER TO ARCH. SITE PLAN DRAWING AS10
  - NEW WHEEL STOP, TYPICAL
  - EXISTING CONC SIDEWALK TO REMAIN NO WORK
  - NEW ADA DETECTIBLE WARNING SIDEWALK RAMP, TYPICAL
  - EXISTING UTILITY WD POLE, TYPICAL, NO WORK - REFER TO CIVIL DRAWINGS
  - EXISTING PARKING LOT LIGHT POLE, TYPICAL - NO WORK - REFER TO CIVIL DRAWINGS
  - NEW LANDSCAPE ISLAND W/ CONC CURB, INTERIOR PLANTING TO BE PER SCHEDULE ON 8" DIRTY W/ 3" PREMIUM HARDWOOD SHREDDED MULCH AROUND SHRUBS AND TREE
  - NEW LANDSCAPE BEDDING W/ HEDGE PLANTING ON 8" DIRTY W/ 3" PREMIUM HARDWOOD SHREDDED MULCH AROUND HEDGING, HEDGE PLANTING TO BE PER SCHEDULE
  - NEW CONC RETAINING WALL - REFER TO CIVIL DRAWINGS
  - EXISTING GRASS (SOO) PLANTING AREA TO REMAIN - NO WORK
  - NEW CONC RAMP, REFER TO ARCH. SITE PLAN DRAWING AS10 AND CIVIL DRAWINGS
  - NEW CONC SLAB AND STEPS - REFER TO ARCH. SITE PLAN DRAWING AS10
  - PROVIDE WALL MOUNTED HOSE BIB W/ IN-LINE VACUUM BREAKER, FOR 100'-0" COVERAGE AREA - VERIFY LOCATION IN FIELD
  - REPAIR ASPHALT PAVEMENT AS NEEDED - REFER TO ARCH. SITE PLAN DRAWING AS10 AND CIVIL DRAWINGS
  - EXISTING SHRUBS AND GROUND COVERING PLANTING TO REMAIN
  - EXISTING ASPHALT PARKING LOT AREA TO BE PAINTED W/ 4" WIDE WHITE STRIPING FOR PARKING STALLS AS INDICATED - REFER TO ARCH. SITE PLAN DRAWING AS10 AND CIVIL DRAWINGS
  - EXISTING ASPHALT PARKING LOT AREA TO BE PAINTED W/ 4" WIDE YELLOW STRIPING FOR PARKING STALLS AS INDICATED - REFER TO ARCH. SITE PLAN DRAWING AS10 AND CIVIL DRAWINGS
  - EXISTING ISLAND WITH TREES, SHRUBS AND GROUND COVER TO REMAIN
  - EXISTING ISLAND WITH MULCH TO REMAIN

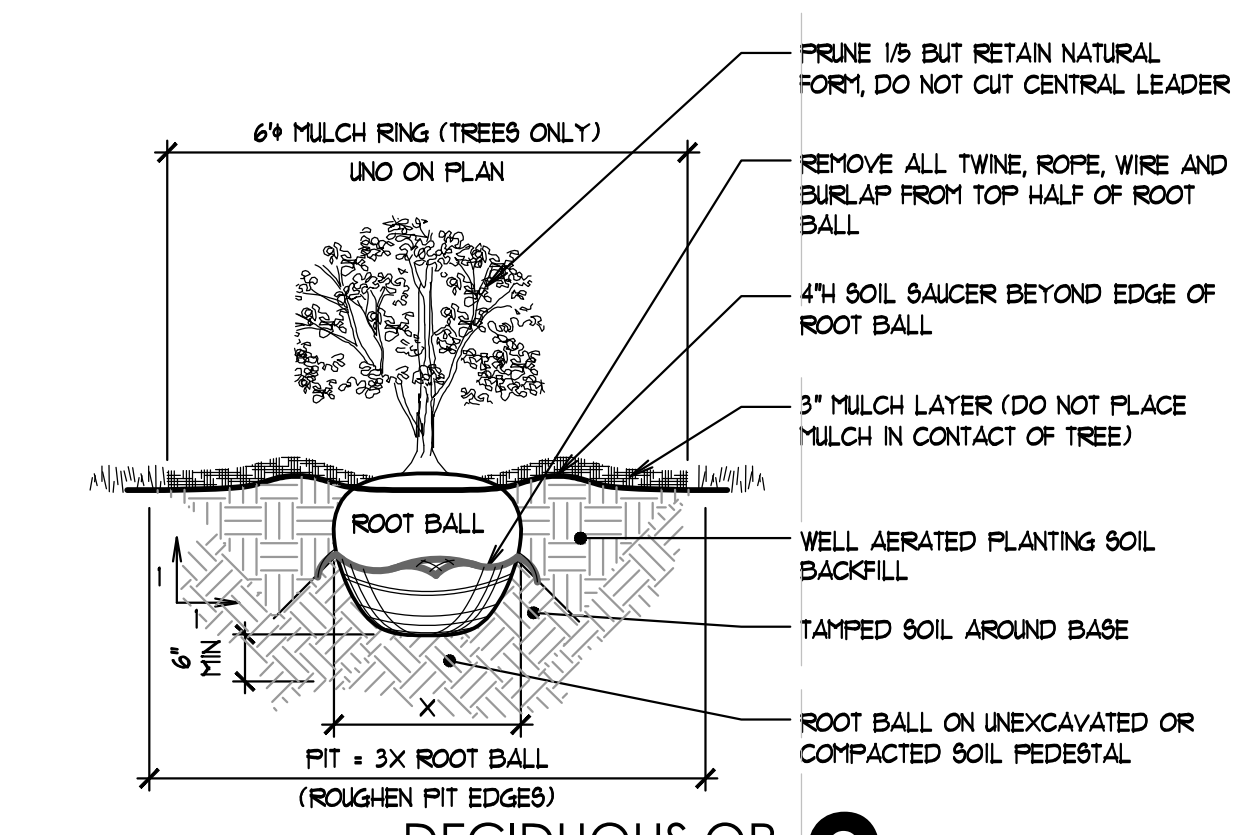
**RIDGELAND ASSOCIATES INC.**  
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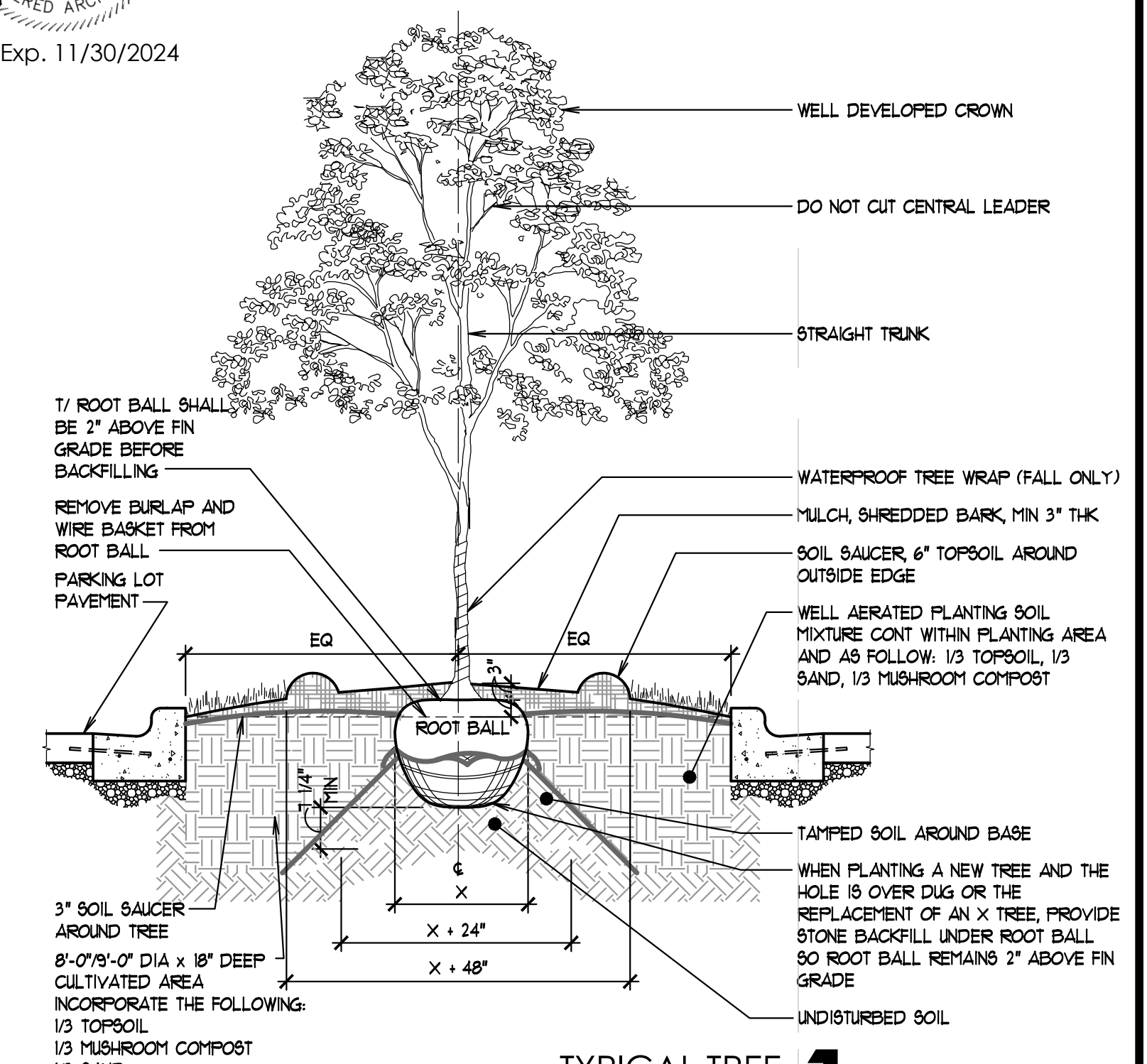
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3233 183rd St, Homewood, IL 60430



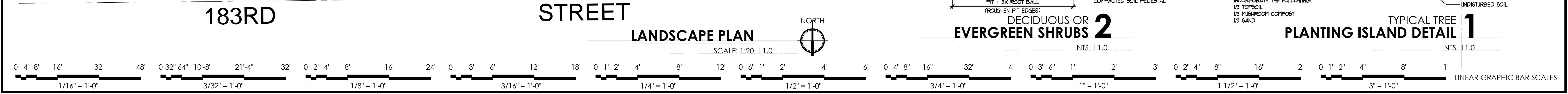
**SHRUB PLANTING DETAIL 3**  
NTS L1.0



**DECIDUOUS OR EVERGREEN SHRUBS 2**  
NTS L1.0

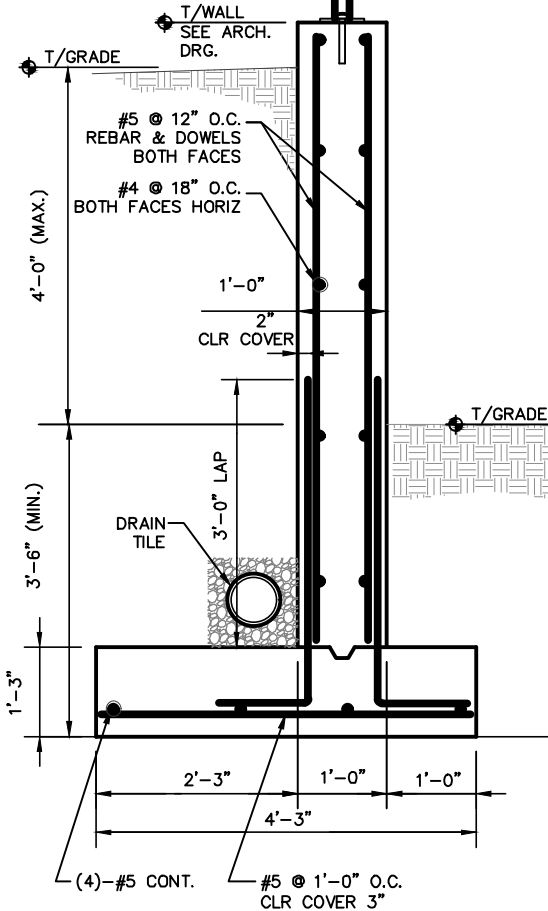


**TYPICAL TREE PLANTING ISLAND DETAIL 1**  
NTS L1.0



GUARDRAIL  
PER ARCH. DRG.

DESIGN SURCHARGE 125PSF



**RETAINING WALL**

SCALE: NO SCALE



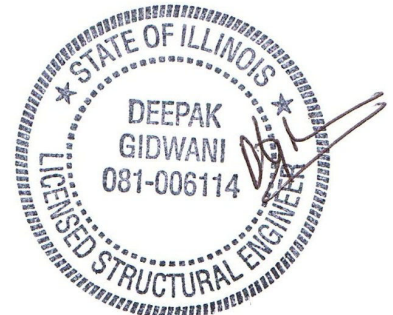
**FOUNDATIONS**

1. FOUNDATION DESIGN IS BASED ON ALLOWABLE NET BEARING CAPACITY OF 2000 PSF.
2. ALL EXCAVATED ELEVATIONS SHALL BE INSPECTED DESIGN BEARING CAPACITY SHALL BE VERIFIED BY A SOILS TESTING LABORATORY PRIOR TO PLACEMENT OF CONCRETE.
3. FILL AND ANY UNDERLYING PEAT / SOFT ORGANIC SOIL SHALL BE REMOVED AT ALL FOUNDATION LOCATIONS AND REPLACED WITH GRANULAR BACKFILL OR LEAN CONCRETE.
4. ALL COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LAYERS NOT EXCEEDING 10" AND COMPACTED TO A MINIMUM DENSITY EQUAL TO 95% OF MAXIMUM DRY DENSITY AS OBTAINED IN ACCORDANCE WITH ASTM D-1557.
6. NO MUD SLABS, FOOTINGS OR SLAB ON GRADE SHALL BE PLACED INTO OR AGAINST SUBGRADES CONTAINING FREE WATER, FROST OR ICE.
7. ALL SUBGRADE AND MUD SLABS UNDER SLABS ON GRADE SHALL BE THOROUGHLY CLEANED IMMEDIATELY PRIOR TO CONCRETE PLACEMENT.

**CONCRETE AND REINFORCEMENT**

1. ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" ACI 318, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" ACI 301, AND THE ACI CODE OF STANDARD PRACTICE. DELIVERY AND PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 304 AND ASTM C94.
2. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE SHALL HAVE 6% +/- 1% AIR ENTRAINMENT AND MAXIMUM WATER TO CEMENT RATIO OF 0.40.
3. CEMENT SHALL CONFORM TO ASTM C150 TYPE I OR II. FLY ASH CONFORMING TO ASTM C618 MAY BE USED TO REPLACE NOT MORE THAN 20 PERCENT OF THE CEMENT IN THE MIXES. AGGREGATES FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33.
4. CONCRETE ADMIXTURE FOR AIR-ENTRAINMENT SHALL CONFORM TO ASTM C260. ALL OTHER CONCRETE ADMIXTURES SHALL CONFORM TO ASTM C494. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN THE CONCRETE MIXES.
5. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306 WHEN THE ATMOSPHERIC TEMPERATURE IS EXPECTED TO FALL BELOW 40 DEGREES F. HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305 WHEN THE ATMOSPHERIC TEMPERATURE IS EXPECTED TO RISE ABOVE 90 DEGREES F.
6. FINISHED CONCRETE SHALL BE EVALUATED AND REPAIRED AS NOTED HEREIN AND IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE. ALL CONCRETE SHALL BE FREE FROM HONEYCOMBS AND OTHER DEFECTS AND SHALL BE PROPERLY CONSOLIDATED IN ACCORDANCE WITH ACI 309 "GUIDE FOR CONSOLIDATION OF CONCRETE".
7. CONCRETE FORMWORK AND FORMED CONCRETE SURFACES SHALL CONFORM TO ACI 347 "GUIDE TO FORMWORK FOR CONCRETE". EXTERIOR CONCRETE SURFACES WHICH WILL BE EXPOSED TO VIEW IN THE FINISHED STRUCTURE SHALL BE CLASS A AND SHALL BE RUBBED SMOOTH. ALL OTHER EXPOSED SURFACES SHALL BE CLASS C EXCEPT THAT CONCEALED SURFACES MAY BE CLASS D. USE FORM RELEASE AGENTS WHICH WILL NOT STAIN THE FINISHED CONCRETE SURFACES OR ADVERSELY AFFECT THE APPLICATION OF FINISHES.
8. REBAR SHALL CONFORM TO ASTM A615 GRADE 60 AND SHALL NOT BE WELDED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
9. COVER FOR REBAR SHALL BE IN ACCORDANCE WITH ACI 318 AND SHALL NOT BE LESS THAN THE FOLLOWING:  

CONCRETE CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER: #6 THRU #18 BARS	2"



EXP. 11/30/2024



DG STRUCTURAL ENGINEERING LLC  
www.dgstructural.com VOICE : (708) 625-4724

PROJECT:

**HOMWOOD FORD 3233 183rd ST., HOMWOOD, IL 60430**

ARCHITECT:

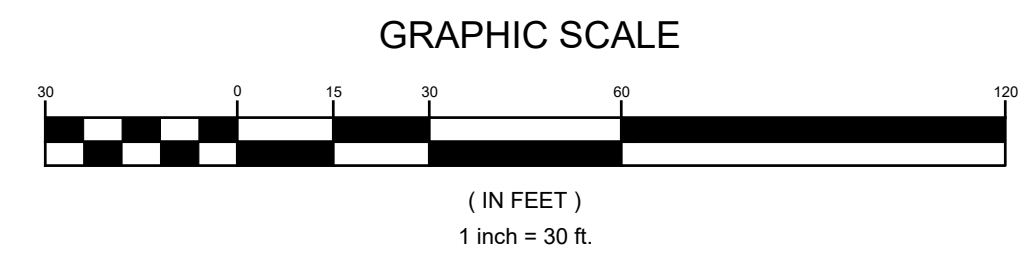
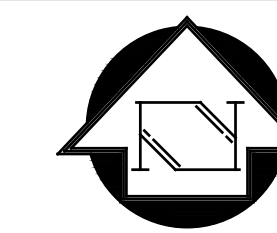
**RIDGELAND ARCHITECTS**

DRAWING #: **SK-01**

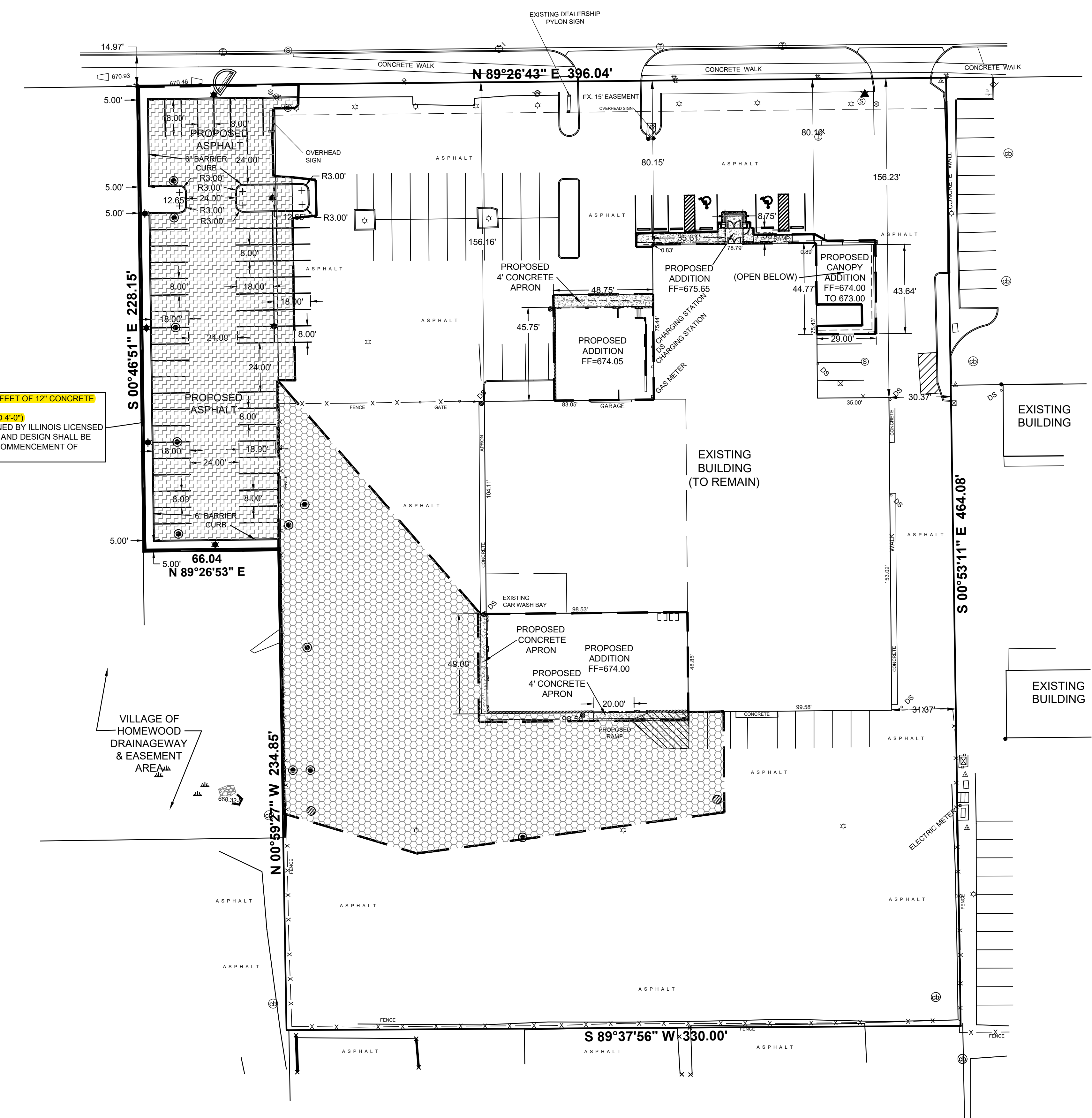
DATE: **JUL 18 2024**

DRAWN: **DG**

REV:



# 183RD STREET



**PROPOSED 434 LINEAL FEET OF 12" CONCRETE RETAINING WALL (HEIGHT VARIES 1'-0" TO 4'-0")**  
WALL SHALL BE DESIGNED BY ILLINOIS LICENSED STRUCTURAL ENGINEER AND DESIGN SHALL BE APPROVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

VILLAGE OF HOMEWOOD DRAINAGEWAY & EASEMENT AREA

### GENERAL NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: JOSEPH A. SCHUDT AND ASSOCIATES. 9455 ENTERPRISE DRIVE MOKENA, ILLINOIS 60448 708.720.1000 (P) 708.720.1065 (F)
2. ALL DESIGN INFORMATION BASED UPON GEOTECHNICAL REPORT PREPARED BY (PENDING)
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL PARKING LOT DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.
12. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
13. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
14. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
15. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
16. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
17. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
18. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
19. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
21. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
22. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
23. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION.
24. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
25. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
26. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
27. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
28. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
29. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

— SITE DEVELOPMENT AREA (MILL AND RESURFACE AREAS NOT CONSIDERED DEVELOPMENT) 48,000 Sq. Ft. (1.102 ACRES)

**PAVEMENT LEGEND**

	CONCRETE
	STANDARD DUTY ASPHALT
	HEAVY DUTY ASPHALT PAVING

N:\2018\16-052\16-052\_Village of HomeWood Ford Drawings\Construction Drawings\16-052-ENG-12-15-23\_Geometric-4\_Planet.dwg, 02/12/2024 4:24 PM, By: Tfranko, COPYRIGHT 2024, JOSEPH A. SCHUDT & ASSOCIATES

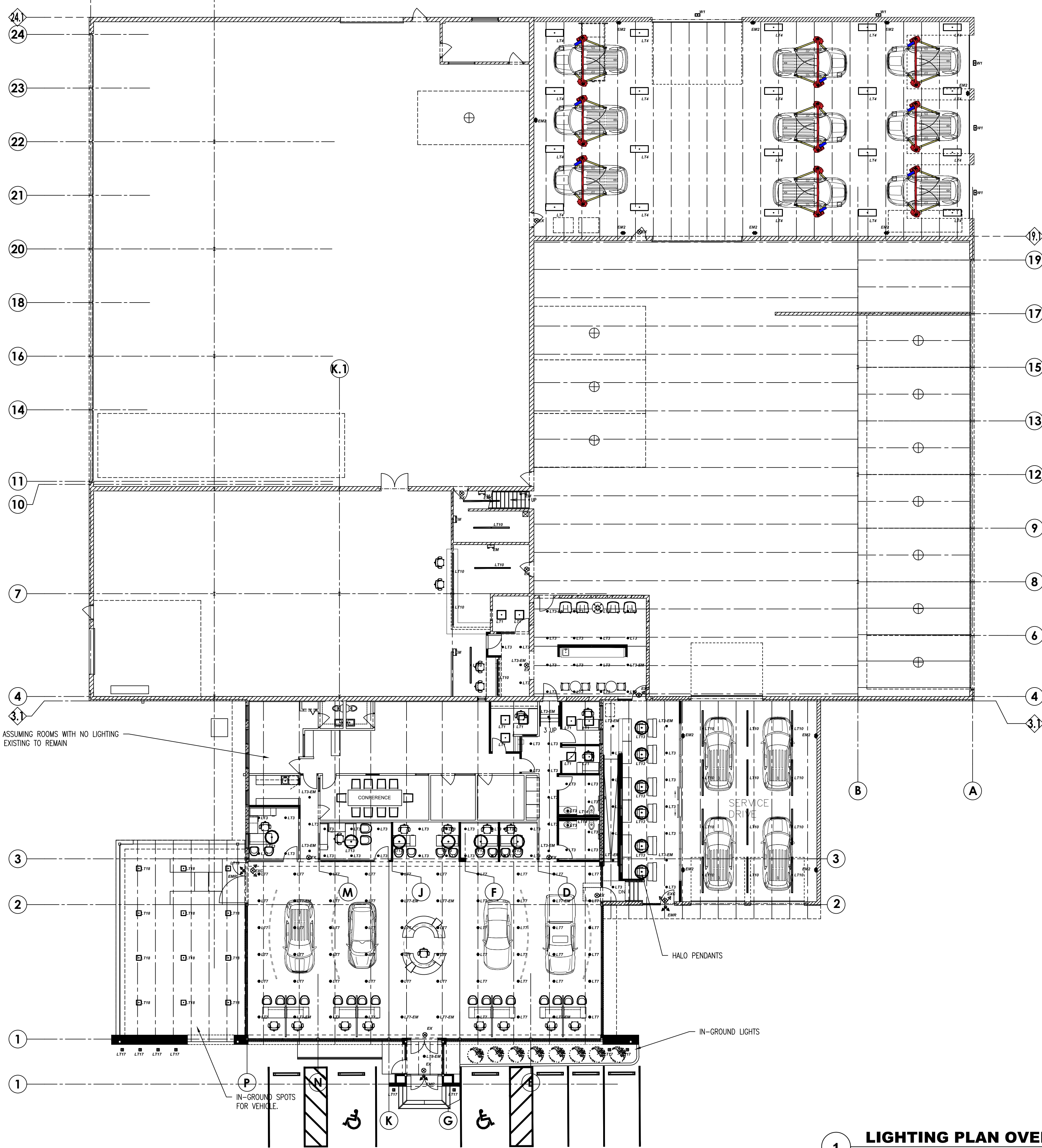
**Joseph A. Schudt & Associates**  
 9455 ENTERPRISE DRIVE MOKENA, IL 60448  
 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065  
 (184-001172)  
 CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

REVISIONS: 3-22-24 5-22-24

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**GEOMETRIC PLAN**  
**HOMEWOOD FORD**  
 3233 183rd STREET, HOMEWOOD, IL

Date: 12-15-23  
 Scale: 1"=30'  
 File Name: 16-052-ENG-12-15-23  
 Drawn: TMF  
 Checked: DWO  
 Sheet: 4 OF 15  
 Project No.: 16-052



Symbol	Qty	Label	Description	Watts	Total Watts
[Symbol]	7	EM	BEST R1-LED-HL / HIGH LUMEN LED LAMP EMERGENCY UNIT	1.5	10.5
[Symbol]	12	EM2	BEST PLEM-W / ULTRA HIGH LUMEN EM UNIT / 15' AFF	9.1	218.4
[Symbol]	3	EMR	BEST RH2LED-WP / EXTERIOR REMOTE EGRESS / LED	3.37	20.22
[Symbol]	11	EX	BEST EZRXTEU-1-R-W / LED EXIT SIGN WITH RED LETTER	4	44
[Symbol]	3	EXC	BEST LEDCXTEU-2-R-W-RC/ REMOTE CAPABLE COMBO UNIT/ RED LETTER / LED	N.A.	21
[Symbol]	9	LT1	BEST CB22-3L-40K / 2X2 CENTER BASKET TROFFER	24	216
[Symbol]	23	LT10	LSI 2R0I 6 LED 7L 3L LF US 40 I W W 24	90	2070
[Symbol]	12	LT13	BARBICAN FORD HALO PENDANT 01-014 / 36" / WHITE / 85 W / 4000K	84	1008
[Symbol]	2	LT14	16' OF WAC LIGHTING PROZ INVISI LED TAPE / CHANNEL / 96W DRIVER LED-TX24-4K	64	128
[Symbol]	5	LT15	BEST CB24-5L-40K / 2X4 CENTER BASKET TROFFER	46	230
[Symbol]	8	LT17	XIG-LED-19-350-CW-UE-SP10 / FLUSH IN GROUND UP-LIGHT	22	176
[Symbol]	12	LT18	CP-10L-LKFS-WHT / CANOPY LIGHT / WHITE COLOR / 4000K	73	876
[Symbol]	64	LT3	SPECTRUM SP4ES-20L-40K-DX -AR4ES-MW-MF / 4" DOWNLIGHT	19.5	1248
[Symbol]	11	LT3-EM	SPECTRUM SP4ES-20L-40K-DX -AR4ES-MW-MF-EM / 4" DOWNLIGHT WITH 700 LUMEN EM BATTERY	19.5	214.5
[Symbol]	20	LT4	LSI AHB 30L 840 MCH10 / LED HIGHBAY / 16' AFF / WITH CABLE AND MC WHIP	215	4300
[Symbol]	52	LT7	SPECTRUM RDF06XT 50L 40K ND DS101-2-BH27-SG-GLX / 6" SHOWROOM DOWNLIGHT / 4000K	54	2808
[Symbol]	8	LT7-EM	SPECTRUM RDF06XT 50L 40K ND DS101-2-BH27-SG-GLX-EM / 6" SHOWROOM DOWNLIGHT / 4000K / 1000 LUMEN EMERGENCY BATTERY	54	432
[Symbol]	1	LT8-EM	SPECTRUM RDF06XT 50L 40K WD DS101-2-PR2-BH27-SG-GLX-EM / 6" CANOPY DOWNLIGHT / 4000K / 1000 LUMEN EMERGENCY BATTERY / VERIFY CEILING THICKNESS	54	54
[Symbol]	5	W1	XWM-FT-LED-12L-50	102.2	511

**1 LIGHTING PLAN OVERVIEW**  
SCALE: NOT TO SCALE

**National Lighting Vendor:**  
For pricing and technical assistance contact: Rob Thomson of CBMC INC, tel# 317-828-4119 / rthomson@cbmcinc.com  
William Proctor - Lighting Consultant - wproctor@cbmcinc.com

**DRAWING INDEX:**  
E00: LIGHTING PLAN OVERVIEW  
E01: LIGHTING CALCULATION  
SLP: SITE LIGHTING PLAN

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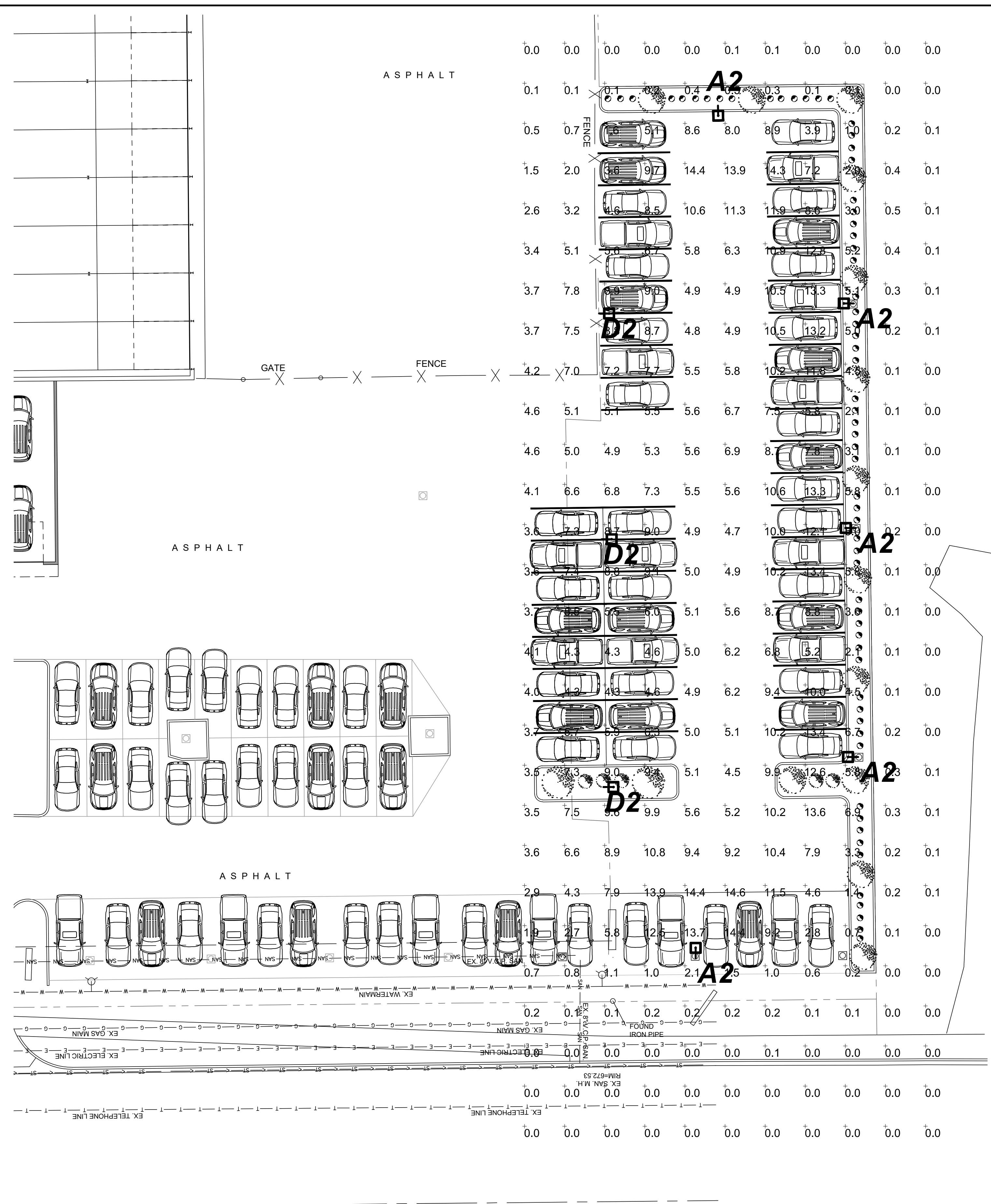
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This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.  
Contractor to check and verify all dimensions on site before commencing any work shown.

**HOMEWOOD FORD**  
**Lighting Plan Overview**

Scale:	NTS	Project No:	CB24514-BLDC-R1	Revision
Date:	11/28/23	Drawing No:	<b>E00</b>	
Drawn By:	WP	Checked By:	RT	-



**LIGHTING NOTES:**

1. LIGHT POLES ARE 16' TALL MOUNTED ON BASES 2' A.F.G.
2. LIGHT LEVELS ARE CALCULATED AT INITIAL LIGHT LEVEL 3' A.F.G.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE EXPANSION	Illuminance	Fc	4.24	14.6	0.0	N.A.	N.A.
SITE - FRONT DISPLAY ROW	Illuminance	Fc	4.76	14.4	0.2	23.80	72.00
SITE - STORAGE	Illuminance	Fc	7.79	14.4	3.9	2.00	3.69

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Watts	Total Watts	BUG Rating
□	3	D2	Single	SINGLE MRS-LED-24L-SIL-5W-50-70CRI / 16' POLE	1.000	196	588	B5-U0-G3
□	5	A2	Single	SINGLE MRS-LED-24L-SIL-FT-50-70CRI-IL / 16' POLE	1.000	196	980	B1-U0-G2

183RD STREET

1 SITE LIGHTING EXPANSION  
1/16" = 1'



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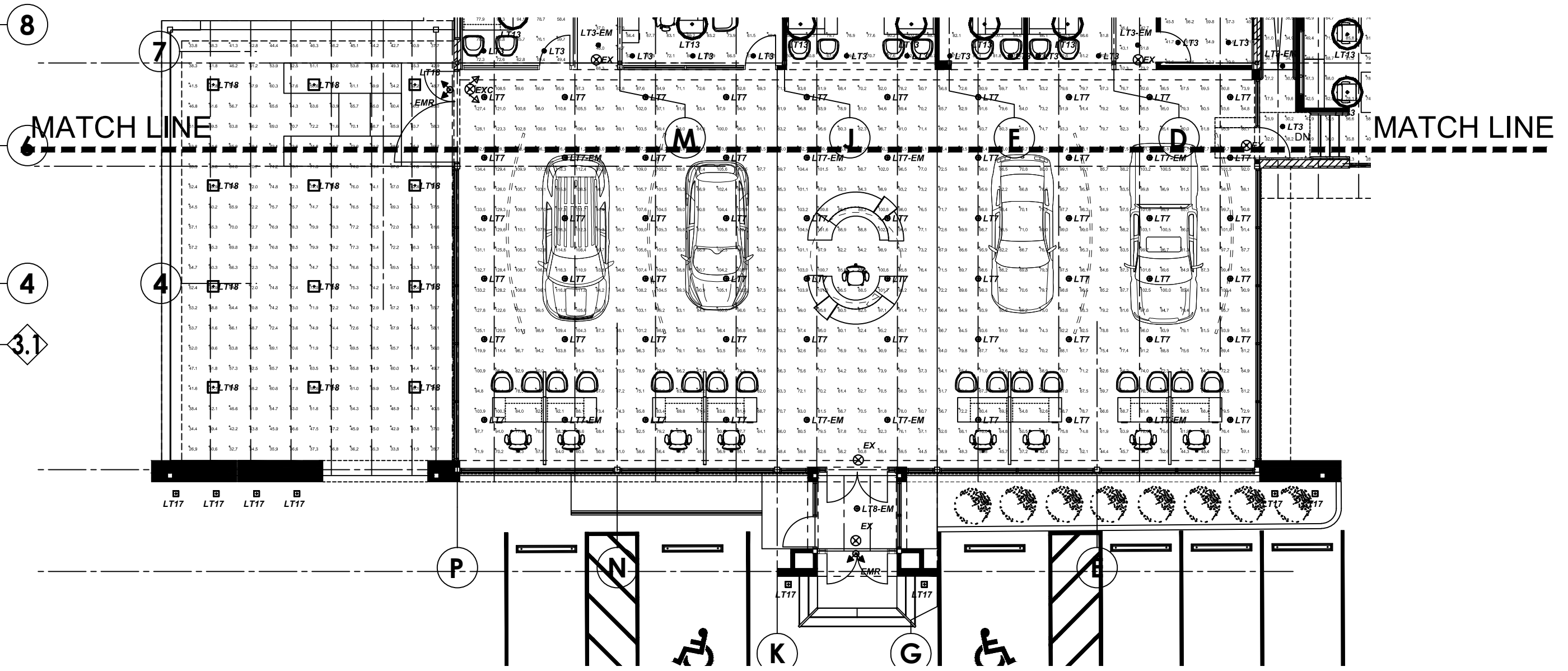
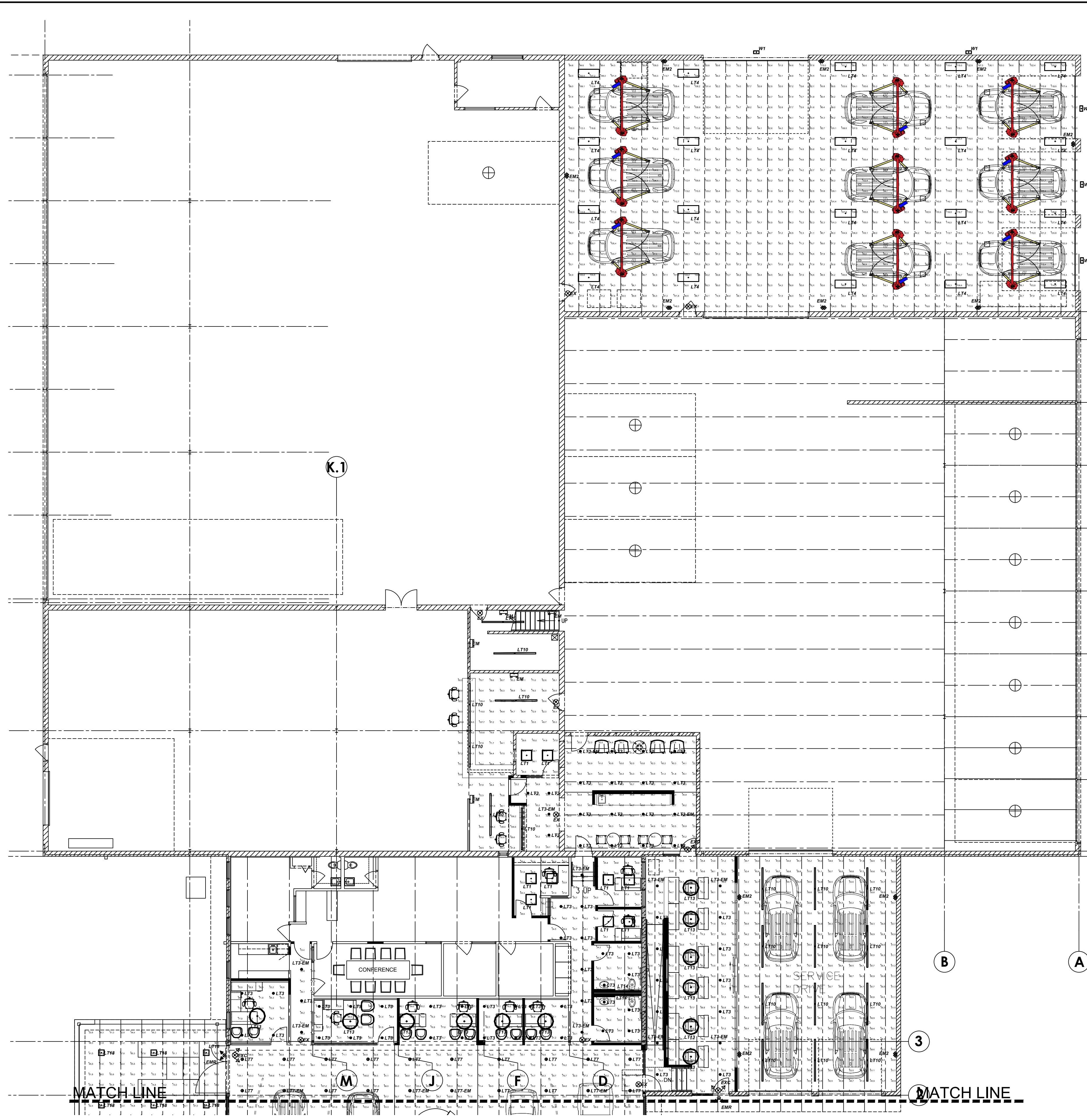
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William Proctor - Lighting Consultant - wproctor@cbmcinc.com

<b>HOMEWOOD FORD Site Lighting Plan</b>			
Scale:	NTS	Project No:	CB24514-BLDC-R1
Date:	11/28/23	Drawing No:	
Drawn By:	WP	<b>SLP</b>	-
Checked By:	RT		





Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CANOPY	Illuminance	Fc	60.03	79.9	26.9	2.23
CASHIER_Workplane	Illuminance	Fc	54.40	80.3	32.6	1.67
F AND I 1_Workplane	Illuminance	Fc	69.20	94.1	45.8	1.51
F AND I 2_Workplane	Illuminance	Fc	68.26	99.2	45.5	1.50
LOUNGE_Workplane	Illuminance	Fc	40.26	79.1	17.4	2.31
OFFICE 1_Workplane	Illuminance	Fc	58.23	70.5	44.1	1.32
OFFICE 2_Workplane	Illuminance	Fc	45.05	66.0	25.3	1.78
PARTS COUNTERS AND SALES_Workplane	Illuminance	Fc	78.42	118.5	24.6	3.19
RESTROOM - MENS_Workplane	Illuminance	Fc	46.80	59.8	29.7	1.58
RESTROOM - WOMENS_Workplane	Illuminance	Fc	45.90	57.7	28.1	1.63
SALES MANAGERS_Workplane	Illuminance	Fc	0.00	0.0	0.0	N.A.
SALES MANAGERS_Workplane	Illuminance	Fc	75.19	102.5	49.1	1.53
SALES OFFICE 1_Workplane	Illuminance	Fc	83.22	100.3	69.8	1.19
SALES OFFICE 2_Workplane	Illuminance	Fc	83.69	100.5	68.5	1.22
SERVICE ADVISORS_Workplane	Illuminance	Fc	51.79	87.3	15.2	3.41
SERVICE DEPT ADDITION_Workplane	Illuminance	Fc	98.10	203.9	47.5	2.07
SERVICE DRIVE_Workplane	Illuminance	Fc	58.67	70.3	33.8	1.74
SERVICE MANAGER_Workplane	Illuminance	Fc	51.70	66.1	37.9	1.36
SHOWROOM_Workplane	Illuminance	Fc	81.37	134.9	9.8	8.30

**1 LIGHTING PLAN**  
SCALE: 3/32" = 1' (24x36) 3/64" = 1'-0" (11x17)

**National Lighting Vendor:**  
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**Homewood Ford Lighting Plan Calculations**

Scale:	NTS	Project No:	CB24514-BLDC-R1	Revision
Date:	11/28/23	Drawing No:	<b>E01</b>	
Drawn By:	WP			
Checked By:	RT			