

DECIDUOUS/SHADE TREE N.T.S. SECTION

— PULL MULCH 2" AWAY FROM BASE

3" SHREDDED BARK MULCH

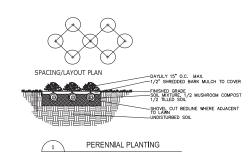
MOUND TO FORM SAUCER -MOUND TO FURTH JAPONIA.

-INISHED GRADE
-1/3 TOPSOIL/MUSHROOM COMPOST (50/50) MIX
SHAPED TO CREATE SAUCER
-2/3 PULVERIZE EXISTING CLAY AND TAMP LIGHTLY
-CUT STRING ON ROOTBALL
-DO NOT OVERDIG DEPTH OF HOLE

DECIDUOUS/SHRUB NTS SECTION

DO NOT SHEAR OR PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES -SET ROOT COLLAR AT FINISH GRADE -PULL MULCH 2" AWAY FROM BASE -REMOVE BURLAP FROM TOP 1/3 OF BALL FINISHED GRADE
1/3 TOPSOIL/MUSHROOM COMPOST (50/50) MIX
SHAPED TO GREATE SAUCER
2/3 PULVERIZE EXISTING CLAY AND TAMP LIGHTLY
CUT STRING ON ROOTBALL
DO NOT OVERDIG DEPTH OF HOLE

> EVERGREEN/SHRUB N.T.S. SECTION



NTS

SECTION

ANDSCAPE TABLE CHANTICLEER CALLERY PEAR 2.5" CAL B & B RHAR SHRUBS AROMATICA FRAGRANT SUMAC 30" MIN B & B RHAR-1 SHRUBS AROMATICA GRA-LOW GRO-LOW FRAGRANT SUMAC 12" MAX B & B 10 LIBL ANDROPOGON SCOPARIUS, LITTLE BLUESTEM LITTLE BLUESTERN

THE ATTACHE LANDSCAPE PLANS FOR THE PROPERTY AT 1327 S KILBOURN AVE CHICAGO IL, BOSZA HAS BEEN THE ATTACHE STANDARDS THE PROPERTY AT 1327 S KILBOURN AVE CHICAGO IL, BOSZA HAS BEEN DESIGN IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCES, AND THE GUIDE TO THE CHICAGO LANDSCAPE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCES, AND THE GUIDE TO THE CHICAGO LANDSCAPE.

04/20/2025 -. REGISTER LICENSED ARCHITECT IL LICENSE #: 081006580 LANDSCAPE STATEMENT N.T.S. SECTION

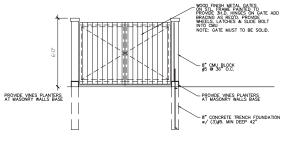
LANDSCAPE INSTALLATION, PENDING ANY DELAYS IN CONSTRUCTION, SHALL BE COMPLETED BY JUNE 15, 2022 OR DEC 15 2022

LANDSCAPE INSTALLATION STATEMENT

"THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOW ON THE ATTACHED LANDSCAPE PLAN(S) FOR THE PROPERTY AT 1327 S KILBOURN AVE CHICAGO IL, 60623 HAS TO THE BEST OF THE UNDERSIONED APPLICANT'S KNOWLEDGE, BEEN DESIONED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCES, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

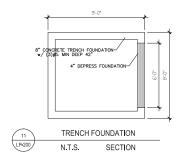


NOTE:
GENERAL CONTRACTOR COMPLY WITH:
6' FOOT HEIGHT MASONRY SCREEN WALL MUST TO BE PROVIDE
AROUND DUMPSTER AND OTHER TRASH COLLECTION BINS AND
AREA, FURNISHED WITH OPAQUE, LOCKABLE GATES, MASONRY
WALLS WITH VINES PLANTED AT THE BASE — MASONRY TRASH
ENCLOSURE REQUIRED FOR RESIDENTIAL BUILDING OVER 6DU









### LANDSCAPE NOTES:

- LANDSCAPE NOTES:

  1. LANDSCAPE PLANS SHALL NOT BE USED FOR LANDSCAPE INSTALLATION UNLESS EXCLUSIVELY DATED AND MARKED "FOR CONSTRUCTION". REVIEW ALL LANDSCAPE SPECIFICATIONS AND DETALS PRIOR TO INSTALLATION. PER LANDSCAPE PLAN.

  3. NOTEY THE MARKET PRIOR TO SEE THE STANDSCAPE PLAN.

  3. NOTEY THE MARKET PRIOR TO THE SPECADING OF TOPSOIL TO ASSESS GROWNE CONDITIONS. THE CONTRACTOR SHALL VERIEY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. ALL EXISTING LANDSCAPE THAT IS TO REMAIN SHOULD BE PROTECTED PRIOR TO AND DURING CONSTRUCTION.

  5. QUANTITY LISTS ARE PROVIDED AS A CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIEY TO AND DURING CONSTRUCTION.

- LANDOURNING INCONSTRUCTION.

  AND DURING INCONSTRUCTION.

  OUR ANTITY LISTS ARE PROVIDED AS A CONVENIENCE. HE
  LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES ON THE
  DRAWINGS.

  6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL
  UNDERGROUND UTILITIES PRIGOR TO STARTING CONSTRUCTION. FOR
  LOCATIONS WITHIN THE CITY OF CHICAGO CALL "DIGGER"

  312.744.4000 UTILITIES PRIGOR TO STARTING WORK.

  7. LOCATIONS AND CRADES ARE APPROXIMATE. FIELD VERIFY ALL

  BESTACH FOR A THE CONTRACT OF STARTING WORK.

  8. ESTACH FOR A THE CONTRACT OF STARTING WORK.

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  8. STARTING AND CONTROLOGY.

  9. ALL PLANTING AREAS.

  9. ALL PLANTIN

- SEASON BY THE LANDSCAPE COUNTRACTOR AT THE GENERAL BY THE OWNER.

  13. ALL PLANT SPECIES SPECIFIED ARE SUBJECT TO AVAILABILITY.

  NO SUBSTITUTION OF PLANT MATERIAL SHALL BE ALLOWED UNLESS APPROVED THE OWNER.

  APPROVED THE OWNER OF THE LANDSCAPE THE CONTROL OF THE CONTROL OF THE LANDSCAPE.

  14. SEE DETAILS FOR PROPER PLANTING TECHNIQUES.

  15. SIZE, GRADING STANDARDS, BRANCHING, AND BALL SIZE SHALL BE IN ACCORDANCE BY THE U.S.A. STANDARD FOR NURSERY STOCK WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYWEN, INC.

  NY ACTS AND OMISSIONS
- 16. PLANT SYMBOLS ARE NOT LITERAL REPRESENTATIONS. THEY ARE ILLUSTRATED ON THE LANDSCAPE PLAN AS THE GRAPHIC REPRESENTATION OF THE PROPOSED PLANT MATERIAL. THEY DO NOT NECESSARILY REPRESENT THE SPREAD OF THE PLANT AT THE TIME OF INSTALLATION.

  17. ALL PLANTING BED LINES AND TREE SAUCERS SHALL REQUIRE A HAND SPADE DOEG BETWEEN LAWN AND MULCHED AREAS.

  18. ALL PLANTING BEDS SHALL BE COVERED WITH THREE INCHES (3") OF SHREDDED HANDBARK MULCH (SEE DETAILS), RAKE LEVEL AND WATERED DOWN; PLANTING BEDS SHOULD BE WEED FREE AND SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO MULCH INSTALLATION. MULCH TO BE APPROVED BY LANDSCAPE ARCHITECT.

- SHALL BE IREALD WITH A PRE-EMBRORN THERICIDE PRIOR TO MICHOTOSE AND SCAPE OF THE PROVIDE BY CHANISCAPE 19. DO NOT SHEAR ANY PLANT MATERIALS. HAND PRUNE ALL PLANTS, AS NEEDED, A FTER INSTALLAS IN AND PRUNE ALL PLANTS, AS NEEDED, A FTER INSTALLAS IN AND PRUNE ALL SHAND PROVIDED IN SCOMPLETED.

  OLICIAN UP ALL AREAS, SWEEP WALKS AND DRIVES, AND HAUL AWAY DEBRIS.

  AWAY DEBRIS.

  REQUIRED IN ALL UNPAYED WITHIN THE SITE BOUNDANDES AND ADJACENT R.O.W. UNLESS OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN.

  23. ANY AREA DISTURBED DURING CONSTRUCTION, INCLUDING PARKWAY, SHALL BE RESTORED TO FORUCINAL OR BETTER CONDITION.

  OCONDITION.

  CONSTRUCTION SCAPE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES; OR FOR SCAPETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND FOR ANY ACTS AND OMISSIONS

- 1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING UTILITIES PRIOR TO STARTING CONSTRUCTION. DIGGER (312-744-7000), JULIE (800-892-0123).
- ESTABLISH GRADE AT WALKS, CURBS, PLANTERS AND OTHER
- 2. ESTABLISH GROUP.
  STRUCTURES.
  STRUCTURES RES. DING SHALL PROVIDE SLOPES THAT ARE SMOOTH AND
- 3. CLEAN UP ALL AREAS, SWEEP WALKS AND HAUL AWAY DEBRIS AT THE END OF EACH DAY.
- 4. ALL BASE INFORMATION HEREIN WAS PROVIDED TO ARCHITECT BY SURVEYOR...
- 5. ANY AREA DISTURBED BY CONSTRUCTION, INCLUDING THE PARKWAY SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION.
- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OR AND
- 6. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OR AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK, AND FOR ANY ACTS OR
- ACTS OR
  OMISSIONS OF THE GENERAL CONTRACTOR. SUBCONTRACTORS
  OR ANY
  OTHER PERSONS PERFORMING ANY OF THE WORK
- PLANTING TIME OR COMPLETION OF WORK TO BE DONE ON DECEMBER 15 2020

NEW **TEQUILA RESTAURANT RAIZES 18136 DIXIE HWY.** HOMEWOOD, IL 60430

ISSUANCE

DATE

04/20/2025

ISSUE

100% CD

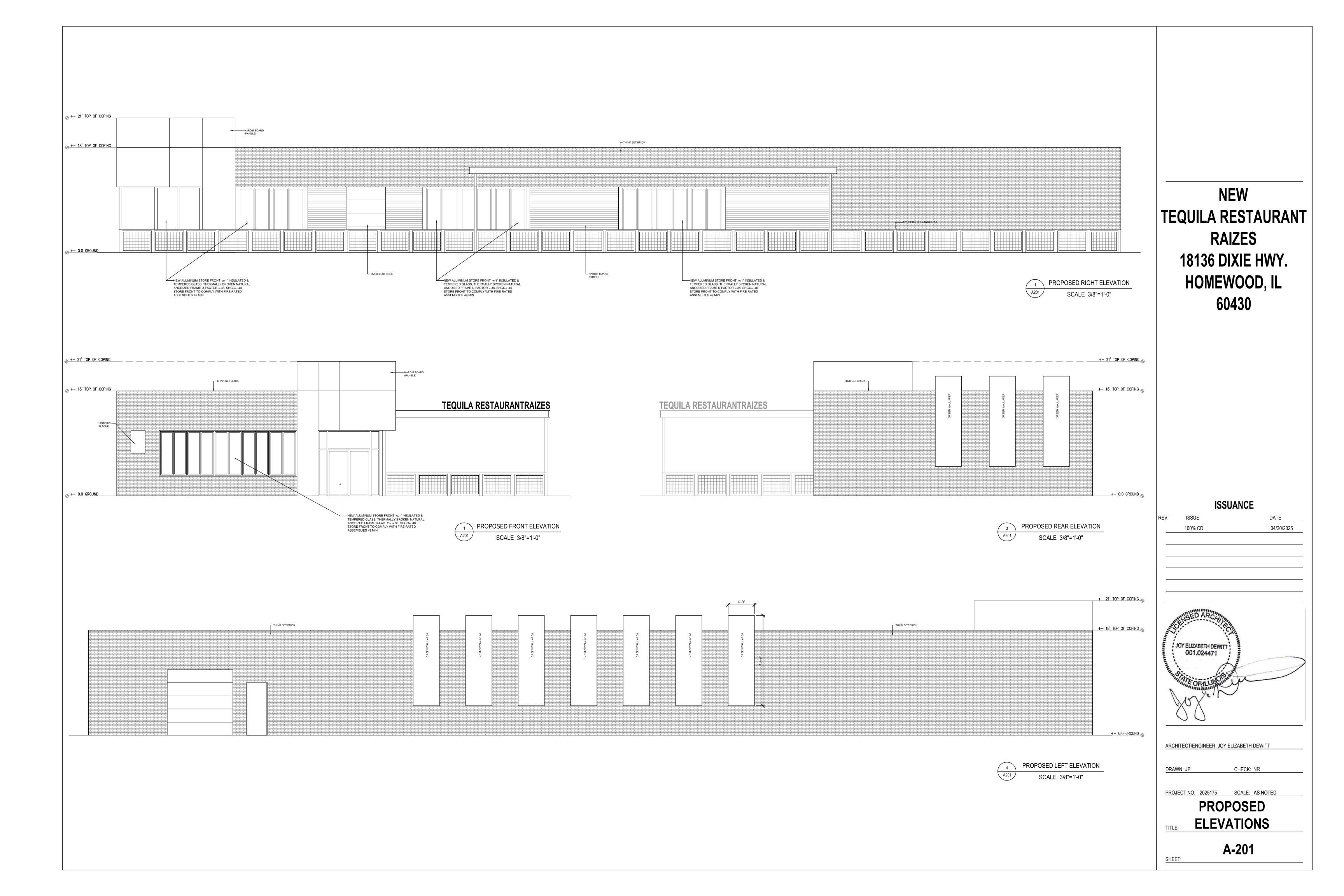
JOY ELIZABETH DEWITT OO1.024471
ARCHITECT/ENGINEER: JOY ELIZABETH DEWITT
DRAWN: JP CHECK: NR

PROJECT NO: 2025175 SCALE: AS NOTED

**PROPOSED** LANDSCAPE PLAN TITLE:

LP-200

SHEET:

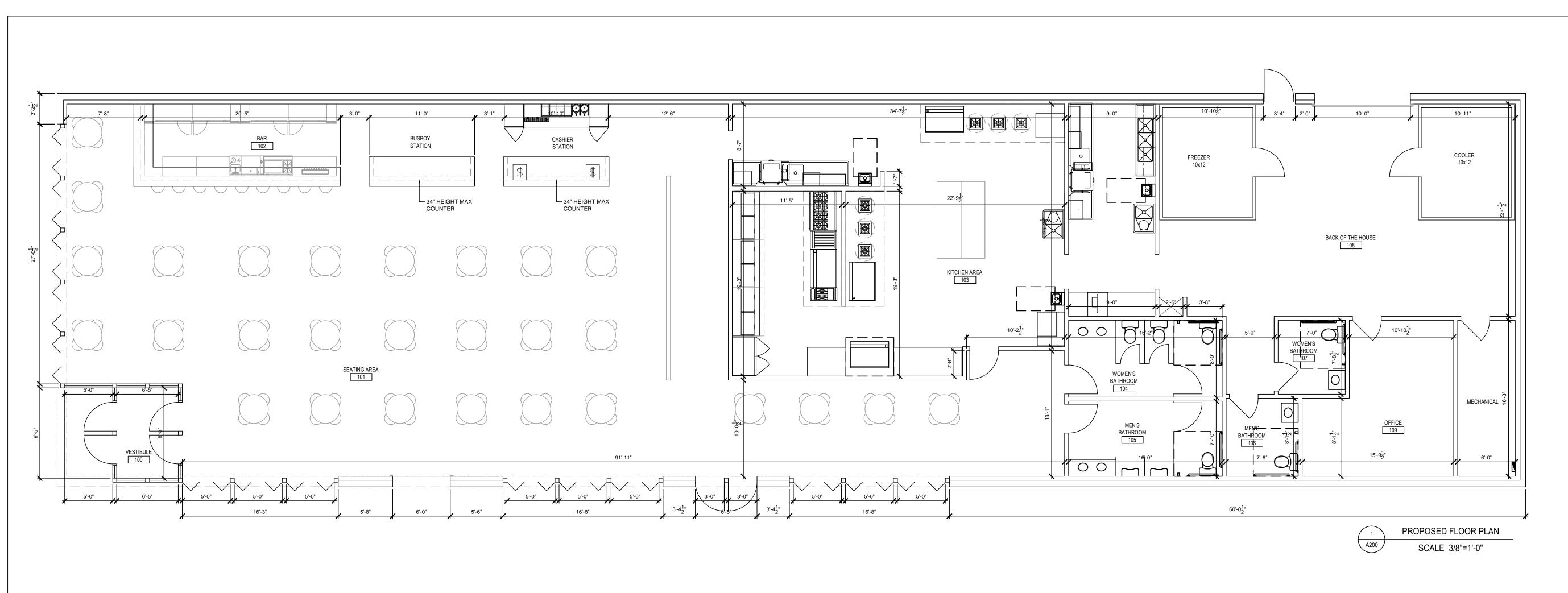


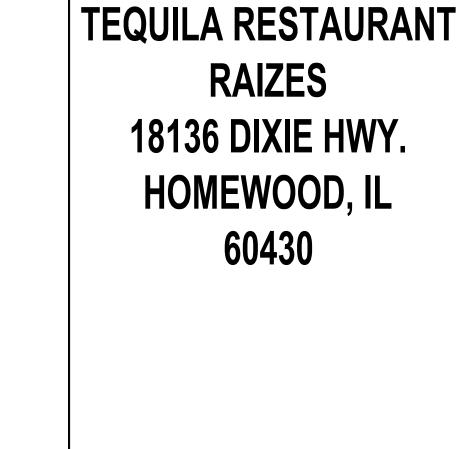
NEW
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ISSUANCE

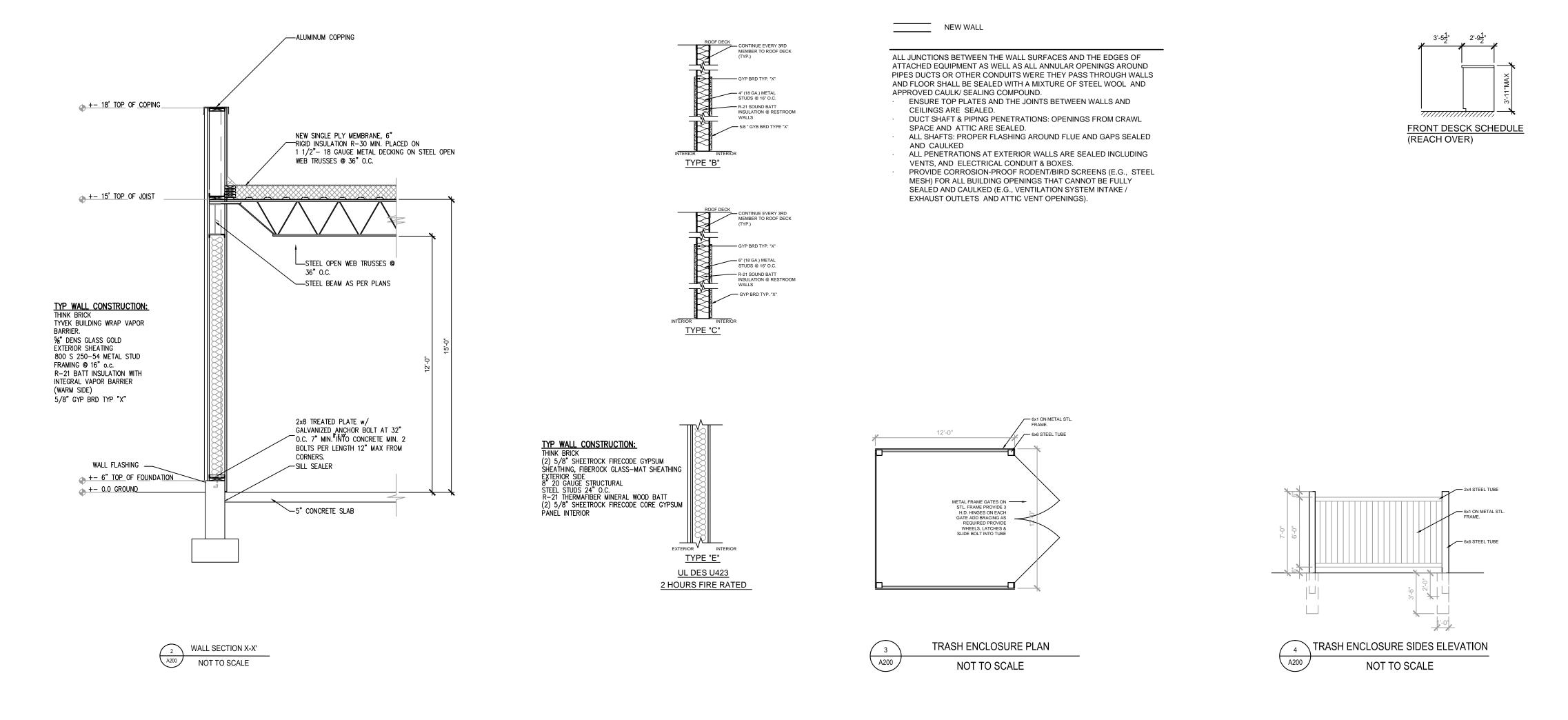
PROJECTIVO. 2028175 SCALE. ASNOTED PROPOSED 3D ARCHITECT/JENGMEER: JOY ELIZABETH DEWITT

A-202





**NEW** 





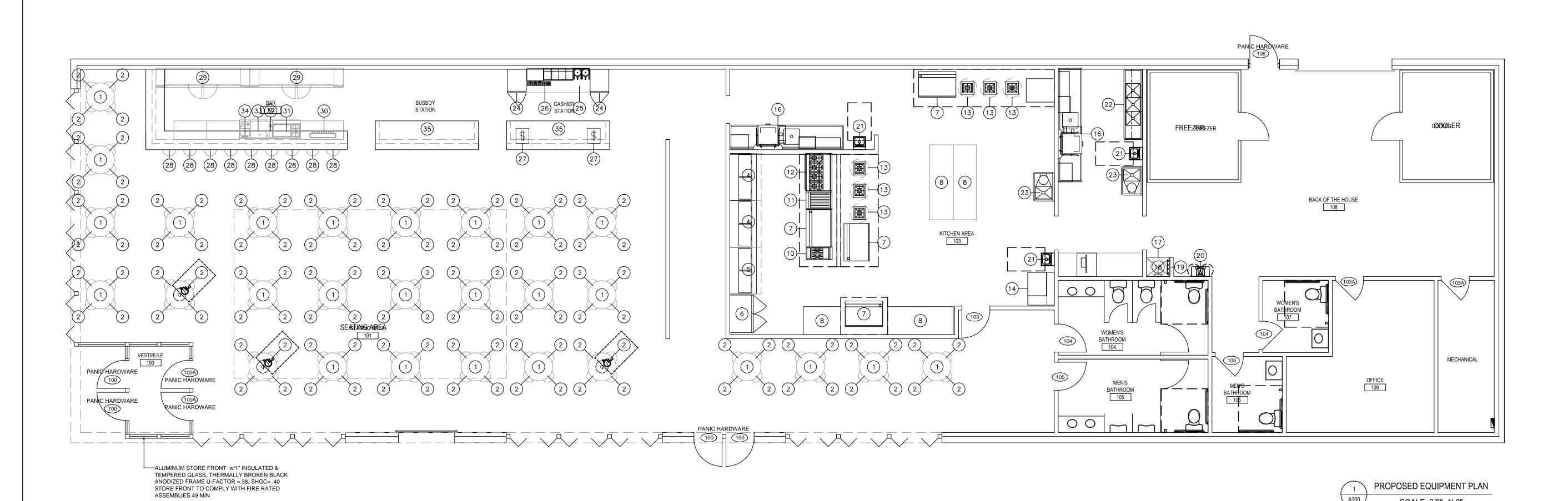
ARCHITECT/ENGINEER: JOY ELIZABETH DEWITT

DRAWN: JP CHECK: NR

PROJECT NO: 2025175 SCALE: AS NOTED

PROPOSED FLOOR
PLAN

A-200



# **EQUIPMENT SCHEDULE**

#	ITEM	MANUFACTURE	QTY.	REMARKS
1	CHAIR	BY OWNER	-	-
2	TABLE	BY OWNER	-	-
3	-	-	-	-
4	SALAD BAR	TRUE	2	TPP-67
5	STEAM TABLE	-	-	-
6	REACH IN REFRIGERATOR	-	-	-
7	FLAT GRILL	-	-	-
8	TABLES 30"x	BY OWNER	1	STAINLESS STEEL
9	FLOUR TORTILLA MACHINE	BY OWNER	1	STAINLESS STEEL
10	14" DEEP FRYER	FRYMASTER	1	MX-14E
11	GRILL	-	-	-
12	48" GAS RANGE	U.S RANGE	1	
13	BURNER STOCK	AVANTCO	1	-
14	ICE MAKER	SCOTSMAN	1	-
15	MEAT SLICER	AVANTCO	2	-
16	DISHWASHER	-	1	STAINLESS STEEL
17	MOP SINK	-	1	-
18	HOT WATER HEATER	-	1	100 GALLONS
19	MOP & BROOM RACK	-	1	-
20	WATER FILTER	-	1	-
21	HAND SINK	BY OWNER	3	STAINLESS STEEL
22	3 COMP SINK	BY OWNER	1	STAINLESS STEEL
23	VEGETABLE SINK	BY OWNER	1	STAINLESS STEEL
24	DISPLAY REFRIGERATOR	BY OWNER	2	STAINLESS STEEL
25	AGUAS FRESCAS	AVANTCO	1	EBM-212
26	COFFEE MACHINE	BUNN	1	-
27	POS	НР	3	RP3000
28	BAR STOOL	-	-	-
29	BACK BAR REFRIGERATOR	-	-	-
30	BEER TAP	-	-	-
31	UNDER BAR ICE BIN	-	-	
32	SODA GUNG	-	-	-
33	ICE CHEST w/ SPEEDRAIL	-	-	-
34	BLENDER STATION	-	-	-
35	GRANITE COUNTER TOPS	-	-	

## DOOR & HARDWARE SCHEDULE

						MA	TERIAL		L.				HAR	DWA	RE						_	REMARKS
ARK	SIZE	SWIVING	THICKNESS	ТҮРЕ	LABEL	DOOR	FRAME	ТҮРЕ	TOUCH BAR EXIT DEVICE	DEAD BOLI ALUM. THRESHOLD	CLOSER	MAIL SLOT	VISION HOLE 11/2" PR. B.B. BUTTS	1 1/2" PR. STD BUTTS	PUSH-PULL	WEATHER STRIPPING	THUMB EXIT LATCH	PASSAGE SET	CLOSET SET	PRIVACY SEI	LEVEK HANDLE	ביוואסטיין פבן
100	6'-0"x7'-0"	-	1 3/4"	A-3	-	ALUM	ALUM	ANOD			•			•	•	4						(SAFETY GLAZING) / PANIC HARDWARE
00A)	6'-0"x7'-0"	-	1 3/4"	A-3	-	ALUM	ALUM	ANOD	•		•			•	•	4	•					(SAFETY GLAZING) / PANIC HARDWARE
103	3'-0"x7'-0"	VIF	1 1/2"	B-1	-	H.M	H.M.	PAINT						•								-
03A)	3'-0"x7'-0"	VIF	1 1/2"	B-1	-	H.M	H.M.	PAINT			•			•					•	4	•	-
104	3'-0"x7'-0"	VIF	1 1/2"	B-1	-	H.M	H.M.	PAINT						•	•				•	4	•	
105	3'-0"x7'-0"	VIF	1 1/2"	B-1	-	H.M	H.M.	PAINT						•	-				•	4	- 4	
106	3'-0"x7'-0"	RH	1 1/2"	B-2	-	H.M	H.M.	PAINT	-	-	-			•	-				•	4	• 4	PANIC HARDWARE

### DOOR NOTE:1. EGRESS DOOR SHALL BE READILY OPERABLE FROM EGRESS SIDE WITHOUT THE USE

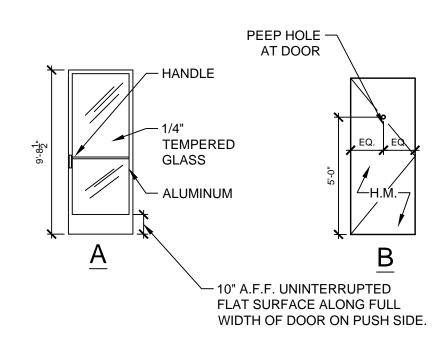
UTILITY ROOM ONLY WIDTH OF DOOR ON PUSH SIDE.

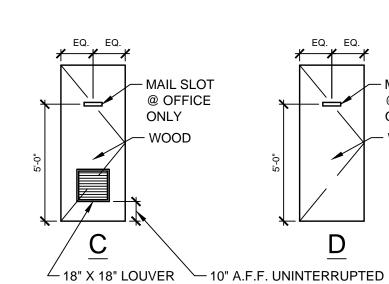
OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

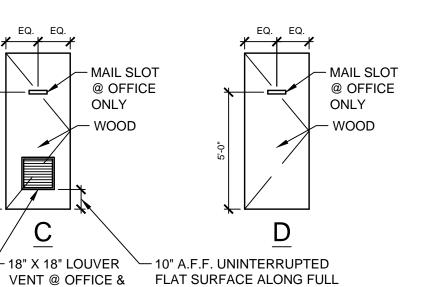
- 2. ALL PUBLIC AND COMMON AREA INTERIOR DOOR TO HAVE 5# MAX. FORCE TO OPEN.
- 3. ALL NEW OR ALTERED DOORS TO HAVE LEVER OPERATED HARDWARE. INSTALL AT 36" HEIGHT
- 4. ALL PUBLIC AND COMMON AREA EXTERIOR DOOR TO HAVE 8.5# MAX. FORCE TO OPEN.

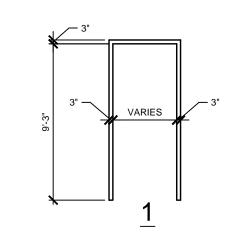
## WINDOW SCHEDULE

-								
	TAG	QUANT	R.O. ( WxH )	FRAME SIZE (W x H)	MANUFACTURE	WINDOW TYPE	GLASS	REMARKS
•	1	5	10'-0"x5'-0"	10'-3/4"x5'-3/4"	-	FIX	TEMPERATE	THERMALLY BROKEN U-FACTOR =.38, SHGC= .40

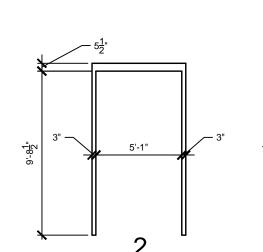


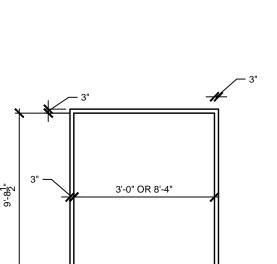






(SAFETY GLAZING)



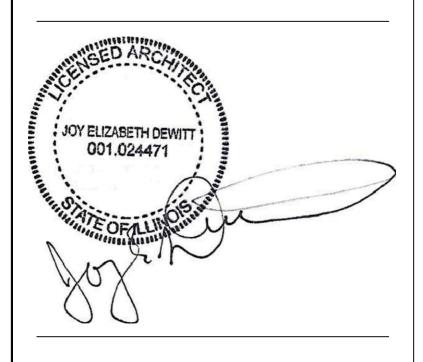


SCALE 3/8"=1'-0"

**NEW TEQUILA RESTAURANT RAIZES 18136 DIXIE HWY.** HOMEWOOD, IL 60430

## **ISSUANCE**

DATE 100% CD 04/20/2025



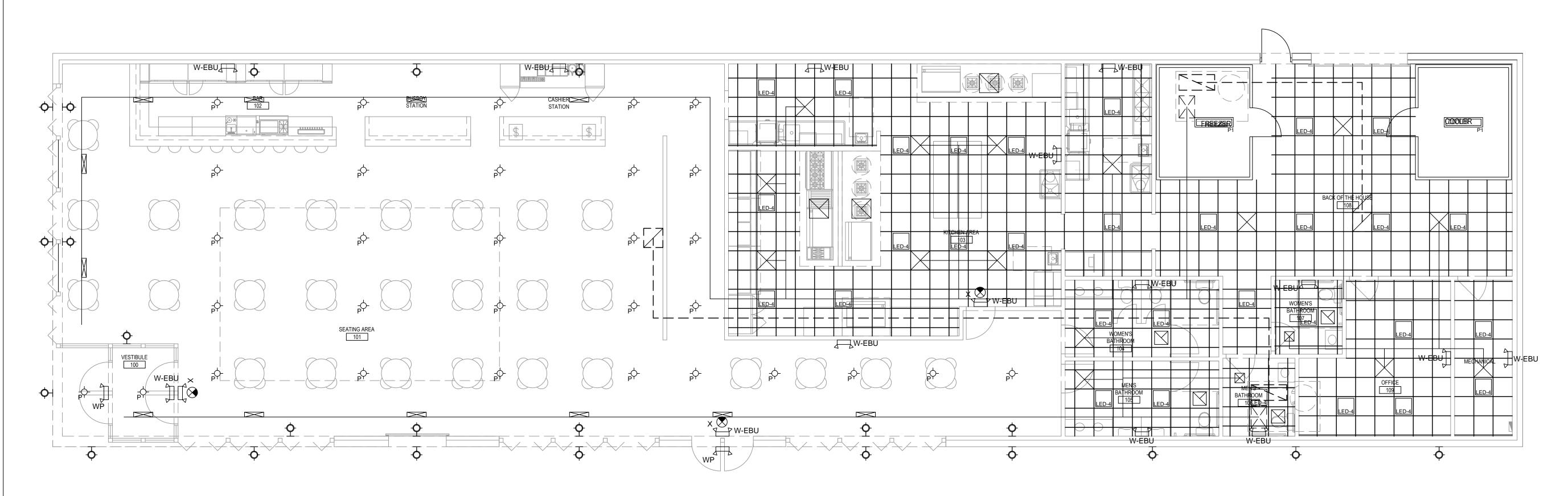
ARCHITECT/ENGINEER: JOY ELIZABETH DEWITT

DRAWN: JP CHECK: NR

PROJECT NO: 2025175 SCALE: AS NOTED

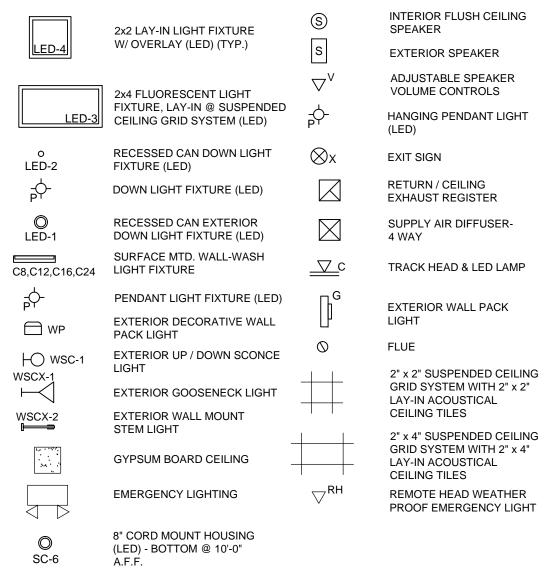
**PROPOSED EQUIPMENT PLAN** 

A-300



PROPOSED CEILING PLAN SCALE 3/8"=1'-0"

### CEILING-LEGEND:



NOTE: SEE ELECTRICAL DWG'S FOR MORE INFORMATION ON LIGHT FIXTURES.

## CEILING FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	PRODUCT#	DESCRIPTION
CT-03	KITCHEN CEILING TILE	ARMSTRONG	SHEETROCK LAY -IN 870	2x2 VINYL CLAD CEILING TILES; WHITE
CT-05	GENERAL CEILING TILE	ARMSTRONG	1761 WH	2x2 FINE FISSURED "WHITE"
CD-03	BOTTOM OF METAL DECKING	-	-	CLEAR COAT

## LIGHTING SCHEDULE:

DESCRIPTION	MANUFACTURER	PRODUCT
LED 2x2 RECESSED FIXTURED	CREE	VL22-3235-SP1
LIGHT HANGING CEILING (PENDANT)	-	EDISON LIGHT
LED 1x4 COOLER LIGHT	-	-
LIGHT WALL MOUNTED	-	EDISON LIGHT
LIGHT WALL MOUNTED	-	EDISON LIGHT (EXTERIOR)
2-HEAD BATTERY PACK	EXITRONIX	LL50H
LED EXIT W / BATTERY	EXITRONIX	VEX-U-BP-WH
COMBO LET EXIT/ (2) HEAD EBU	EXITRONIX	VEX-U-BP-WH-EL90-R
	LED 2x2 RECESSED FIXTURED  LIGHT HANGING CEILING (PENDANT)  LED 1x4 COOLER LIGHT  LIGHT WALL MOUNTED  LIGHT WALL MOUNTED  2-HEAD BATTERY PACK  LED EXIT W/BATTERY	LED 2x2 RECESSED FIXTURED  CREE  LIGHT HANGING CEILING (PENDANT)  LED 1x4 COOLER LIGHT  LIGHT WALL MOUNTED  LIGHT WALL MOUNTED  2-HEAD BATTERY PACK  EXITRONIX  LED EXIT W / BATTERY  EXITRONIX

NEW **TEQUILA RESTAURANT RAIZES 18136 DIXIE HWY.** HOMEWOOD, IL 60430

	ISSU	JANCE	
REV.	ISSUE	DATE	
	100% CD	04/20/	2025
SON	ELIZABETH DEWITT	A STATE OF THE STA	
ARCHITEC	CT/ENGINEER: JOY E	LIZABETH DEWITT	

DRAWN: JP CHECK: NR

PROJECT NO: 2025175 SCALE: AS NOTED

PROPOSED CEILING

**PLAN** 

A-600 SHEET: