

T1460 Homewood Appearance Commission Materials
Target Front Walk and Exterior Site Sustainability Program

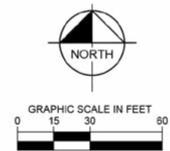
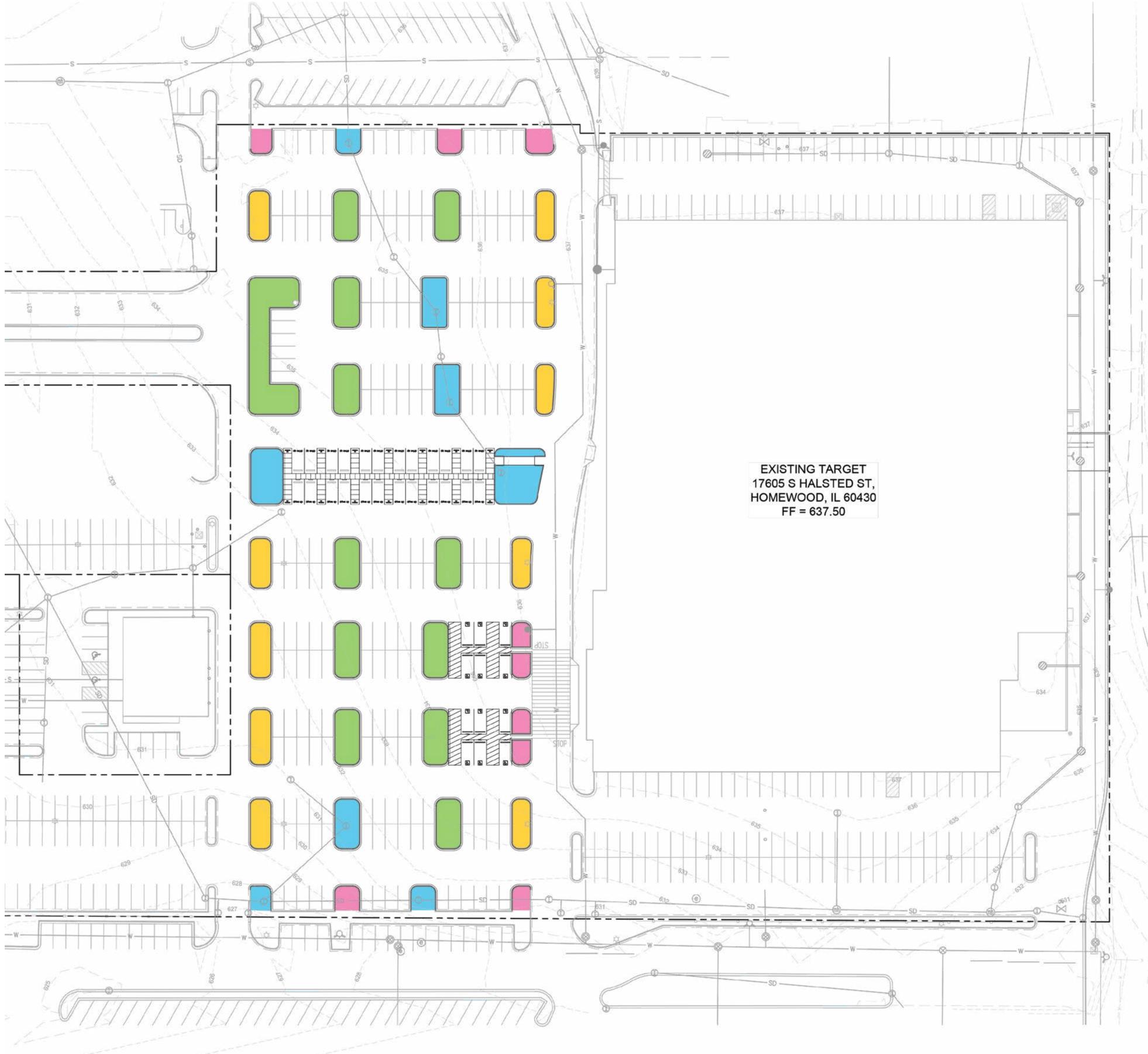
Target Representative: Ryan A. Hyllested, PLA, ASLA, Kimley-Horn
Civil and Landscape Architect Consultant

T1460 Homewood, IL

Parking Lot Island Design Concept

Legend

- A - Rain Garden
- B - Semi Rain Garden
- C - Parking Island
- D - Small Island



A

T1460 Homewood, IL

Rain Garden Plant Palette

Grasses



Palm Sedge



Northern Sea Oats



Northwind Switch Grass



Deciduous Shrubs



Dwarf Bush Honeysuckle



Arrowwood Viburnum



Perennials



Swamp Milkweed



White Coneflower



Sneezeweed



Ground Cover



New England Aster



Native Plants



Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant

B

T1460 Homewood, IL

Semi Rain Garden Plant Palette

Trees



Grasses



Native Plants



Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant

Deciduous Shrubs



Perennials





T1460 Homewood, IL

Parking Island Plant Palette

Grasses



Little Bluestem



Tara Prairie Dropseed



Deciduous Shrubs



Black Chokeberry



Arrowwood Viburnum



Perennials



Sneezeweed



Cardinal Flower



Grand Mum Bee Balm



Ground Cover



New England Aster



Native Plants



Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant



T1460 Homewood, IL

Small Island Plant Palette

Trees



Honey Locust



Grasses



Northern Sea Oats



Tara Prairie Dropseed



Deciduous Shrubs



Black Chokeberry



Arctic Fire Red Twig Dogwood



Perennials



Blue Ice Bluestar



White Coneflower



Pow Wow Wild berry Coneflower



Native Plants



Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant

 **CVS** pharmacy





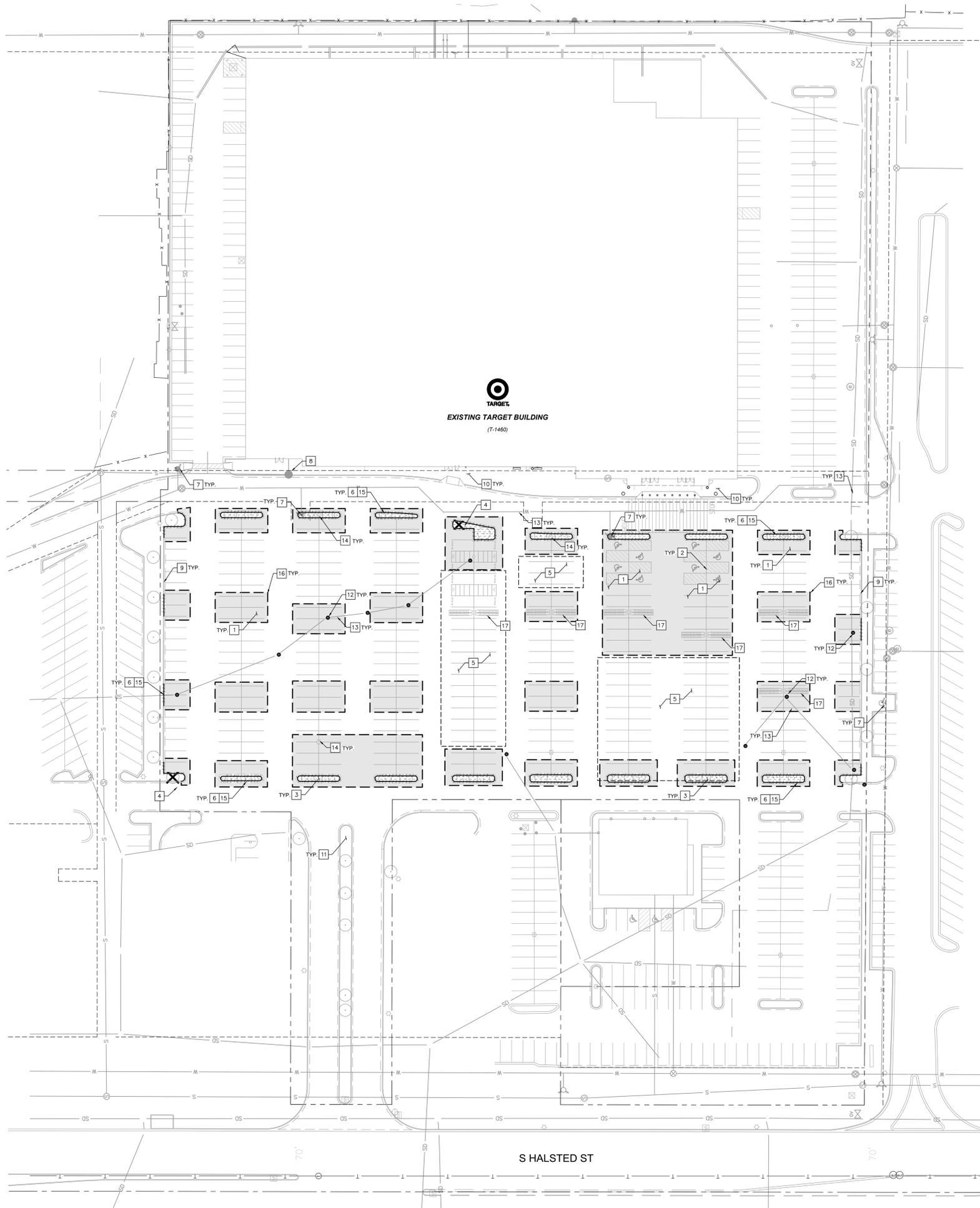
CVS pharmacy



 **CVS pharmacy**



C:\Users\kerry_burghoff\Target Remodel Program Team - 1460\Homewood_IL\Landscaping\Drawings\T-1460 - DEMOLITION PLAN.dwg November 15, 2022 - 6:20pm
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LEGEND

- FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- LANDSCAPE REMOVAL.
- SAWCUT.
- DEMOLISH AND REMOVE EXISTING CURB/ CURB AND GUTTER.
- PROPERTY LINE/ RIGHT OF WAY
- LIMITS OF STRIPING REMOVAL

DEMOLITION NOTES

- 1 FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- 2 REMOVE EXISTING ACCESSIBLE PARKING SIGN AND POST.
- 3 REMOVE EXISTING LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 4 REMOVE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 5 REMOVE EXISTING STRIPING.
- 6 DEMOLISH AND REMOVE EXISTING CONCRETE CURB/ CURB & GUTTER. CONTRACTOR TO USE HAND TOOLS WHEN EXISTING CONCRETE CURB/ CURB & GUTTER IS ADJACENT TO AN EXISTING TREE.
- 7 PROTECT IN PLACE EXISTING FIRE HYDRANT.
- 8 PROTECT IN PLACE EXISTING SEWER MANHOLE.
- 9 PROTECT IN PLACE EXISTING CONCRETE CURB/ CURB & GUTTER.
- 10 PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.
- 11 PROTECT IN PLACE EXISTING LANDSCAPING.
- 12 PROTECT IN PLACE EXISTING CATCH BASIN.
- 13 PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES.
- 14 PROTECT IN PLACE EXISTING LIGHT POLE.
- 15 PROTECT IN PLACE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 16 SAWCUT.
- 17 REMOVE AND SALVAGE EXISTING CART CORRALS. CONTRACTOR TO COORDINATE RELOCATION WITH TARGET.
- 18 REMOVE AND SALVAGE EXISTING DRIVE UP SOLAR BEACON.

GENERAL NOTES

1. WHERE GRADES ARE AFFECTED, THE CONTRACTOR SHALL USE A SURVEYOR AS NEEDED TO INSURE PROPER GRADES ARE ACHIEVED.
2. STRIPING SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CURRENT ILLINOIS BUILDING CODE AND APPLICABLE LOCAL CODES. GRADES SHALL BE VERIFIED FOR COMPLIANCE AT THE TIME OF CONSTRUCTION PRIOR TO STRIPING.
3. THE GENERAL CONTRACTOR SHALL ALSO REVIEW ANY APPLICABLE STATE AND LOCAL GUIDELINES AS THEY APPLY TO THE ACCESSIBILITY AND SIGNAGE.
4. THE GENERAL CONTRACTOR SHALL VERIFY ELEVATIONS AND GRADES PRE & POST CONSTRUCTION AND REPORT ANY DEFICIENCIES TO THE ENGINEER BEFORE START OF WORK AND AT COMPLETION.
5. ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES TO BE MEASURED WITH A 24" SMART LEVEL.
6. IT IS ACKNOWLEDGED THAT THE IMPROVEMENTS SHOWN ON THIS PLAN CONSIST OF A LIMITED SCOPE OF WORK AND MAY NOT BRING THE ENTIRE SITE INTO FULL COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANY OTHER STATE SPECIFIC ACCESSIBILITY CODES. THE ENGINEER OF RECORD SHALL NOT BE HELD RESPONSIBLE FOR ANY EXISTING CONDITIONS OUTSIDE OF THE IDENTIFIED SCOPE OF WORK THAT ARE NOT BROUGHT WITHIN COMPLIANCE.
7. WHERE ASPHALT PAVEMENT MILL AND OVERLAY IS PROPOSED THE GENERAL CONTRACTOR SHALL CORE A 2" DIAMETER SECTION AND VERIFY THE EXISTING ASPHALT PAVEMENT SECTION IS GREATER THAN 3". GENERAL CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IF ASPHALT PAVEMENT SECTION IS LESS THAN 3" FOR FURTHER DIRECTION AS MILL AND OVERLAY MAY NOT BE FEASIBLE.
8. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/6/01.

DISTURBED AREA

- 36,000± S.F. FULL DEPTH ASPHALT REMOVAL AND REPLACEMENT
- 7,000± S.F. LANDSCAPE REMOVAL AND REPLACEMENT

ABBREVIATIONS

- EX - EXISTING
- FS - FINISHED SURFACE
- TC - TOP OF CURB
- TYP - TYPICAL



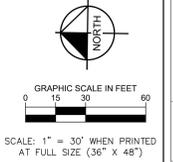
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11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



Project Number **T-1460**
 Format/Configuration:
 Drawn By
 Checked By

EXISTING
 CONDITIONS/
 DEMOLITION PLAN

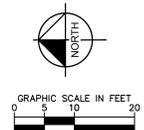
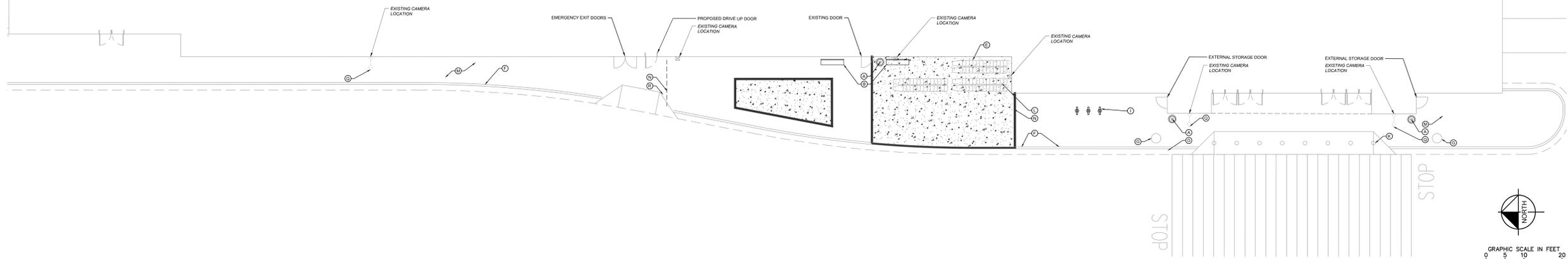
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EXISTING TARGET BUILDING

(T-1460)

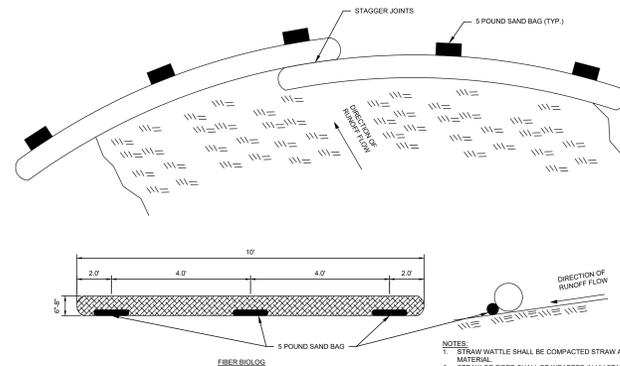


1 DEMO PLAN ENLARGEMENT

SCALE: 1"=10'

- KEYNOTE LEGEND**
- ⓪ REMOVE AND DISPOSE TRASH RECEPTACLE (TYP.)
 - Ⓛ REMOVE AND DISPOSE BENCH (TYP.)
 - Ⓜ REMOVE AND DISPOSE TABLE (TYP.)
 - Ⓝ WALL MOUNTED "NO PARKING FIRE LANE" SIGN TO REMAIN
 - Ⓟ BUILDING CURB TO REMAIN (TYP.)
 - Ⓠ CONCRETE CURB CONCRETE TO REMAIN (TYP.)
 - Ⓡ SPHERICAL BOLLARD TO REMAIN (TYP.)
 - Ⓢ NOT USED
 - Ⓣ REMOVE AND DISPOSE BIKE RACK (TYP.)
 - Ⓤ PROTECT SIGN IN PLACE (TYP.)
 - Ⓥ BOLLARD TO REMAIN (TYP.)
 - Ⓦ REMOVE CONCRETE SIDEWALK (TYP.)
 - Ⓧ CONCRETE SIDEWALK TO REMAIN (TYP.)
 - Ⓨ SAWCUT LINE (TYP.)
 - Ⓩ EXISTING FIRELANE TO REMAIN (TYP.)
 - ⓐ USPS MAILBOX TO REMAIN (TYP.)
 - ⓑ SECURITY CAMERA TO REMAIN (TYP.)
 - ⓓ FIBER BIO LOG, SEE DETAIL THIS SHEET

- LEGEND**
- | | | | | | |
|--|-------------------------------|--|----------------------------|--|-------------------------|
| | EXISTING | | REMOVALS | | PROPERTY LINE (TYP.) |
| | CONCRETE SURFACE (TYP.) | | FULL DEPTH SAWCUT (TYP.) | | TREE (TYP.) |
| | LIMITS OF CONSTRUCTION (TYP.) | | CURB & GUTTER (TYP.) | | WATERMARK (TYP.) |
| | SIGN (TYP.) | | STORM MANHOLE (TYP.) | | STORM CATCHBASIN (TYP.) |
| | ROOF DRAIN (TYP.) | | HYDRANT (TYP.) | | LIGHT POLE (TYP.) |
| | SPHERICAL BOLLARD (TYP.) | | CYLINDRICAL BOLLARD (TYP.) | | BENCH (TYP.) |
| | TRASH RECEPTACLE (TYP.) | | BIKE RACK (TYP.) | | BUILDING CURB (TYP.) |
| | TABLE (TYP.) | | CART STORAGE (TYP.) | | |



2 FIBER BIO-LOG

SCALE: N.T.S. L101

- NOTES**
- STRAW WATTLE SHALL BE COMPACTED STRAW AND/OR ORGANIC FIBER MATERIAL.
 - STRAW OR FIBER SHALL BE WRAPPED IN UV STABILIZED DEGRADABLE TUBULAR POLYPROPYLENE PLASTIC NETTING.



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



TARGET
HOMewood, IL
 17605 S HALSTED ST,
 HOMewood, IL 60430, IL

Project Number **T-1460**
 Format/Configuration: P2001
 Drawn By: EIW
 Checked By: T.JL./RAH

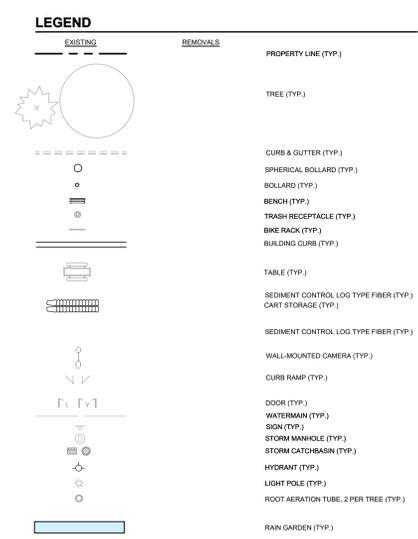
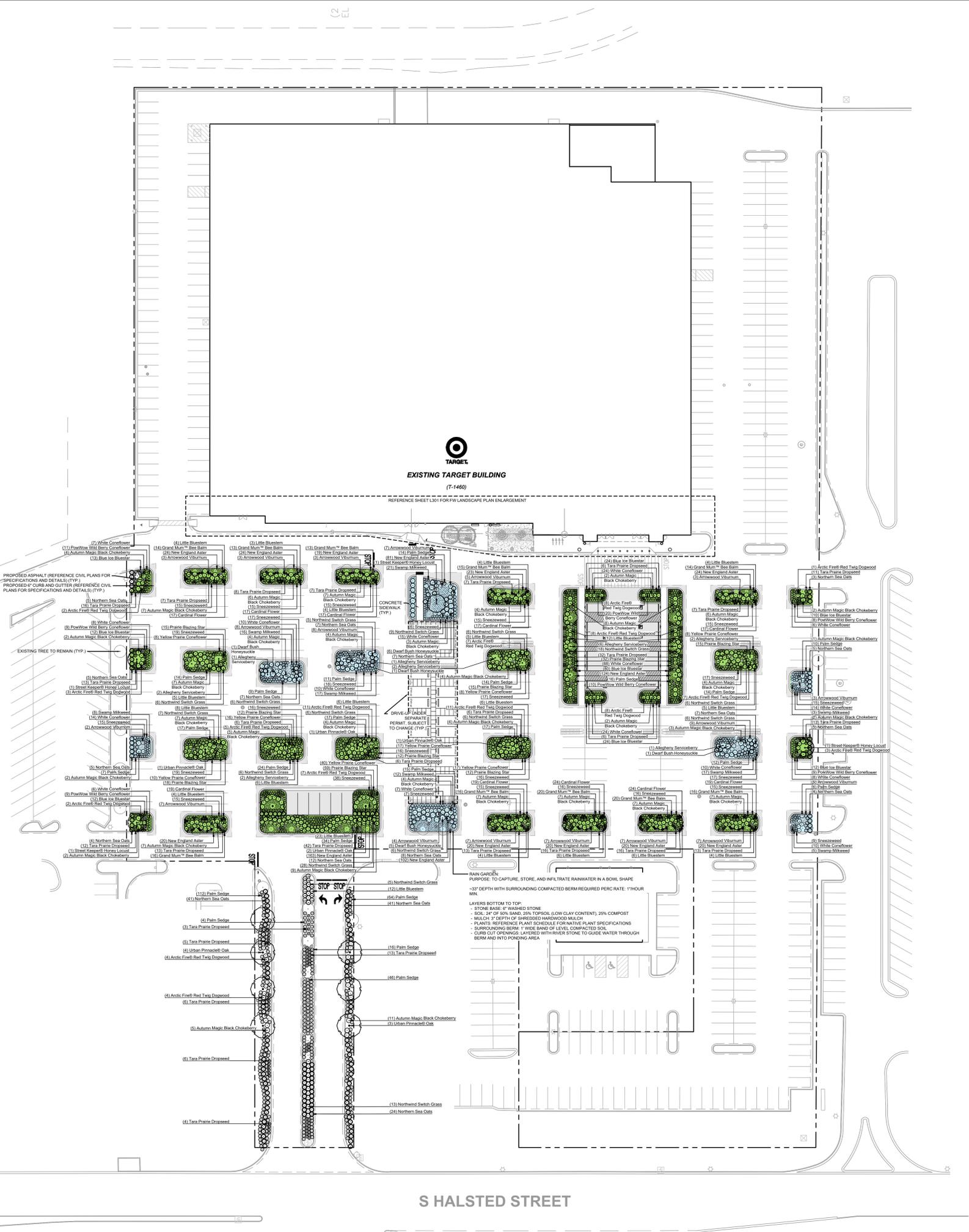
FW EXISTING CONDITIONS - DEMO PLAN

L101



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PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
	4	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	STREET KEEPER® HONEY LOCUST	2" CAL	B&B
	12	QUERCUS MACROCARPA 'JFS-KW3'	URBAN PINNACLE® OAK	2" CAL	B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
	17	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2" CAL	B&B
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
	170	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKEBERRY		3 GAL
	91	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD		5 GAL
	14	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE		5 GAL
	98	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM		2 GAL
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
	530	CAREX MUSKINGUMENSIS	PALM SEDGE		1 GAL
	190	CHASMANTHUM LATIFOLIUM	NORTHERN SEA OATS		3 GAL
	139	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS		3 GAL
	131	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM		3 GAL
	335	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED		3 GAL
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
	187	AMSONIA X 'BLUE ICE'	BLUE ICE BLUESTAR		1 GAL
	102	ASCLEPIAS INCARNATA	SWAMP MILKWEED		1 GAL
	264	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER		1 GAL
	146	ECHINACEA X 'POW WOW WILDBERRY'	POW WOW WILD BERRY CONEFLOWER		1 GAL
	414	HELENIUM AUTUMNALE	SNEEZEWEED		1 GAL
	190	LIATRIS Pycnostachya	PRAIRIE BLAZING STAR		1 GAL
	190	LOBELIA CARDINALIS	CARDINAL FLOWER		1 GAL
	157	MONARDA DIDYMA 'MCMJUM'	GRAND MUM™ BEE BALM		1 GAL
	124	RATIBIDA COLUMNIFERA	YELLOW PRAIRIE CONEFLOWER		1 GAL
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
	708	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER		1 GAL

NOTE:
 XSS TOTAL SOIL AREA TO BE AMENDED: 26,229 SF
 AMENDED SOIL PROFILE FROM TOP TO BOTTOM:
 • 3" DEPTH SHREDDED HARDWOOD MULCH
 • 4" DEPTH AMENDED SOIL PER SPECIFICATIONS
 • FILTER FABRIC WRAPPING FREE DRAINING AGGREGATE
 • 4" DEPTH FREE DRAINING AGGREGATE BASE
 • 3" WIDE PERFORATED PIPE WITH DRAIN AND SOCK FOR SOIL AERATION THROUGH DEPTH OF AMENDED SOIL PROFILE. PIPE LOCATIONS TO BE DETERMINED BY LANDSCAPE ARCHITECT IN CONSTRUCTION DOCUMENT SET.



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET

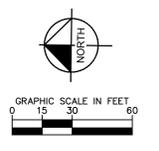
JOSEPH COOKSWILL
 LICENSED PROFESSIONAL LANDSCAPE ARCHITECT
 STATE OF ILLINOIS
 License expires 08-31-2022

TARGET
 HOMEWOOD, IL
 17605 S HALSTED ST.,
 HOMEWOOD, IL 60430, IL

Project Number: **T-1460**
 Format/Configuration:
 Drawn By: DLO
 Checked By: KSS / HM

XSS LANDSCAPE PLAN

L300

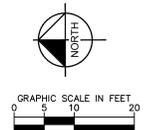
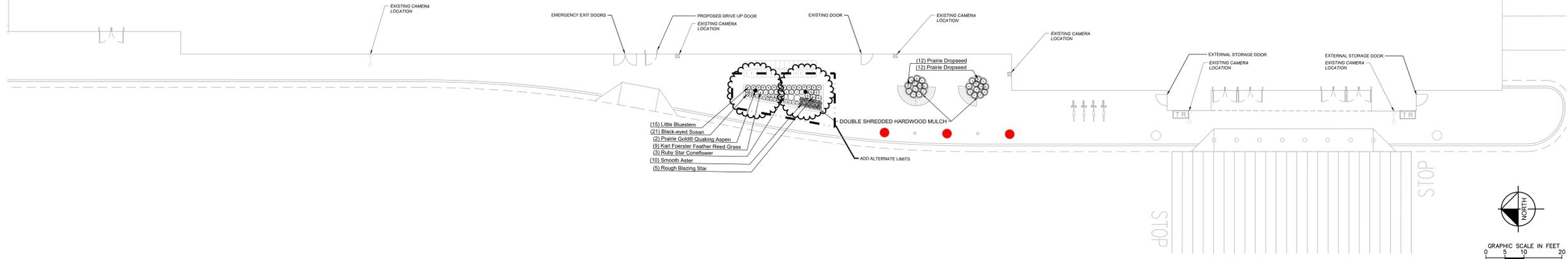




TARGET

EXISTING TARGET BUILDING

(T-1460)



1 LANDSCAPE PLAN ENLARGEMENT

SCALE: 1"=10'

PLANT SCHEDULE

ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	PGP	2	POPULUS TREMULOIDES 'NE ARB'	PRAIRIE GOLD® QUAKING ASPEN	B & B	2" CAL.
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	SMA	10	ASTER LAEVIS	SMOOTH ASTER	#1 CONT.	1.5' O.C.
	KFG	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT.	30" O.C.
	RBC	3	ECHINACEA PURPUREA 'RUBY STAR'	RUBY STAR CONEFLOWER	#1 CONT.	20" O.C.
	LAS	5	LIATRIS ASPERA	ROUGH BLAZING STAR	#1 CONT.	1.5' O.C.
	RHS	21	RUDBECKIA HIRTA	BLACK-EYED SUSAN	#1 CONT.	1' OC
	LBS	15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1 CONT.	1.5' O.C.
	PDS	24	SPOROBOLLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT.	18" O.C.

LANDSCAPE KEYNOTES

- ⊙ DOUBLE SHREDDED HARDWOOD MULCH (TYP.)



TARGET

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MINNEAPOLIS, MN 55403

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HOMWOOD, IL
17605 S HALSTED ST,
HOMWOOD, IL 60430, IL

Project Number **T-1460**

Format/Configuration: P2001

Drawn By: EIW

Checked By: T.JL./RAH

FW LANDSCAPE
PLAN

L301



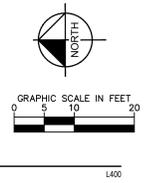
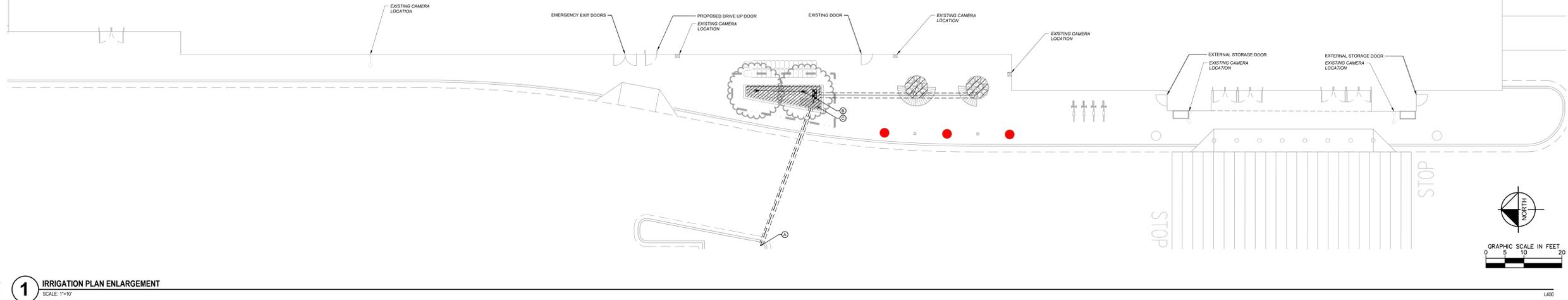
Know what's below.
Call before you dig.



TARGET

EXISTING TARGET BUILDING

(T-1460)



1 IRRIGATION PLAN ENLARGEMENT

SCALE: 1"=10'

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1401	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1400 SERIES MINI HOOD WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED, WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	5	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1402	RAIN BIRD XC2-165-PRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PRESS VALVE WITH TWO 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-60 GPM.	4	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
[Symbol]	AREA TO RECEIVE DRIPLINE RAIN BIRD XFCV-06-18 XFCV ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 3.5 PSI CHECK VALVE, 0.6 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, GREAT FOR ELEVATION CHANGE. SPECIFY XF INSERT FITTINGS.	603.1 L.F.	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
[Symbol]	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	389.4 L.F.	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
[Symbol]	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.	89.0 L.F.	
[Symbol]	PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING FOR CONSTRUCTION.	179.7 L.F.	



KEYNOTE LEGEND

- (A) POINT OF CONNECTION, VERIFY LOCATION WITH OWNER
- (B) IRRIGATION CONTROLLER, TO BE INSTALLED IN MECHANICAL ROOM. VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. PROVIDE ELECTRICAL SUPPLY PER MANUFACTURER'S SPECIFICATION.
- (C) SOLAR SYNC AND FREEZE CHECK LOCATION, AVOID OVERHEAD OBSTRUCTIONS AND OVERSPRAY.
- (D) MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND VALVE WITH THE PROPERTY LINE, 6" FROM S.O.C. WHEN POSSIBLE AND IN GREEN SPACE, COORDINATE WITH OTHER DISCIPLINES TO AVOID CONFLICTS (TYP.)
- (E) SLEEVING SHOWN FOR CLARITY. INSTALL LATERALS IN ONE SLEEVE AND SIZE SLEEVE ACCORDINGLY (TYP.)
- (F) CONTRACTOR TO ADJUST ALL OVERHEAD SPRAY HEADS TO ENSURE MINIMAL OVERSPRAY OCCURS ON ANY HARDSURFACE SURFACE, BUILDING, BIOMASS (TYP.)
- (G) ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE) BETWEEN DRIPLINE AND ROAD EDGE OR PAVEMENT EDGE (TYP.)
- (H) FIELD VERIFY LOCATION OF EXISTING IRRIGATION SYSTEM, TIE INTO EXISTING MAIN OR LATERAL. CONFINED FOR NEW ZONE.

NOTE:
A WORKING, COMPLETE EXISTING IRRIGATION SYSTEM IS ANTICIPATED TO BE ON SITE, TIE INTO EXISTING IRRIGATION SYSTEM AT EXISTING PARKING LOT ISLANDS. FIELD VERIFY CONNECTION TO EXISTING HOSE BIB IN FRONT, CONTROLLER INSIDE.
IF IRRIGATION SYSTEM IS NOT IN WORKING CONDITION ACCESS THE EXISTING SYSTEM AND PROVIDE A SUMMARY OF CORRECTIONS NEEDED TO BRING THE SYSTEM INTO WORKING ORDER. CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR SERVICES@TARGET.COM.
IF EXISTING IRRIGATION SYSTEM DOES NOT EXIST ON SITE PLEASE CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR SERVICES@TARGET.COM

IRRIGATION NOTES

- IRRIGATION SYSTEM IS DIAGRAMMATIC. CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. CONTRACTOR TO SEND VERIFIED PRESSURE READING TO LANDSCAPE ARCHITECT BEFORE STARTING CONSTRUCTION. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION. ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS, IF APPLICABLE. ZONE PARAMETERS: TURF AREAS SHALL HAVE SPRAYS/ROTORS, SHRUB/ PERENNIAL AREAS SHALL HAVE DRIP, AND TREES SHALL HAVE BUBBLERS.
- ALL PIPE SHALL BE SDR 26 CLASS 200 (DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"), (DO NOT EXCEED 13 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE 18" FOR MAINLINE AND 12" FOR LATERAL LINES. FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT MATERIAL.
- ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL.
- ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES/SIZED FOR NORMAL MAINTENANCE. FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE VALVE BOXES.
- FOLLOW CONTROLLER SPECIFICATION IN SCHEDULE AND DETAILS. FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR GROUNDING CONTROLLER AND TWO-WIRE PATH MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHER/RAIN/FREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BOARDS AND HARDWARE FOR ALL EXPOSED AREA AS DIRECTED BY OWNER.
- FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE.
- MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #8 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING. SLEEVE DEPTH IS PRIMARILY 18 INCHES. COORDINATE AND PLACE SLEEVING PRIOR TO PAVEMENT INSTALLATION. DIRECTIONAL BORE UNDER PAVEMENT IN EXISTING CONDITIONS TO REMAIN.
- BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. THE SPECIFIED CONTROLLER HAS MANY ADVANCED FEATURES THAT AID WATER CONSERVATION. THESE FEATURES SHALL BE USED BY CONTRACTOR, INCLUDING WEATHER-BASED PROGRAMMING AND CELLULAR COMMUNICATION TO THE CONTROLLER, FAILURE TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION.
- INSTALL WEATHER/RAIN/FREEZE SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION.
- CONTROL WIRE WILL BE SOLID COPPER WIRE MANUFACTURE BY PAIGE OR REGENCY. PAIGE 7072 REV. D OR APPROVED EQUAL (U.I. APPROVED FOR DIRECT BURIAL IN GROUND, MINIMUM GAUGE: MINIMUM #14 U.F. FOR EITHER MULTI-STRAND OR TWO-WIRE. COMMON GROUND WIRE, IF APPLICABLE, SHALL BE MINIMUM #12 GAUGE WHITE. FOR MULTI-STRAND SYSTEMS, PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH, MARK AS APPROPRIATE. 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M.
- SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTER TO OBTAIN PROPER COVERAGE. ROTOR NOZZLES TO PROVIDE PROPER COVERAGE AND MATCH PRECIPITATION, AS REQUIRED. FIELD ADJUST AS NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS. INSTALL ROTOR AND SPRAY HEADS TO LATERAL LINE WITH FLEX TUBING OR SWING JOINTS. BUBBLERS TO BE ON 6" POP-UP.
- VERIFY AND COORDINATE WITH OWNER REPRESENTATIVE FINAL LOCATION OF WATER SOURCE AND ELECTRICAL POWER CONNECTION.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS.
- PROVIDE 1" VALVES FOR SPRAY AND ROTOR ZONES FOR 30 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 30 GPM. DRIP ZONES 1" OR 1.5" VALVES PER DEMAND OF ZONE. 1" DRIP MAINFOLD FOR FLOWS OF 2 TO 15GPM. 1.5" DRIP MAINFOLD FOR FLOWS OF 15 TO 40GPM.
- CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. PROVIDE OWNER PAPER COPY/EMAIL OF PROGRAMMING SCHEDULE FOR ALL ZONES. PROVIDE ESTABLISHMENT AND POST-ESTABLISHMENT SCHEDULES.
- DRIP IRRIGATION TO FOLLOW MANUFACTURER'S RECOMMENDATION FOR TYPE, SIZE, AND LOCATION PER LANDSCAPE CONDITION. EACH DRIP ZONE SHALL HAVE ZONE VALVE, PRESSURE REDUCER, AND FILTER, AIR RELIEF VALVE, FLUSH VALVE, SUPPLY LATERAL LINES, DRIP TUBING WITH EMBEDDED EMITTERS, AND OTHER RELATED ITEMS. DRIP TUBING SHALL BE ANCHORED AND UNDER LANDSCAPE MULCH, HIDDEN FROM VIEW, WITH EMITTERS LOCATED AT PLANT LOCATIONS. DRIP TUBING SHALL ALSO BE LOOPED AND INTERCONNECTED, WITH NO DEAD-ENDS. ANY ADDITIONAL EMITTERS, AS NOTED ON PLAN.



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



TARGET
HOMewood, IL
17605 S HALSTED ST.,
HOMewood, IL 60430, IL

Project Number	T-1460
Format/Configuration:	P2001
Drawn By	EIW
Checked By	T.J.L./RAH

FW IRRIGATION PLAN
L400

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This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, and is not to be used for any other purpose without the prior written authorization and adaptation by Kimley-Horn and Associates, Inc.



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TARGET
HOMewood, IL
17605 S HALSTED ST,
HOMewood, 60430, IL

Project Number **T-1460**

Format/Configuration:

Drawn By RAH / ERS

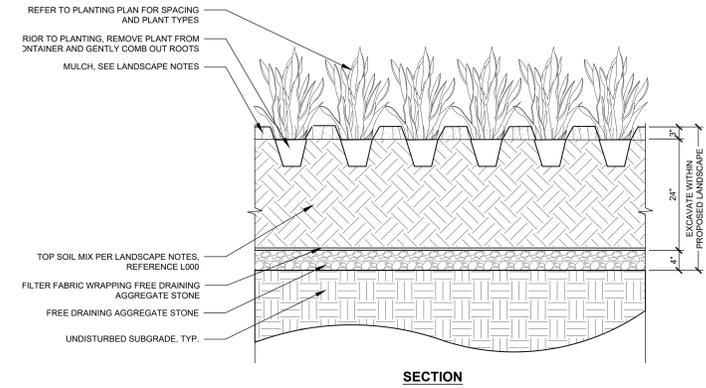
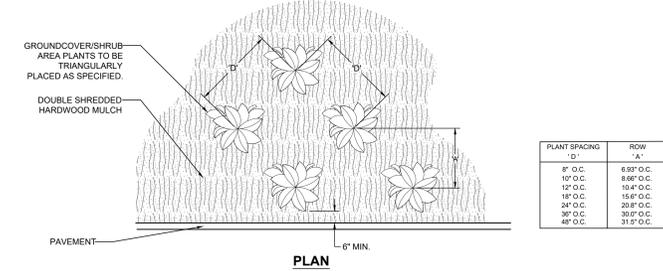
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GENERAL DETAILS

L502

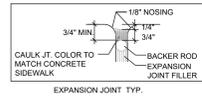
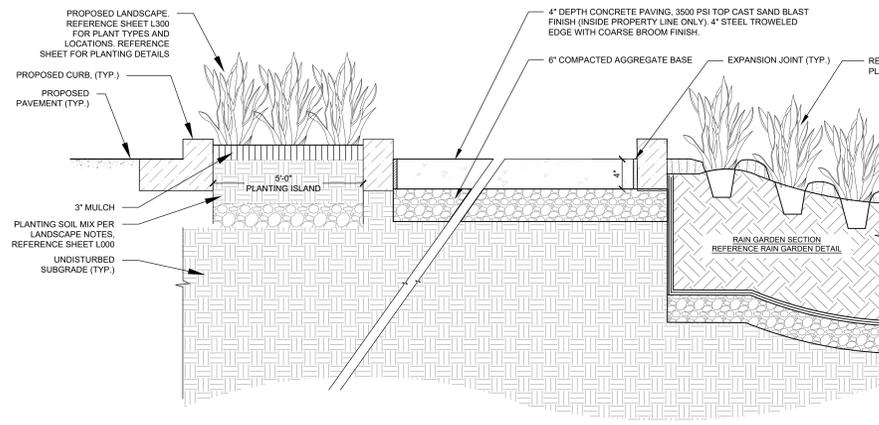
NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3/4" OF ORGANIC COMPOST.
9. SOIL EXCAVATION TO BE OMITTED WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.

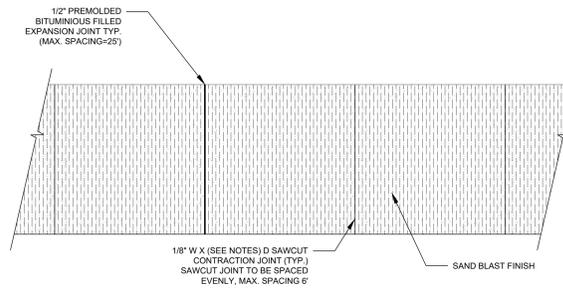


2 XSS PARKING LOT ISLAND SHRUB / PERENNIAL CONTAINER PLANTING DETAIL
SCALE: 1" = 1'

L502



- NOTES:**
1. CAULK EXPANSION JOINT WITH LITHOSEAL. (COLOR TO MATCH CONCRETE COLOR)
 2. DEPTH OF THE SAWCUT CONTRACTION JOINT SHALL BE 1/2" WHEN CUT WITHIN 6 HOURS OF POUR. IF SAWCUTTING OCCURS AFTER 6 HOURS OF POUR, THE DEPTH OF THE CONTRACTION JOINT SHALL BE 1/3 THE THICKNESS OF CONCRETE



- NOTES:**
1. CONTRACTOR SHALL HAVE AN EXPANSION JOINT AT THE BACK OF SIDEWALK WHEN ABUTTING WITH A STRUCTURE/BUILDING.

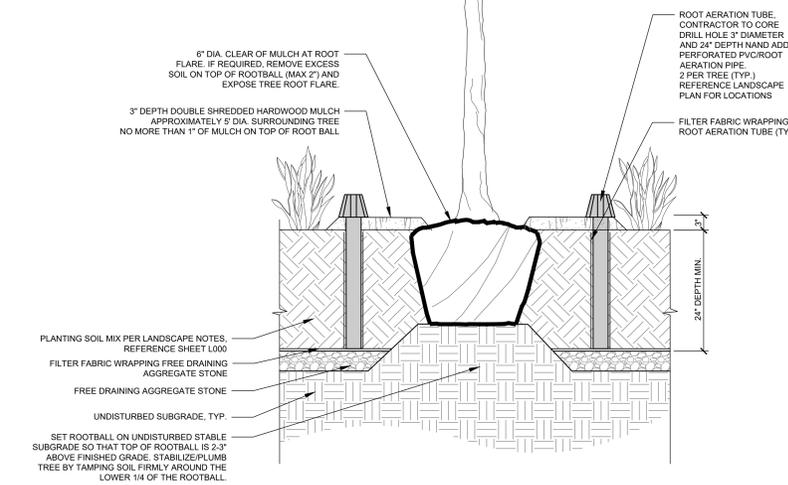
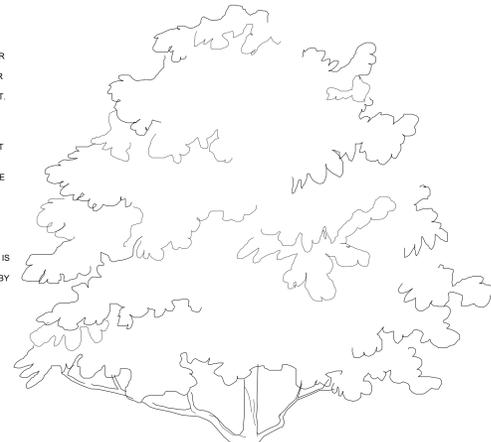
PLAN

1 CONCRETE SIDEWALK (PARKING LOT ISLAND RETROFIT PROTOTYPE)
SCALE: 1" = 1'

L502

NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.
11. EXCAVATION DEPTH FOR PLANTING TREES VARIES PER ROOTBALL SIZE.

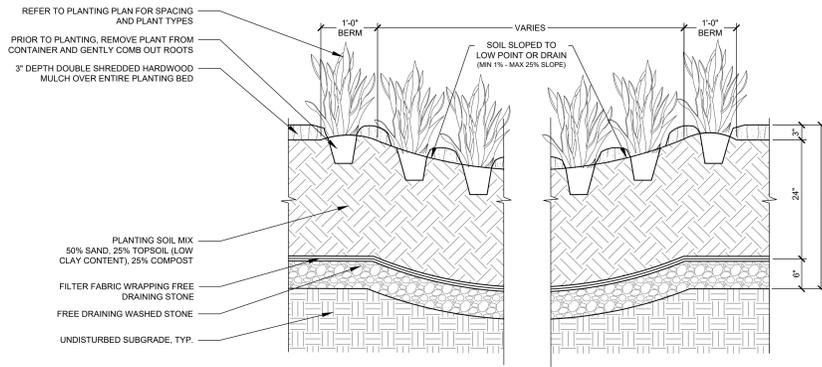


4 XSS PARKING LOT ISLAND: TREE B&B PLANTING DETAIL
SCALE: 1" = 1'

L502

NOTES:

1. REFERENCE SHRUB AND GROUND COVER DETAIL FOR PLANTING CONTAINER PLANTS
2. RAIN GARDEN PURPOSE IS TO CAPTURE, STORE, AND INFILTRATE RAINWATER IN A BOWL SHAPE
3. REQUIRED PERC RATE: 1" PER HOUR MINIMUM

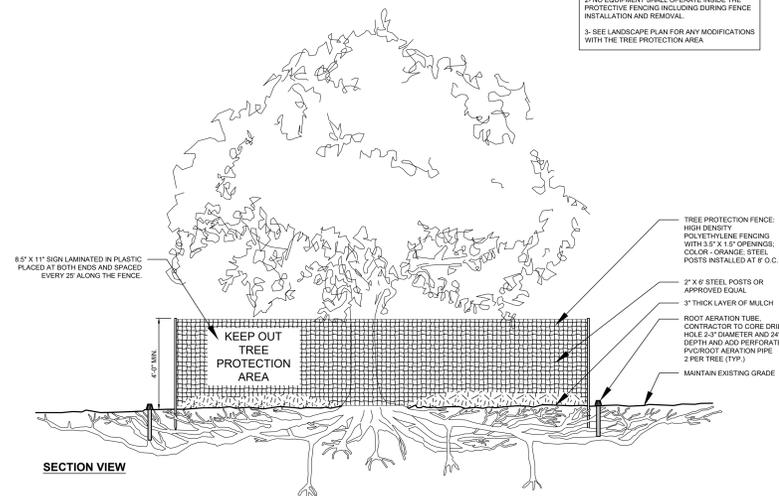


5 RAINGARDEN DETAIL
SCALE: 1" = 1'

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NOTES:

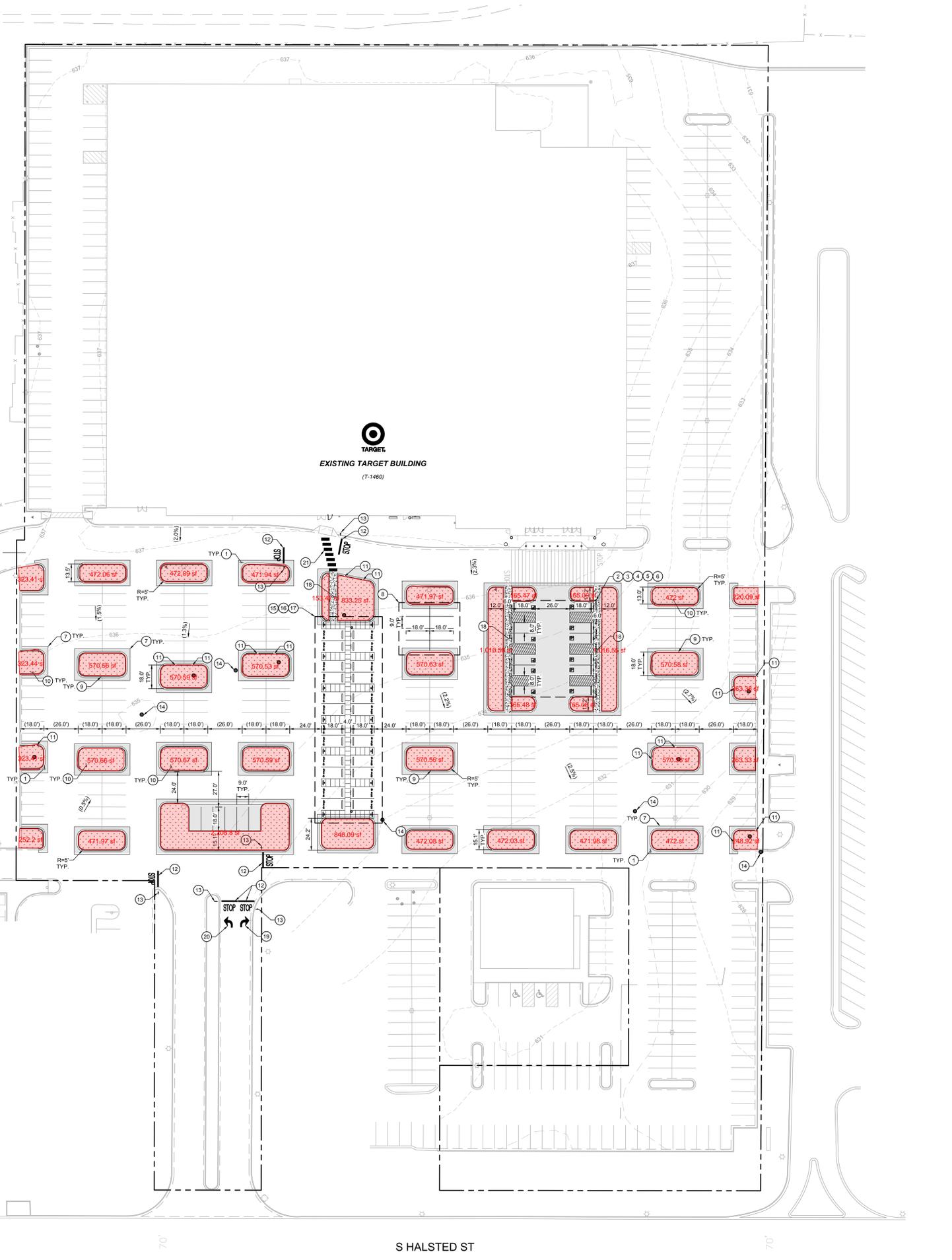
1. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST
2. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
3. SEE LANDSCAPE PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA



3 TREE PROTECTION FENCE AND ROOT AERATION TUBE DETAIL
SCALE: N.T.S.

L502

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LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTES 1 & 7 HEREON.
- PROPOSED LANDSCAPING. SEE CONSTRUCTION NOTE 18 HEREON.
- PROPOSED CONCRETE SIDEWALK. SEE CONSTRUCTION NOTE 18 HEREON.
- EXISTING FLOW (SLOPE AND DIRECTION).
- PROPERTY LINE
- LIMITS OF STRIPING

CONSTRUCTION NOTES

1. INSTALL C2-P684-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95% OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.
2. INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.
3. INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.
4. INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.
5. INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.
6. INSTALL 6" WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET C300.
7. JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.
8. INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.
9. INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300.
10. PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
11. INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300.
12. PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.
13. PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300.
14. INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL.
15. PROPOSED DRIVE UP STRIPING PER DETAIL 16, SHEET C300.
16. PROPOSED DOUBLE SIDED STANCHION SIGN AND BASE PER DETAIL 15, SHEET C300.
17. PROPOSED DRIVE UP BEACON PER DETAIL 14, SHEET C300.
18. PROPOSED CONCRETE SIDEWALK PER DETAIL 1, SHEET C300.
19. PROPOSED RIGHT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)
20. PROPOSED LEFT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)
21. INSTALL CROSSWALK PER DETAIL 12, SHEET C300.
22. PROPOSED RIBBON GUTTER PER DETAIL 12, SHEET C300.

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHULTZ & ASSOCIATES DATED 18/01.

AREAS OF REPLACED PAVEMENT

- 10,000± S.F. FULL DEPTH ASPHALT REPLACEMENT
- 19,000± S.F. LANDSCAPE REPLACEMENT
- 1,200± S.F. CONCRETE SIDEWALK REPLACEMENT

ABBREVIATIONS

- EX - EXISTING
- FS - FINISHED SURFACE
- TC - TOP OF CURB
- TYP - TYPICAL

PARKING QUANTITY SUMMARY					
	USE	RATIO	TARGET BUILDING SIZE	TOTAL PARKING STALLS	TOTAL ACCESSIBLE PARKING STALLS
REQUIRED				504 STALLS	11 STALLS (2 VAN)
EXISTING	RETAIL	1 STALLS/ 250 SF	125,970 SF	639 STALLS	12 STALLS (2 VAN)
PROPOSED				515 STALLS	12 STALLS (2 VAN)



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



Project Number **T-1460**
 Format/Configuration:
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 Checked By

PROPOSED CONDITIONS

C200

