T1460 Homewood Appearance Commission Materials Target Front Walk and Exterior Site Sustainability Program

Target Representative: Ryan A. Hyllested, PLA, ASLA, Kimley-Horn

Civil and Landscape Architect Consultant

T1460 Homewood, IL Parking Lot Island Design Concept

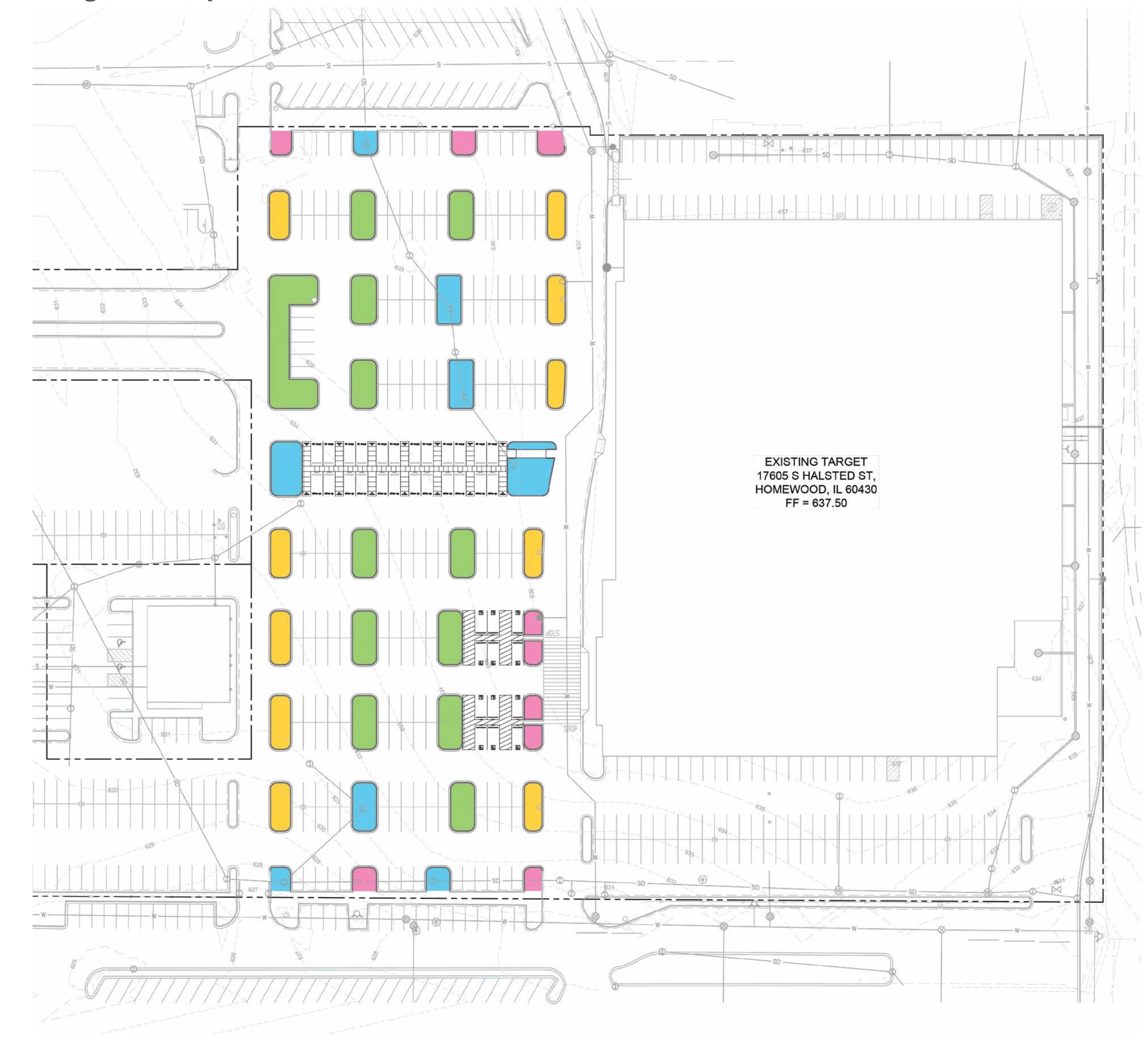
Legend

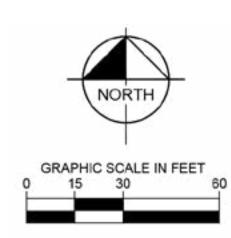
A - Rain Garden

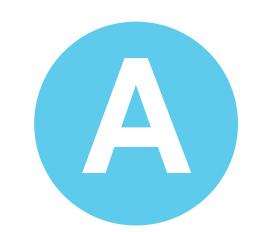
B - Semi Rain Garden

C - Parking Island

D - Small Island







T1460 Homewood, IL

Rain Garden Plant Palette





Native Plants



Bee Friendly



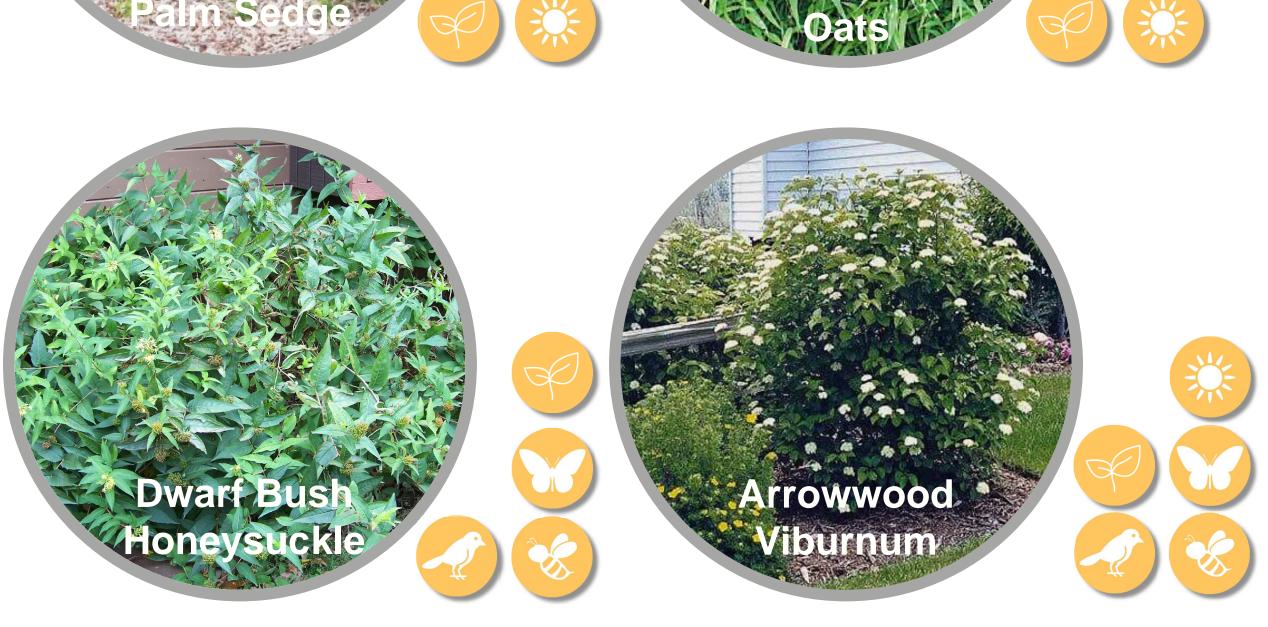
Bird Friendly



Butterfly Friendly



Drought Resistant











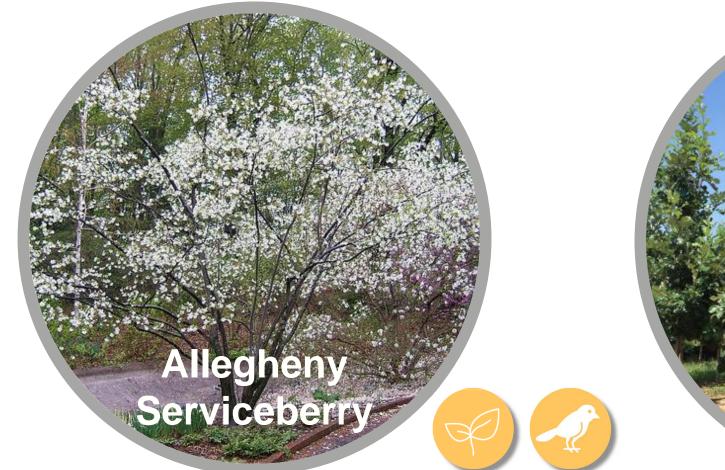


Deciduo



T1460 Homewood, IL

Semi Rain Garden Plant Palette







Native Plants



Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant









Grasses



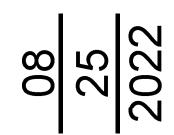






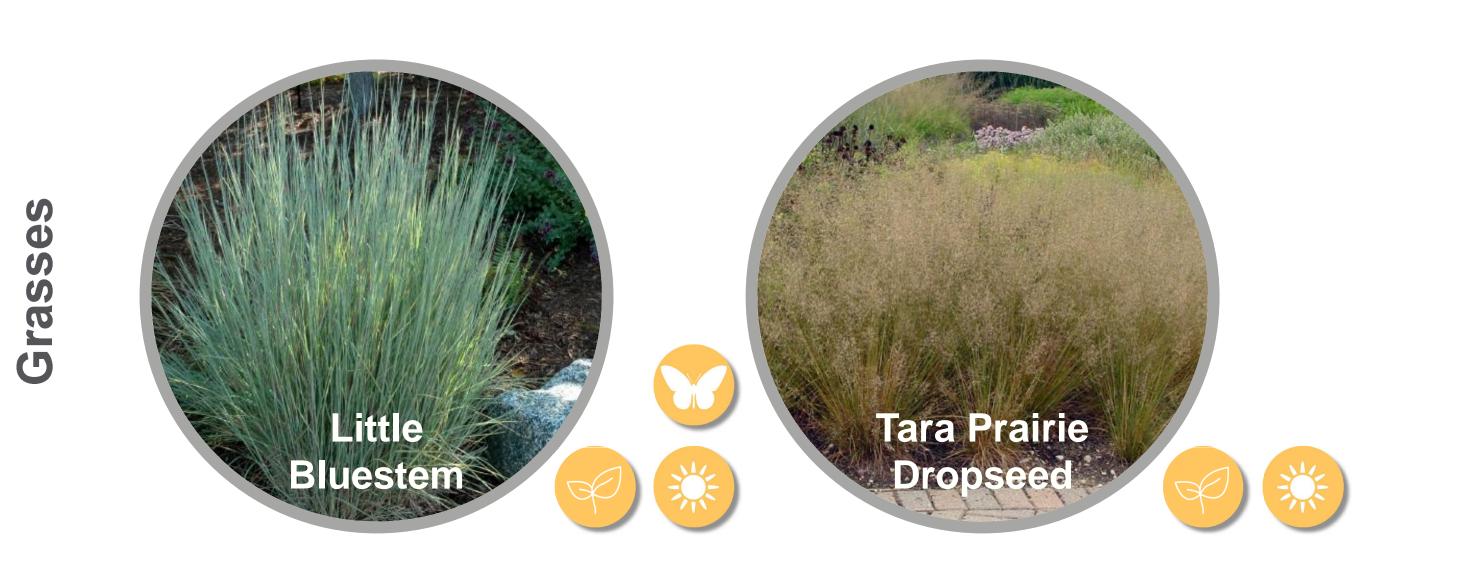














Native Plants



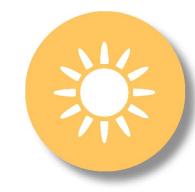
Bee Friendly



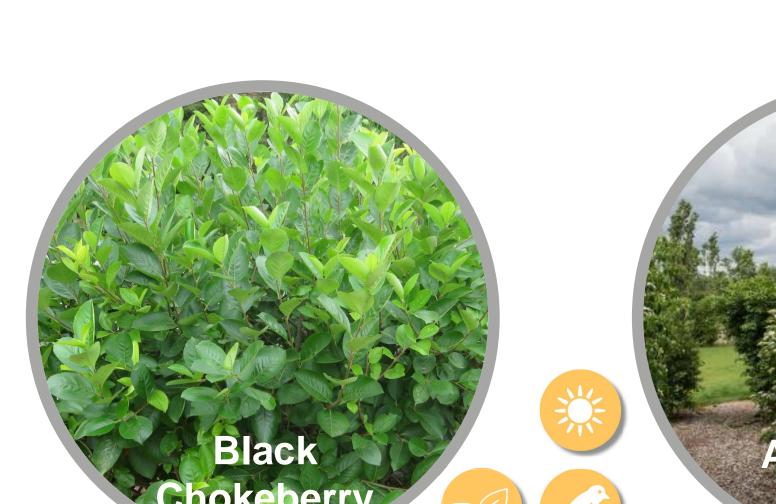
Bird Friendly



Butterfly Friendly



Drought Resistant









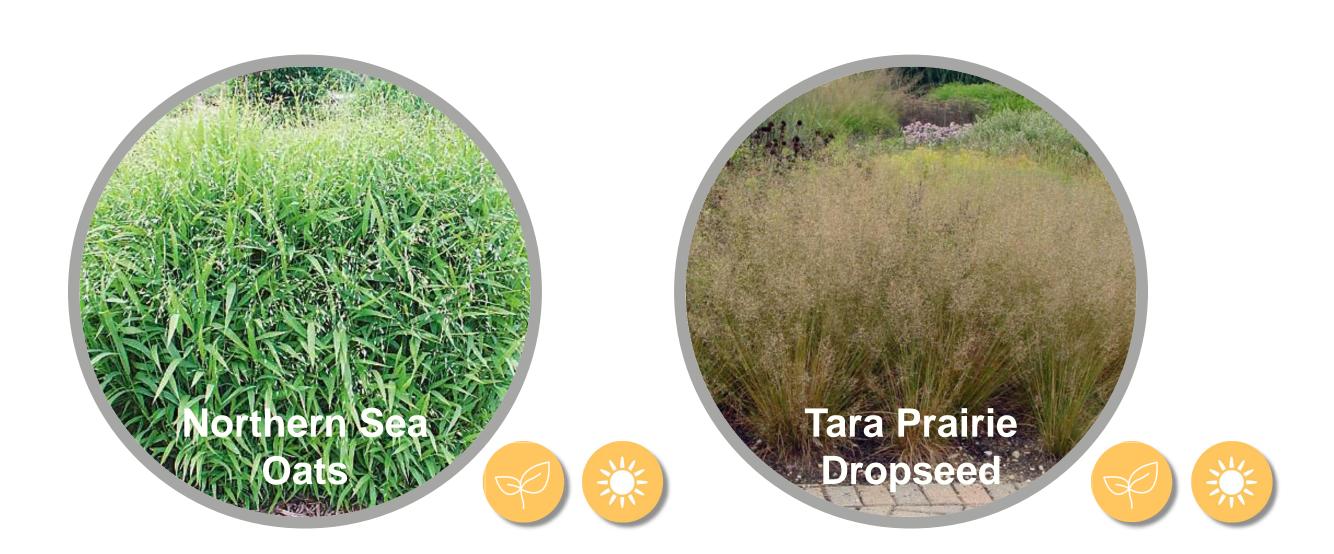




iduous Shrubs

















Native Plants



Bee Friendly



Bird Friendly



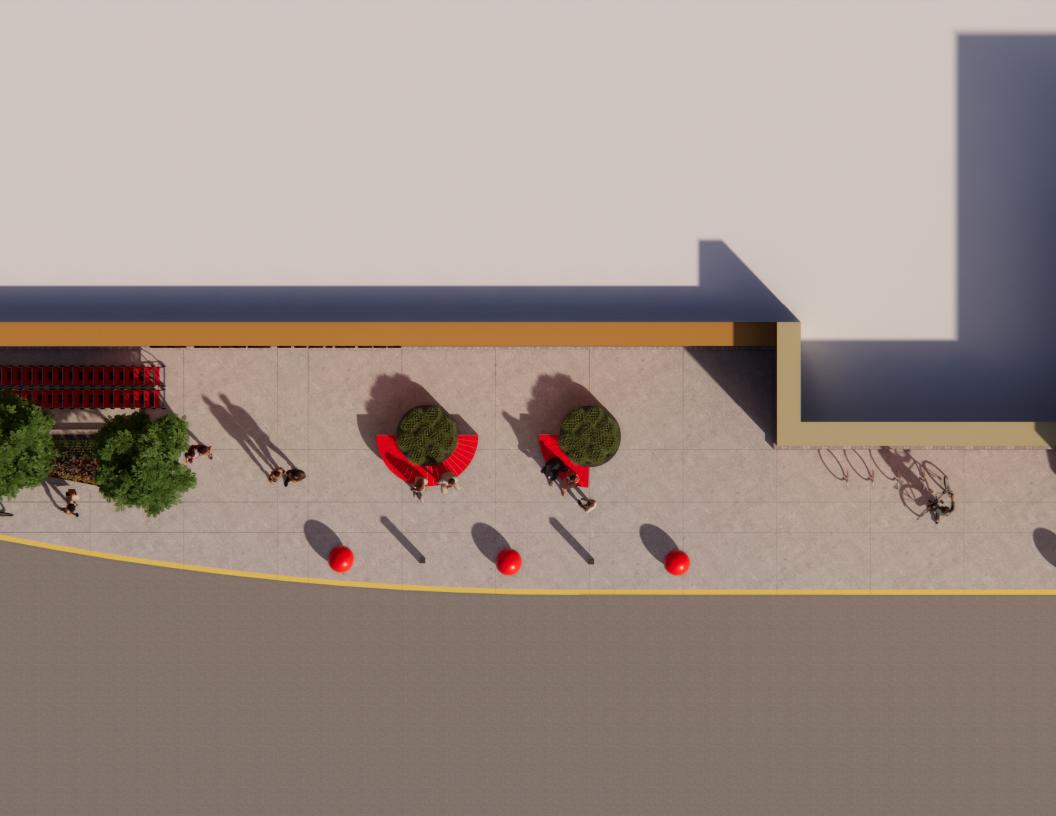
Butterfly Friendly



Drought Resistant













FRONT WALK PLANS (FW) & EXTERIOR SITE SUSTAINABILITY PLANS (XSS) FOR T-1460 HOMEWOOD, IL

PROJECT TEAM:

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LANDSCAPE ARCHITECT OF RECORD KIMLEY-HORN AND ASSOCIATES, INC.

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PROJECT CONTACTS FRONT WALK (FW) RYAN A. HYLLESTED, PLA, ASLA (PLA - MN, IS, ND, NE, SD, WI) 767 EUSTIS STREET, SUITE 100 ST. PAUL, MN 55114 TELEPHONE: (651) 645-4197 EMAIL: RYAN.HYLLESTED@KIMLEY-HORN.COM

EXTERIOR SITE SUSTAINABILITY (XSS) HALEY MAITRE, PLA 817 WEST PEACHTREE STREET, NW, THE BILTMORE, SUITE 601 ATLANTA, GA 30308 TELEPHONE: (470) 681-6496 EMAIL: HALEY.MAITRE@KIMLEY-HORN.COM

TARGET PROGRAM MANAGER



CONTACT: ALLYSSA KUSESKE, PE, LEED AP 50 S 10TH STREET, STE 400, TP3-1110 MINNEAPOLIS. MN 5540 TELEPHONE: (612) 322-1872

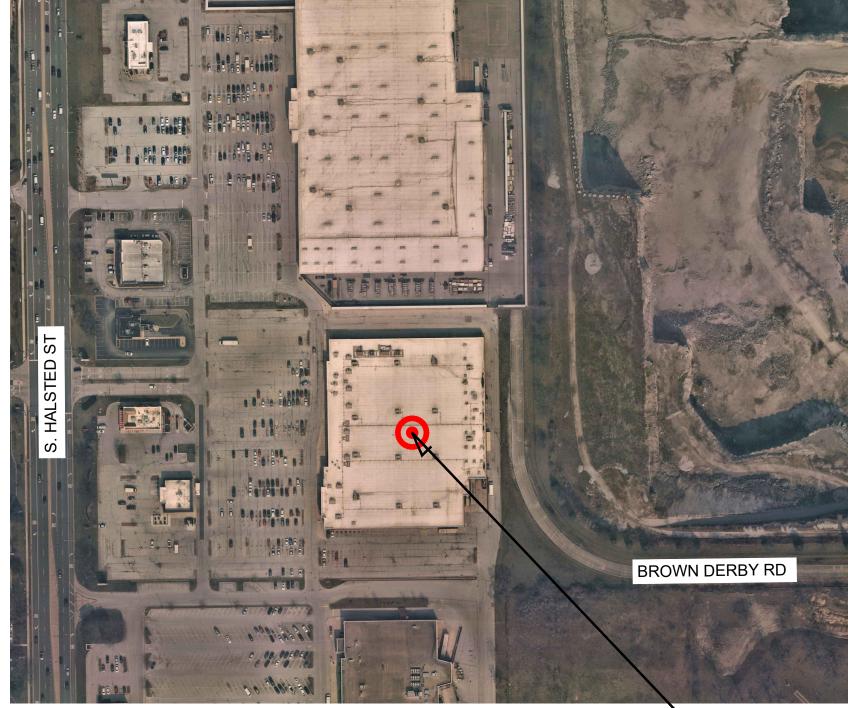
EMAIL: ALLYSSA.KUSEEKE@TARGET.COM

Sheet Set List		
Sheet Number	Sheet Title	
L000	FW + XSS GENERAL NOTES & SHEET INDEX	
L100	XSS EXISTING CONDITIONS - DEMO PLAN	
L101	FW EXISTING CONDITIONS - DEMO PLAN	
L200	FW SITE FURNITURE PLAN	
L300	XSS LANDSCAPE PLAN	
L301	FW LANDSCAPE PLAN	
L400	FW IRRIGATION PLAN	

GENERAL DETAILS

GENERAL DETAILS

GENERAL DETAILS





NOTES:

- CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION. 2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A ARCH FULL
- BLEED E (36.00 X 48.00 INCHES) SHEET. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING
- POSSESSION AND THE FINAL CONNECTION OF SERVICES. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES,

AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

LANDSCAPE NOTES

- CONTRACTOR SHALL CONTACT JULIE (800) 892-0123 TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE
- 3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS
- 4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR
- OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLAN
- 6. ALL PLANTS TO BE SPECIMEN GRADE, GROWN IN THE LOCAL STATE AND/OR HARDY ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
- 7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.

CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT

8. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.

TO WIDTH RATIO OF NO LESS THAN 5:3.

9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY

HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.

EVEN OR SLIGHTLY ABOVE FINISHED GRADE.

- 10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE
- 11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- 12. PRUNE PLANTS AS NECESSARY PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- 13. WRAP ALL SMOOTH-BARKED TREES FASTEN TOP AND BOTTOM. REMOVE BY
- 14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB
- 15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL
- CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- 16. BASIS OF DESIGN REQUIREMENTS FOR EXISTING AND IMPORTED TOPSOIL: PHYSICAL TESTING CHEMICAL TESTING **FERTILITY TESTING** ORGANIC MATTER CONTENT

RECOMMENDATIONS FOR AMENDMENTS, FERTILIZER AND WATER APPLICATION

EXISTING SOIL AND IMPORTED TOPSOIL: CONTRACTOR TO TEST SOIL AND SUBMIT ANALYSIS TO THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE FOR ACCEPTANCE PRIOR TO

SOIL TEST TO INCLUDE THE FOLLOWING NUTRIENT EVALUATION: CONTENT OF

STRUCTURE AND MOISTURE. MANUFACTURER'S QUALIFIED TESTING AGENCY'S

HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL

SPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" IN SEEDED AREAS, 24" IN PLANTINC COPSOIL PLACEMENT SHALL TAKE PLACE DURING DRY WEATHER - PREPAR TOPSOIL SO THAT IT IS FREE OF DEBRIS AND GRADED TO DRAIN AS INDICATED ON SITE AND GRADING PLANS. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH NEW TOPSOIL

- 17. STRUCTURAL SOIL TO BE CU-SOIL™ OR APPROVED EQUAL. THE STRUCTURAL SOIL PRODUCT CU SOIL™ IS A PROPRIETARY MATERIAL PATENTED BY CORNELL UNIVERSITY (US PATENT # 5,849,069) WHICH MEETS THE REQUIREMENTS OF STRUCTURAL SOILS FOR THIS PROJECT. ONLY LICENSED PRODUCERS ARE ALLOWED TO SUPPLY THIS MATERIAL, MEETING THE SPECIFICATIONS DESCRIBED IN THIS TEXT. FOR A LIST OF LICENSED CU-SOILTM PRODUCERS, CALL AMEREQ, INC. AT 1-800-832-8788. CONTRACTOR MAY CONSIDER AN ALTERNATE MANUFACTURER AND SUPPLIER OF STRUCTURAL SOIL. A DETAILED LIST OF MATERIALS, COMPOSITION PROPORTIONS, SOURCES, PLACEMENT, CERTIFICATION, LOCAL PRECEDENT WITH CLIENT REFERENCE AND CONTACT INFORMATION, AND WARRANTY MUST BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND CONSIDERATION WITHIN 60 DAYS OF GENERAL CONTRACT AWARD. INSTALL STRUCTURAL SOIL IN 6 INCH LIFTS AND COMPACT EACH LIFT. COMPACT ALL MATERIALS TO AT LEAST 95% PROCTOR DENSITY FROM A STANDARD COMPACTION CURVE AASHTO T 99 (ASTM D 698). PROVIDE AAPPROXIMATE 26% VOID SPACE
- 18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR/DYE-FREE, OR APPROVED EQUAL. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- 19. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- 20. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO
- 21. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECITES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LOCAL STATE DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER
- PLANS PROVIDED BY THE OWNER. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE LANDSCAPE ARCHITECT AT THE TIME OF PLAN PREPARATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE LANDSCAPE ARCHITECT. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY.

3. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS FROM AVAILABLE RECORD

- FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.

REGARDING THE METHOD TO USE FOR SUCH WORK.

- 6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS. SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT. TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE LANDSCAPE ARCHITECT.
- 8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED. THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 10. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE LANDSCAPE ARCHITECT AND OWNER.

11. A REASONABLE ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF UNDERGROUND

OBSTRUCTION, AND UTILITIES. THE UTILITIES AND FACILITIES ON THE PLANS SHOWN ARE NOT BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY UNDERGROUND UTILITIES, OR OBSTACLES THAT MAY OCCUR ON THE SITE. THE OWNER AND ENGINEER BEAR NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SOWN IN AN INCORRECT LOCATION OR ELEVATION ON THE PLANS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE PREPARED AT THE CONTRACTOR'S EXPENSE.

SITE NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

L500

L501

L502

- PROPOSED CONCRETE SIDEWALK/PAVEMENT TO MATCH EXISTING SCORING AND EXPANSION JOINTS ON SITE.
- 4. JOINTS SPACING BETWEEN CONTROL JOINTS ON THE SIDEWALK SHOULD NOT EXCEED 8'-0" IN EITHER DIRECTION, WITH A MAXIMUM 2:1 RATIO OF WIDTH TO LENGTH OR LENGTH TO WIDTH, EXPANSION JOINTS IN THE SIDEWALK SHOULD BE LOCATED SUCH THAT SLAB SIZES DO NOT EXCEED 32'-0" IN FITHER DIRECTION. WITH A MAXIMUM 2:1 RATIO OF WIDTH TO LENGTH OR LENGTH TO WIDTH. EXPANSION JOINTS SHOULD ALIGN WITH BUILDING CORNERS.
- POWER WASH FRONT WALK.

EROSION CONTROL NOTES

BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER. 2. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR

ANY SOLID WASTE MATERIALS.

- AS REQUIRED BY THE GENERAL PERMIT.
- 3. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF

- 4. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING. ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. 6. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO
- DRAINAGE DITCHES OR WATERS OF THE STATE. 7. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN
- SHALL BE INITIATED AS SOON AS IS PRACTICABLE. 8. ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND
- 10. EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
- 11. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE AUTHORITY HAVING JURISDICTION
- 12. CONTRACTOR TO ADD EROSION CONTROL MEASURES WITHIN PARKING LOT PLANTING ISLANDS AFTER EXISTING PLANTING IS REMOVE TO STABILIZE UNTIL TIME PLANTING.

DEMOLITION NOTES

- 1. EXISTING SITE DIGITIZED AERIAL BY NEARMAPS, DATED 06/15/2022. KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- . THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE. FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
- 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR, KIMLEY-HORN ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK. 6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING

5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED

AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE.

- TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- 7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH LOCAL AUTHORITY HAVING JURISDICTION (AHJ'S); INCLUDING COUNTY AND STATE AGENCIES.
- CONSTRUCTION. AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION. 9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE

8. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING

10. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE

CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

11. CONTRACTOR SHALL NOTIFY THE KIMLEY-HORN IF ANY EXISTING DRAINTILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINTILE SHALL BE REMOVED WITHOUT APPROVAL FROM KIMLEY-HORN OR THE OWNER.

12. THE STORE WILL REMAIN OPEN DURING CONSTRUCTION. ACCESS SHALL BE

- MAINTAINED DURING ALL HOURS OF OPERATION. 13. WORK SHALL BE PHASED TO MINIMIZE IMPACTS TO THE STORE AND GUESTS

GRADING AND DRAINAGE NOTES

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO EXISTING DRAINAGE OUTLETS.

- NOTIFY LANDSCAPE ARCHITECT IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT. 3. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO
- REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED 4. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT. CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF

PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED

STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY

- OWNER AND LANDSCAPE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED. 5. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED. THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

6. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES

- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL
- 8. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE
- ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS. 10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.

9. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN

12. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.

11. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.

AND CONTINUOUS GRADE.

13. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT

14. CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS, 1.2% FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.

PAVING AND STRIPING NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP. WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR WISDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE BUILDINGS SO COUNTY REGULATIONS.
- CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS. 3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, SIGNS, AND MISCELLANEOUS STRIPING AS SHOWN
 - ON THE PLANS. 4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB. 5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS

SHALL BE 2 FEET.

TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.

ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE

- 8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
- OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. 10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY

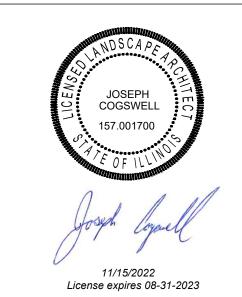
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED

- SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- 11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.



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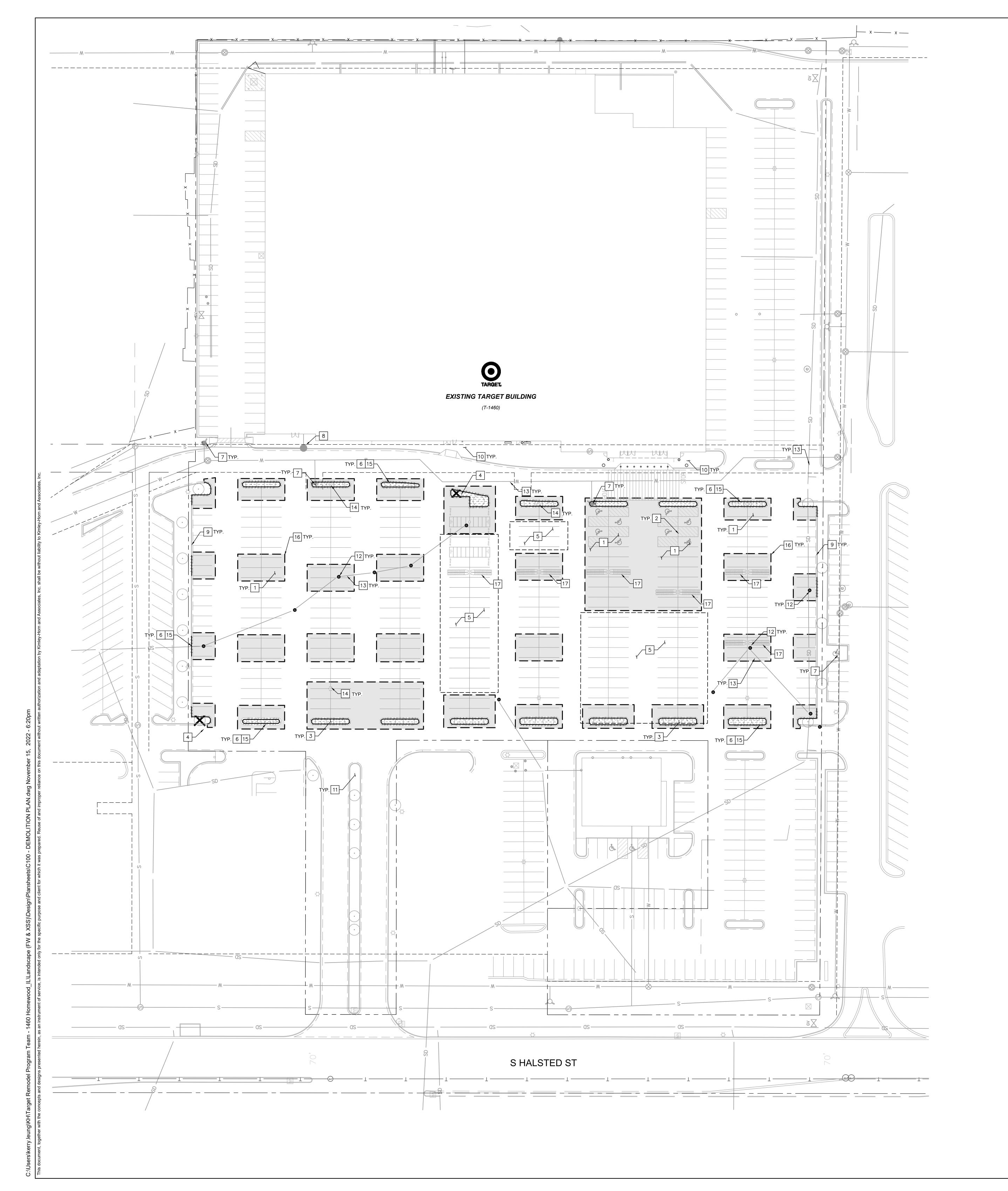
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GENERAL NOTES &

EIW

TJL /RAH



LEGEND

REMOVAL.

LANDSCAPE REMOVAL.

SAWCUT.

DEMOLISH AND REMOVE EXISTING CURB/CURB AND GUTTER.

PROPERTY LINE/ RIGHT OF WAY

LIMITS OF STRIPING REMOVAL

FULL DEPTH ASPHALT PAVEMENT

DEMOLITION NOTES

- 1 FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- REMOVE EXISTING ACCESSIBLE PARKING SIGN AND POST.
- REMOVE EXISTING LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.

 REMOVE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 5 REMOVE EXISTING STRIPING.
- DEMOLISH AND REMOVE EXISTING CONCRETE CURB/ CURB & GUTTER.
 CONTRACTOR TO USE HAND TOOLS WHEN EXISTING CONCRETE CURB/ CURB
 & GUTTER IS ADJACENT TO AN EXISTING TREE.
- PROTECT IN PLACE EXISTING FIRE HYDRANT.
- 8 PROTECT IN PLACE EXISTING SEWER MANHOLE.
- PROTECT IN PLACE EXISTING CONCRETE CURB/ CURB & GUTTER.
- PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.

 PROTECT IN PLACE EXISTING LANDSCAPING.
- 12 PROTECT IN PLACE EXISTING CATCH BASIN.
- 13 PROTECT IN PLACE EXISTING CATCH BASIN.

 13 PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES.

COORDINATE RELOCATION WITH TARGET.

PROTECT IN PLACE EXISTING LIGHT POLE.

PROTECT IN PLACE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE

- DETAIL.
- 17 REMOVE AND SALVAGE EXISTING CART CORRALS. CONTRACTOR TO
- 18 REMOVE AND SALVAGE EXISTING DRIVE UP SOLAR BEACON.

GENERAL NOTES

- 1. WHERE GRADES ARE AFFECTED, THE CONTRACTOR SHALL USE A SURVEYOR AS NEEDED TO INSURE PROPER GRADES ARE ACHIEVED.
- STRIPING SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CURRENT ILLINOIS BUILDING CODE AND APPLICABLE LOCAL CODES. GRADES SHALL BE VERIFIED FOR COMPLIANCE AT THE TIME OF CONSTRUCTION PRIOR TO STRIPING.
- 3. THE GENERAL CONTRACTOR SHALL ALSO REVIEW ANY APPLICABLE STATE AND LOCAL GUIDELINES AS THEY APPLY TO THE ACCESSIBILITY AND SIGNAGE.
- 4. THE GENERAL CONTRACTOR SHALL VERIFY ELEVATIONS AND GRADES PRE & POST CONSTRUCTION AND REPORT ANY DEFICIENCIES TO THE ENGINEER BEFORE START OF WORK AND AT COMPLETION.
- 5. ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES TO BE MEASURED WITH A 24" SMART LEVEL.
- 6. IT IS ACKNOWLEDGED THAT THE IMPROVEMENTS SHOWN ON THIS PLAN CONSIST OF A LIMITED SCOPE OF WORK AND MAY NOT BRING THE ENTIRE SITE INTO FULL COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANY OTHER STATE SPECIFIC ACCESSIBILITY CODES. THE ENGINEER OF RECORD SHALL NOT BE HELD RESPONSIBLE FOR ANY EXISTING CONDITIONS OUTSIDE OF THE IDENTIFIED SCOPE OF WORK THAT ARE NOT BROUGHT WITHIN COMPLIANCE.
- . WHERE ASPHALT PAVEMENT MILL AND OVERLAY IS PROPOSED THE GENERAL CONTRACTOR SHALL CORE A 2"
 DIAMETER SECTION AND VERIFY THE EXISTING ASPHALT PAVEMENT SECTION IS GREATER THAN 3". GENERAL
 CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IF ASPHALT PAVEMENT SECTION IS LESS THAN 3" FOR FURTHER
 DIRECTION AS MILL AND OVERLAY MAY NOT BE FEASIBLE.
- 8. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/8/01.

DISTURBED AREA

36,000± S.F. FULL DEPTH ASPHALT REMOVAL AND REPLACEMENT LANDSCAPE REMOVAL AND REPLACEMENT

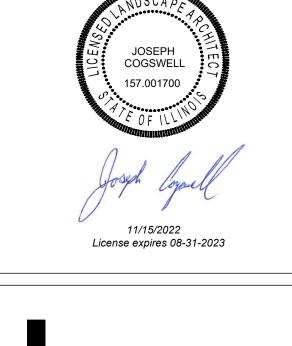
ABBREVIATIONS

EX — EXISTING FS — FINISHED SURFACE TC — TOP OF CURB TYP — TYPICAL





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Project Number

Project Number T-146
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SCALE: 1" = 30' WHEN PRINTED AT FULL SIZE (36" X 48") EXISTING CONDITIONS/ DEMOLITION PLAN

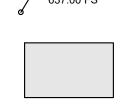
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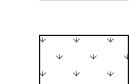
LEGEND

(637.00 FS) 637.50 TC 637.00 FS

EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION

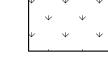


FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTES 1 & 7 HEREON.



PROPOSED LANDSCAPING. SEE

CONSTRUCTION NOTE 10 HEREON.



EXISTING FLOW (SLOPE AND DIRECTION).



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Description

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CONSTRUCTION NOTES

- INSTALL C2-PG64-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95 OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.
- INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 11, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 12, SHEET C300.
- 3 INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 11, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 12, SHEET C300.
- (4) INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.
- INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.
- (6) INSTALL 6' WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET
- (7) JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.
- (8) INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.
- INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300. PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300. PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.
- PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300.

 INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL.
- PROPOSED DRIVE UP STRIPING AND SIGNAGE PER SEPERATE PERMIT.

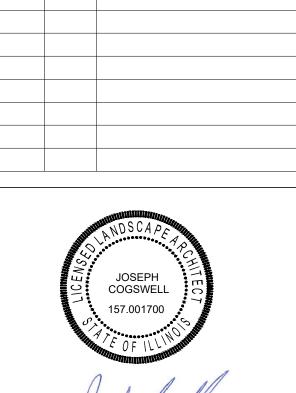
CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/8/01.

AREAS OF REPLACED PAVEMENT

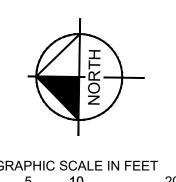
FULL DEPTH ASPHALT REPLACEMENT LANDSCAPE REPLACEMENT

ABBREVIATIONS

EX — EXISTING FS — FINISHED SURFACE TC — TOP OF CURB TYP — TYPICAL



PARKING QUANTITY SUMMARY					
	USE	RATIO	TARGET BUILDING SIZE	TOTAL PARKING STALLS	TOTAL ACCESSIBLE PARKING STALLS
REQUIRED				504 STALLS	11 STALLS (2 VAN)
EXISTING	RETAIL	1 STALLS/ 250 SF	125,970 SF	639 STALLS	12 STALLS (2 VAN)
PROPOSED				515 STALLS	12 STALLS (2 VAN)



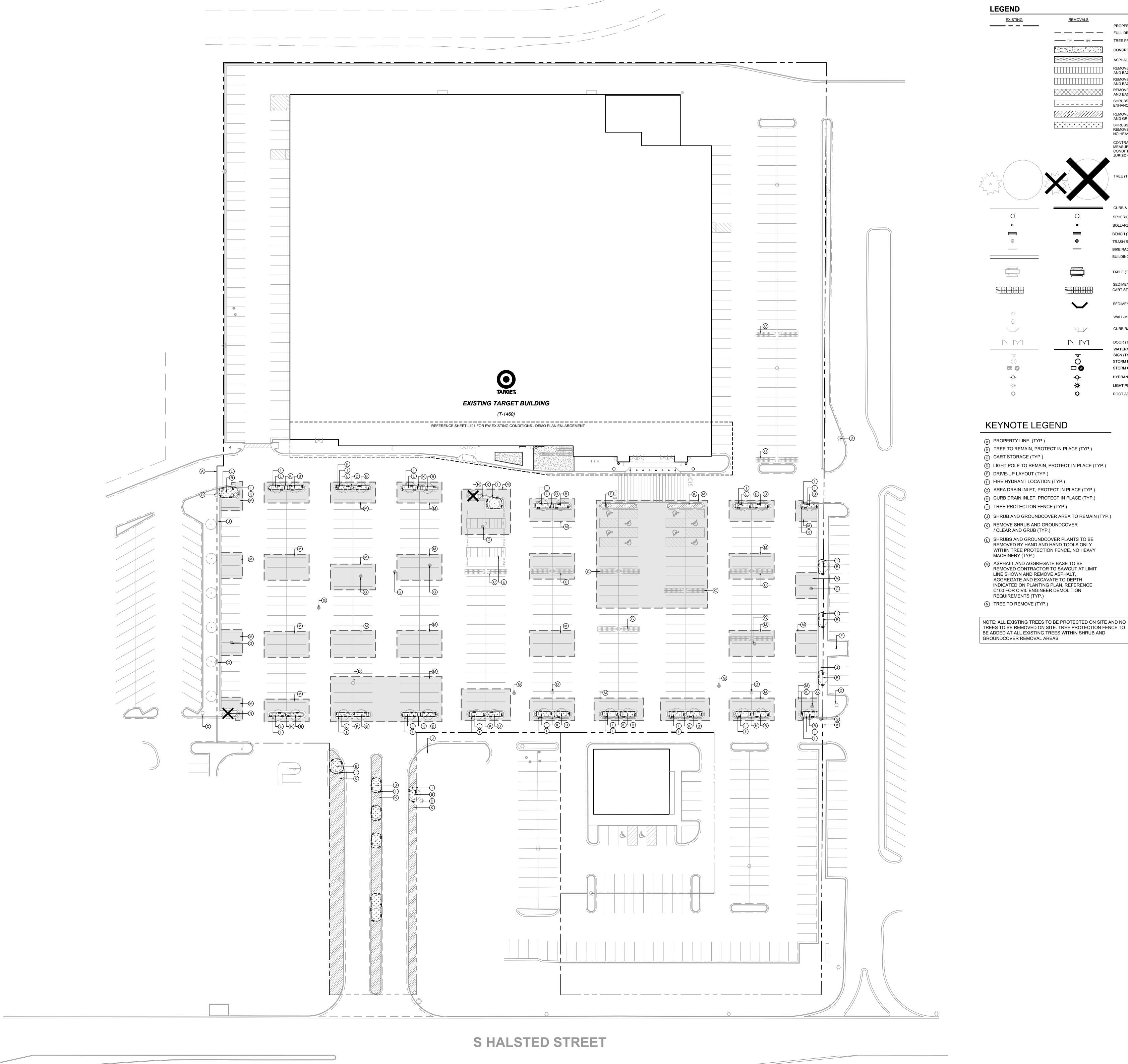
IMPROVEMENT PLAN

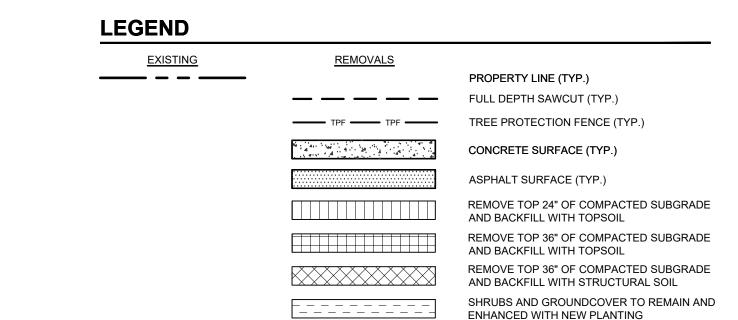
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SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (36" X 48")

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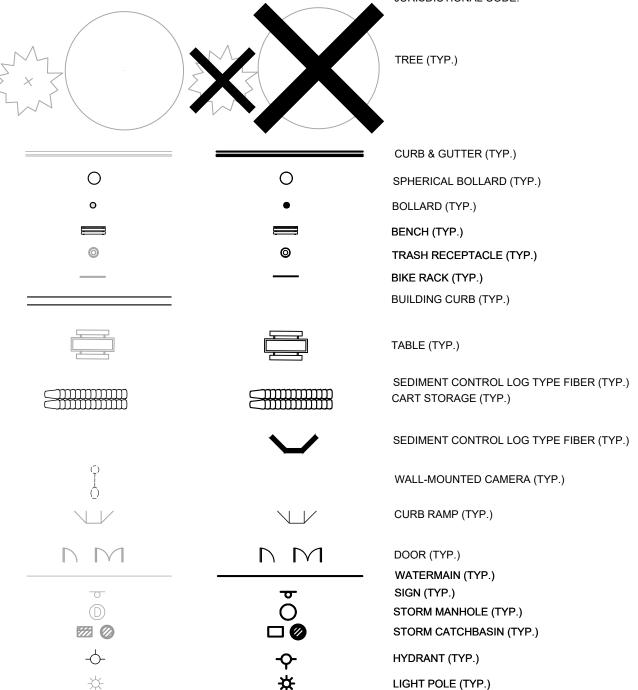
GRAPHIC SCALE IN FEET 5 10





ENHANCED WITH NEW PLANTING REMOVE SHRUBS AND GROUNDCOVER/CLEAR SHRUBS AND GROUNDCOVER PLANTS TO BE REMOVED BY HAND AND AND HAND TOOLS ONLY. NO HEAVY MACHINERY.

CONTRACTOR TO IMPLEMENT EROSION CONTROL MEASURES AS NEEDED BASED ON FIELD CONDITIONS AND DICTATED BY LOCAL JURISDICTIONAL CODE.



KEYNOTE LEGEND

© CART STORAGE (TYP.)

TOTAL PARKING STALLS REQUIRED: 504 STALLS (A) PROPERTY LINE (TYP.) EXISTING: 639 STALLS PROPOSED: 515 STALLS (B) TREE TO REMAIN, PROTECT IN PLACE (TYP.)

ROOT AERATION TUBE, 2 PER TREE (TYP.)

(E) DRIVE-UP LAYOUT (TYP.) F) FIRE HYDRANT LOCATION (TYP.) (G) AREA DRAIN INLET, PROTECT IN PLACE (TYP.) (H) CURB DRAIN INLET, PROTECT IN PLACE (TYP.) (1) TREE PROTECTION FENCE (TYP.) (J) SHRUB AND GROUNDCOVER AREA TO REMAIN (TYP.)

(K) REMOVE SHRUB AND GROUNDCOVER

(D) LIGHT POLE TO REMAIN, PROTECT IN PLACE (TYP.)

/ CLEAR AND GRUB (TYP.) SHRUBS AND GROUNDCOVER PLANTS TO BE REMOVED BY HAND AND HAND TOOLS ONLY WITHIN TREE PROTECTION FENCE, NO HEAVY MACHINERY (TYP.)

(M) ASPHALT AND AGGREGATE BASE TO BE REMOVED CONTRACTOR TO SAWCUT AT LIMIT LINE SHOWN AND REMOVE ASPHALT, AGGREGATE AND EXCAVATE TO DEPTH INDICATED ON PLANTING PLAN, REFERENCE C100 FOR CIVIL ENGINEER DEMOLITION REQUIREMENTS (TYP.) N TREE TO REMOVE (TYP.)



Description

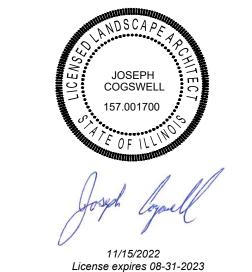
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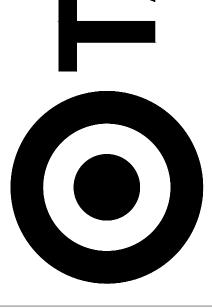
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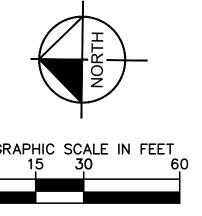
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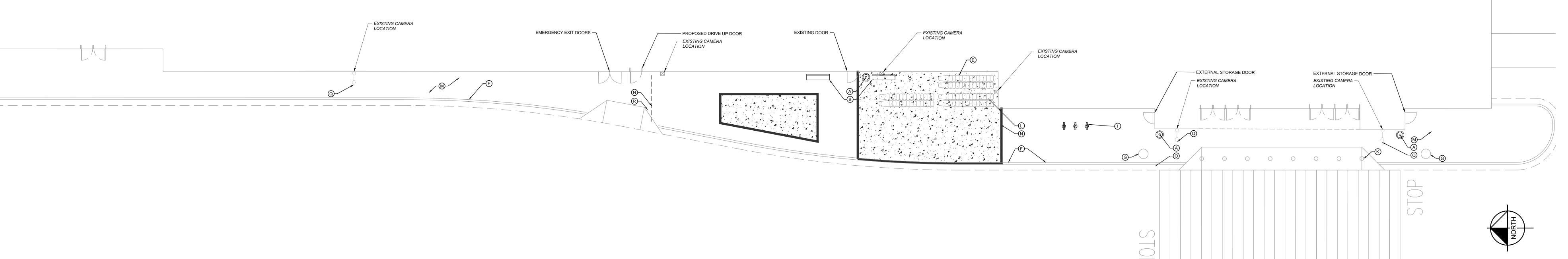
XSS EXISTING

CONDITIONS -DEMO PLAN





(T-1460)





KEYNOTE LEGEND

REMOVE AND DISPOSE TRASH RECEPTACLE (TYP.)

REMOVE AND DISPOSE BENCH (TYP.) REMOVE AND DISPOSE TABLE (TYP.)

WALL MOUNTED "NO PARKING FIRE LANE" SIGN TO REMAIN

BUILDING CURB TO REMAIN (TYP.) CONCRETE CURB CONCRETE TO REMAIN (TYP.)

SPHERICAL BOLLARD TO REMAIN (TYP.)

REMOVE AND DISPOSE BIKE RACK (TYP.)

PROTECT SIGN IN PLACE (TYP.)

REMOVE CONCRETE SIDEWALK (TYP.)

CONCRETE SIDEWALK TO REMAIN (TYP.) SAWCUT LINE (TYP.)

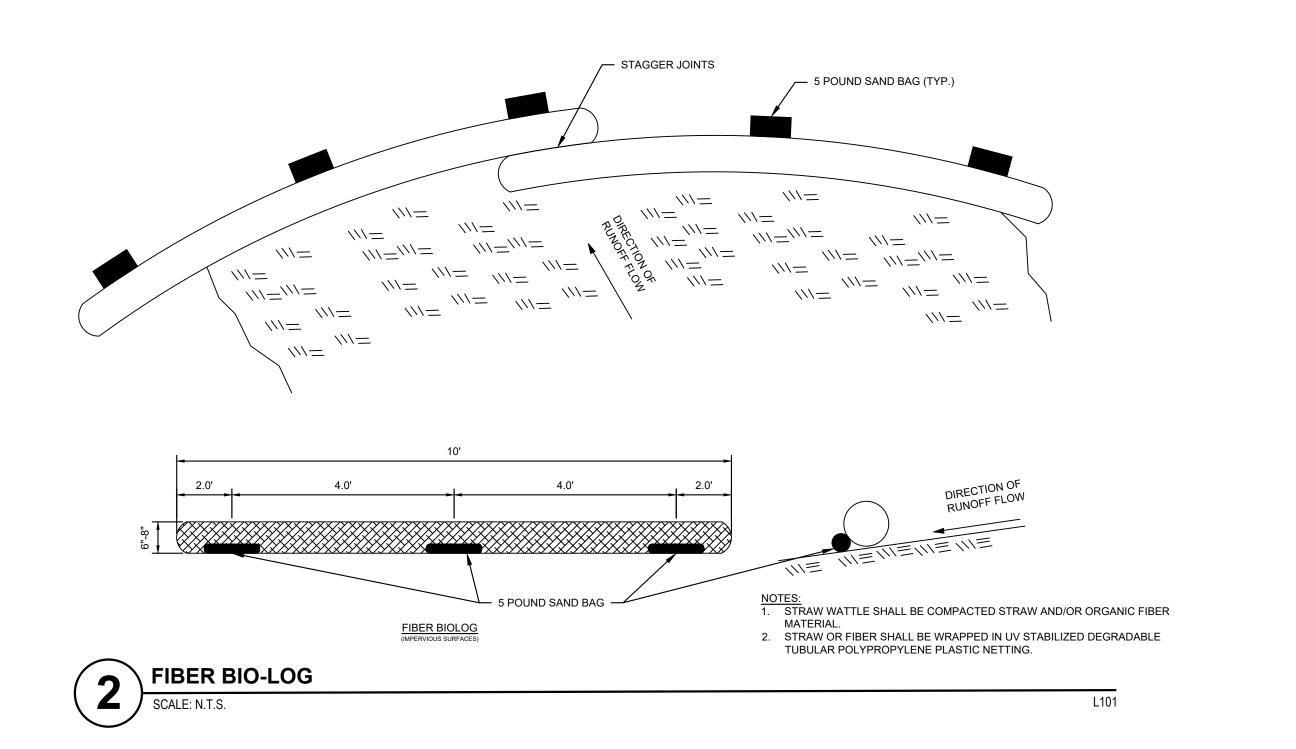
EXISTING FIRELANE TO REMAIN (TYP.)

USPS MAILBOX TO REMAIN (TYP.)

SECURITY CAMERA TO REMAIN (TYP.) FIBER BIO LOG, SEE DETAIL THIS SHEET

LEGEND EXISTING REMOVALS PROPERTY LINE (TYP.) CONCRETE SURFACE (TYP.) — — — FULL DEPTH SAWCUT (TYP.) LIMITS OF CONSTRUCTION (TYP.) SIGN (TYP.) STORM MANHOLE (TYP.) STORM CATCHBASIN (TYP.) ROOF DRAIN (TYP.) HYDRANT (TYP.) LIGHT POLE (TYP.) SPHERICAL BOLLARD (TYP.) CYLINDRICAL BOLLARD (TYP.) TRASH RECEPTACLE (TYP.) BIKE RACK (TYP.) BUILDING CURB (TYP.)

CART STORAGE (TYP.)

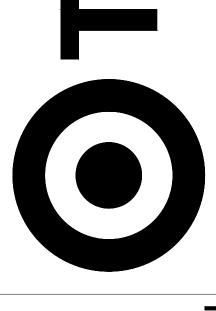




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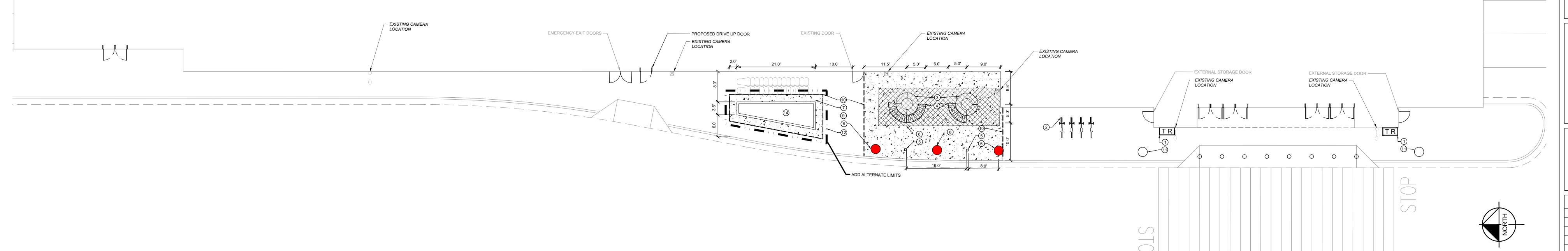
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FW EXISTING CONDITIONS -DEMO PLAN





(T-1460)





MATER	RIALS SCHEDULE			
KEYNOTE	SYMBOL	ELEMENT	QUANTITIES	DETAIL
1	TR	LITTER RECEPTACLE (TYP.) (OWNER PROVIDED)	2	1 500
2		BIKE RACK (TYP.) (OWNER PROVIDED)	4	2 500
3		PLANTER WALL (TYP.) (OWNER PROVIDED)	2	3 500
4		BENCH - PIANO KEY (TYP.) (OWNER PROVIDED)	3	4 500
5	•	BOLLARD - SQUARE (TYP.) (OWNER PROVIDED)	2	5 500
6		SPHERICAL RED CONCRETE BOLLARD (TYP.) (OWNER PROVIDED)	3	<u>6</u> 500
7		6" PLANTER CURB (TYP.)		7 500
8		CONCRETE OVER STRUCTURAL SOIL (TYP.)		8 500
9		CONCRETE SIDEWALK (TYP.)		9 500
(10)		SAWCUT LINE, MATCH EXISTING (TYP.)		
(11)		REPAINT EXISTING SPHERICAL RED CONCRETE BOLLARD, 2 COATS (TYP.)	2	
(12)		ADD ALTERNATE LIMITS (TYP.)		
13	\bigcirc — \bigcirc	EXISTING WALL MOUNTED CAMERA (FOR REFERENCE ONLY)		

CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND PROPOSED PLANTER MINIMUM GRADE

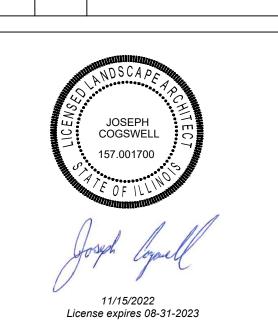
0.6%, MAXIMUM GRADE 1.9%

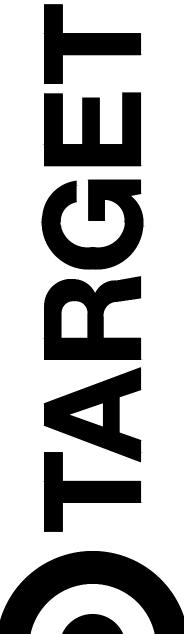
NOTE:
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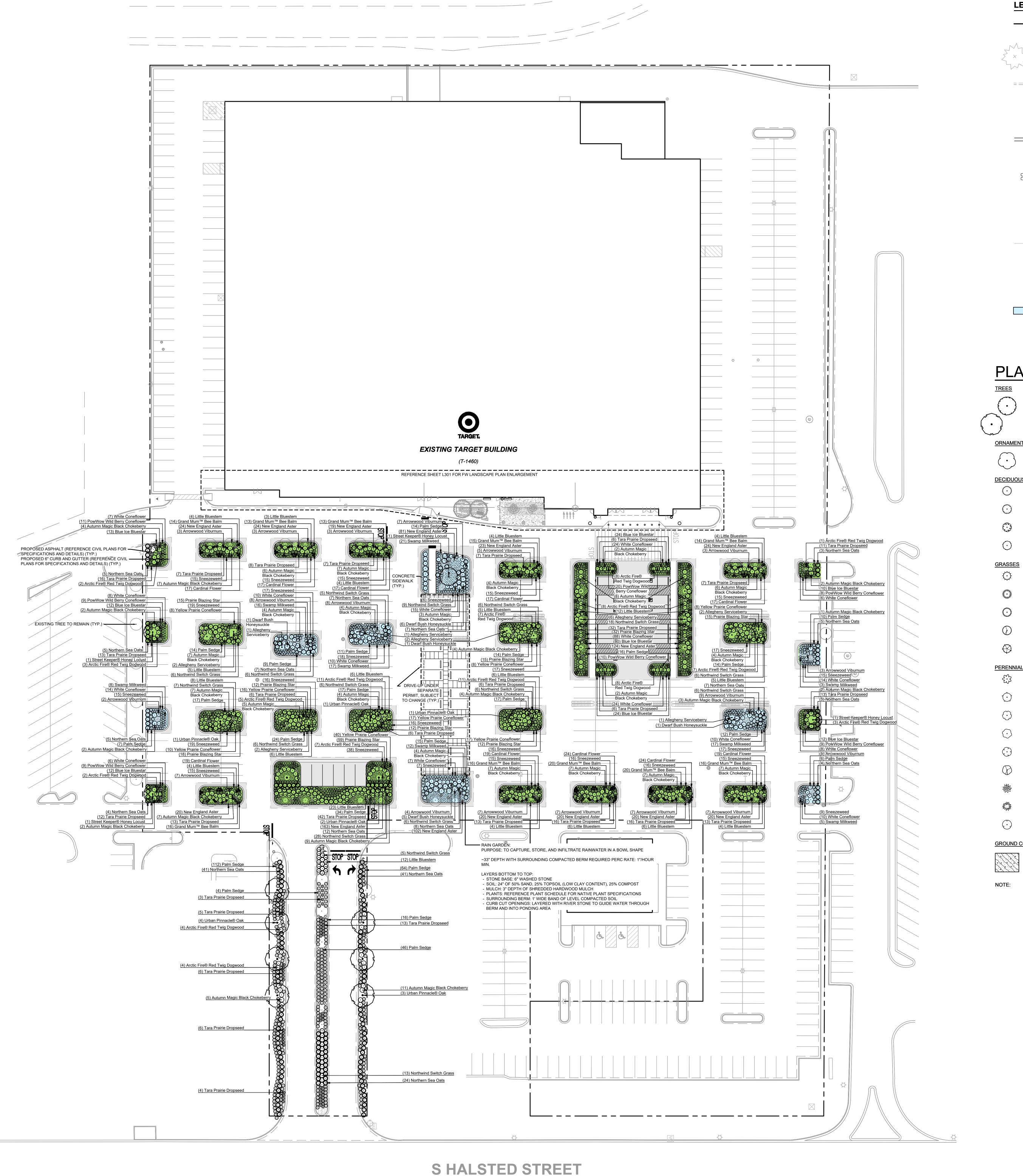


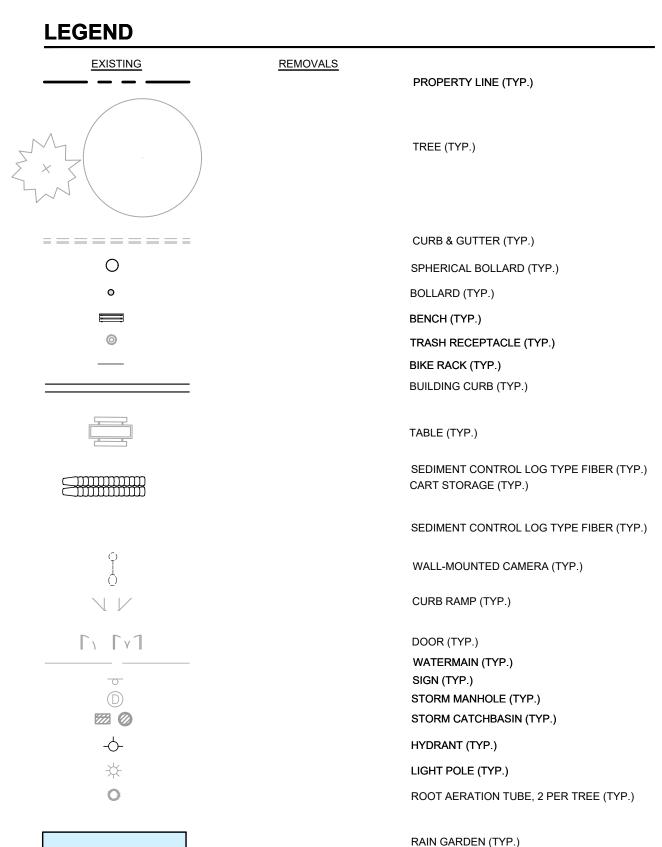
Project Number	T-1460
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Drawn By	EIW
Checked By	TJL /RAH

FW SITE FURNITURE PLAN

L200







PLANT SCHEDULE

PLAN 1	1 0 0	TEDULE			
TREES	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CAL	CONT
$\left(\cdot \right)$	4	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	STREET KEEPER® HONEY LOCUST	2" CAL.	B&B
• }	12	QUERCUS MACROCARPA 'JFS-KW3'	URBAN PINNACLE® OAK	2" CAL.	B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT
\odot	17	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2" CAL.	B&B
DECIDUOUS SHRUBS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT.	
\odot	170	ARONIA MELANOCARPA `AUTUMN MAGIC`	AUTUMN MAGIC BLACK CHOKEBERRY	3 GAL	
	91	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	
6 - 8 6 - 8	14	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	5 GAL	
\odot	98	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2 GAL	
<u>GRASSES</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT.	
**	530	CAREX MUSKINGUMENSIS	PALM SEDGE	1 GAL	
OWNER PARTIES OF THE PARTIES OF THE	190	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	3 GAL	
and the second s	139	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL	
\bigcirc	131	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	3 GAL	
\otimes	335	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	3 GAL	
<u>PERENNIALS</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT.	
€;3	187	AMSONIA X 'BLUE ICE'	BLUE ICE BLUESTAR	1 GAL	
\bigcirc	102	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL	
\bigcirc	264	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL	
\odot	146	ECHINACEA X 'POW WOW WILDBERRY'	POWWOW WILD BERRY CONEFLOWER	1 GAL	
\odot	414	HELENIUM AUTUMNALE	SNEEZEWEED	1 GAL	
	190	LIATRIS PYCNOSTACHYA	PRAIRIE BLAZING STAR	1 GAL	
**	190	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	
	157	MONARDA DIDYMA 'MCMUM'	GRAND MUM™ BEE BALM	1 GAL	
	124	RATIBIDA COLUMNIFERA	YELLOW PRAIRIE CONEFLOWER	1 GAL	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	708	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL	18" o.c.

XSS TOTAL SOIL AREA TO BE AMENDED: 26,229 SF

• 24" DEPTH AMENDED SOIL PER SPECIFICATIONS

4" DEPTH FREE DRAINING AGGREGATE BASE

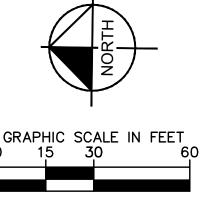
FILTER FABRIC WRAPPING FREE DRAINING AGGREGATE

 3" WIDE PERFORATED PIPE WITH DRAIN AND SOCK FOR SOIL AERATION THROUGH DEPTH OF AMENDED SOIL PROFILE. PIPE LOCATIONS TO BE

DETERMINED BY LANDSCAPE ARCHITECT IN CONSTRUCTION DOCUMENT SET.

AMENDED SOIL PROFILE FROM TOP TO BOTTOM:

3" DEPTH SHREDDED HARDWOOD MULCH

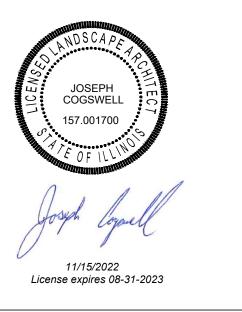


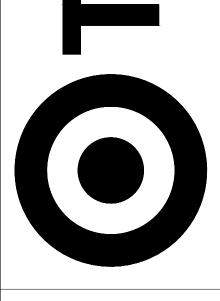


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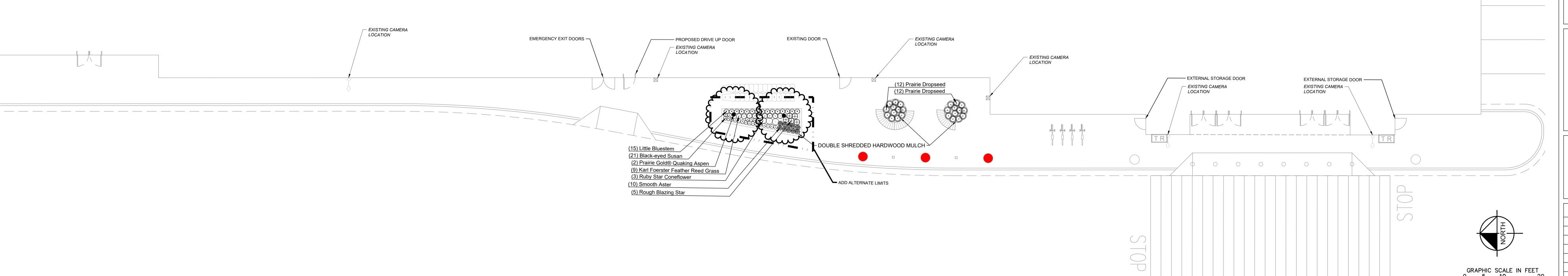
KSS / HM

XSS LANDSCAPE PLAN

300



(T-1460)



LANDSCAPE PLAN ENLARGEMENT

SCALE: 1"=10'

PLANT SCHEDULE						
ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	PGP	2	POPULUS TREMULOIDES 'NE ARB'	PRAIRIE GOLD® QUAKING ASPEN	В&В	2" CAL.
PERENNIALS AND GRASSES	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	SMA	10	ASTER LAEVIS	SMOOTH ASTER	#1 CONT.	1.5` O.C.
30 - Well and the second of th	KFG	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT	30" O.C.
	RBC	3	ECHINACEA PURPUREA 'RUBY STAR'	RUBY STAR CONEFLOWER	#1 CONT	20" O.C.
	LAS	5	LIATRIS ASPERA	ROUGH BLAZING STAR	#1 CONT.	1.5` O.C.
	RHS	21	RUDBECKIA HIRTA	BLACK-EYED SUSAN	#1 CONT.	1` OC
*	LBS	15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1 CONT.	1.5` O.C.
Mark Sand	PDS	24	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT	18" O.C.

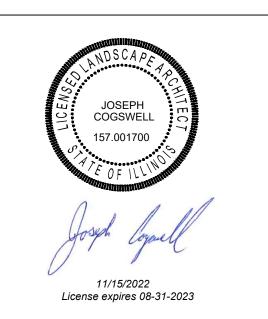
LANDSCAPE KEYNOTES

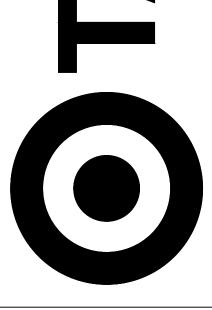
(A) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)



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Drawn By	EIW
Checked By	TJL /RAH

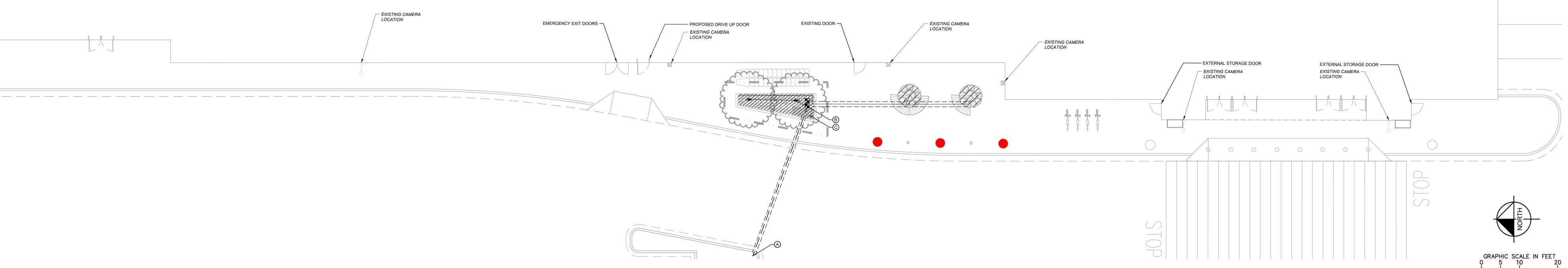
FW LANDSCAPE PLAN

1 301





(T-1460)



IRRIGATION SCHEDULE

IRRIGATION PLAN ENLARGEMENT

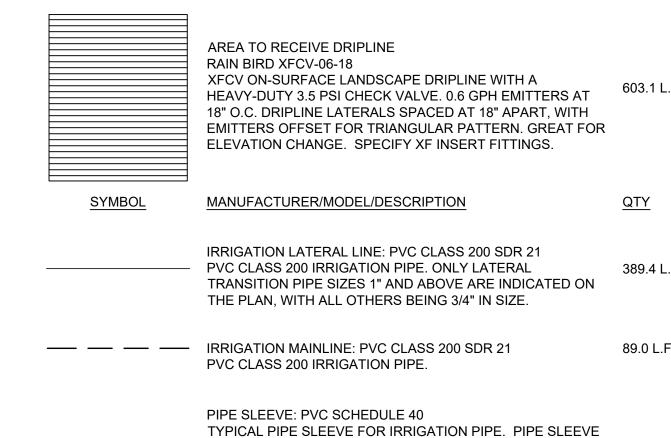
SYMBOL

MANUFACTURER/MODEL/DESCRIPTION

RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1400 SERIES
MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18"
LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND
RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS
INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR
SANDY SOIL.

MANUFACTURER/MODEL/DESCRIPTION

RAIN BIRD XCZ-150-PRB-COM
HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL
DRIP ZONES. 1-1/2" PESB VALVE WITH TWO 1" PRESSURE
REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW
RANGE: 15-40 GPM.



_____ SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR 179.7 L.F.

PAVING FOR CONSTRUCTION.

RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING

MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF

Valve Callout

Valve Num

Valve Flow

Valve Size

KEYNOTE LEGEND

- POINT OF CONNECTION, VERIFY LOCATION WITH OWNER

 IRRIGATION CONTROLLER, TO BE INSTALLED IN MECHANICAL ROOM, VERIFY FINAL LOCATION WITH OWNER PRIOR TO
- INSTILLATION, PROVIDE ELECTRICAL SUPPLY PER
 MANUFACTURERS SPECIFICATION.

 SOLAR SYNC AND FREEZE CLICK LOCATION, AVOID OVERHEAD
 OBSTRUCTIONS AND OVERSPRAY.
 MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND
 VALVE WITHIN THE PROPERTY LINE, 6" FROM B.O.C WHEN

POSSIBLE, AND IN GREEN SPACE. COORDINATE WITH OTHER

FIELD VERIFY LOCATION OF EXISTING IRRIGATION SYSTEM- TIE

INTO EXISTING MAIN OR LATERAL, CONFIRM NEED FOR NEW ZONE

SLEEVING SHOWN FOR CLARITY. INSTALL LATERALS IN ONE SLEEVE AND SIZE SLEEVE ACCORDINGLY (TYP.)

DISCIPLINES TO AVOID CONFLICTS

- (TYP.)

 CONTRACTOR TO ADJUST ALL OVERHEAD SPRAY HEADS TO ENSURE MINIMAL OVER-SPRAY OCCURS ON ANY HARDSCAPE
- SURFACE / BUILDING / SIGNAGE (TYP.)

 ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE)
 BETWEEN DRIPLINE AND SOD EDGE OR PAVEMENT EDGE. (TYP.)
- NOTE:
 A WORKING, COMPLETE EXISTING IRRIGATION SYSTEM IS

ANTICIPATED TO BE ON SITE, TIE INTO EXISTING IRRIGATION

SYSTEM AT EXISTING PARKING LOT ISLANDS, FIELD VERIFY.

CONNECT TO EXISTING HOSE BIB IN FRONT, CONTROLLER INSIDE.

IF IRRIGATION SYSTEM IS NOT IN WORKING CONDITION ACCESS THE EXISTING SYSTEM AND PROVIDE A SUMMARY OF CORRECTIONS NEEDED TO BRING THE SYSTEM INTO WORKING ORDER. CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR.SERVICES@TARGET.COM.

IF EXISTING IRRIGATION SYSTEM DOES NOT EXIST ON SITE PLEASE CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR SERVICES@TARGET.COM

IRRIGATION NOTES

- 1. IRRIGATION SYSTEM IS DIAGRAMMATIC, CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. CONTRACTOR TO SEND VERIFIED PRESSURE READING TO LANDSCAPE ARCHITECT BEFORE STARTING CONSTRUCTION. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION, ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS, IF APPLICABLE. ZONE PARAMETERS: TURF AREAS SHALL HAVE BUBBLERS.
- 2. ALL PIPE SHALL BE SDR 26 CLASS 200 (DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"). (DO NOT EXCEED 13 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE 18" FOR MAINLINE AND 12" FOR LATERAL LINES, FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT MATERIAL.
- 3. ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL.
- 4. ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES(SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE VALVE BOXES.
- 5. FOLLOW CONTROLLER SPECIFICATION IN SCHEDULE AND DETAILS. FOFLOW ALL MANUFACTURER SPECIFICATIONS FOR GROUNDING CONTROLLER AND TWO-WIRE PATH. MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHER/RAIN/FREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BOARDS AND HARDWARE FOR ALL EXPOSED AREA,
- AS DIRECTED BY OWNER.

 6. FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE.
- 7. MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #3 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING. SLEEVE DEPTH IS PRIMARILY 18 INCHES. COORDINATE AND PLACE SLEEVING PRIOR TO PAVEMENT INSTALLATION. DIRECTIONAL BORE

UNDER PAVEMENT IN EXISTING CONDITIONS TO REMAIN.

8. BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. THE SPECIFIED CONTROLLER HAS MANY ADVANCED FEATURES THAT AID WATER CONSERVATION. THESE FEATURES SHALL BE USED BY CONTRACTOR, INCLUDING WEATHER-BASED PROGRAMING AND CELLULAR COMMUNICATION TO THE CONTROLLER, FAILURE

- TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 9. THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION.
- 10. INSTALL WEATHER/RAIN/FREEZE SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION.
- 11. CONTROL WIRE WILL BE SOLID COPPER WIRE MANUFACTURE BY PAIGE OR REGENCY. PAIGE 7072 REV D OR APPROVED EQUAL U.L. APPROVED FOR DIRECT BURIAL IN GROUND, MINIMUM GAUGE: MINIMUM #14 U.F. FOR EITHER MULTI-STRAND OR TWO-WIRE. COMMON GROUND WIRE, IF APPLICABLE, SHALL BE MINIMUM #12 GAUGE WHITE. FOR MULTI-STRAND SYSTEMS, PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH, MARK AS APPROPRIATE. 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M.
- 12. SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTER TO OBTAIN PROPER COVERAGE. ROTOR NOZZLES TO PROVIDE PROPER COVERAGE AND MATCH PRECIPITATION, AS REQUIRED. FIELD ADJUST AS NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS. INSTALL ROTOR AND SPRAY HEADS TO LATERAL LINE WITH FLEX TUBING OR SWING JOINTS. BUBBLERS TO BE ON 6" POP-UP.
- 13. VERIFY AND COORDINATE WITH OWNER REPRESENTATIVE FINAL LOCATION OF WATER SOURCE
- AND ELECTRICAL POWER CONNECTION.

 14. COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS.
- 15. PROVIDE 1" VALVES FOR SPRAY AND ROTOR ZONES FOR 30 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 30 GPM. DRIP ZONES 1" OR 1.5" VALVES PER DEMAND OF ZONE. 1" DRIP MAINFOLD FOR FLOWS OF .2 TO 15GPM. 1.5" DRIP MANIFOLD FOR FLOWS OF 15 TO 40GPM.
- 16. CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. PROVIDE OWNER PAPER COPY/EMAIL OF PROGRAMING SCHEDULE FOR ALL ZONES- PROVIDE ESTABLISHMENT AND POST-ESTABLISHMENT SCHEDULES.
- 17. DRIP IRRIGATION TO FOLLOW MANUFACTURERS RECOMMENDATION FOR TYPE, SIZE, AND LOCATION PER LANDSCAPE CONDITION. EACH DRIP ZONE SHALL HAVE ZONE VALVE, PRESSURE REDUCER, AND FILTER, AIR RELIEF VALVE, FLUSH VALVE, SUPPLY LATERAL LINES, DRIP TUBING WITH EMBEDDED EMITTERS, AND OTHER RELATED ITEMS. DRIP TUBING SHALL BE ANCHORED AND UNDER LANDSCAPE MULCH, HIDDEN FROM VIEW, WITH EMITTERS LOCATED AT PLANT LOCATIONS. DRIP TUBING SHALL ALSO BE LOOPED AND INTERCONNECTED, WITH NO DEAD-ENDS. ANY ADDITIONAL EMITTERS, AS NOTED ON PLAN.

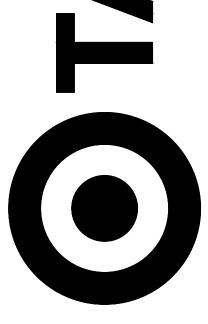




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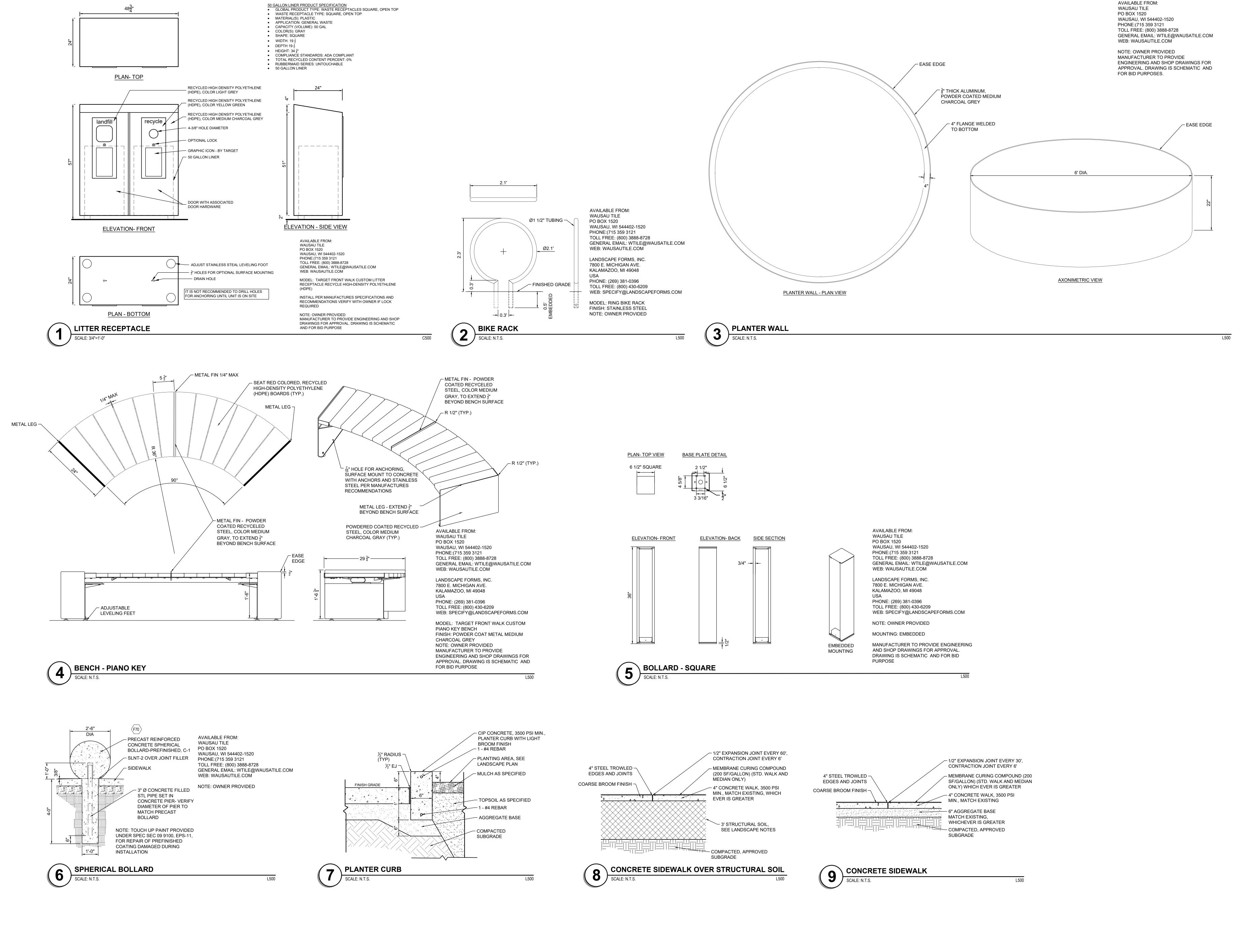




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Drawn By EIW

FW IRRIGATION

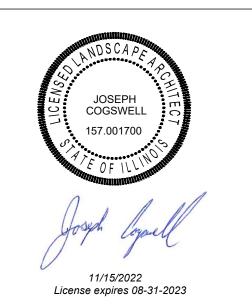
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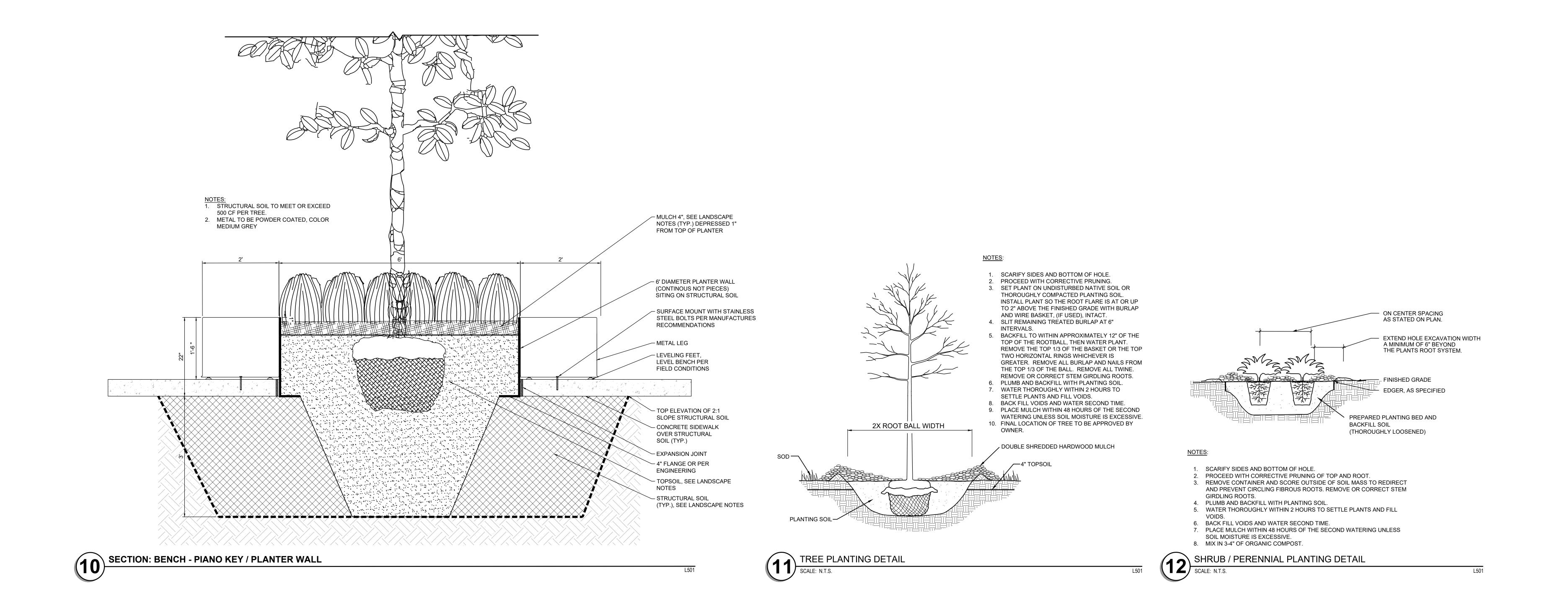
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RAH / ERS Drawn By Checked By RAH

GENERAL DETAILS

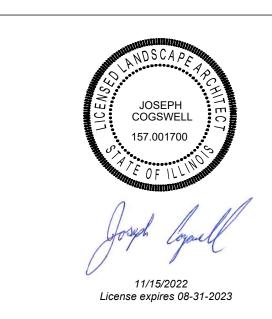




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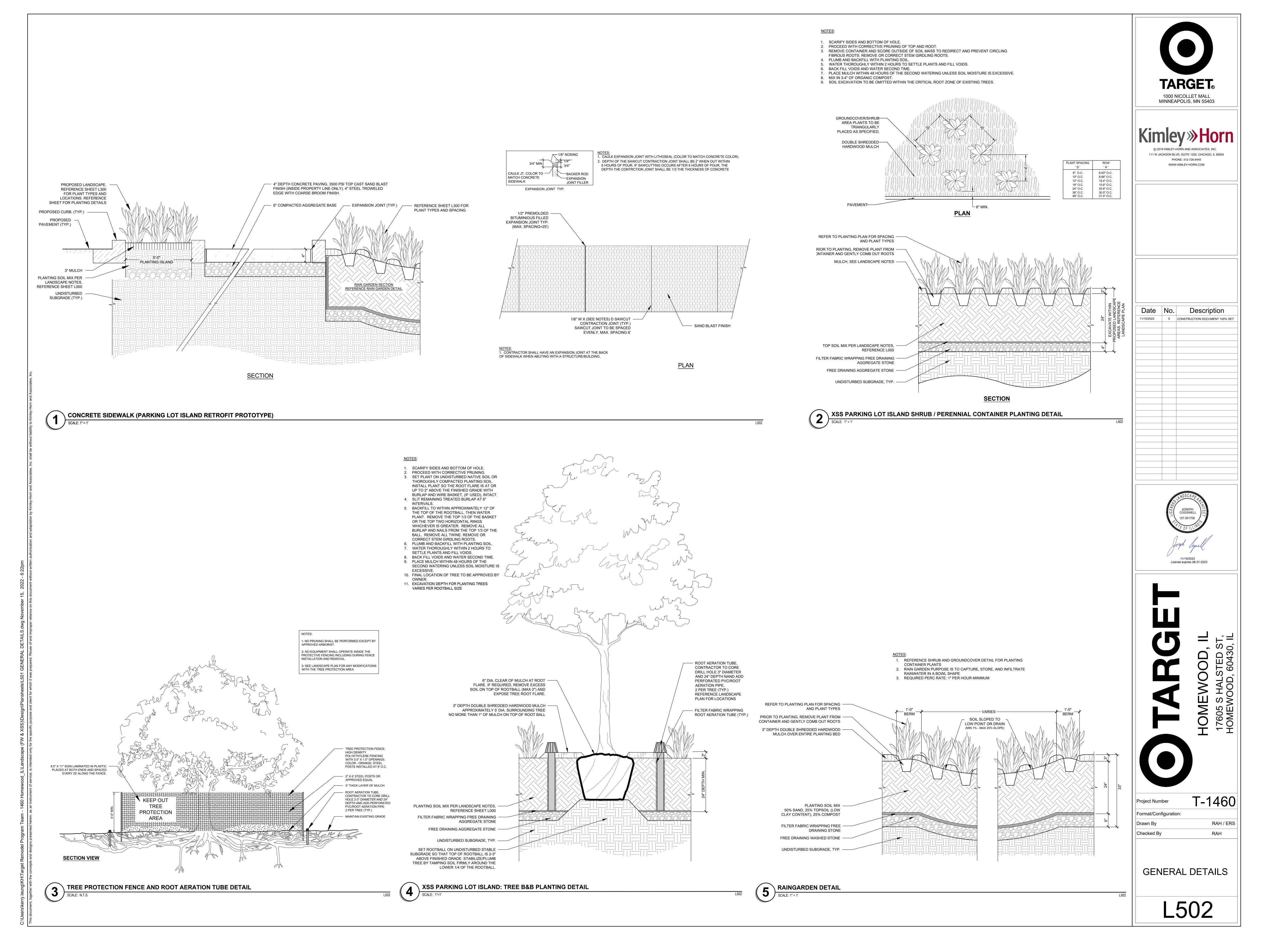
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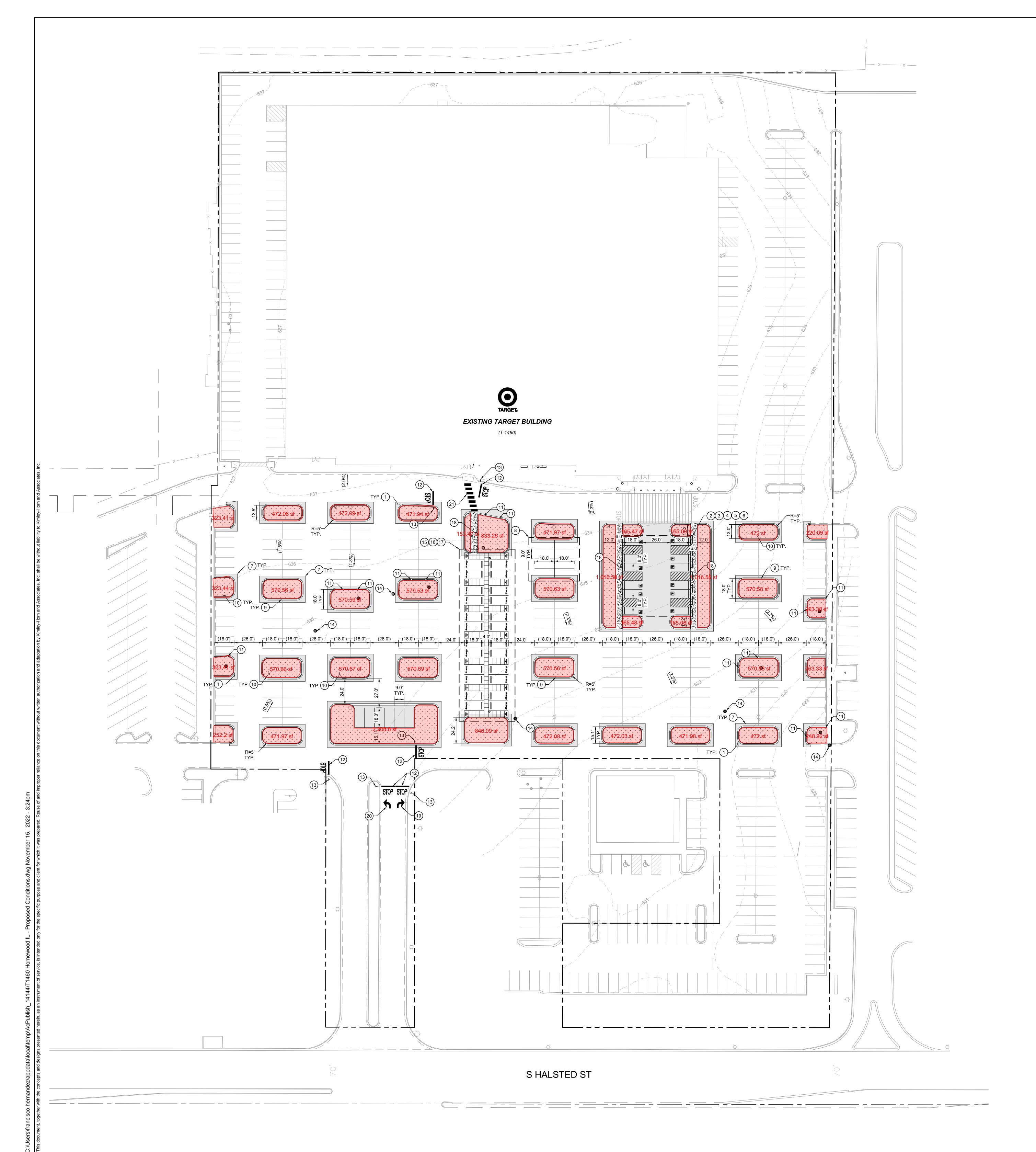
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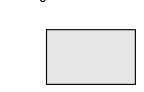




LEGEND

(637.00 FS) 637.50 TC 637.00 FS

EXISTING SPOT ELEVATION



FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTES 1 & 7 HEREON.

PROPOSED SPOT ELEVATION



PROPOSED LANDSCAPING. SEE



PROPOSED CONCRETE SIDEWALK. SEE CONSTRUCTION NOTE 18 HEREON.

CONSTRUCTION NOTE 10 HEREON.



EXISTING FLOW (SLOPE AND DIRECTION).

___ _ LIMITS OF STRIPING

PROPERTY LINE

CONSTRUCTION NOTES

INSTALL C2-PG64-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95 OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.

2 INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.

3 INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.

(4) INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.

5) INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.

6 INSTALL 6' WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET C300.

JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.

INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.

INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300.

PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL. INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300.

PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.

PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300.

INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL. PROPOSED DRIVE UP STRIPING PER DETAIL 16, SHEET C300.

PROPOSED DOUBLE SIDED STANCHION SIGN AND BASE PER DETAIL 15, SHEET C300.

PROPOSED DRIVE UP BEACON PER DETAIL 14, SHEET C300.

PROPOSED CONCRETE SIDEWALK PER DETAIL 1, SHEET C300.

PROPOSED RIGHT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE) PROPOSED LEFT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)

INSTALL CROSSWALK PER DETAIL 12, SHEET C300. PROPOSED RIBBON GUTTER PER DETAIL 12, SHEET C300.

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/8/01

AREAS OF REPLACED PAVEMENT

FULL DEPTH ASPHALT REPLACEMENT LANDSCAPE REPLACEMENT CONCRETE SIDEWALK REPLACEMENT

ABBREVIATIONS

EX — EXISTING FS — FINISHED SURFACE TC — TOP OF CURB TYP — TYPICAL

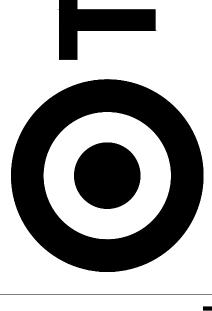
PARKING QUANTITY SUMMARY					
	USE	RATIO	TARGET BUILDING SIZE	TOTAL PARKING STALLS	TOTAL ACCESSIBLE PARKING STALLS
REQUIRED				504 STALLS	11 STALLS (2 VAN)
EXISTING	RETAIL	1 STALLS/ 250 SF	125,970 SF	639 STALLS	12 STALLS (2 VAN)
PROPOSED				515 STALLS	12 STALLS (2 VAN)





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T-1460

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SCALE: 1" = 30' WHEN PRINTED AT FULL SIZE (36" X 48")

PROPOSED CONDITONS