

VICINITY MAP

WATER-SUPPLY FIXTURE-UNIT VALUES

PLUMBING FIXTURE TABLE 2903.6

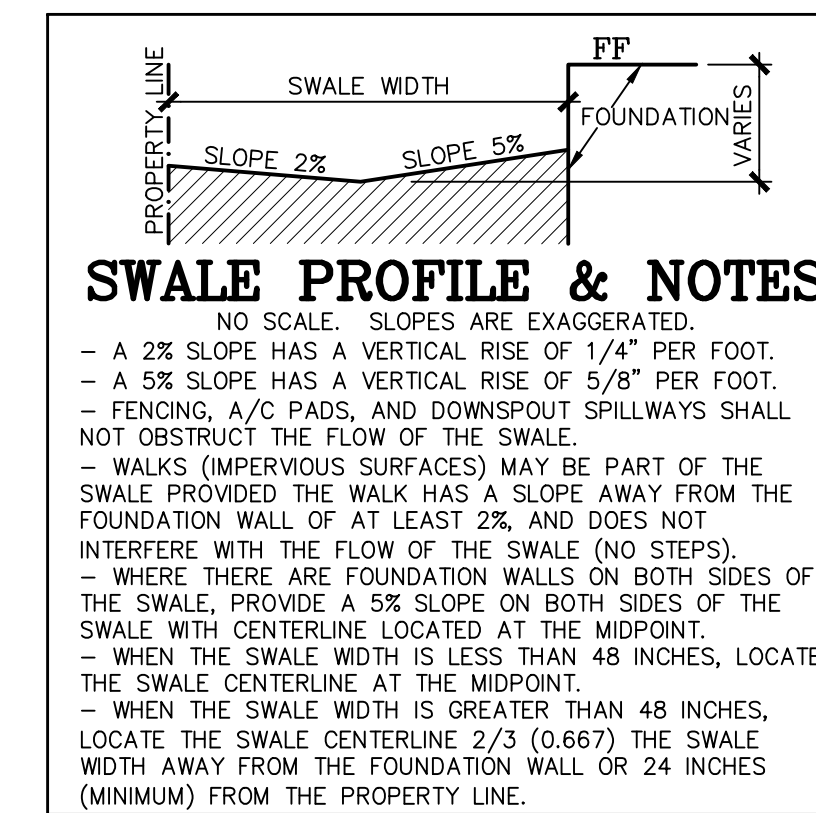
FIXTURE GROUP OR TYPE OF FIXTURE	VALUE	QTY.	TOTAL
FULL-BATH GROUP WITH BATHTUB OR SHOWER STALL (3 TOTAL FIXTURES)	3.6	4	14.4
HALF-BATH GROUP (2 FIXTURES)	2.6	1	2.6
KITCHEN GROUP (SINK AND D.W.)	2.5	1	2.5
LAUNDRY GROUP (WASHER AND SINK)	2.5	1	2.5
BATHTUB	1.4	0	0
BIDET	0.7	0	0
CLOTHES WASHER	1.4	0	0
DISHWASHER	1.4	0	0
HOSE BIB / LANDSCAPE SPRINKLER	2.5	3	7.5
KITCHEN SINK	1.4	0	0
LAVATORY	0.7	2	1.4
LAUNDRY TUB	1.4	0	0
SHOWER STALL	1.4	1	1.4
WATER CLOSET (TANK TYPE)	2.2	0	0
TOTAL W.S.F.U.			32.3
WATER METER SIZE:			1"
WATER LINE SIZE:			1"

2012 IRC TABLE P2409.6

COMMON DRAINAGE AGREEMENT BY OTHERS.
ADDRESS ASSIGNMENTS BY OTHERS.

SITE SYMBOLS

⊕ ELEVATION MARK	☐ SITE AREA DRAIN	
⊞ ELECTRICAL METER	▼ PHONE STUB	
⊞ WATER METER	C.O. ♂ SEWER CLEAN OUT	
⊞ GAS METER	H.B. † HOSE BIB	
⊞ FIRE WALL (TYPE)	▨ A/C PAD	▨ POOL EQUIP.

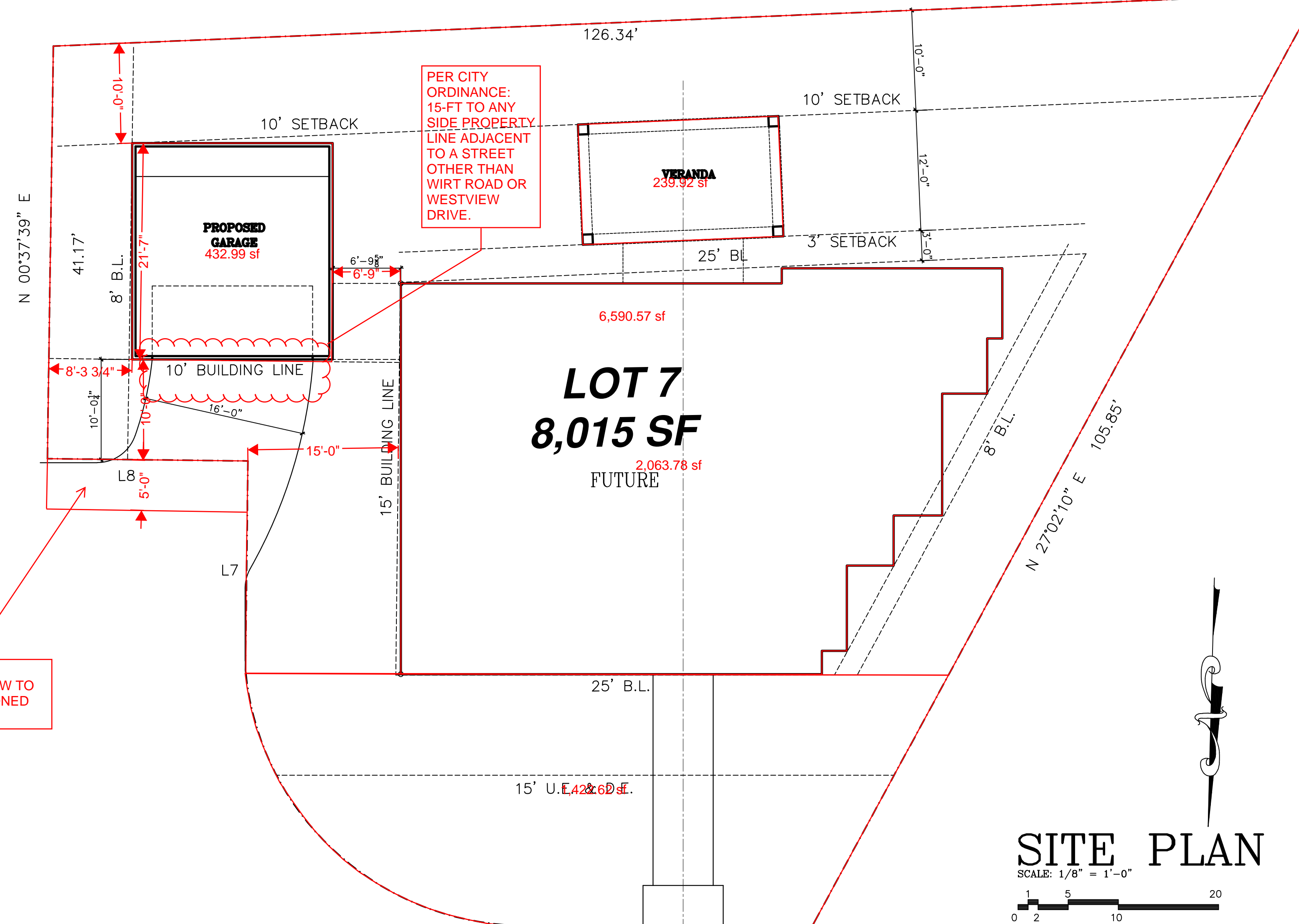
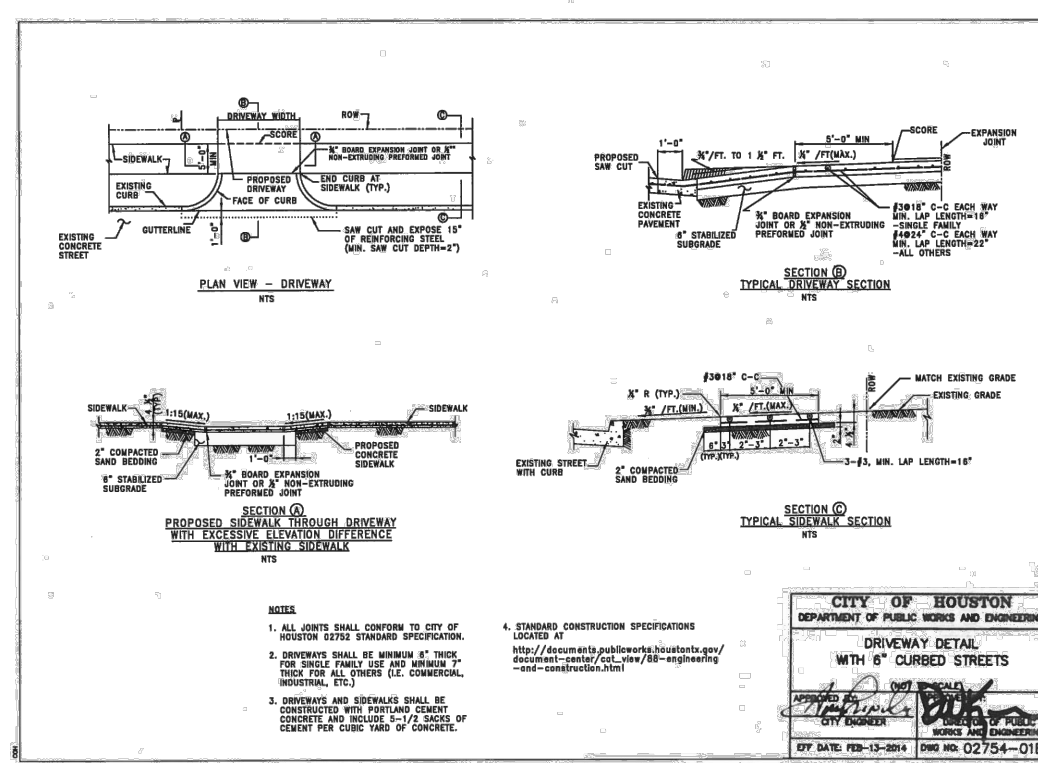


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SITE NOTES

- ALL DRAWINGS PRESENTED HERE REFERENCES THE 2012 IRC AND 2012 IBC BUILDING CODES.
- FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER. QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION AND PROVIDE A SITE GRADING PLAN OR PER LOCAL AUTHORITY.
- ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0'. CURB ELEVATION (AS REFERENCED) TAKEN FROM TOP OF THE CURB.
- BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE, AND SETBACK LINES PRIOR TO CONSTRUCTION.
- PLUMBER TO CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) INSIDE PROPERTY, AND CONCRETE PIPING IN THE R.O.W. OR EASEMENT. SEE PLAN FOR SIZES.
- PLUMBER TO DETERMINE LOCATION OF WATER METER AND TO CONTACT THE LOCAL AUTHORITY TO CONNECT WATER PIPE AND METER SIZES TO CONFORM WITH 2006 U.P.C. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) SEE PLAN FOR SIZES. ABOVE GRADE "ELBOWS" ALLOWED FOR WATER AND GAS LINES ENTERING THE BUILDING PROPER (ONLY).
- ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO GARAGE FOR: A) ELECTRIC SERVICE, B) COMMUNICATION SERVICE, C) ENTERTAINMENT SERVICE. AT THE SAME LOCATION. PROVIDE CONDUITS IN SLAB, PRIOR TO POUR, TO MINIMIZE ABOVE GRADE "ELBOWS" ENTERING THE BUILDING PROPER.
- ALL DRAINAGE AND RUNOFFS SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SWALE DETAIL. DRAIN PIPING TO BE SCH. 40 P.V.C. (OR EQ.) WHEN AREA DRAINS.
- PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE OR ONE QUALIFIED TREE PER FAMILY.
- SHADED AREAS DESIGNATES MINIMUM COMMON AREAS AND/OR PRIVATE UTILITY EASEMENTS (PER APPLICATION). THIS PANEL IS USED AS A GUIDE FOR THE DRAFTING OF THE REQUIRED COMMON AREA AGREEMENT LETTER. THE REQUIRED COMMON AREA AGREEMENT LETTER TAKES PRECEDENCE.
- ALL WATER, SANITARY SEWER, STORM, ELECTRICAL PIPING, AND PAVING LOCATED IN THE COMMON AREA(S) ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- SIMILAR LINES (ELECTRIC, WATER, COMMUNICATION, ENTERTAINMENT) OF EACH TYPE CAN BE LOCATED IN THE SAME DITCH PROVIDED ALL LINES ARE SLEEVED THE ENTIRE RUN, OR MAINTAIN MINIMUM 36 INCH SPACING BETWEEN ALL LINES.
- ALL PIPING IN THE R.O.W. SHALL BE REINFORCED CONCRETE.
- PROVIDE MINIMUM 12" CLEARANCE OF A/C PADS TO ANY VERTICAL SURFACE, WITH MINIMUM 18" BETWEEN A/C PADS, AND A 30" MINIMUM SERVICE AREA.
- ALL FENCING ALONG PROJECT BOUNDARY, AGAINST AN ADJACENT PROPERTY, TO BE MIN. 6 FOOT WOOD FENCE. ANY FENCE SHOWN AGAINST THE R.O.W. TO BE METAL AND CAN BE PLACED AGAINST THE PROPERTY LINE PROVIDED THE 6 FOOT MIN. METAL FENCE IS 25% OR LESS OBSCURE (3/4 INCH BARS OR TUBES PLACED 4 TO 5 INCHES ON CENTER), OTHERWISE PLACE FENCE A MINIMUM OF 2 FOOT AWAY FROM THE PROPERTY LINE THAT IS AGAINST THE R.O.W.

DRIVEWAY & SIDEWALK SPECIFICATIONS

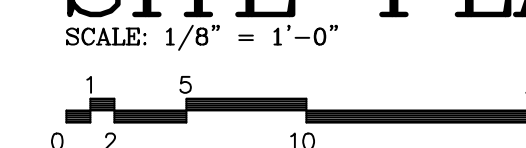


Area in front of Front Building Line ~ 1,423 SF
Area behind of Front Building Line ~ 6,591 SF
Total Lot Area ~ 8,014 SF

Main Dwelling ~ 2,064 SF
Garage ~ 433 SF
Veranda ~ 240 SF
Total Impervious Area (Behind) ~ 2,737 SF

Estimated Impervious Coverage behind Front Building Line ~ 41.53%
(Based on shown Main Dwelling, Garage and Veranda footprints)

SITE PLAN



LOT CALCULATIONS

LOT SIZE:	8018
BUILDING FOOTPRINT:	2109
% OF BUILDING COVERAGE:	26.3%
INTERIOR LOT: MAXIMUM ALLOWABLE COVERAGE IS 60%	
CORNER LOT: MAXIMUM ALLOWABLE COVERAGE IS 75%	
DRIVE & WALKS:	XX
TOTAL IMPERVIOUS COVERAGE:	XX
TOTAL % OF LOT COVERAGE:	XX.X%
MAXIMUM ALLOWABLE COVERAGE IS 75% BEFORE DETENTION IS REQUIRED	

SQUARE FOOTAGES

FIRST FLOOR : 1621
SECOND FLOOR : 1969

TOTAL LIVING : 3590

VERANDA : 240
GARAGE : 400
TOTAL SLAB : 0
PORCH : 36
BALCONY : 30

TOTAL COV. AREA: 4296

SCHWAB DESIGN BUILDERS
SOUTH VILLA CIRCLE HOUSTON, TX 77055
HILLSHIRE VILLAGE LOT 7

JOB # E1000 A2
DESIGN DEVELOPMENT ISSUE DATE: 3-24-22