

**PLANNING & ECONOMIC  
DEVELOPMENT DIVISION  
STAFF REPORT**

Tom King, AICP, CZO - Senior Planner  
Secretary to the Board of Adjustment



101 East Orange Street  
P.O. Box 429  
Hillsborough, NC 27278

**Report Date:** May 7, 2025

**BOARD OF ADJUSTMENT**

**Agenda Item: 4.A**

CASE NUMBER	CASE NAME	APPLICANT/PROPERTY OWNERS
BA-02-2025	Durham Technical Community College Orange County Campus Expansion	Timmons Group/Orange County & The Trustees of Durham Technical Community College
HEARING DATE	PARCEL ID NUMBER	PROPERTY ADDRESS/LOCATION
May 14, 2025	9873-33-0977	525 College Park Road

**BRIEF SUMMARY OF REQUEST**

Special Use Permit Modification for a 12,239 square foot, two-story building addition.

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING/LAND USE	FUTURE LAND USE CATEGORY	SIZE OF PROPERTY
ESU	Vocational School, & park & ride lot	<i>North:</i> ESU (Town) & R-1 (County)/Wooded tract & houses <i>South:</i> ESU/Wooded tract & townhouses <i>East:</i> ESU/Townhouses <i>West:</i> ESU/Wooded tract	Employment Area	20 acres

**DISCUSSION OF STAFF FINDINGS**

**COMPLIANCE with the UDO (UNIFIED DEVELOPMENT ORDINANCE)**

The proposed development complies with all applicable UDO provisions.

**COMPATIBILITY with the CSP (COMPREHENSIVE SUSTAINABILITY PLAN (2030))**

The proposed development generally complies with the Future Land Use Map & applicable CSP provisions.

**GENERAL STANDARDS/FINDINGS OF FACT SUMMARY**

All four general standards/findings of fact appear to be met.

**ATTACHMENTS:** 1. Application materials 2. FLUM & UDO provisions 3. Zoning history

## DESCRIPTION OF SUBJECT PROPERTY:

### Physical Conditions:

<b>Lot Size:</b>		20 acres
<b>Lot Frontage:</b>	<b>West:</b>	College Park Road – 666.25 feet
	<b>South:</b>	Waterstone Drive – 587.91 feet
<b>Lot Shape:</b>		Irregular being wider on the west side and narrowing to the east.
<b>Topography:</b>		The property sits higher than the two streets. Topography is highest in the northeast and slopes west/southwest. The developed area of the site is relatively flat.
<b>Lot Coverage:</b>		Mostly wooded on the far east, central, north and northwest areas of the site.
<b>Sensitive Areas:</b>		Stream head exists in NW corner of the property. Stream subject to 50-foot-wide stream buffer; 100-foot total width.
		An historic roadbed crosses the central portion of the site in a SE to NW direction.

**Built Conditions:** The property is developed as a two-story vocational school located on the west/southwest side of the property. A 124-space park-and-ride lot is located along the southeastern boundary of the property.



to Date: 2021. Source: Orange County Land Records/GIS.

## DETAILED PROJECT DESCRIPTION:

1. Removal of four ground-mounted solar panels and a semi-circular portion of the existing 40,175 square-foot, two-story building. Both features to be removed are on the southwest side of the building.
2. A 12,239 square foot, two-story addition to the southwest side of the building. The resulting building square footage will be 52,414 square feet.

A total of 262 parking spaces are required and provided for the project. No additional parking is to be constructed. Instead, the owner proposes use of 197 existing school parking spaces combined with 65 spaces located in the 124-space park and ride lot. Fifty-nine parking spaces will be left for park and ride use.



## **CONFORMANCE WITH WATERSTONE MASTER PLAN APPROVAL CONDITIONS:**

The property is located within Waterstone, a master planned development. The Waterstone development was approved by the town in 2004 and is subject to two documents governing development within the project: (i) a general conditions document applicable to the entire project, and (ii) a parcel-specific conditions document.

Staff offer the following comments regarding compliance with applicable conditions from the two documents:

### **General Conditions Applicable to the Entire Waterstone Development:**

Condition #15: Park and Ride. “The developer shall address in its application for a Special Use Permit for each of the non-residential Parcels shown on the Waterstone Master Plan the suitability of each such Parcel as a location for a “park and ride” facility.”

*Staff Comment:* The meeting minutes of the 2006 hearing where the initial community college project was approved reflect the 125-space park and ride lot as being offered as an alternative for the project subject to funding availability. There was no discussion as to how the spaces could or could not be used, or if it was a specific requirement of permit approval; however, the applicant presented the lot as an asset to the campus, town and county. The original approved project plans show the park and ride lot.

When community college officials first approached staff about the current project, staff recommended a parking study be performed to assess park and ride lot use. VHB Engineering NC, P.C. performed a parking study of the campus in July 2024 (see Attachment #1). The study evaluated existing school parking and the park and ride lot. The park-and-ride lot had a maximum parking demand of 21 spaces during the study period. A hypothetical doubling of the demand coinciding with higher school occupancy in the spring and fall semesters, coupled with the proposed building expansion, showed 42 spaces should satisfy potential park and ride lot demand. (*Note:* The VHB study was based on a slightly larger building addition (336 square feet) than currently proposed.)

### **Conditions of Approval Applicable to Specific Parcels Identified on the Waterstone Master Plan:**

#### **Parcel #16: Community College**

1. “That a community college campus is permitted on this parcel.”

*Staff Comment:* Condition has been met.

2. “That the amount of impervious surface on this Parcel shall be determined as part of the Special Use Permit process for this Parcel.”

*Staff Comment:* This is a vague condition leaving the board with no guidance in determining compliance. The existing site contains 4.18 acres (20.9%) of impervious surface, with 0.10 acres proposed. This equals 4.28 acres (21.4%) of impervious surface coverage at project completion; a 0.5% increase in total site impervious surface coverage.

3. “That the developer shall provide pedestrian access to Parcel 17 from this Parcel.”

*Staff Comment:* Condition met when school was built.

## FINDINGS OF FACT ANALYSIS:

The following analysis represents staff's professional opinion based upon review of the application materials, UDO, Future Land Use Map and CSP. The Board must make its own determination as to whether all findings are met. **This determination must be based on factual, competent, material and substantial evidence presented at the hearing.**

**Section 3 (Administrative Procedures), Subsection 3.8 (Special Use Permit), Paragraph 3.8.3 (General Standards/Findings of Fact): The Board of Adjustment shall not approve a Special Use Permit application unless it makes each of the following findings concerning the proposed special use:**

**3.8.3.1 That the use or development is located, designed, and proposed to be operated so as to maintain the public health, safety, and general welfare.**

*Applicant Statement Supporting Finding:* The proposed expansion allows for a greater public safety education program as well as education in other trades. Public health, safety and general welfare will be improved through the introduction into the community of more individuals trained in the emergency response field.

*Staff Analysis:* Staff find no reason why the proposed development will be detrimental to public health, safety and general welfare.

**3.8.3.2 That the use or development complies with all required regulations and standards of this Ordinance, including all applicable provisions of Articles 4, 5, and 6 and all applicable regulations.**

*Applicant Statement Supporting Finding:* The development will comply with all UDO requirements and conditions, as well as any other applicable local, state and federal regulations unless relieved from such requirements in writing.

*Staff Analysis:* Staff offer the following in relation to this finding:

1. Compliance with Section 4

The project complies with the intent of the ESU (Entranceway Special Use) district described in UDO Section 4 (Zoning Districts) (see Attachment #2). The property subject to the request is located within the larger Waterstone development; a project containing a diverse mixture of commercial, office and employment uses along a primary entrance into town.

2. Compliance with Section 5

UDO Section 5 (Use Standards) contains no use-specific standards for Vocational Schools.

3. Compliance with Section 6

The town's Technical Review Committee have reviewed the submitted construction drawings and found them to comply with all applicable requirements of UDO Section 6 and other town regulations.

**3.8.3.3 That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity, and**

*Applicant Statement Supporting Finding:* The project site is located at the corner of Waterstone Drive and College Park Road. Project design uses building materials already in use on campus.

*Staff Analysis:* Staff find no reason why the use will injure the value of contiguous property. The proposed addition will face, and sits higher than, the corner of Waterstone Drive and College Park Road with properties to the immediate west and south being vacant and wooded. The development is not a public necessity.

**3.8.3.4 That the use or development conforms with the general plans for the physical development of the Town and is consistent with the Town's Comprehensive Plan.**

*Applicant Statement Supporting Finding:* The development is an expansion of an existing community college campus. It will conform with the general plans for the physical development of the town and is consistent with the comprehensive plan.

*Staff Analysis:* Staff evaluated the project in relation to the town's Future Land Use Map and CSP and offers the following findings:

1. Future Land Use Map

The property is classified as "Employment Area" (see Attachment #2). The proposed development conforms with this land use category as follows:

- a. The use offers a community service.
- b. The building is located on a site overlooking the intersection of Waterstone Drive and College Park Road. Both streets are lined with street trees that break up the view of the building from adjacent streets and sidewalks.
- c. The property has direct driveway access to two major roads: Waterstone Drive and College Park Road. The town's adopted Street Manual classifies Waterstone Drive as a "Multi Lane Boulevard," and College Park Road as a "Commercial/Industrial Collector." Waterstone Drive connects directly with Old NC 86 to the west and NC 86 South to the east. Both streets are state-maintained streets classified as "Minor Arterials." College Park Road intersects with Cates Creek Parkway (classified by the town as a "Residential Collector") to the north. Cates Creek Parkway exits onto Old NC 86 to the west.

2. CSP

The proposed development is consistent with the following provision of the adopted CSP:

- a. Economic Development and Tourism Element

Goal #3: "Increase access to opportunity, education, employment and wealth."



Strategy: “Participate in partnerships and programs that contribute toward meeting economic system and tourism goals in a sustainable and equitable manner.”

Strategy Point #5: “Coordinate and support organizations and agencies that provide business support programs.”

The community college provides valuable educational and training opportunities for the community that ultimately supports local and regional business and industry. Approval of the expansion offers the college the opportunity to grow and continue the provisions of this valuable service.

#### **RECOMMENDED CONDITIONS OF APPROVAL:**

Staff have no recommended conditions for this project, if approved. However, the board may attach reasonable and appropriate conditions and safeguards to the permit but may not include requirements for which the town has no authority to apply under state statute or that the courts have held to be unenforceable.

#### **VOTING REQUIREMENT:**

A majority vote is required to grant a Special Use Permit modification.



TOWN OF  
HILLSBOROUGH

# GENERAL APPLICATION Special Use Permit, Variance or Appeal Board of Adjustment Hearing

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

This application is for a special use permit (including modifications), variance or appeal.  
**Incomplete applications will not be accepted or processed.**

OFFICIAL USE ONLY		
Case Number: BA-02-2025	Fee: \$ 500.00	Receipt No.: 060337
FLUM Designation: Employment Area	Zoning District: ESU	Overlay Zone: Select One NA

Permit or Relief Requested: Special Use Permit Modification
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PROJECT LOCATION AND DESCRIPTION	
Project Name: Durham Technical Community College Orange County Campus Expansion	Project Type: Institutional
Property Address/Location: 525 College Park Rd, Hillsborough, NC 27278	
PIN(s): 9873330977	Size of Property (Acres/Sq. Ft.): 19.99/870714 20 Acres TK
Current Use of Property: Education Building	Proposed Use of Property: Education Building
Use Class (from UDO Sections 5.1.7 and 5.1.8): School: Vocational 4/1/2025	
Number Existing Buildings to Remain: 1	Number Proposed Buildings: 0
Gross Floor Area Existing Buildings: 40,175	Gross Floor Area Proposed Buildings: 12,575 239 TK
Number Lots Proposed: 0	Number Dwelling Units Proposed: 0
Brief Summary of Request (use separate sheet if necessary): Modification to existing special use permit for the expansion of the existing Durham Technical Community College Orange County Campus building.	

CERTIFICATION AND SIGNATURES	
Applications will not be accepted without signature of legal property owner or official agent.	
I certify that the information presented by me in this application and all accompanying documents are true and accurate to the best of my knowledge, information, and belief; and I acknowledge that the processing of this application may require additional town, county and/or state permits, approvals and associated fees.	
Applicant: Timmons Group	Legal Property Owner: Durham Technical Community College
Mailing Address: 5410 Trinity Rd	Mailing Address: 1637 E. Lawson St.
City, State, ZIP Code: Raleigh, NC 27607	City, State, ZIP Code: Durham, NC 27703
Telephone: 919-866-4938	Telephone: 919-536-7201 x1001
Email: william.altman@timmons.com	Email: kleitscha@durhamtech.edu
Signature: William Altman <small>Digitally signed by William Altman DN: cn=William Altman@timmons.com, c=US, email=william.altman@timmons.com Date: 2024.11.14 14:47:36-05'00'</small>	Signature: Andrew Kleitsch <small>Digitally signed by Andrew Kleitsch Date: 2024.11.12 09:53:20 -05'00'</small>
Date: 2024-11-15	Date: 2024-11-12
Legal Relationship of Applicant to Property Owner: Engineer	



RECEIVED  
11/18/2024  
Tom King

Orange County is  
also a property owner  
- P.O. Box 8181  
Hillsborough, NC 27278



TOWN OF  
HILLSBOROUGH

**AUTHORIZATION FORM**  
**Owner's Authorization for Agent**  
**Board of Adjustment Hearing**

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

This form must accompany any application to go before the Board of Adjustment in which the application will not be represented by the legal property owner. Each owner shown on the property owner's deed must sign this authorization form.

I/We Travis Myren

(print names of legal property owners)

hereby authorize William Altman

(print name of agent)

to represent me/us in processing an application for Special Use Permit Modification

on my/our behalf. In authorizing the agent to represent me/us, I/we as owner/owners attest that:

- The application is made in good faith.
- All information contained in the application is accurate and complete.
- The agent is authorized to accept any and all conditions that may be placed on the approval.
- I/we as the property owner(s) am/are bound by any decision of the board, including any and all conditions attached to board approvals.

**Travis Myren**

Digitally signed by Travis Myren  
Date: 2025.02.14 14:58:01 -05'00'

Signature of Owner

Signature of Owner

Travis Myren

Print Name of Owner

Print Name of Owner

NORTH CAROLINA

Orange COUNTY

Sworn to and subscribed before me on this 14<sup>th</sup> day of February 2025 by

Travis Myren

Print Name of Person Making Statement



Melissa S. Allison

Signature of Notary Public

Melissa S. Allison

Print Commissioned Name of Notary Public

2-16-28

Commission Expiration Date

The individual(s) making the above statement is/are personally known ✓ or identification was produced \_\_\_\_.





TOWN OF  
HILLSBOROUGH

**AUTHORIZATION FORM**  
**Owner's Authorization for Agent**  
**Board of Adjustment Hearing**

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

This form must accompany any application to go before the Board of Adjustment in which the application will not be represented by the legal property owner. Each owner shown on the property owner's deed must sign this authorization form.

I/We Andrew Kleitsch

(print names of legal property owners)

hereby authorize William Altman

(print name of agent)

to represent me/us in processing an application for Special Use Permit Modification ☒

on my/our behalf. In authorizing the agent to represent me/us, I/we as owner/owners attest that:

- The application is made in good faith.
- All information contained in the application is accurate and complete.
- The agent is authorized to accept any and all conditions that may be placed on the approval.
- I/we as the property owner(s) am/are bound by any decision of the board, including any and all conditions attached to board approvals.

Andrew Kleitsch Digitally signed by Andrew Kleitsch  
Date: 2025.01.21 09:23:54 -05'00'

Signature of Owner

Andrew Kleitsch

Print Name of Owner

Signature of Owner

Print Name of Owner

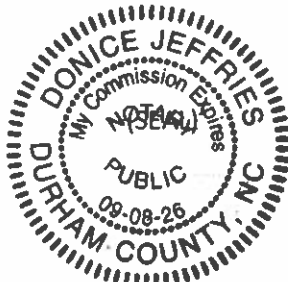
NORTH CAROLINA

Durham COUNTY

Sworn to and subscribed before me on this 21st day of January 2025 by

Andrew Kleitsch

Print Name of Person Making Statement



Donice Jeffries Digitally signed by Donice Jeffries  
Date: 2025.01.21 10:04:56 -05'00'

Signature of Notary Public

Donice Jeffries

Print Commissioned Name of Notary Public

September 8, 2026

Commission Expiration Date

The individual(s) making the above statement is/are personally known x or identification was produced \_\_\_\_.



TOWN OF  
HILLSBOROUGH

## SUPPLEMENTAL FORM Special Use Permit

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

To the Hillsborough Board of Adjustment:

I, Will Altman, PE, hereby petition the Board of Adjustment to issue a Special Use Permit in the name of Durham Technical Community College Orange County Campus Expansion for use of the property described in the attached General Application in a manner set forth on that form or, if not adequately explained there, as more fully described herein:

Authority to grant the request is contained in the Hillsborough Unified Development Ordinance sections:

### Section 5

#### Factors Relevant to Permit Issuance

The Hillsborough Unified Development Ordinance imposes the following four general standards/findings of fact on the special use requested by the applicant. Below or on a separate sheet, indicate the facts you intend to show and the arguments you intend to make to convince the Board of Adjustment that it can properly reach these four required findings.

- 1. That the use or development is located, designed, and proposed to be operated so as to maintain the public health, safety, and general welfare.**

The expansion is being proposed to protect the public health, safety, and general welfare of the community. The expansion will allow for a greater public safety education program as well as other trades which improves the public health, safety, and general welfare by introducing more individuals into emergency response fields. The proposed development is subject to all of the requirements of the Unified Development Ordinance.

- 2. That the use or development complies with all required regulations and standards of the Unified Development Ordinance, including all applicable provisions of articles 4, 5, and 6 and all applicable regulations.**

The development shall comply with all sections of the UDO, conditions of approval, and any other applicable local, state, and federal regulations. It is understood that unless relieved of a requirement, in writing, all UDO requirements must be met.

- 3. That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property or that the use or development is a public necessity.**

The proposed development is located along the frontage of Waterstone Drive and College Park Road. The design utilizes consistent building materials with what is already present on campus to maintain or enhance the value of contiguous property.

- 4. That the use or development conforms with the general plans for the physical development of the Town and is consistent with the Hillsborough Comprehensive Plan.**

The development conforms with the general plans for the physical development of the Town and is consistent with the Hillsborough Comprehensive Plan. The development is an expansion onto the existing Durham Tech campus

The Unified Development Ordinance also imposes the following use-specific requirements on the use requested by the applicant (town staff will assist the applicant in listing the specific requirements). The applicant should be prepared to demonstrate that the proposed use will comply with each of the following specific requirements if the land is used in a manner consistent with the plans, applications and other information presented to the board:

None.

I certify that all the information presented by me in this application is accurate to the best of my knowledge, information, and belief.



Signature of Applicant

11/15/2024

Date





## Memorandum

To: Andrew Kleitsch  
Vice President Finance/Chief Financial Officer  
Durham Technical Community College  
1637 E. Lawson Street  
Durham, NC 27703

Date: August 15, 2024

Project #: 39670.01

From: Andrew Topp, PE, PTOE

Re: Durham Technical Community College (DTCC)  
Orange County Campus - Parking Study  
Hillsborough, NC

Durham Technical Community College (DTCC) has plans to construct an addition to the educational building on the DTCC Orange County campus along College Park Road in Hillsborough, North Carolina. VHB Engineering NC, P.C. (VHB) was retained by DTCC to conduct a parking study for the proposed development. As shown on the conceptual site plan (Figure 1 in the Appendix), access to the campus parking lot and park-and-ride lot are accessible via a full-movement driveway on College Park Road and a right-in, right-out driveway on Waterstone Drive. The campus is located at 525 College Park Road and will undergo redevelopment to construct an addition (12,575 square feet) to the existing educational building (40,175 square feet).

An evaluation of current and future parking demand was conducted for the campus as well as the park-and-ride lot to help DTCC understand their parking needs and determine what may be required for future campus expansions.

As required by the Town of Hillsborough Unified Development Ordinance (UDO) (Development Standards, last amended March 11, 2024), Table 6.13.3.4, the minimum number of parking spaces that shall be provided for a Vocational School, at the rate of 1 parking space per 200-SF of indoor space, resulting in a total of 264 required minimum number of parking spaces for this project (Table 1).

**Table 1: UDO Required Parking**

Proposed Development	Indoor Area With Expansion	Required Parking Ratio by UDO	Required Parking Spaces
DTCC Orange Campus Expansion	52,750 SF	1 space per 200 SF	264

As indicated in the UDO, an applicant may propose a reduced rate of required parking specified in Section 6.13.3.3.a, Allowable Parking Reductions and Additions, in accordance with a parking study that is conducted based on the industry standards and/or comparable site data.

Based on rates published in the Institute of Transportation Engineers (ITE) Parking Generation (5<sup>th</sup> Edition), the peak parking demand on a weekday for a Junior/Community College is 188 spaces, typically occurring between 10 AM and 2 PM. As summarized in Table 2, the results based on ITE standards are approximately 29% lower than the UDO requirements for this project.

**Table 2: ITE Parking Generation Results**

Land Use Code <sup>1</sup>	Land Use	Indoor Area With Expansion	Weekday (Monday – Friday)		
			Average Rate	Peak Period	Total
540	Junior / Community College	52,750 SF	3.57	10 AM – 2 PM	188
Development Total					188

1. Land Use Code and trip generation rates are determined based on *ITE Parking Generation, 5<sup>th</sup> Edition*.

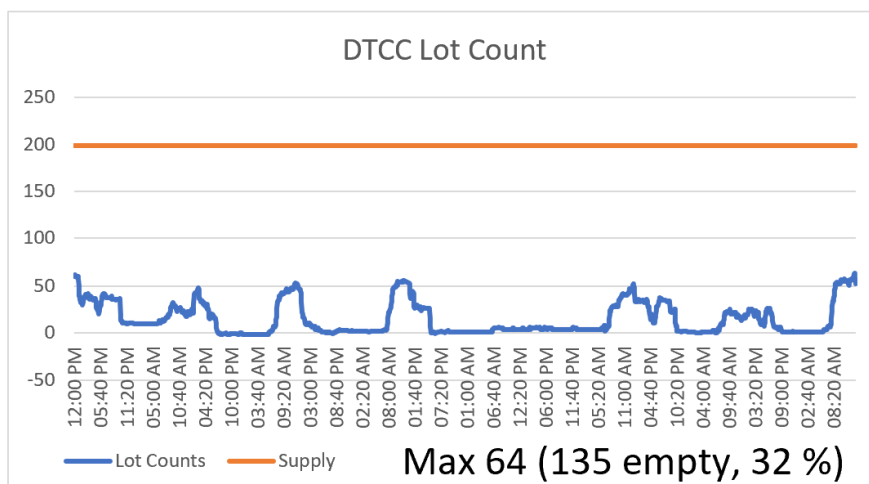
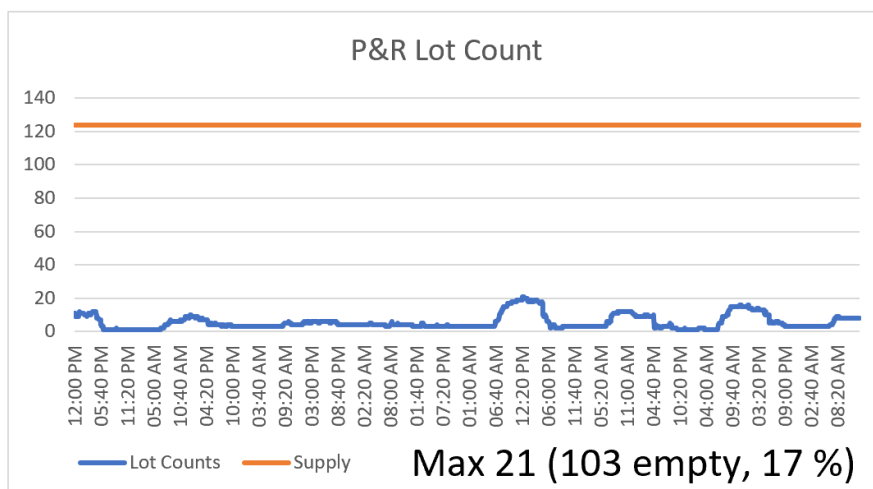
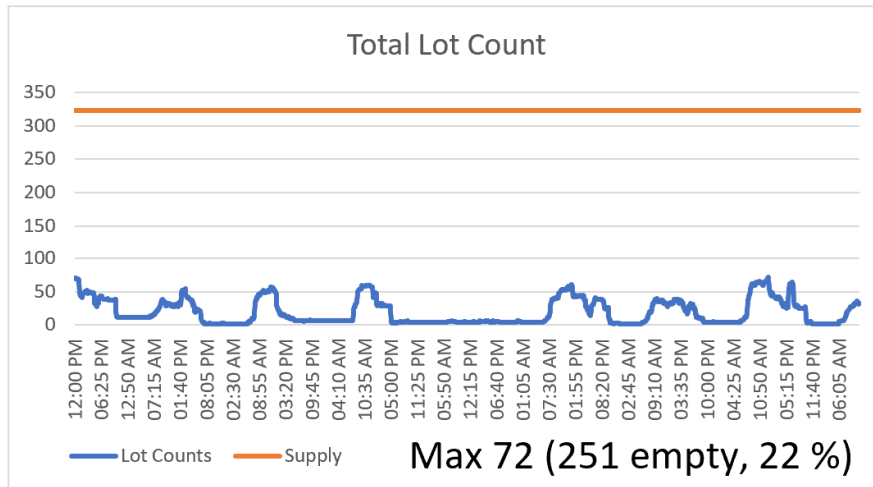
## Existing and Projected Parking Demand

The existing DTCC parking lot contains 199 spaces, and the park-and-ride parking lot contains 124 spaces. The park-and-ride lot is used by the Town of Hillsborough and GoTriangle as a free park-and-ride location. Parking demand fluctuates day to day based on the number of classes in session. To help determine the maximum parking demand and availability of parking, vehicle counts were collected to measure the total number of vehicles within the lots over the course of a multiday collection period. The parking data were collected from 12:00 PM on Wednesday, July 10, 2024, to 11:00 AM on Thursday, July 25, 2024, while the DTCC Summer Term was in session, and the results are summarized in Exhibit 1. Pneumatic tubes were used to continuously collect the vehicle movements into and out of the two driveways along with park-and-ride lot. An in-person field parking occupancy measurement was also conducted at the beginning, end, and midway through the data collection to help verify the calculations.

The number of vehicles present within each parking zone fluctuated over the course of the collection period with peak parking experienced around 12:50 PM on Wednesday, July 17<sup>th</sup>, 2024. At that time, there was a maximum parking demand of 72 spaces with 251 empty spaces (~22% occupied) within the collection area of campus.

As shown in Exhibit 1, the Durham Technical Community College lot was recorded to have 135 empty spaces, the park-and-ride lot was recorded to have 103 empty spaces (~22% occupied) at their maximum occupancy periods. Exhibit 1 on the following page illustrates the areas of parking data collection and the occupied spaces over the course of the collection period for each of the lots.

## Exhibit 1: Existing Parking Demand – Summer Term





Based on course data provided by DTCC, the summer course offerings are about half of those in the fall or spring (45 compared to 84 and 101, respectively). The maximum parking demand recorded for a typical summer semester week was 64 occupied spaces in the DTCC lot. An adjustment factor based proportionally on the course offerings in the fall and spring, as well as the additional square footage was applied to the collected parking data. As shown in Table 3, the expected parking demand for a typical fall or spring semester week is 119 spaces and 163 occupied spaces, respectively. Based on conversations with on-campus staff, this number is consistent with their observations where the lot is generally half full most weekdays and close to two thirds full on their busiest days throughout the year. A proportional parking demand increase associated with the building expansion results in a demand of 189 spaces, which can be accommodated within the current parking lot with a 10-space surplus.

**Table 3: Field Based Parking Calculations**

DTTC Semester	Course Offerings	Parking Demand	Parking Supply	Parking Net
Summer Term	45	64 spaces (counted)	199	135 Space Surplus
Fall Term	84	119 spaces (estimated)	199	115 Space Surplus
Spring Term	101	144 spaces (estimated)	199	55 Space Surplus
<b>Future Maximum with Expansion (+31%)</b>	131 (estimated)	189 (estimated)	199	<b>10 Space Surplus</b>

There are currently 199 spaces in the lots surrounding the existing Durham Technical Community College building, with 124 spaces in the park-and-ride lot. Based on the results of the park-and-ride count, there was a maximum parking demand of 21 spaces. This is consistent with available aerial photography reviewed and conversations with DTCC staff familiar with the lot. Based on a hypothetical doubling of this demand to coincide with higher occupancies in the spring and fall, there is still a surplus of spaces available in the park-and-ride lot. Table 4 illustrates the number of parking spaces available on the property when the DTCC and park-and-ride lots are combined. The total combined surplus of parking with the expansion in place and park-and-ride included is 92 spaces.

**Table 4: Field Based Parking Calculations with Park-and-Ride**

DTTC Semester	DTCC Estimated Parking Demand	DTCC Parking Supply	Park & Ride Estimated Parking Demand	Park & Ride Parking Supply	Parking Net
<b>Future Maximum with Expansion (+31%)</b>	189	199	42	124	<b>92 Space Surplus</b>

## Conclusion

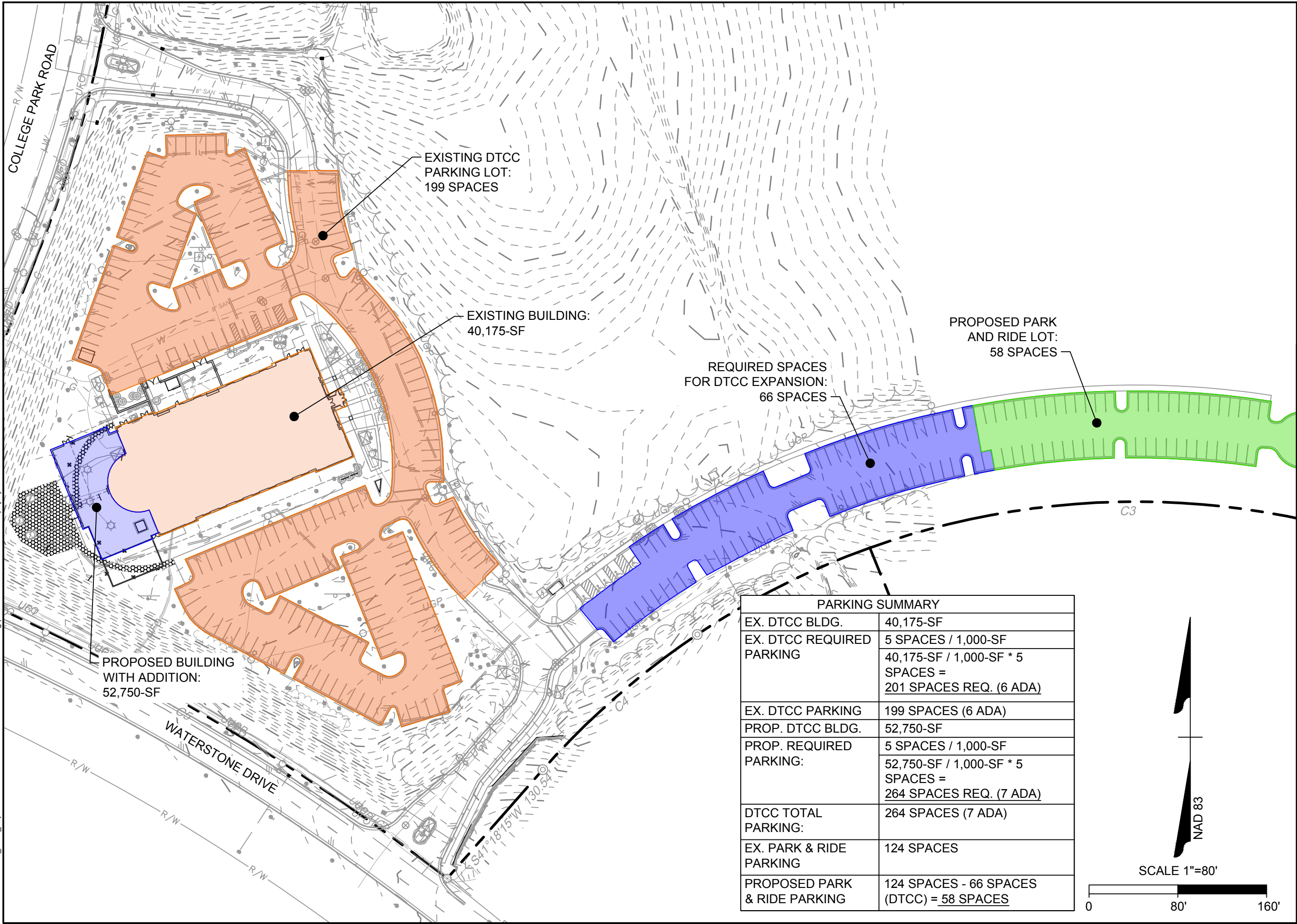
Based on the results of this parking evaluation, the DTCC Orange County site with the building expansion is expected to have a maximum parking demand of 189 spaces. This number is consistent with the ITE projected demand of 188 spaces for a building of this size and observations from daily users of the lots. The campus currently has 199 spaces available, which will accommodate the projected demand in the spring or fall semesters with the expansion in place.

The park-and-ride lot located next to the DTCC parking lot has an excess number of spaces within close proximity of the DTCC building. Based on the results of the analysis, the 323 total combined spaces will accommodate the parking demand of both the DTCC and park-and-ride use with an estimated 92-space surplus. As a result, no additional on-site parking needs to be constructed to accommodate their anticipated parking demand.

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## Appendices

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PARKING SUMMARY	
EX. DTCC BLDG.	40,175-SF
EX. DTCC REQUIRED PARKING	5 SPACES / 1,000-SF 40,175-SF / 1,000-SF * 5 SPACES = 201 SPACES REQ. (6 ADA)
EX. DTCC PARKING	199 SPACES (6 ADA)
PROP. DTCC BLDG.	52,750-SF
PROP. REQUIRED PARKING:	5 SPACES / 1,000-SF 52,750-SF / 1,000-SF * 5 SPACES = 264 SPACES REQ. (7 ADA)
DTCC TOTAL PARKING:	264 SPACES (7 ADA)
EX. PARK & RIDE PARKING	124 SPACES
PROPOSED PARK & RIDE PARKING	124 SPACES - 66 SPACES (DTCC) = 58 SPACES

THIS DRAWING PREPARED AT THE  
**CORPORATE OFFICE**  
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225  
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REVISION DESCRIPTION

DATE	
05/14/2024	

DRAWN BY  
LMB

DESIGNED BY  
WPA

CHECKED BY  
WPA

SCALE  
AS SHOWN

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**DTCC OCC EXPANSION**

HILLSBOROUGH, ORANGE COUNTY, NORTH CAROLINA

**PARKING EXHIBIT**

JOB NO.  
62767

SHEET NO.  
EX. 1

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SPECIAL USE MODIFICATION DRAWINGS FOR:

# DURHAM TECHNICAL COMMUNITY COLLEGE ORANGE COUNTY CAMPUS EXPANSION

525 COLLEGE PARK RD , HILLSBOROUGH, NC 27278

TOWN OF HILLSBOROUGH BOARD OF ADJUSTMENT CASE # BA-02-2025



#### SITE DATA TABLE

PROJECT NAME:	DURHAM TECHNICAL COMMUNITY COLLEGE ORANGE COUNTY CAMPUS EXPANSION
STATE CONSTRUCTION OFFICE (SCO) NUMBER	23-26062-02A
PROPERTY OWNER/ DEVELOPER:	DURHAM TECHNICAL COMMUNITY COLLEGE 1637 E LAWSON ST, DURHAM, NC 27703  ORANGE COUNTY 300 W. TRYON ST., HILLSBOROUGH, NC 27278
PIN ID:	9873330977
DEED ACRES:	20
PROPERTY ZONING:	ESU
CURRENT USE:	VOCATIONAL SCHOOL
PROPOSED USE:	VOCATIONAL SCHOOL
DISTURBED AREA:	0.54 ACRES
RIVER BASIN:	CATES CREEK (NEUSE)
SURFACE WATER CLASSIFICATION:	LOWER END UNPROTECTED
PARKING REQUIREMENTS:	EXISTING DTCC PARKING: 197 SPACES (6 ADA) EXISTING PARK AND RIDE PARKING: 124 SPACES (8 ADA) REQUIRED PARKING SPACES: 1 SPACES / 200-SF; 52,414-SF / 200-SF X 1 SPACE = 262 SPACES PROVIDED DTCC PARKING SPACES: 262 SPACES (7 ADA) PROVIDED PARK AND RIDE PARKING: 59 SPACES (5 ADA)  ADA SPACES REQUIRED: 7 SPACES (FOR DTCC)
EXISTING IMPERVIOUS:	4.18 AC
NEW IMPERVIOUS:	0.10 AC
TOTAL POST DEVELOPMENT IMPERVIOUS:	4.28 AC



VICINITY MAP  
SCALE 1"=300'

#### PROJECT TEAM

##### ARCHITECT

KATHERINE HOGAN ARCHITECTS  
CONTACT: KATHERINE HOGAN, AIA LEED AP  
PHONE: (919) 793-5063  
553 PYLON DRIVE  
RALEIGH, NC 27606

##### OWNERS

DURHAM TECHNICAL COMMUNITY COLLEGE  
CONTACT: MARIE-PIERRE LUSSIER, PMP  
PHONE: (919) 747-4544  
4601 CREEKSTONE DR, SUITE 130  
DURHAM, NC 27703

ORANGE COUNTY  
CONTACT: TRAVIS MYREN  
PHONE: (919) 245-2300  
300 W. TRYON ST.  
HILLSBOROUGH, NC 27278

##### APPLICANT / CIVIL ENGINEER

TIMMONS GROUP  
CONTACT: WILL ALTMAN, PE  
PHONE: (919) 866-4938  
5410 TRINITY ROAD, SUITE 102  
RALEIGH, NC 27607

#### Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	AREA MAP
C0.2	OVERALL EXISTING CONDITIONS PLAN
C0.3	OVERALL SITE PLAN
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE & UTILITY PLAN
C3.0	GRADING & DRAINAGE PLAN
C3.1	BIORETENTION DETAIL
C3.2	STORMWATER COMPLIANCE PLAN
C4.0	EROSION & SEDIMENTATION CONTROL PLAN - PHASE I
C4.1	EROSION & SEDIMENTATION CONTROL PLAN - PHASE II
C5.0	SITE DETAILS
C5.1	SITE DETAILS
EX1	PARKING EXHIBIT
L0.1	OVERALL PLANTING PLAN
L1.0	PLANTING PLAN
L2.0	LANDSCAPE NOTES & DETAILS
L3.0	OVERALL TREE PROTECTION PLAN
L4.0	TREE PROTECTION PLAN, NOTES, & DETAILS
A-08.00	BUILDING ELEVATIONS - RENOVATION EAST, NORTH AND SOUTH
A-08.01	WEST + SOUTH ELEVATIONS

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#### SHEET ISSUE

NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	06.10.24
2	DESIGN DEVELOPMENT	09.19.24
3	DESIGN DEVELOPMENT - SCO	10.18.24
4	1ST EC&S SUBMITTAL	11.14.24
5	1ST SUP SUBMITTAL	11.15.24
6	2ND SUP SUBMITTAL	01.22.25
7	3RD SUP SUBMITTAL	02.19.25
8	4TH SUP SUBMITTAL	03.19.25
9	50% CD SUBMITTAL - SCO	03.31.25
10	5TH SUP SUBMITTAL	04.11.25
11	100% CONSTRUCTION DOC	04.11.25

SCO NO. 23-26062-01

SHEET TITLE

COVER SHEET

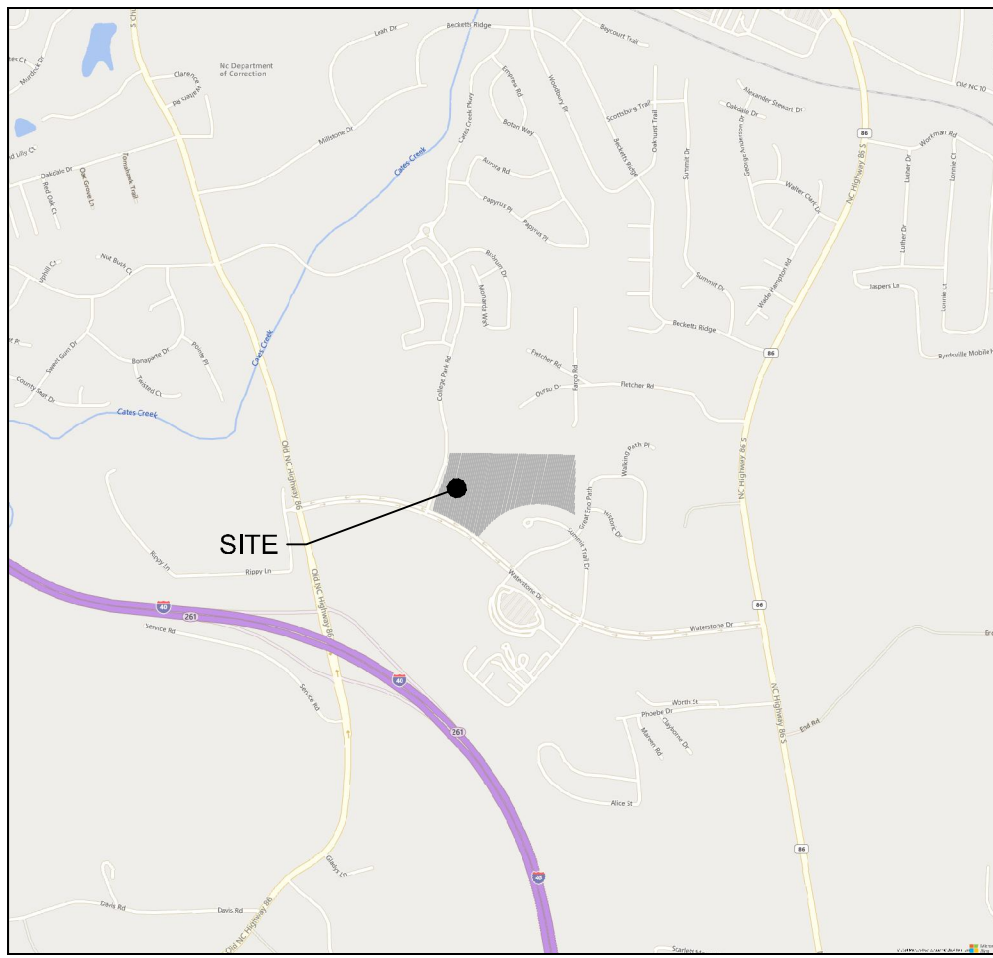
SHEET NUMBER

C0.0

A VESTED RIGHT PURSUANT TO NCGS 160D-108 & SECTION 1.9  
OF THE UNIFIED DEVELOPMENT ORDINANCE IS ESTABLISHED AS  
OF THE DATE HEREOF, UNLESS TERMINATED AT AN EARLIER  
DATE, THE RESTED RIGHT OF THE APPROVAL SHALL BE VALID  
UNTIL



6/3/2024 5:33:28 PM



LOCATION MAP

1" = 2,000'  
PARCEL IDENTIFICATION NUMBER (PIN): 9873330977  
ADDRESS: 525 COLLEGE PARK RD., HILLSBOROUGH, NC 27278

LEGEND

- PROPERTY LINES
- HILLSBOROUGH TOWN LIMITS
- PROPOSED SITE

NOTES:  
1. ENTIRETY OF SITE AREA IS LOCATED WITHIN HILLSBOROUGH TOWN LIMIT.

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SHEET TITLE  
**AREA MAP**

SHEET NUMBER  
**C0.1**



6/3/2024 5:33:29 PM



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SHEET TITLE  
**OVERALL  
EXISTING  
CONDITIONS  
PLAN**

SHEET NUMBER  
**C0.2**

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	30.00'	46.26'	N22°52'12"W	41.81'
C2	1030.00'	291.46'	N12°58'12"E	290.48'
C3	712.24'	824.40'	S89°26'44"W	779.14'
C4	736.58'	165.48'	S48°48'39"W	184.89'
C5	2047.50'	467.81'	N58°50'35"W	468.79'
C6	2047.50'	59.20'	N86°13'00"W	58.19'

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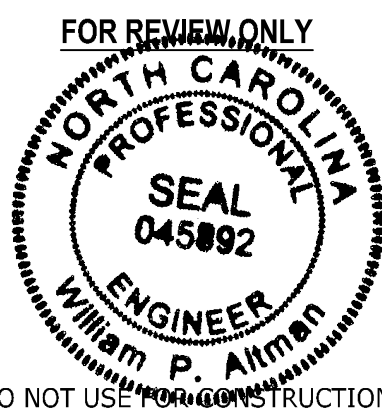
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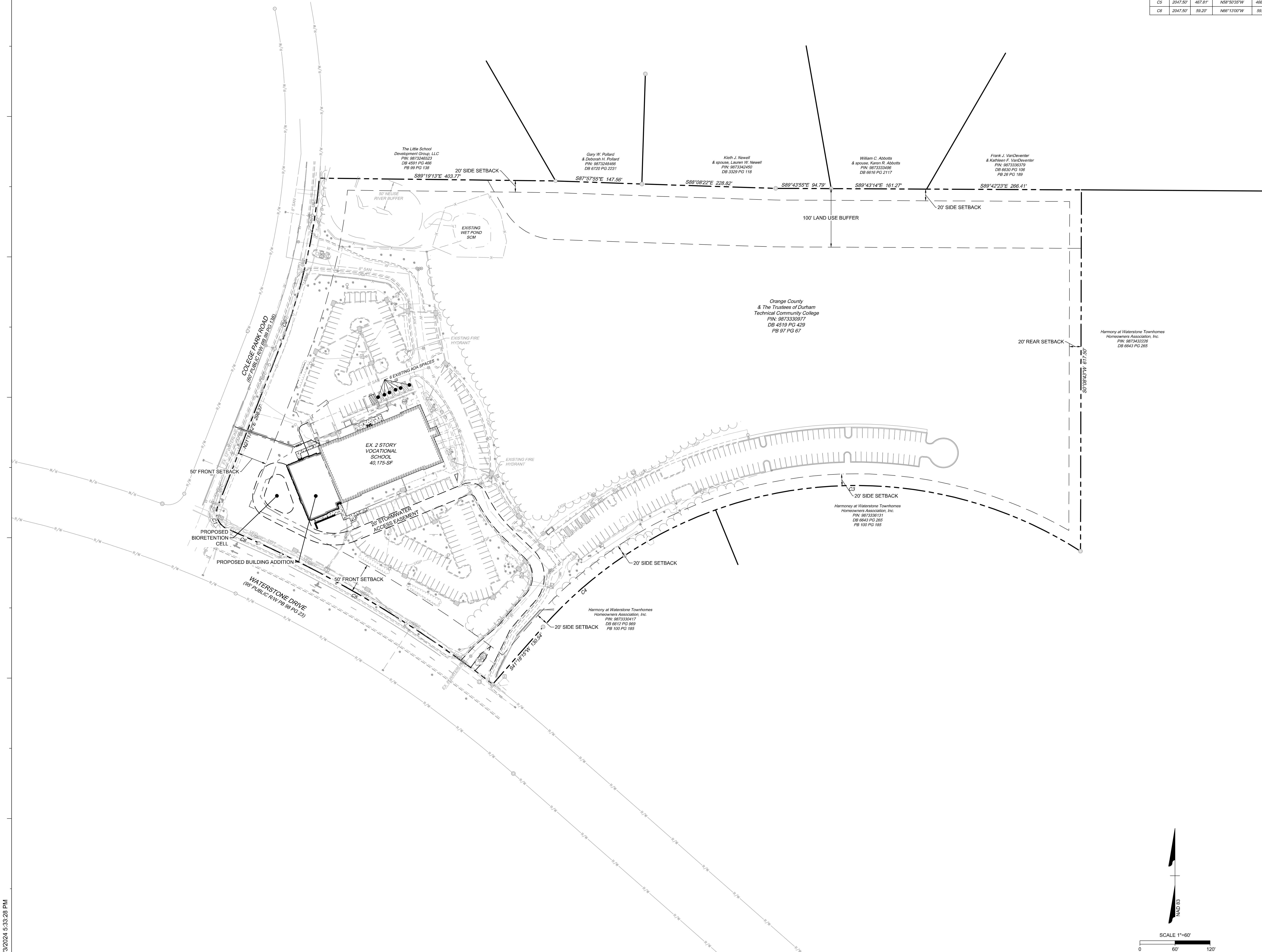


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SCO NO. 23-26062-01

SHEET TITLE  
**OVERALL SITE  
PLAN**

SHEET NUMBER  
**C0.3**





EXISTING CONDITIONS LEGEND	
CONSTRUCTION LIMITS	---
EX. STORM PIPE	---
EX. FENCE	---
EX. GAS LINE	---
EX. POWER LINE	---
EX. TELEPHONE LINE	---
EX. WATER LINE	---
EX. SANITARY SEWER FORCE MAIN	---
EX. SANITARY SEWER LINE	---
EX. CABLE TV LINE	---
EX. FIBER OPTIC LINE	---
EX. TREE LINE	---
EX. LIGHT POLE	---
EX. SITE BOLLARD	---
EX. UTILITY POLE	---
EX. SANITARY SEWER MANHOLE	---
EX. STORM SEWER MANHOLE	---
EX. CLEANOUT (SANITARY OR STORM)	---
EX. DROP INLET	---
EX. FIRE HYDRANT	---
EX. WATER VALVE	---
EX. TELECOM BOX	---
EX. GROUND MOUNTED SIGN	---



CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	30.00'	46.26'	N22°52'12\"/>	41.81'
C2	1030.00'	291.48'	N12°59'12\"/>	290.48'
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C5	2047.50'	467.81'	N58°50'35\"/>	466.79'
C6	2047.50'	59.20'	N86°13'00\"/>	59.19'

- #### EXISTING CONDITIONS NOTES
- ON SITE BOUNDARY, TOPOGRAPHY AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY BY TIMMONS GROUP ON FEBRUARY 12, 2024.
  - ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
  - THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM. BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2011).
  - VERTICAL DATUM SHOWN HEREON IS NAVD88.
  - NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3710987300J (EFFECTIVE 02-02-2007).
  - TOTAL LOT AREA: 20.00 AC EXCLUSIVE OF STREET ROW.
  - EXISTING ON-SITE IMPERVIOUS AREA: 181,963-SF
- #### DEMOLITION NOTES
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
  - ALL WASTE MATERIAL GENERATED FROM CLEANING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL ORANGE COUNTY AND TOWN OF HILLSBOROUGH RULES AND REGULATIONS. CONTRACTOR SHALL SALVAGE ALL SIGNAGE, METERS, ETC. TO OWNER. COORDINATE WITH OWNER PRIOR TO DEMOLITION. CLEAR AND GRUB AS NEEDED WITHIN CONSTRUCTION LIMITS PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS) FOLLOWING APPROVAL OF ENGINEER. BY SUBMITTING A BID, CONTRACTOR ACKNOWLEDGES THAT THE SITE HAS BEEN INVESTIGATED TO DETERMINE TYPE, SIZE AND QUANTITY OF CLEARING REQUIRED FOR ALL CONSTRUCTION.
  - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
  - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ENGINEER IMMEDIATELY.
  - THE CONTRACTOR SHALL EMPLOY A PUALIFIED UTILITY LOCATOR SERVICE TO LOCATE ALL UNDERGROUND UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, CABLE, FIBER OPTIC) WITHIN THE LIMITS OF CONSTRUCTION.
  - VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
  - EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
  - ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR TO REMOVE OR RELOCATE ALL CANOPY TREES NOTED ON PLANS TO BE REMOVED WITH SAME SPECIES AND CALIPER.

KEYNOTES - ITEMS TO REMOVE	
(A)	REMOVE EXISTING GRAVEL
(B)	REMOVE TREE
(C)	REMOVE EXISTING UNDERGROUND ELECTRIC LINES AND POWER STRUCTURE
(D)	REMOVE EXISTING SOLAR PANEL AND FOOTINGS
(E)	REMOVE EXISTING UNDERGROUND STORAGE TANK
(F)	REMOVE EXISTING STORM PIPE
(G)	REMOVE EXISTING MANHOLE
(H)	REMOVE EXISTING WATERLINE
(I)	REMOVE EXISTING ASPHALT AND STONE BASE
(J)	REMOVE EXISTING STORM STRUCTURE
(K)	REMOVE EXISTING CONCRETE PAVEMENT
(L)	REMOVE EXISTING PORTION OF BUILDING. REFER TO ARCHITECTURAL PLANS
(M)	ABANDON EXISTING STORM PIPE. FILL WITH FLOWABLE FILL.
(N)	REMOVE EXISTING LANDSCAPING
(O)	REMOVE EXISTING WATERLINE, BACKFLOW PREVENTER, AND WATER METER. FILL WATERLINE UNDER EXISTING PAVEMENTS WITH FLOWABLE FILL.
(P)	REMOVE EXISTING SHED
KEYNOTES - ITEMS TO REMOVE	
(Q)	TREE TO REMAIN

katherine hogan architects

Durham Tech - Orange County Campus - Expansion

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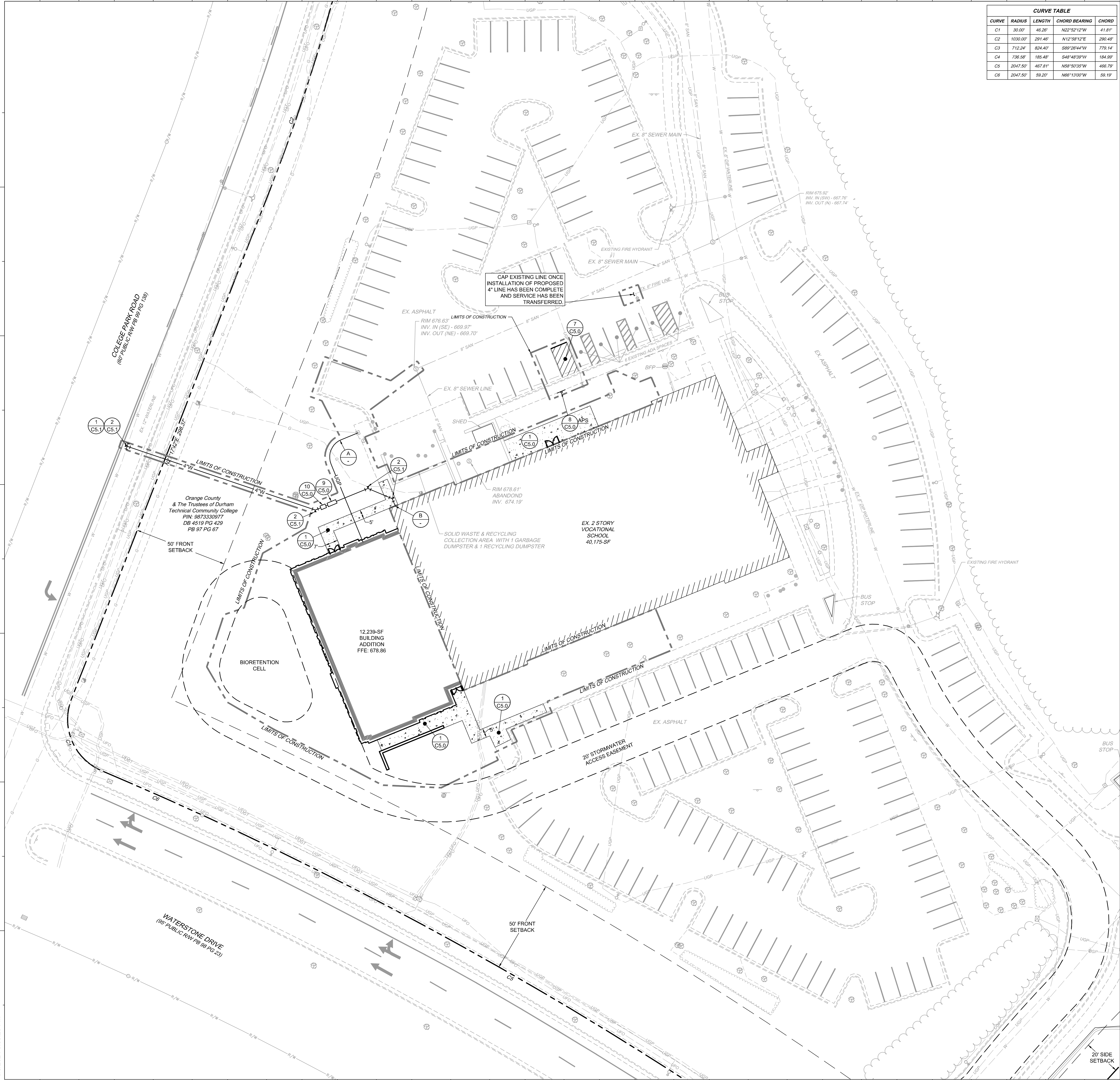
SCO NO. 23-26062-01

SHEET TITLE  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER

C1.0





CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
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C5	2047.50'	467.81'	N58°50'35"W	466.79'
C6	2047.50'	59.20'	N68°13'00"W	59.19'

SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE ORANGE COUNTY, TOWN OF HILLSBOROUGH, NCDOT AND OSHA STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, BUILDING WALL FACE OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- ALL RADII ARE DIMENSIONED FROM FACE OF CURB. IF NOT STATED, RADII DIMENSION IS 5'.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED. ALL PRIVATE UTILITIES SHALL BE LOCATED AS NEEDED BY A PRIVATE UTILITY LOCATE COMPANY EMPLOYED BY THE CONTRACTOR.
- ALL CURB AND GUTTER SHALL BE 30" WIDE UNLESS NOTED OTHERWISE.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER PROJECT DETAILS AND NCDOT STANDARDS AND SPECIFICATIONS.
- RAISE ALL STRUCTURES AT NO ADDITIONAL COST TO THE OWNER SO THAT THE TOP OF THE STRUCTURE EQUALS THE FINISH GRADE OF THE NEW ASPHALT. STORM INLETS SHALL BE AN EXCEPTION.
- COORDINATE THE PROJECT SCHEDULE WITH THE CIVIL ENGINEER AND OWNER IN ACCORDANCE WITH THE OWNER'S ONGOING ON-SITE OPERATIONS. ANY UTILITY INTERRUPTIONS SHALL BE COORDINATED WITH THE OWNER AT LEAST 72 HOURS PRIOR TO THE INTERRUPTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN NEW ASPHALT AND EXISTING ASPHALT SURFACES.
- ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 (5.0%) SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 (2.0%) SLOPE FOR THE WIDTH OF THE SIDEWALK. NOTIFY ENGINEER IF THIS CANNOT BE ACHIEVED.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISH GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).

KEYNOTES

- 1 CS.0 STANDARD DUTY CONCRETE
- 7 CS.0 ACCESSIBLE PARKING LAYOUT
- 8 CS.0 ACCESSIBLE PARKING SIGN
- 9 CS.0 4" RPZ BACKFLOW PREVENTER (DOMESTIC SERVICE)
- 10 CS.0 4" WATER METER
- 1 CS.1 TAPPING SLEEVE WITH GATE VALVE
- 2 CS.1 THRUST BLOCK
- A UNDERGROUND ELECTRICAL (SEE ELECTRICAL DRAWINGS)
- B TIE TO EXISTING BUILDING

SITE DATA TABLE

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RIVER BASIN:	CATES CREEK (NEUSE)
SURFACE WATER CLASSIFICATION:	LOWER ENO UNPROTECTED
PARKING REQUIREMENTS:	EXISTING DTCC PARKING: 197 SPACES (6 ADA) EXISTING PARK AND RIDE PARKING: 124 SPACES (5 ADA) REQUIRED PARKING SPACES: 1 SPACES / 200-SF: 52,414-SF / 200-SF X 1 SPACE = 262 SPACES PROVIDED DTCC PARKING SPACES: 282 SPACES (7 ADA) PROVIDED PARK AND RIDE PARKING: 59 SPACES (5 ADA) ADA SPACES REQUIRED: 7 SPACES (FOR DTCC)
EXISTING IMPERVIOUS:	4.18 AC
NEW IMPERVIOUS:	0.10 AC
TOTAL POST DEVELOPMENT IMPERVIOUS:	4.28 AC

ORANGE COUNTY SOLID WASTE CONSTRUCTION WASTE REQUIREMENTS:

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

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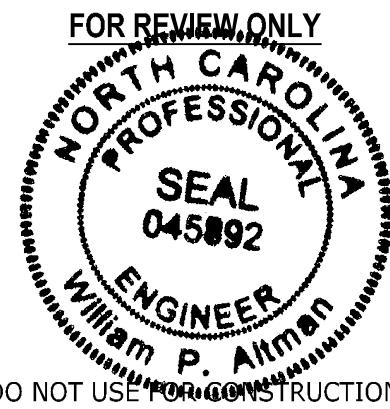
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SHEET ISSUE

NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	06.10.24
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9	50% CD SUBMITTAL - SCO	03.31.25
10	5TH SUP SUBMITTAL	04.11.25
11	100% CONSTRUCTION DOC	04.11.25

SCO NO. 23-26062-01

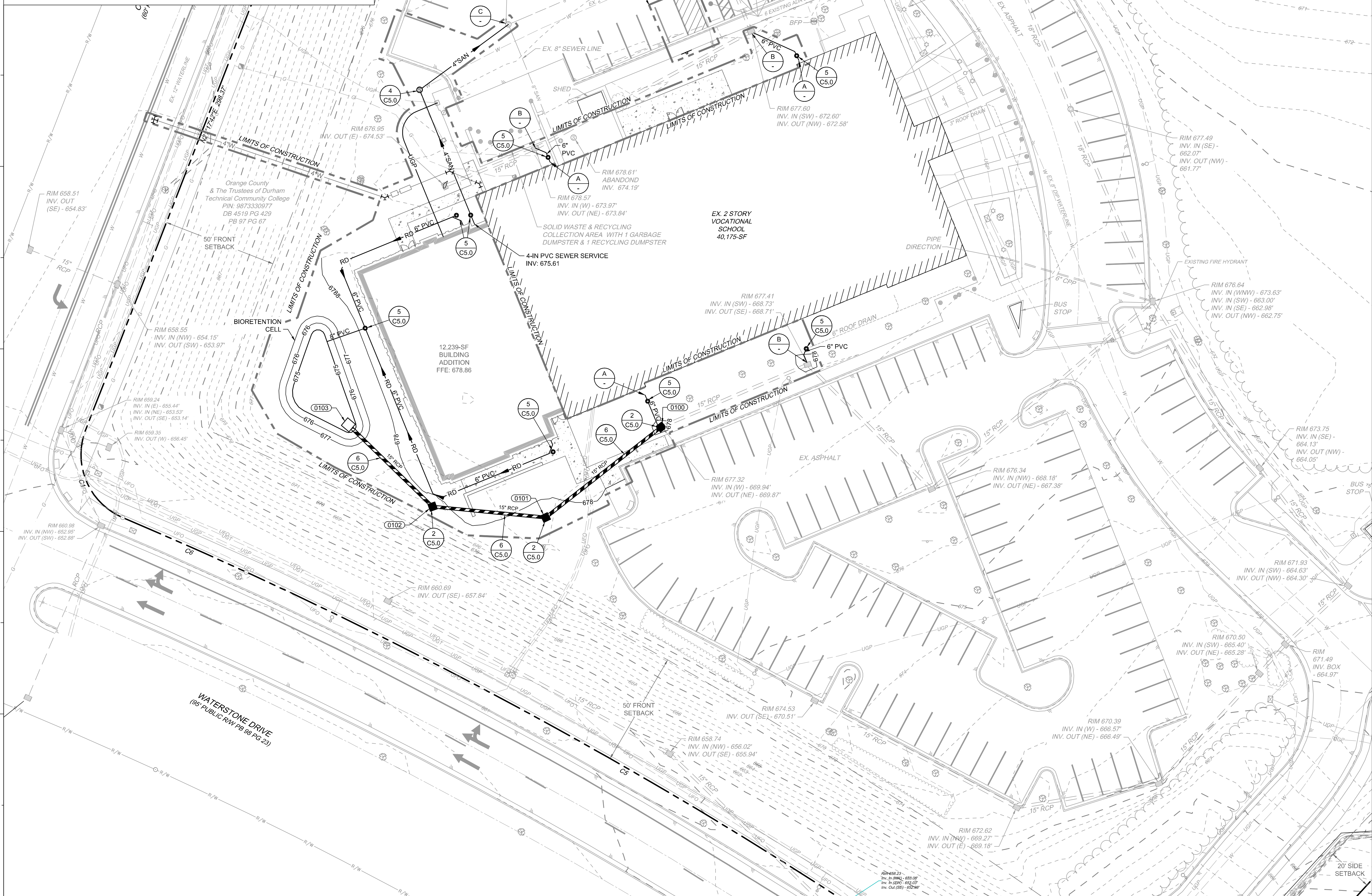
SHEET TITLE

SITE & UTILITY  
PLAN









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
















C2.0





<b><i>CURVE</i></b>	<b><i>RADIUS</i></b>	<b><i>LENGTH</i></b>	<b><i>CHORD BEARING</i></b>	<b><i>CHORD</i></b>
C1	30.00'	46.26'	N22°52'12"W	41.81'
C2	1030.00'	291.46'	S15°58'12"E	290.48'
C3	712.24'	824.40'	S89°26'44"W	779.14'
C4	736.58'	185.48'	S48°46'39"W	184.99'
C5	2047.50'	467.81'	N58°50'35"W	466.79'
C6	2047.50'	59.20'	N68°13'00"W	59.19'

- | KEY NOTES   |  |
|---|--|
|    | CONCRETE DROP INLET                      |
|    | YARD INLET                               |
|    | SEWER MANHOLE                            |
|   | STANDARD CLEANOUT                        |
|  | STORM SEWER TRENCHES                     |
|  | CONNECT TO EXISTING INTERNAL ROOF DRAIN  |
|  | CONNECT TO EXISTING STORM STRUCTURE      |
|  | CORE DRILL AND BOOT INTO EXISTING MANHOL |

LEGEND	
FENCE	_____X_____X_____
GAS LINE	_____G_____G_____
POWER LINE	_____UGP_____UGP_____
TELEPHONE LINE	_____UGT_____UGT_____
WATER LINE	_____W_____W_____
SANITARY SEWER LINE	_____SAN_____SAN_____
CABLE TV LINE	_____UCATV_____UCATV_____
FIBER OPTIC LINE	_____UFO_____UFO_____
POC STORM PIPE	
HOPE STORM PIPE	
CONSTRUCTION LIMITS	
LIGHT POLE	 LP  LP
SITE BOLLARD	 
UTILITY POLE	 PP  PP
SANITARY SEWER MANHOLE	 MH  MH
STORM SEWER MANHOLE	 MH  MH
CLEANOUT (SANITARY OR STORM)	 CO  CO
DROP INLET	 DI  DI
FIRE HYDRANT	 FH  FH
WATER VALVE	 WV  WV
TELECOM BOX	 
DRAINAGE STRUCTURE ID:	 (A1)

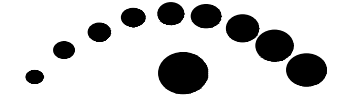


# Durham Tech - Orange County Campus - Expansion

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11	100% CONSTRUCTION DOC	04.11.25

SCO NO. 23-26062-01

SHEET TITLE

# GRADING & DRAINAGE PLAN

SHEET NUMBER

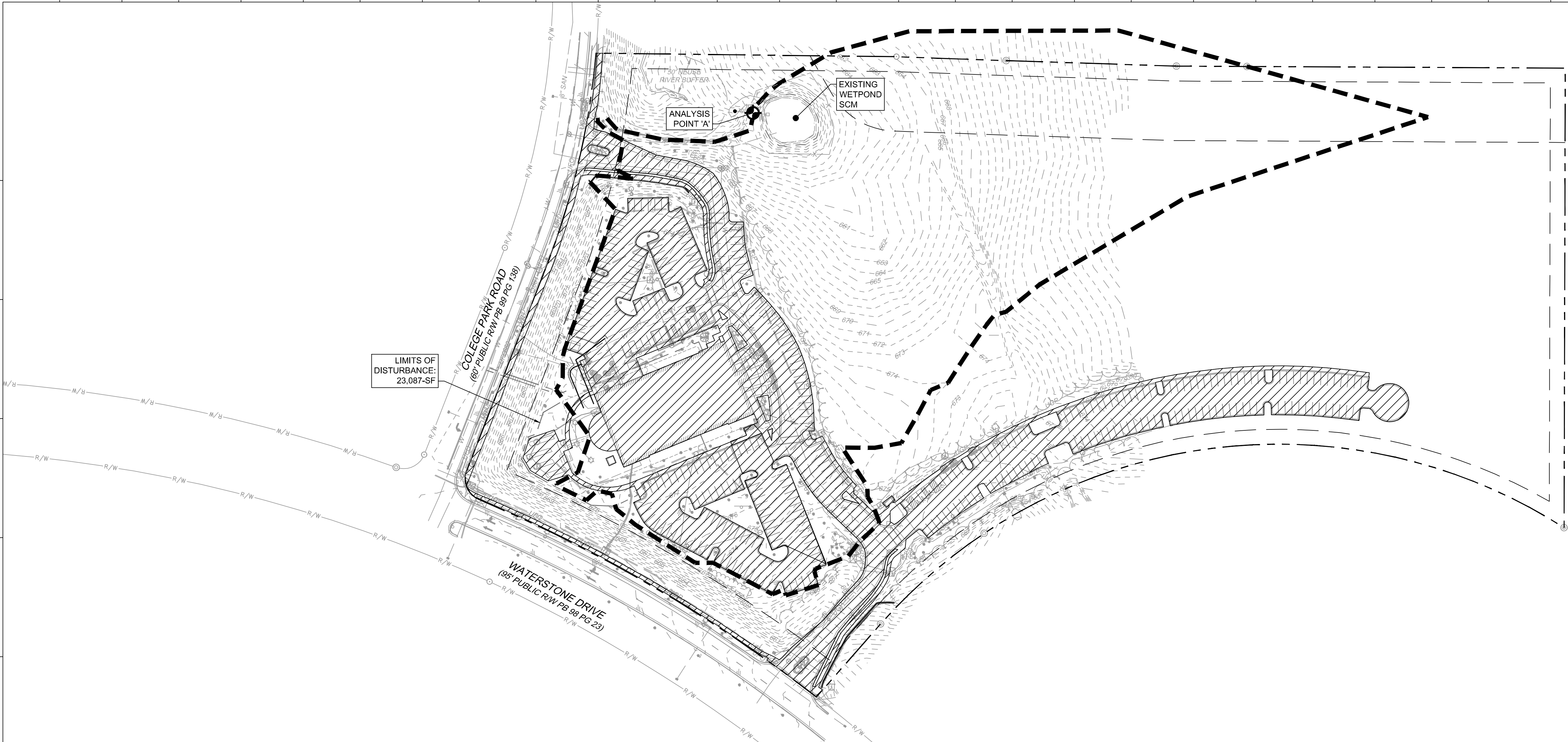
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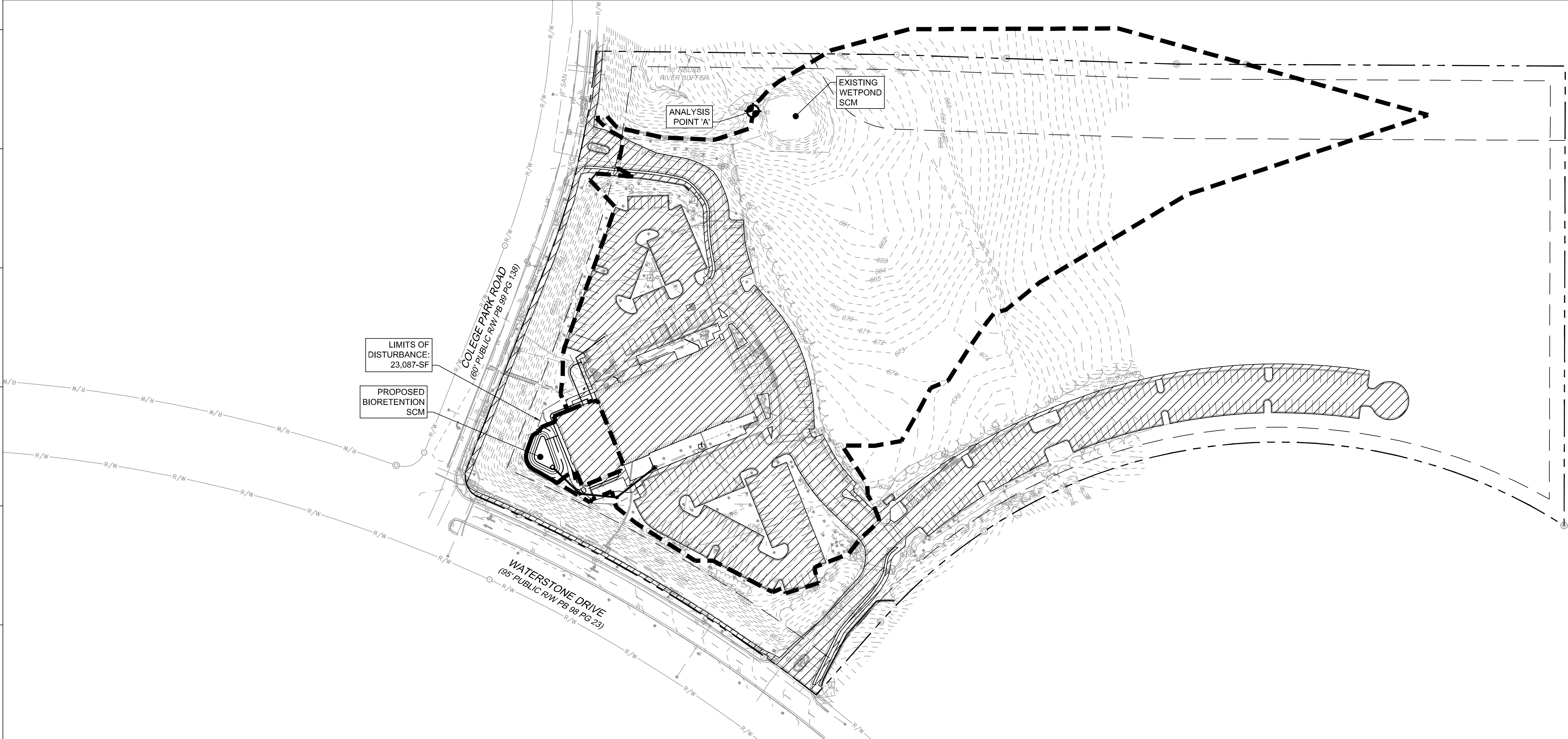




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PRE-DEVELOPMENT IMPERVIOUS ANALYSIS MAP



POST-DEVELOPMENT IMPERVIOUS ANALYSIS MAP

LANDUSE SUMMARY			
LEGEND	LANDUSE	EXISTING AREA (SF)	PROPOSED AREA (SF)
	IMPERVIOUS	181,983	184,597
	PERVIOUSWOODED	688,731	686,117
	DRAINAGE AREA BOUNDARY		

STORMWATER QUALITY CALCULATIONS:

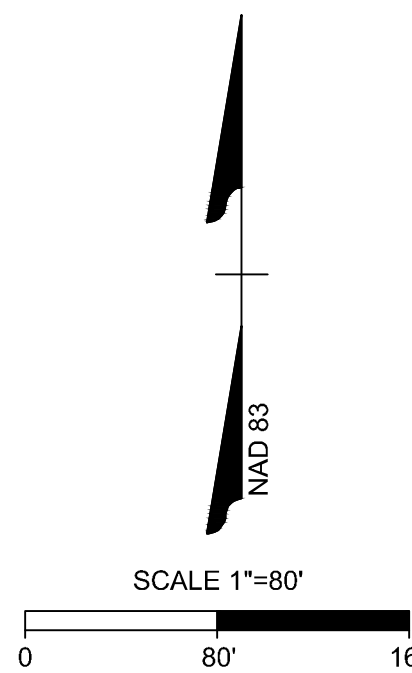
PRE-DEVELOPMENT ON-SITE IMPERVIOUS SURFACES: 181,983-SF

POST-DEVELOPMENT ON-SITE IMPERVIOUS SURFACES: 184,597-SF

IMPERVIOUS AREA REQUIRED TO BE TREATED: 2,614-SF

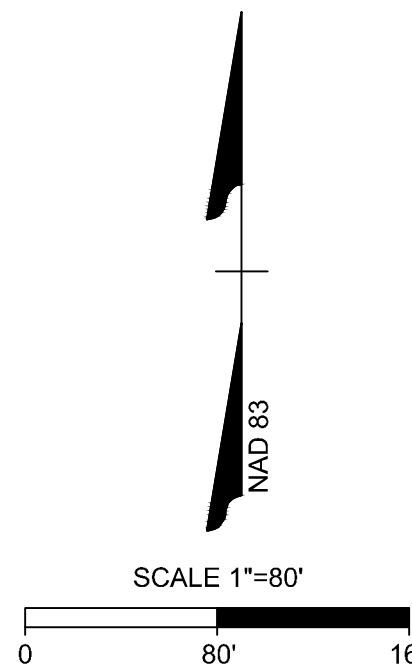
IMPERVIOUS AREA TREATED BY BIORETENTION SCM: 6,239-SF

STORM WATER QUANTITY CALCULATIONS						
ANALYSIS POINT	DRAINAGE AREA (ac)	IMPERVIOUS AREA (ac)	CURVE NUMBER	Q1	Q10	Q25
A	9.59	2.65	71	0.93	22.83	29.25



STORM WATER QUANTITY CALCULATIONS						
	DRAINAGE AREA (AC)	CURVE NUMBER	FLOW TYPE	Q1	Q10	Q25
ANALYSIS POINT A	9.70	71	TOTAL	0.89	22.68	28.94
EX WETPOND	9.48	71	MANAGED	0.89	22.68	28.94
BIO	0.22	91	MANAGED	0.04	1.39	1.66

OVERALL SUMMARY						
ANALYSIS POINT	Q1 (PRE)	Q1 (POST)	Q10 (PRE)	Q10 (POST)	Q25 (PRE)	Q25 (POST)
A	0.93	0.89	22.83	22.68	29.25	28.94



GENERAL NOTES:

- ALL PERMANENT SLOPES, INCLUDING SCM SIDE SLOPES, WILL BE CONSTRUCTED NO STEEPER THAN 3:1.

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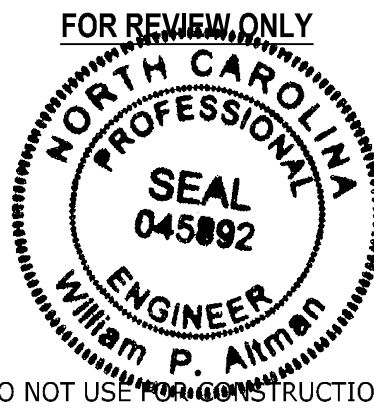
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11	100% CONSTRUCTION DOC	04.11.25

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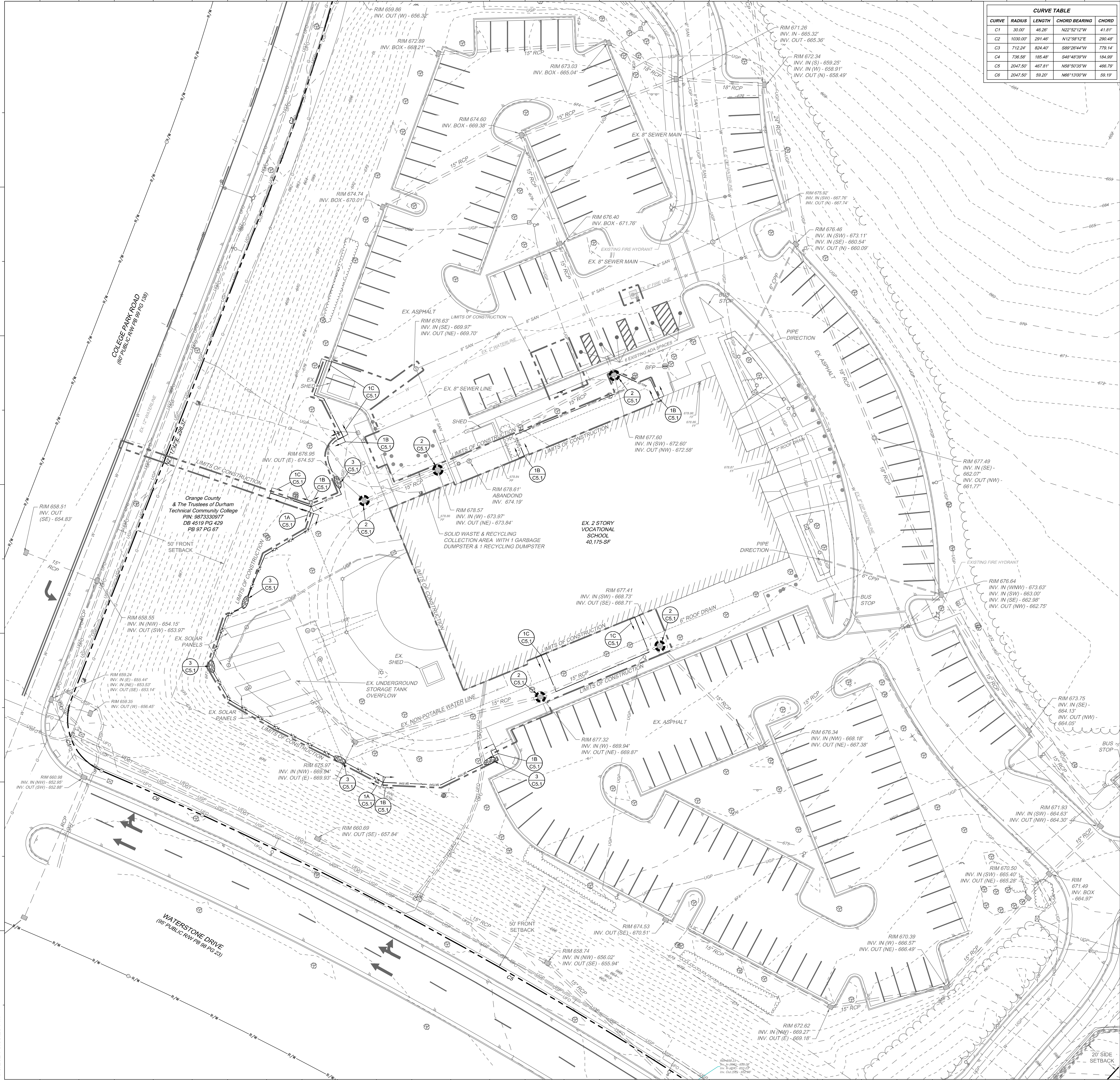
SHEET TITLE

**STORMWATER  
COMPLIANCE  
PLAN**

SHEET NUMBER

**C3.2**





CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	30.00'	46.26'	N22°52'12\"W	41.81'
C2	1030.00'	291.46'	N12°59'12\"E	290.48'
C3	712.24'	824.40'	S89°26'44\"V	779.14'
C4	736.58'	165.48'	S48°48'39\"V	184.99'
C5	2047.50'	467.81'	N58°50'35\"V	466.79'
C6	2047.50'	59.20'	N68°13'00\"W	59.19'

- GENERAL NOTES
1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. ALL OFF-SITE SOIL BORROW AND WASTE SITES SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITIES.
  2. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ENGINEER.
  3. ALL OPEN STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER WORK STOPPAGE EACH DAY.
  4. ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE DRAINAGE SYSTEM.
  5. THE INDICATED STAGING AREA IS INTENDED FOR VEHICLES AND NON-ERODIBLE MATERIALS ONLY. NO SOIL, SAND OR OTHER ERODIBLE, FINE GRAINED MATERIAL SHALL BE STORED OUTSIDE OF THE LIMITS OF THE SITE PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES.
  6. SOIL AND OTHER MATERIALS SHALL ONLY BE TEMPORARILY STOCKPILED WITHIN THE CONSTRUCTION LIMITS PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES.
  7. TREE PROTECTION INSPECTION SHALL BE COMPLETED PRIOR TO INSTALLING EROSION CONTROL DEVICES.
  8. ALL APPLICABLE E&S CONTROL MEASURES ARE TO BE PROPERLY MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
  9. PERMANENT GROUND COVER SHALL BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR NO MORE THAN 90 CALENDAR DAYS (WHICHEVER IS SHORTER).
  10. TOTAL DISTURBED AREA: 0.54 AC.

KEYNOTES	
1A C5.1	TEMPORARY SILT FENCE
1B C5.1	TEMPORARY COMBINATION TREE PROTECTION & SILT FENCE
1C C5.1	TEMPORARY TREE PROTECTION FENCE
2 C5.1	SILT BAG INLET PROTECTION
3 C5.1	REINFORCED SILT FENCE OUTLET
4 C5.1	EXCAVATED DROP INLET PROTECTION
5 C5.1	WIRE CLOTH & GRAVEL INLET PROTECTION

- CONSTRUCTION SEQUENCE - PHASE I
1. SCHEDULE AND CONDUCT A PRE-CONSTRUCTION CONFERENCE WITH THE ARCHITECT AND ENGINEER AND TOWN OF HILLSBOROUGH. THE PRE-CONSTRUCTION MEETING WILL BE SCHEDULED BY TOWN STAFF. A TOWN ZONING COMPLIANCE PERMIT MUST BE OBTAINED AND ON FILE AT THE JOB SITE.
  2. INSTALL PERIMETER SILT AND TREE PROTECTION FENCE, REINFORCED SILT FENCE OUTLETS AND SILT BAG INLET PROTECTION.
  3. CALL TOM KING WITH THE TOWN OF HILLSBOROUGH AT (919) 296-9475 AND THE ENGINEER TO ARRANGE AN INSPECTION OF INSTALLED EROSION CONTROL DEVICES. (NOTE: DEMOLITION, GRADING, AND ANY OTHER CONSTRUCTION WORK SHALL NOT OCCUR UNTIL THE EROSION CONTROL FEATURES ARE INSTALLED AND APPROVED BY THE TOWN OF HILLSBOROUGH'S PLANNING AND ECONOMIC DEVELOPMENT DIVISION INSPECTOR.)
  4. PROCEED WITH DEMOLITION, GRADING, AND SITE WORK AS SHOWN ON PLANS.
  5. MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION. REMOVE AND STABILIZE CONSTRUCTION LAY DOWN, STAGING, DIRT & WASTE PILE AREAS. ALL APPLICABLE E&S CONTROL MEASURES ARE TO REMAIN UNTIL PERMANENT VEGETATION IS ESTABLISHED.
  6. ONCE THE SITE IS READY TO MOVE FORWARD WITH SITE PAVING, STABILIZE THE SITE AND PROCEED TO PHASE II EROSION CONTROL.

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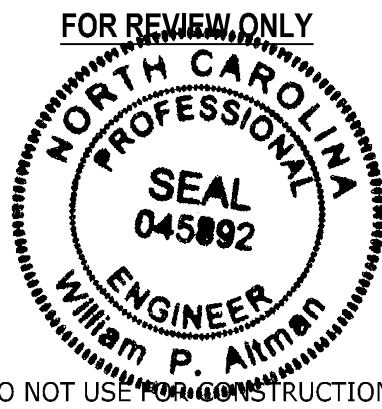
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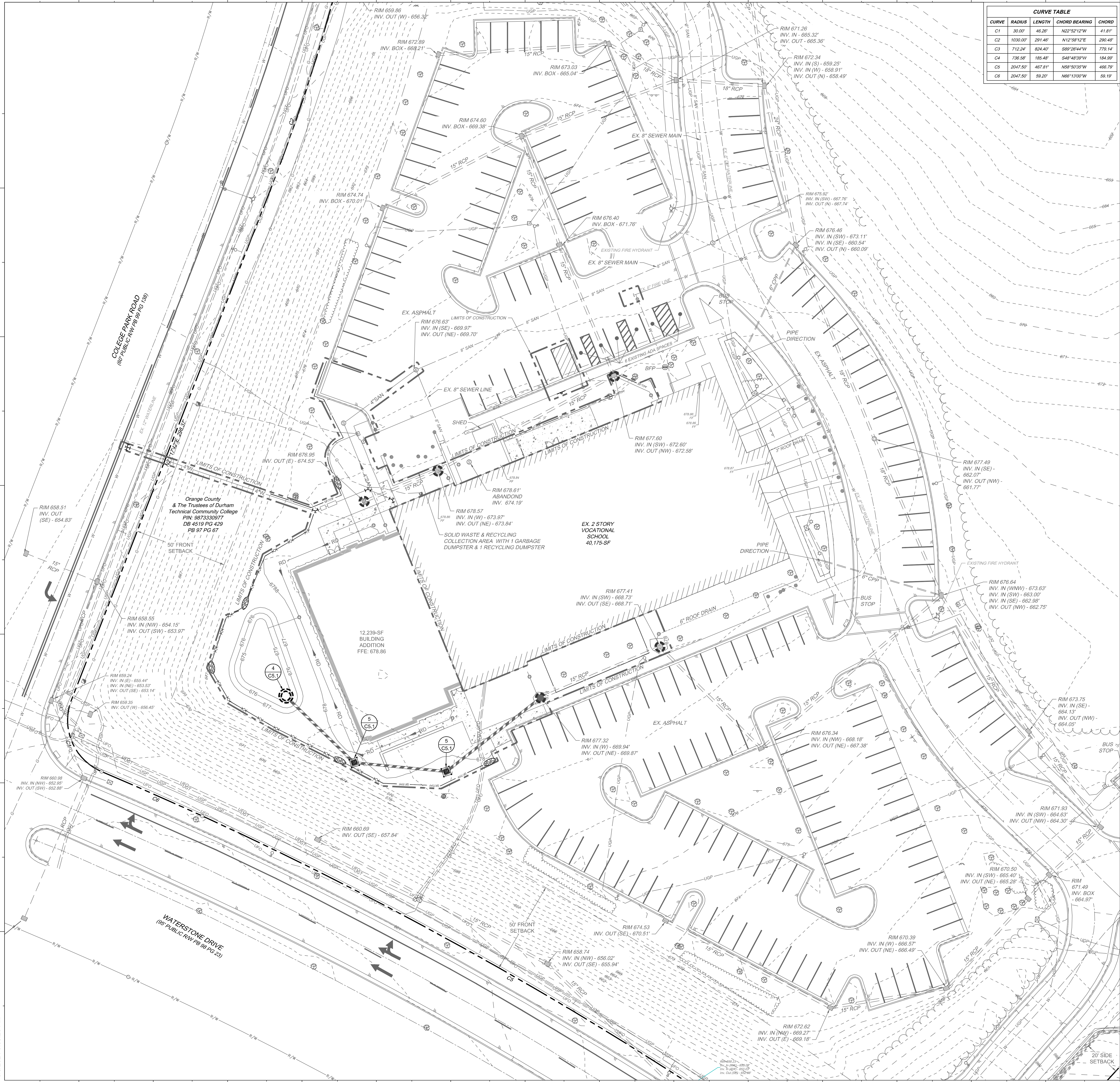
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11	100% CONSTRUCTION DOC	04.11.25

SCO NO. 23-26062-01

SHEET TITLE  
**EROSION &  
SEDIMENTATION  
CONTROL PLAN -  
PHASE I**

SHEET NUMBER  
**C4.0**





CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	30.00'	46.26'	N22°52'12"W	41.81'
C2	1030.00'	291.48'	N12°59'12"E	290.48'
C3	712.24'	804.40'	S89°26'44"W	779.14'
C4	736.58'	185.48'	S48°48'39"W	184.99'
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C6	2047.50'	59.20'	N86°13'00"W	59.19'

- GENERAL NOTES
1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. ALL OFF-SITE SOIL BORROW AND WASTE SITES SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITIES.
  2. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ENGINEER.
  3. ALL OPEN STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER WORK STOPPAGE EACH DAY.
  4. ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE DRAINAGE SYSTEM.
  5. THE INDICATED STAGING AREA IS INTENDED FOR VEHICLES AND NON-ERODIBLE MATERIALS ONLY. NO SOIL, SAND OR OTHER ERODIBLE, FINE GRAINED MATERIAL SHALL BE STORED OUTSIDE OF THE LIMITS OF THE SITE PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES.
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  8. ALL APPLICABLE E&S CONTROL MEASURES ARE TO BE PROPERLY MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
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KEYNOTES

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1B C5.1	TEMPORARY COMBINATION TREE PROTECTION & SILT FENCE	
1C C5.1	TEMPORARY TREE PROTECTION FENCE	
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3 C5.1	REINFORCED SILT FENCE OUTLET	
4 C5.1	EXCAVATED DROP INLET PROTECTION	
5 C5.1	WIRE CLOTH & GRAVEL INLET PROTECTION	

- CONSTRUCTION SEQUENCE - PHASE II
1. MAINTAIN ALL EXISTING EROSION & SEDIMENT CONTROL MEASURES PREVIOUSLY CONSTRUCTED AND ASSOCIATED WITH PHASE I. ADJUST AS NEEDED.
  2. AS SITE IS PAVED AND BROUGHT UP TO FINAL GRADE, INSTALL REMAINDER OF THE STORM DRAINAGE SYSTEM. INSTALL INLET PROTECTION DEVICES AT NEW STRUCTURES AS THEY ARE CONSTRUCTED.
  3. INSTALL REMAINDER OF PAVING AND SITE FEATURES.
  4. VEGETATE ALL DISTURBED AREAS ACCORDING TO THE NPDES CHART.
  5. WHEN THE SITE IS STABILIZED, CONTACT ORANGE COUNTY AT (919) 245-2575 AND TIMMONS GROUP AT (919) 866-4938 FOR AN INSPECTION. IF APPROVAL IS GRANTED BY ORANGE COUNTY AND TIMMONS GROUP, REMOVE TEMPORARY SILT FENCING AND OTHER TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES.
  7. REMOVE EXCAVATED DROP INLET PROTECTION AND ALL OTHER TEMPORARY EROSION CONTROL MEASURES.
  8. CONVERT THE EXCAVATED DROP INLET PROTECTION TO PERMANENT BIORETENTION BASIN (REFER TO THE PERMANENT BIORETENTION BASIN DETAIL ON SHEET C3.1).
  9. SEED AND RE-SEED ALL BARE AREAS WITH PERMANENT SEEING, MULCH OR LANDSCAPING.

katherine hogan architects

Durham Tech - Orange County Campus - Expansion

525 College Park Rd, Hillsborough, NC 27278

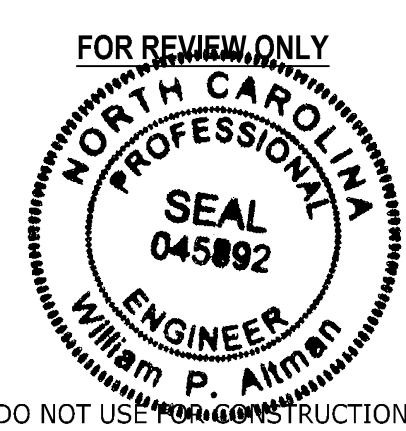
SEAL | DATE Issue Date

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10	5TH SUP SUBMITTAL	04.11.25
11	100% CONSTRUCTION DOC	04.11.25

SCO NO. 23-26062-01

SHEET TITLE  
**EROSION & SEDIMENTATION CONTROL PLAN - PHASE II**

SHEET NUMBER  
**C4.1**



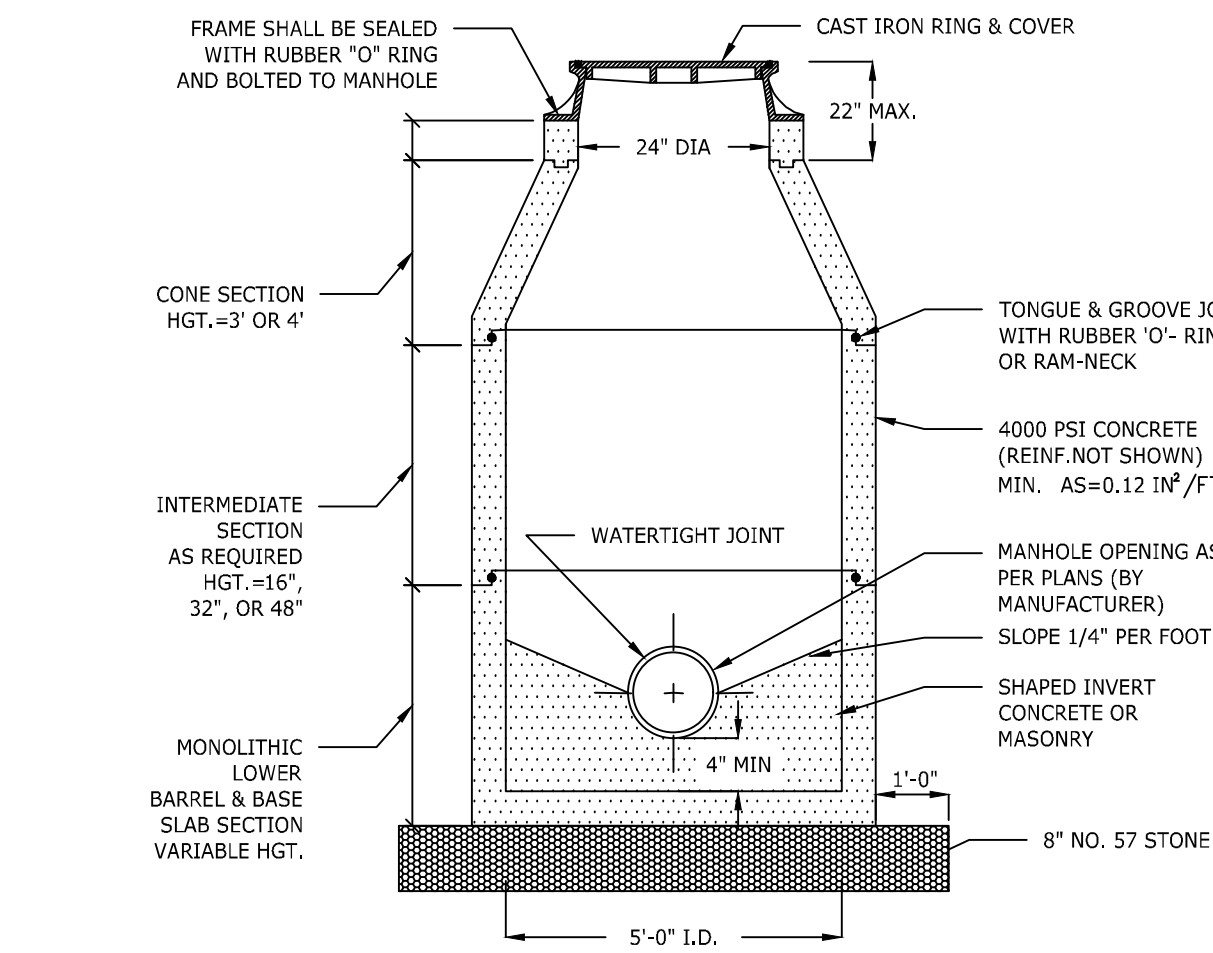
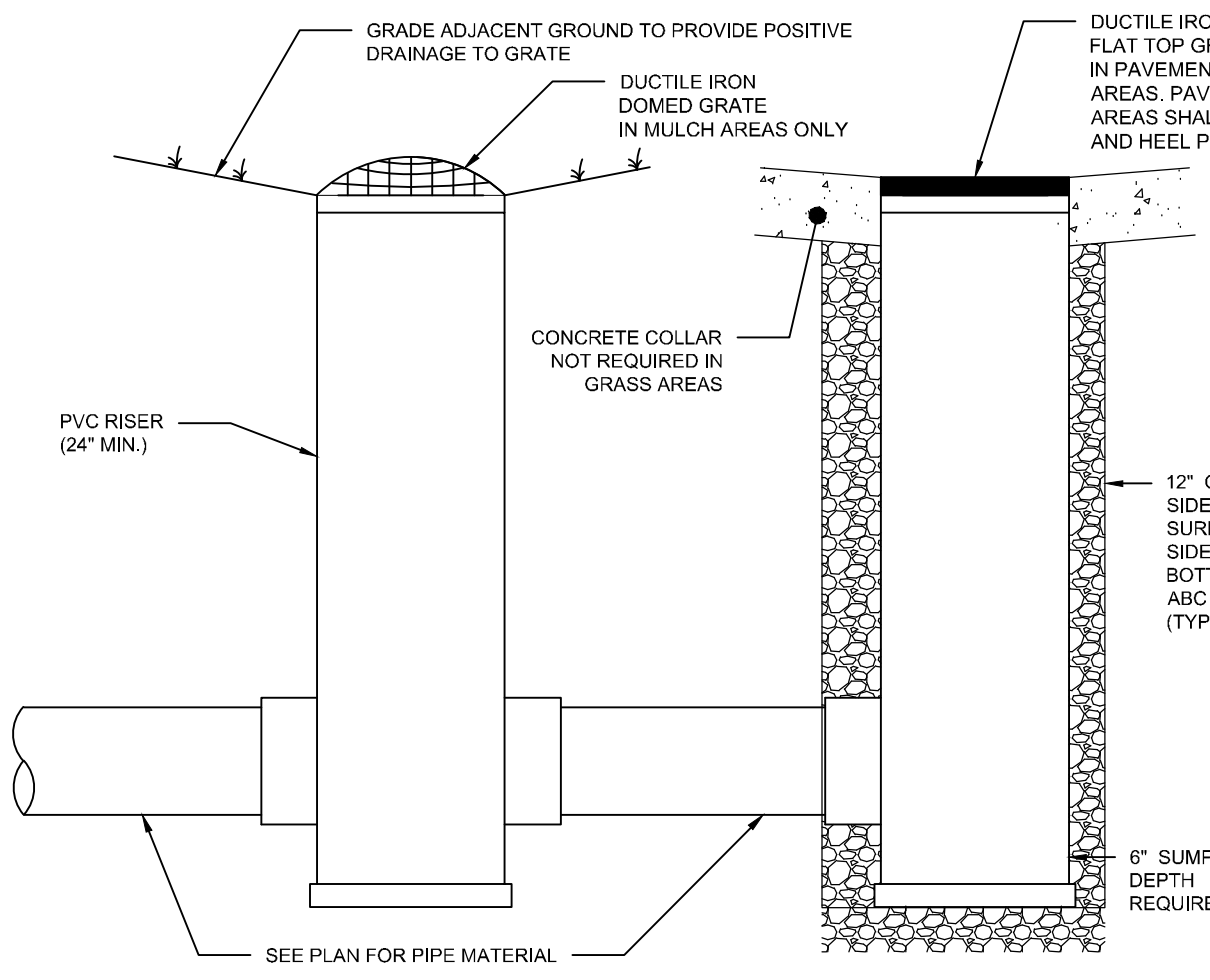
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SHEET TITLE  
**SITE DETAILS**

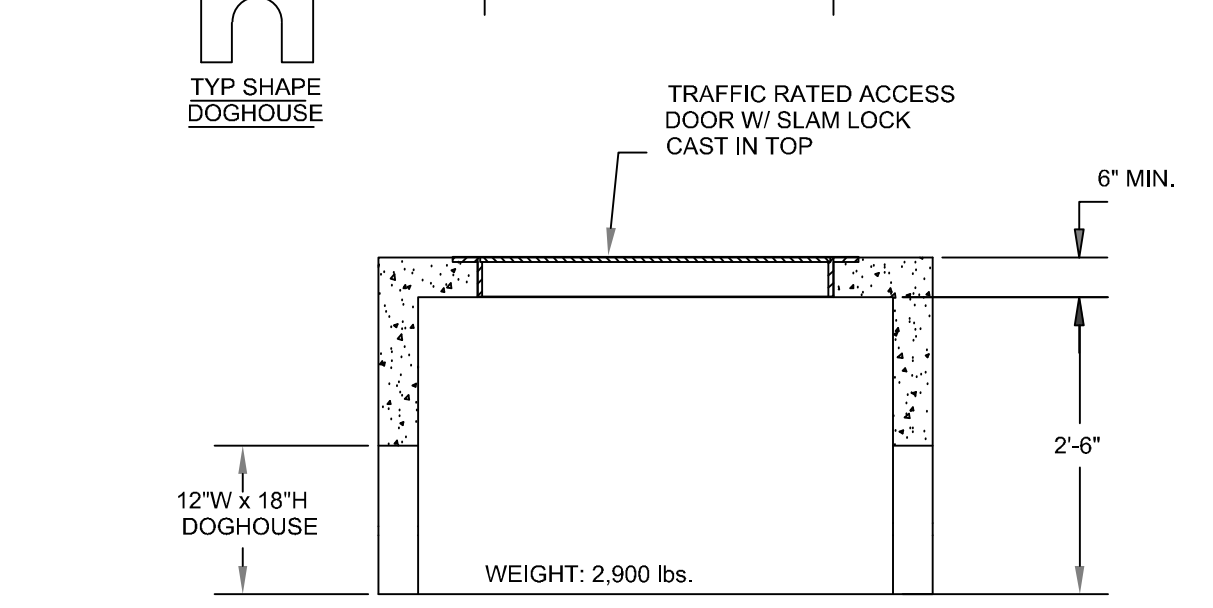
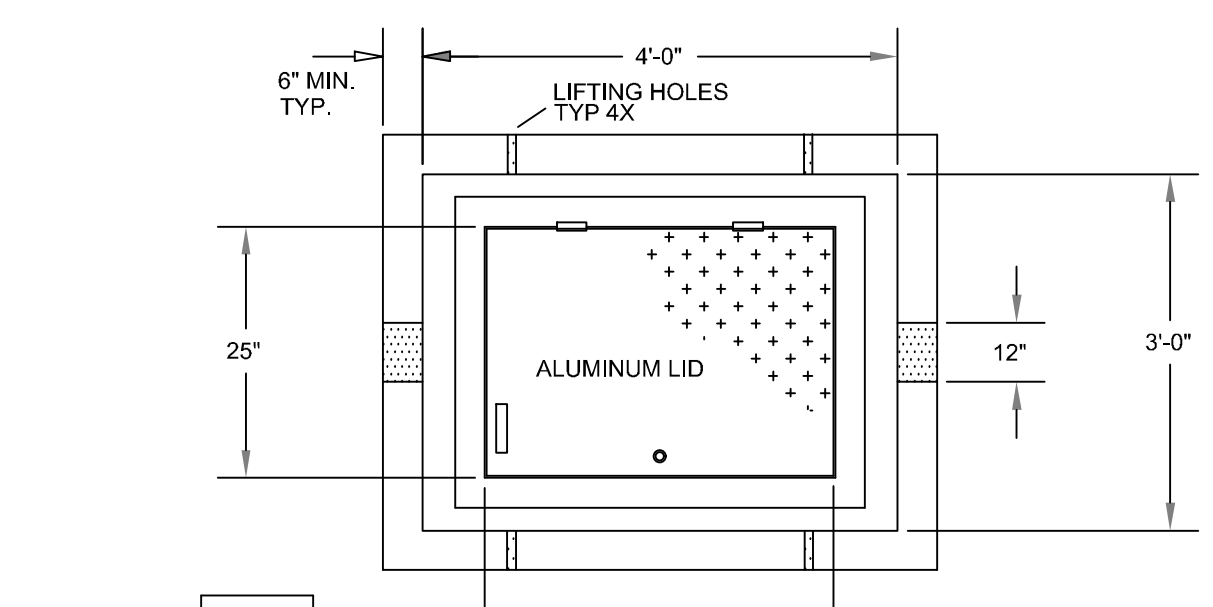
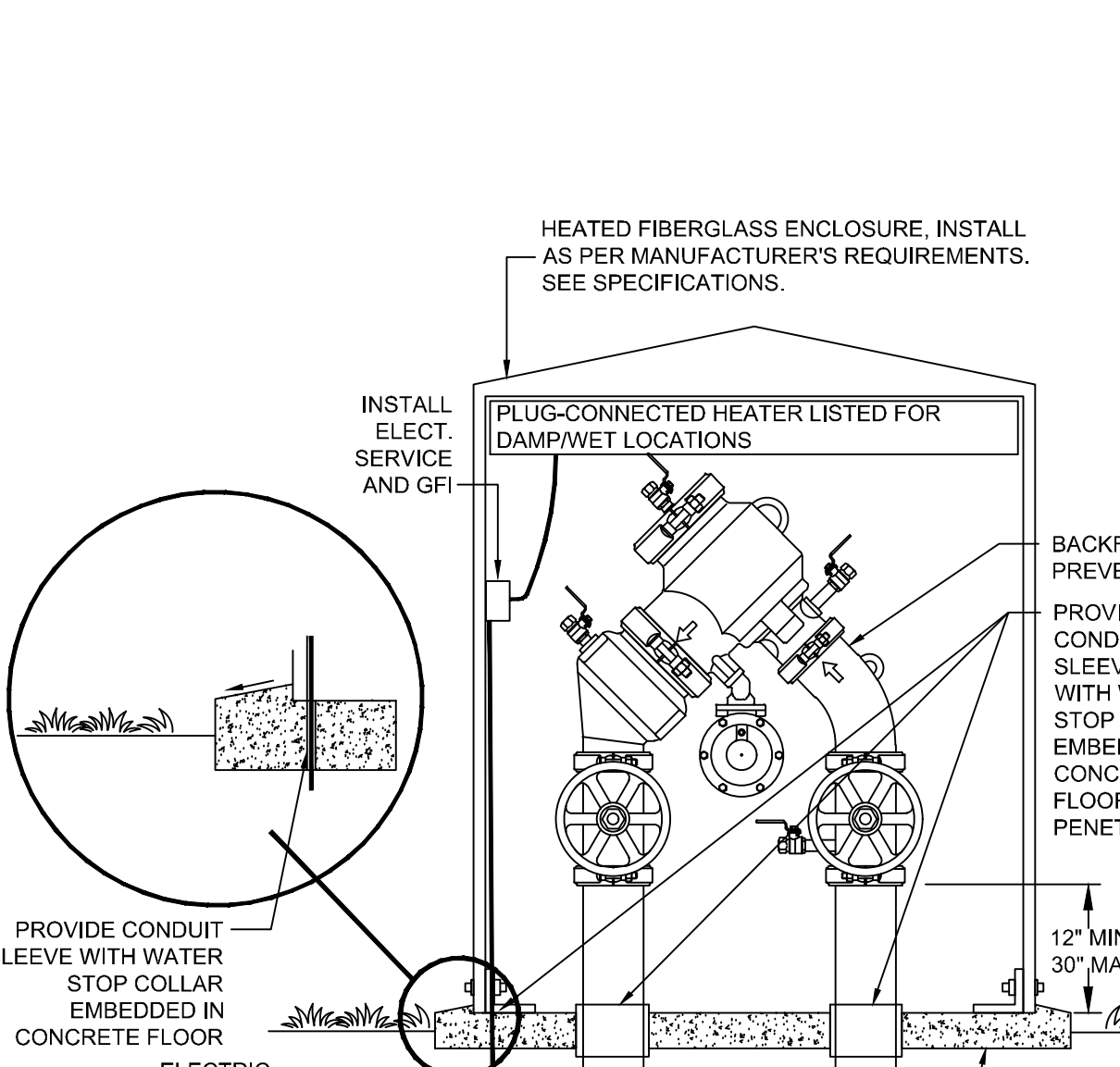
SHEET NUMBER

C5.0



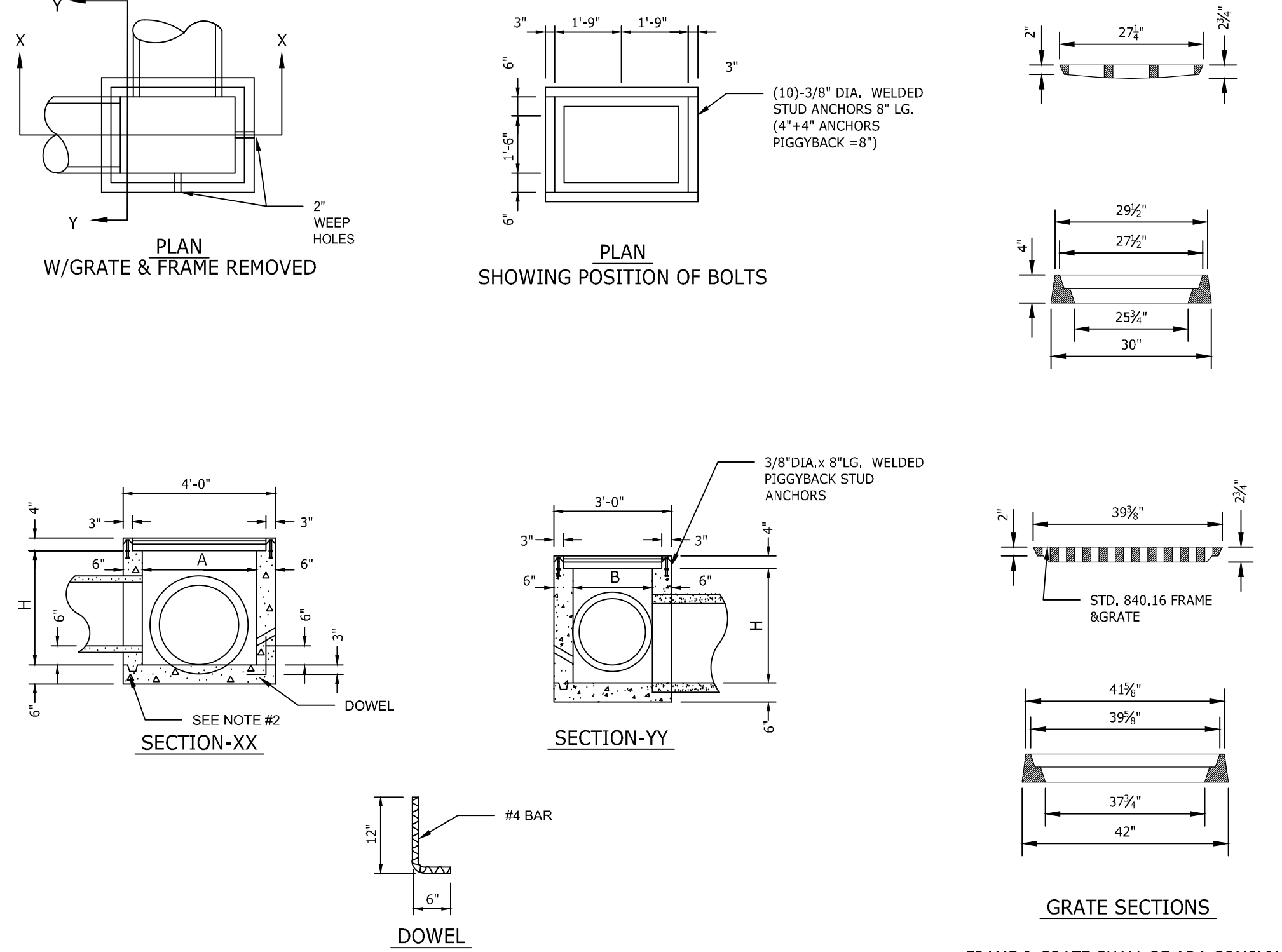
3 YARD INLET N.T.S.

4 STORMWATER MANHOLE N.T.S.



9 4" RPZ BACKFLOW PREVENTER (DOMESTIC SERVICE) N.T.S.

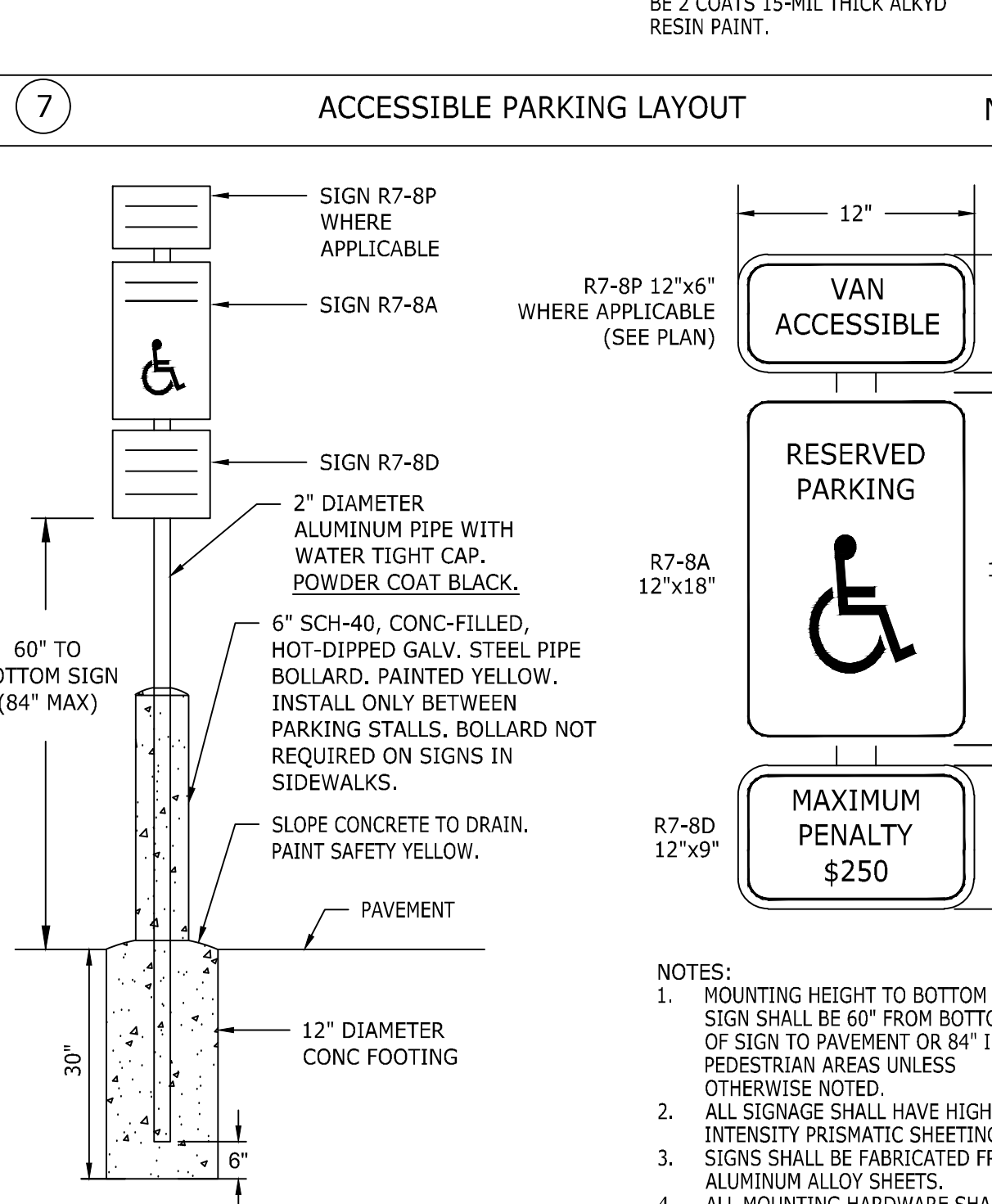
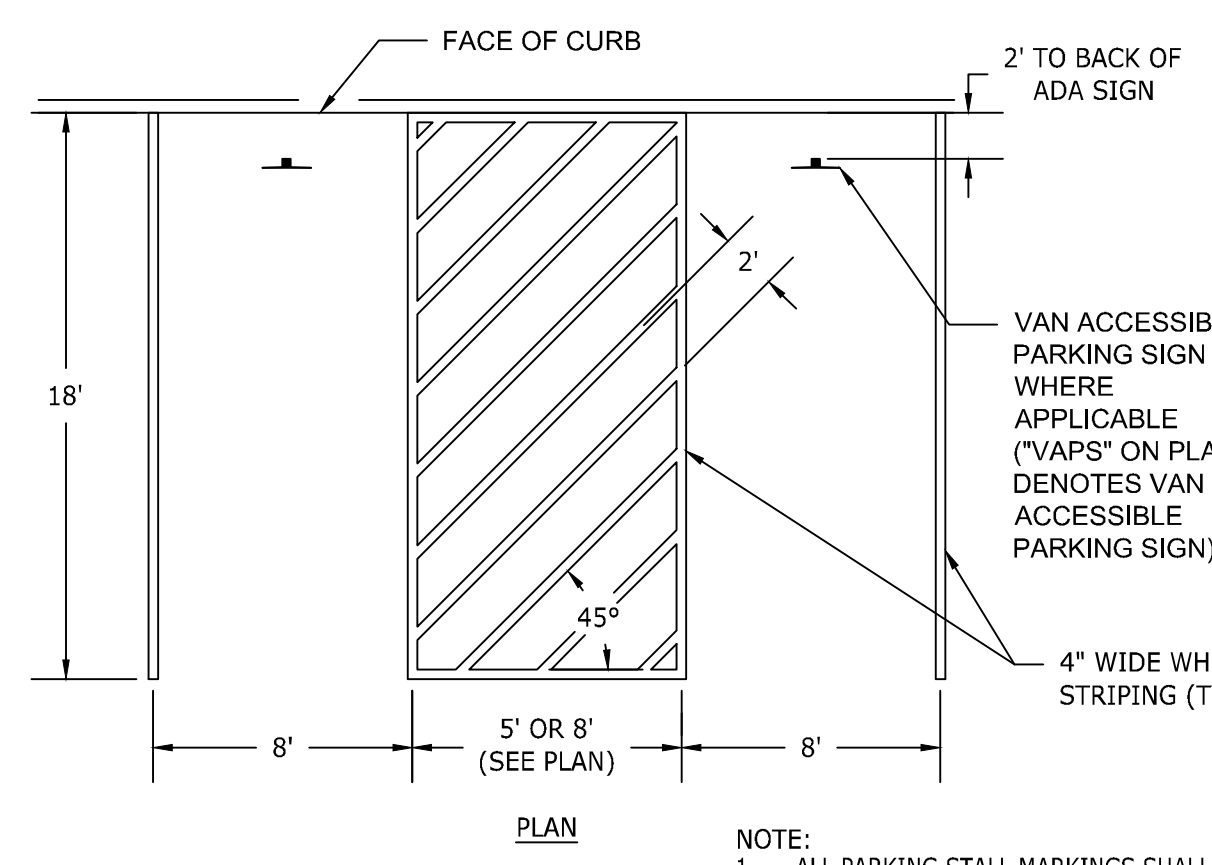
10 4" WATER METER N.T.S.



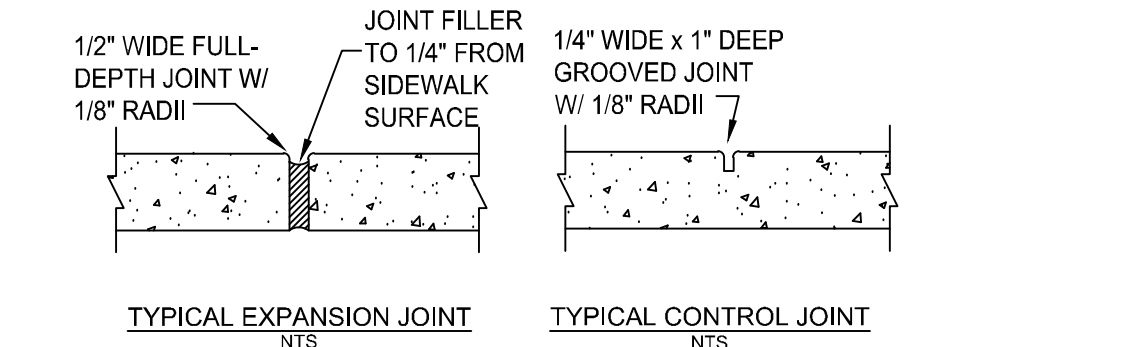
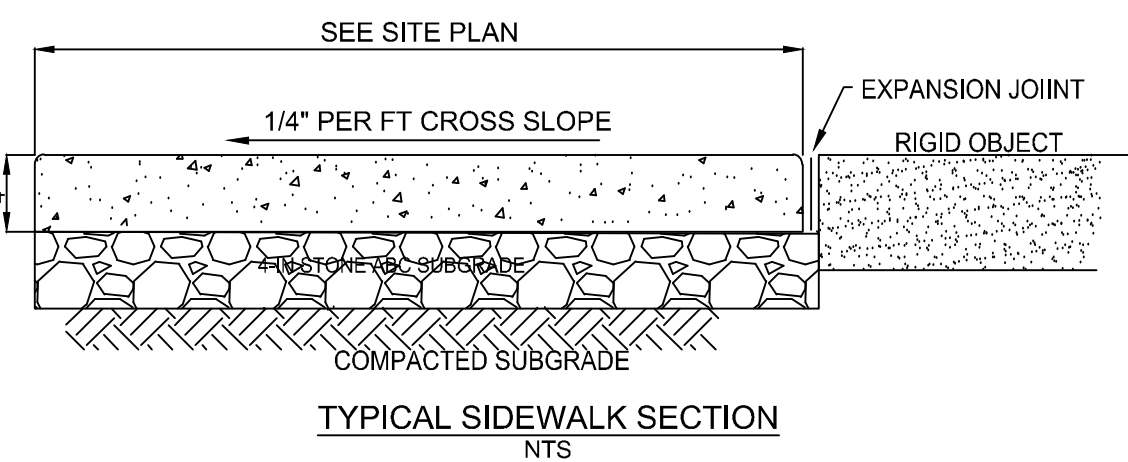
- NOTES:
- 3,000-PSI CONCRETE TO BE USED THROUGHOUT.
  - OPTIONAL CONSTRUCTION - MONOLITHIC POUR, 2" KEYWAY, OR #4 BAR DOWELS AT 12" CENTER, AS DIRECTED BY THE DESIGNER.
  - TWO 2" PIPE WEEP HOLES TO BE PLACED AS DIRECTED BY DESIGNER.
  - FORMS ARE TO BE USED FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
  - IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON NCDOT STANDARD 840.00.
  - A STONE DRAIN CONSISTING OF 3 CUBIC FOOT OF NO. 78M STONE CONTAINED IN A BAG OF POROUS FABRIC SHALL BE PLACED AT EACH WEEP HOLE.
  - ALL DROP INLETS OVER 3'-6" IN DEPTH TO BE PROVIDED WITH STEPS 15" ON CENTERS. STEPS SHALL BE IN ACCORDANCE WITH NCDOT STANDARD 840.66. THE FIRST STEP SHALL BE 24" BELOW RIM OF GRATE.
  - ALL GRATES IN SIDEWALK AREAS SHALL BE ADA COMPLIANT. V-5660-80 BY EAST JORDAN IRON WORKS OR APPROVED EQUAL.
  - INLETS MAY BE CONSTRUCTED OF BLOCK AND MORTAR IN LIEU OF PRE-CAST CONCRETE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR STRUCTURES TALLER THAN 16-FT AND SHORTER THAN 3-FT. PROVIDE ADDITIONAL CONCRETE WALL THICKNESS AND REINFORCEMENT AS REQUIRED BY DESIGN ENGINEER.

2 CONCRETE DROP INLET N.T.S.

7 ACCESSIBLE PARKING LAYOUT N.T.S.

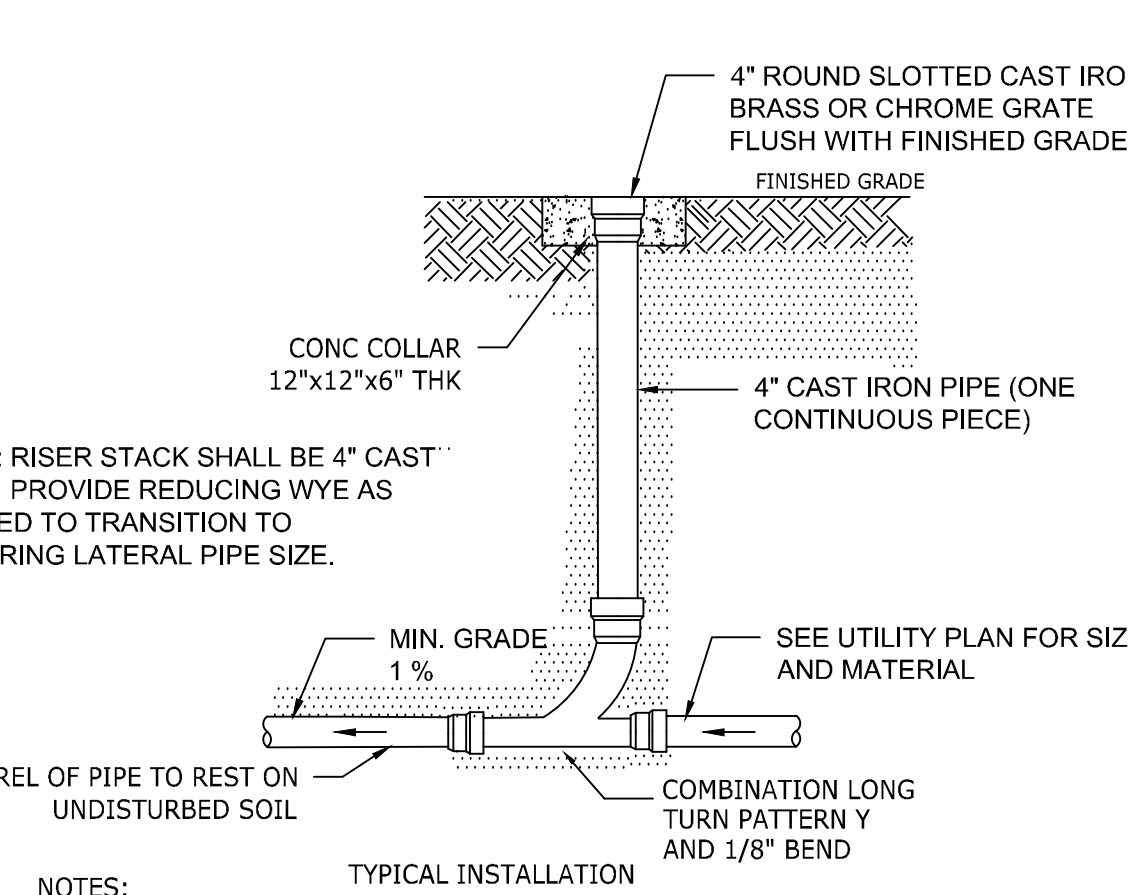
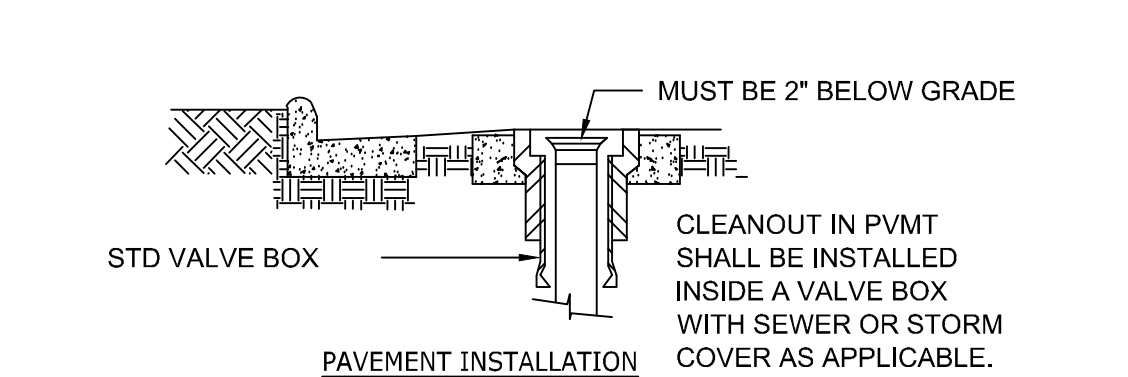
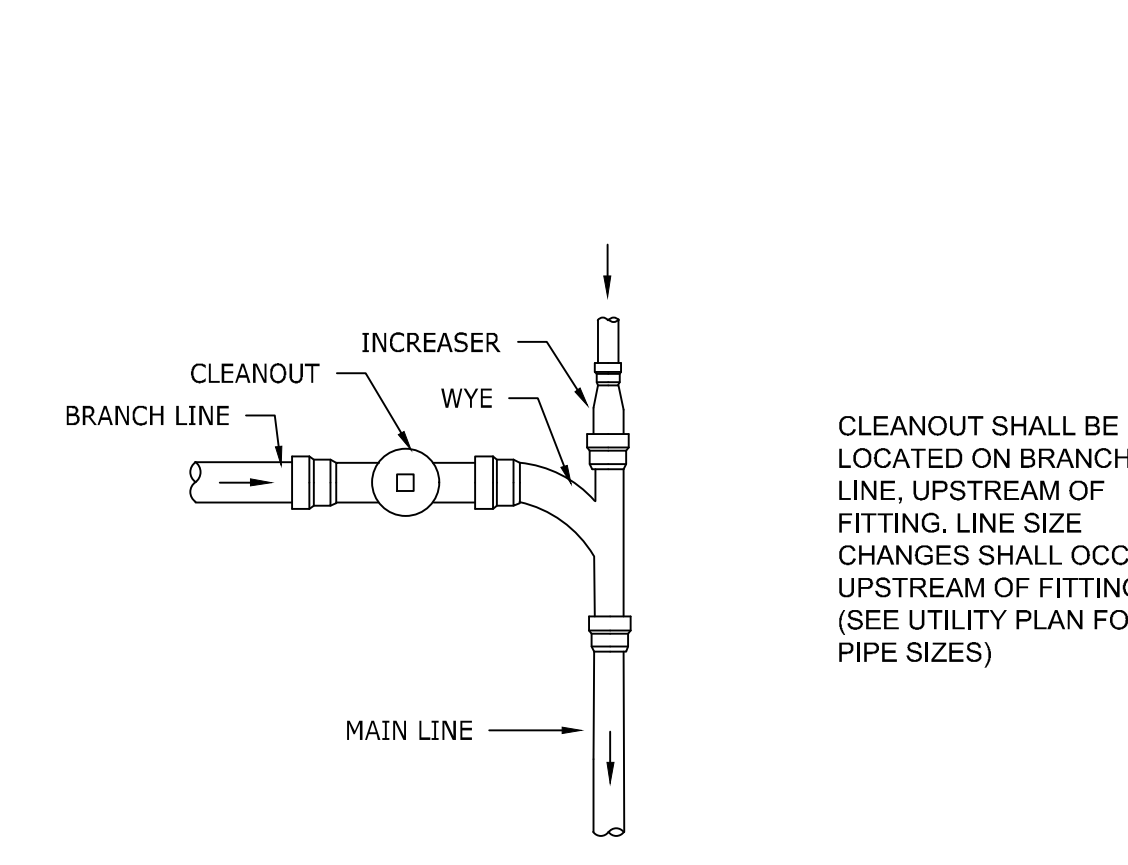


8 ACCESSIBLE PARKING SIGN N.T.S.

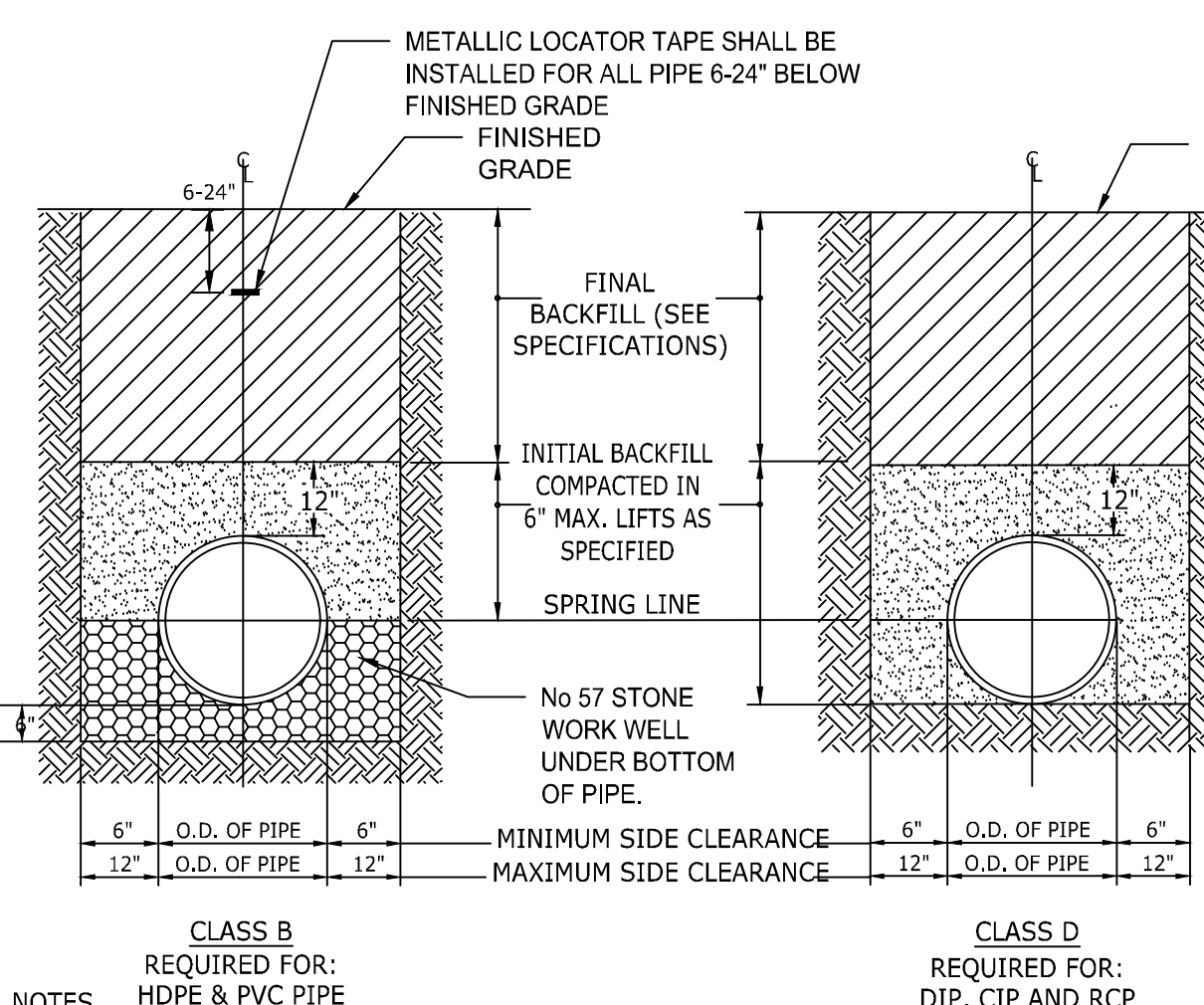


- GENERAL NOTES:
- PROVIDE GROOVE CONTROL JOINT 1-IN DEEP WITH 1/8-IN RADI IN SIDEWALK AT 5' INTERVALS UNLESS INDICATED OTHERWISE.
  - PROVIDE 1/2-IN EXPANSION JOINT AT 50' INTERVALS.
  - PROVIDE 1/2-IN EXPANSION JOINT WHERE THE SIDEWALK ABUTS ANY RIGID STRUCTURE.
  - SEE SPECIFICATIONS FOR ADDITIONAL JOINT SPACING REQUIREMENTS.
  - ALL CONCRETE SHALL BE 3,000 P.S.I. WITH BROOM FINISH.
  - ALL SIDEWALKS SHALL HAVE 2% OR LESS CROSS SLOPE.
  - ALL SIDEWALKS SHALL HAVE 5% OR LESS LONGITUDINAL SLOPE.

1 STANDARD DUTY CONCRETE PAVEMENT N.T.S.



5 STANDARD CLEANOUT N.T.S.



- NOTES:
- FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  - NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  - ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  - BACKFILL SHALL BE TAMPED IN 6" LAYERS.
  - IF ROCK IS ENCOUNTERED AT BOTTOM OF TRENCH, OVER EXCAVATE ROCK A MIN. OF 6"CHS AND BACK FILL WITH NO. 67 STONE TO THE BOTTOM OF PIPE.

6 STORM SEWER TRENCHES N.T.S.



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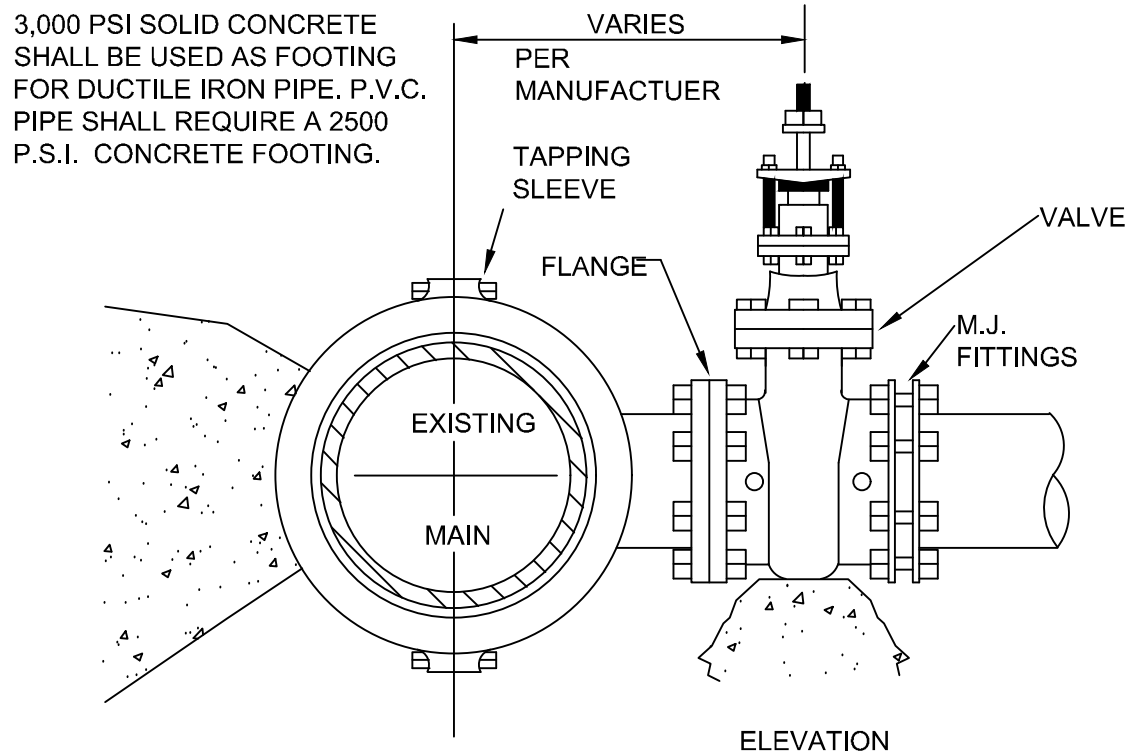
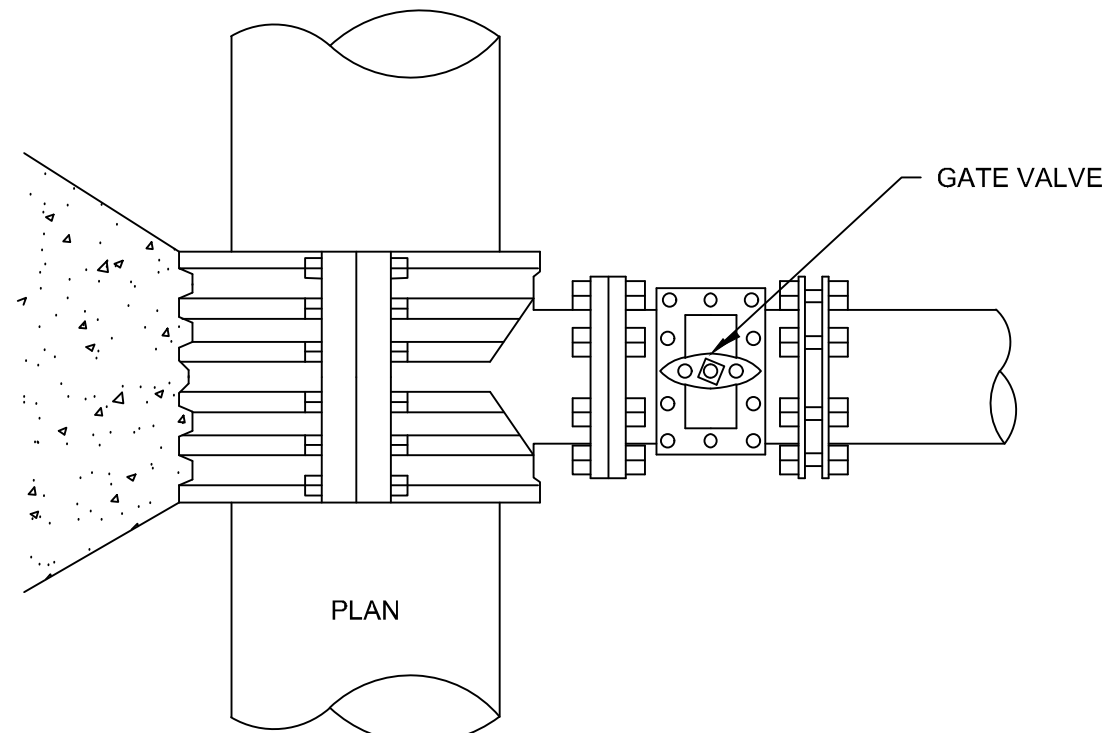
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SHEET TITLE

SITE DETAILS

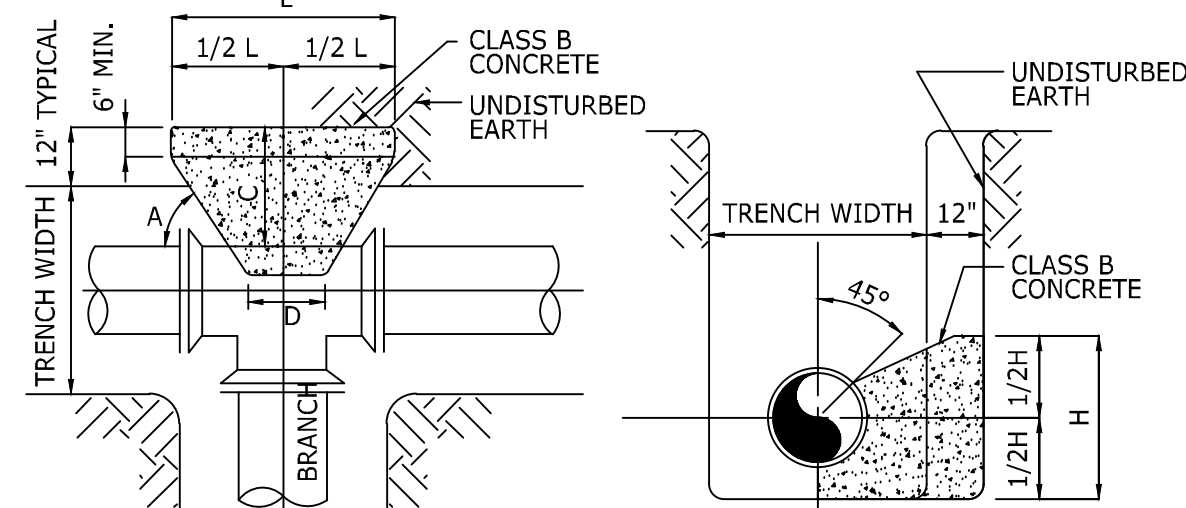
SHEET NUMBER

C5.1



NOTES:

- CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OR MECHANICAL JOINT FITTINGS.
- SEE STANDARD REACTION BLOCKING DETAIL FOR AREA OF CONCRETE REQUIRED.



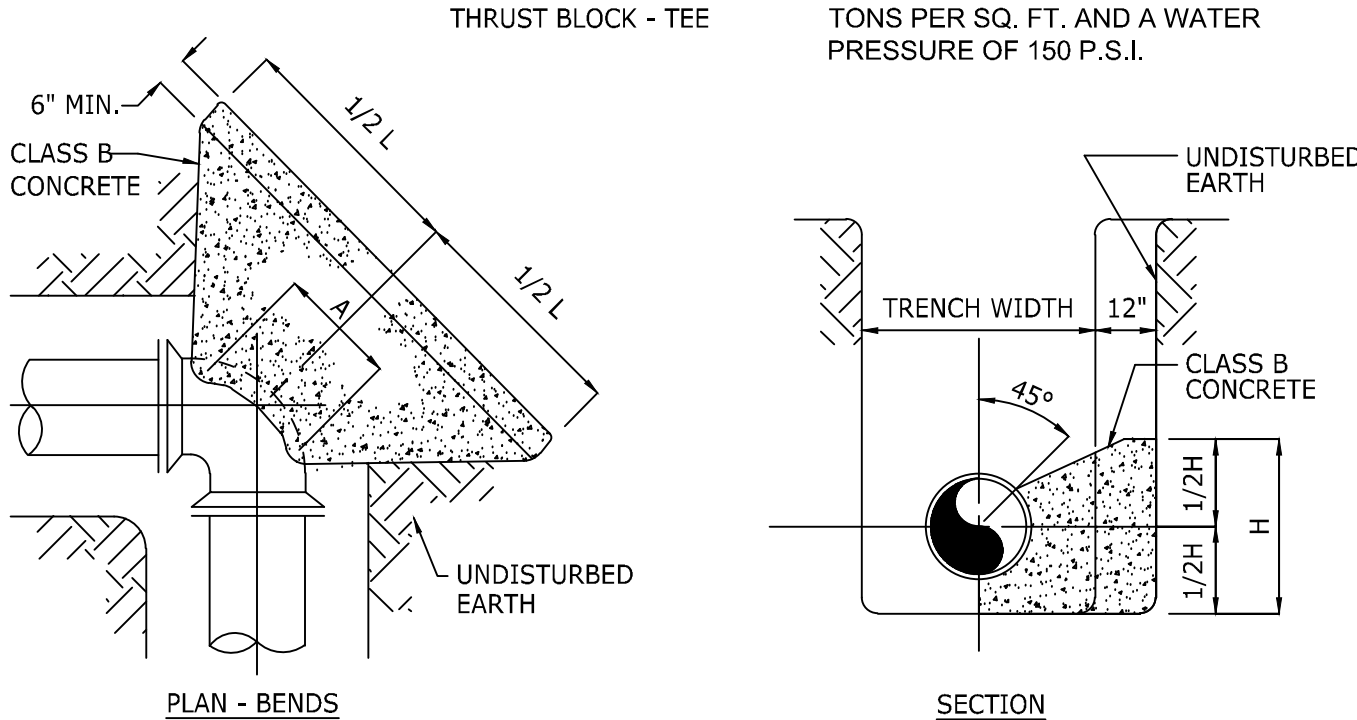
PLAN - TEE

BUTTRESS DIMENSIONS							
B. D.	L	H	C	SEE NOTE NO. 1	SEE NOTE NO. 2	D	
6"	1'-3"	1'-0"					
8"	1'-6"	1'-4"					
12"	2'-3"	2'-0"					

B. D. = BRANCH DIAMETER

SECTION

- NOTES:
- DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "A" EQUAL TO OR GREATER THAN 45°.
  - DIMENSION "D" SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH EHT MECHANICAL JOINTS.
  - BUTTRESS DIMENSIONS ARE BASED UPON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 P.S.I.



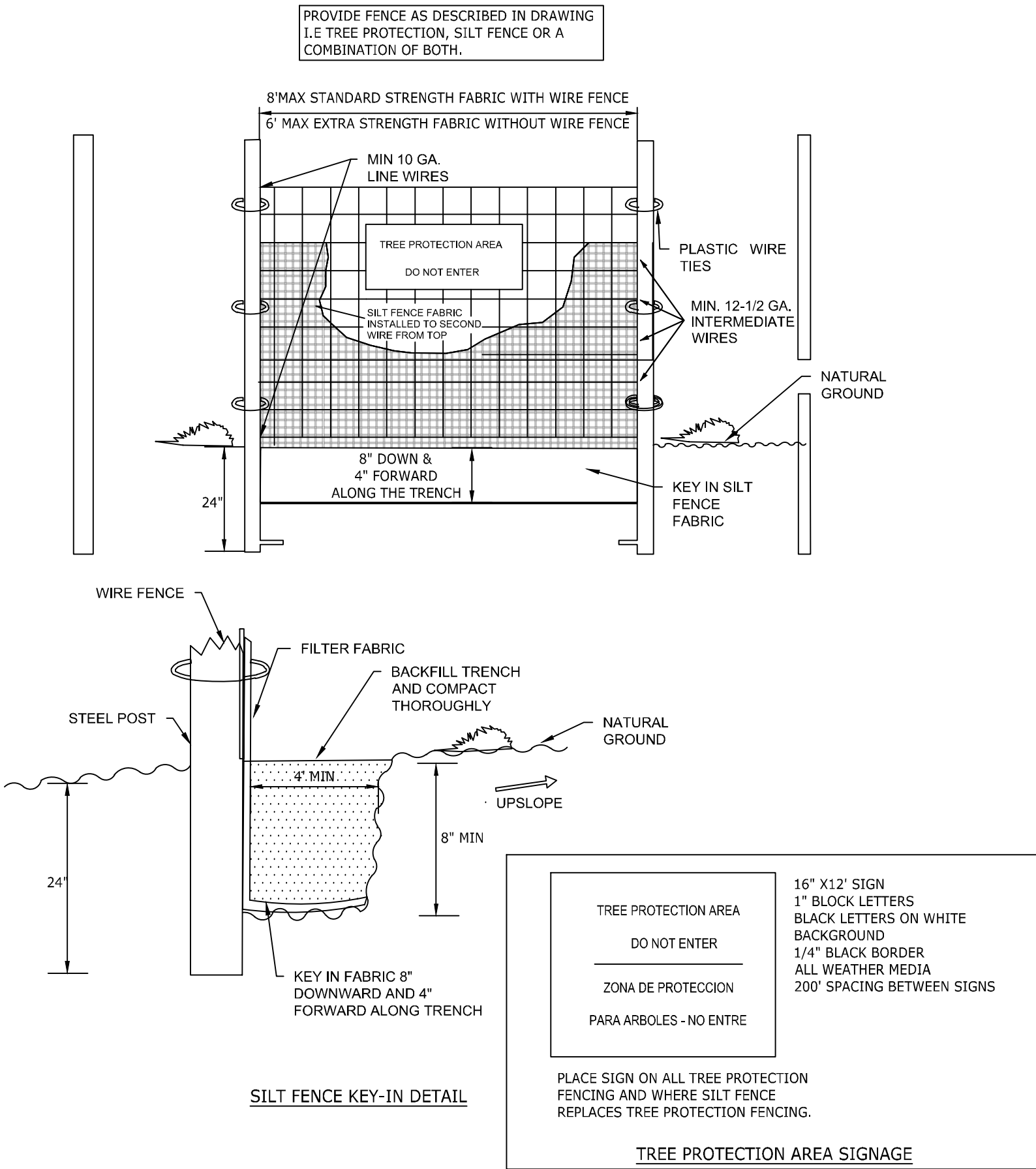
PLAN - BENDS

BUTTRESS DIMENSIONS							
PIPE SIZE	22 1/2° BENDS	45° BENDS	90° BENDS				
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"	
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"	
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"	

THRUST BLOCK - BENDS

SECTION

- NOTES:
- DIMENSION "A" SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH THE MECHANICAL JOINT BOLTS.
  - THE SHAPE OF THE BACK OF THE BUTTRESS MAY VARY PROVIDED THE CONCRETE IS AGAINST FIRM, UNDISTURBED EARTH.
  - BUTTRESS DIMENSIONS ARE BASED UPON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 P.S.I.



INSTALLATION SPECIFICATIONS:

- THE BASE OF BOTH END POSTS SHOULD BE AT LEAST ON FOOT HIGHER THAN THE MIDDLE OF THE FENCE. CHECK WITH A LEVEL IF NECESSARY.
- INSTALL POSTS 4 FEET APART IN CRITICAL AREAS AND 6 FEET APART ON STANDARD APPLICATIONS.
- INSTALL POSTS 2 FEET DEEP ON THE DOWNSTREAM SIDE OF THE SILT FENCE, AND AS CLOSE AS POSSIBLE TO THE FABRIC, ENABLING POSTS TO SUPPORT THE FABRIC FROM UPSTREAM WATER PRESSURE.
- INSTALL POSTS WITH THE NIPPLES FACING AWAY FROM THE SILT FABRIC.
- ATTACH THE FABRIC TO EACH POST WITH THREE TIES, ALL SPACED WITHIN THE TOP 8 INCHES OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCH HOLE AT LEAST 1 INCH VERTICALLY APART. ALSO, EACH TIE SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
- WRAP APPROXIMATELY 6 INCHES OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
- NO MORE THAN 24 INCHES OF A 36 INCH FABRIC IS ALLOWED ABOVE GROUND LEVEL.
- THE INSTALLATION SHOULD BE CHECKED AND CORRECTED FOR ANY DEVIATIONS BEFORE COMPACTION.
- COMPACTION IS VITALLY IMPORTANT FOR EFFECTIVE RESULTS. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQUARE INCH. COMPACT THE UPSTREAM SIDE FIRST, AND THEN EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
- TREE PROTECTION SIGNS ARE TO BE PLACED EVERY 50-FT AND FENCE MUST REMAIN UNTIL CLOSOUT OF PROJECT.

MAINTENANCE:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

3 A B C

TEMPORARY SILT/TREE PROTECTION FENCE

N.T.S.

TEMPORARY SEED SCHEDULE (Jan 1 - May 1)

GRASS SPECIES BLEND	PLANTING RATE	MIN. % PURE SEED	MAX. % WEED SEED
ANNUAL RYE GRASS	50-LBS PER 1-ACRE	85%	1%
SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2.00LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.			
MULCH: APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.			
MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.			
PERMANENT SEED SCHEDULE (MAY 1-AUGUST 15)			
GRASS SPECIES BLEND	PLANTING RATE	MIN. % PURE SEED	MAX. % WEED SEED
HULLED SUNSTAR OR RIVIERA BERMUDA	200-LBS PER 1-ACRE	98%	1%

NOTES:

- PERMANENT SEEDING FOR THIS PROJECT SHALL OCCUR BETWEEN MAY 1-AUGUST 15. ADJUSTED AS NECESSARY FOR ADEQUATE GROUND TEMPERATURES. GROUND TEMPERATURES SHALL BE IN THE RANGE OF 60-80 DEGREES FOR GERMINATION.
- REFER TO SPECIFICATION SECTION 329200

TEMPORARY SEEDING SPECIFICATIONS

COMPLETE GRADING BEFORE PREPARING SEEDBEDS, AND INSTALL ALL NECESSARY EROSION CONTROL PRACTICES SUCH AS, DIKES, WATERWAYS, AND BASINS. MINIMIZE STEEP SLOPES BECAUSE THEY MAKE SEEDBED PREPARATION DIFFICULT AND INCREASE THE EROSION HAZARD. IF SOILS BECOME COMPACTED DURING GRADING, LOOSEN THEM TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW.

SEEDBED PREPARATIONS

GOOD SEEDBED PREPARATION IS ESSENTIAL TO SUCCESSFUL PLANT ESTABLISHMENT. A GOOD SEEDBED IS WELL-PULVERIZED, LOOSE, AND UNIFORM. WHERE HYDROSEEDING METHODS ARE USED, THE SURFACE MAY BE LEFT WITH A MORE IRREGULAR SURFACE OF LARGE CLOUDS AND STONES.

- LIMING** - APPLY LIME ACCORDING TO SOIL TEST RECOMMENDATIONS. IF THE PH (ACIDITY) OF THE SOIL IS NOT KNOWN, AN APPLICATION OF GROUND AGRICULTURAL LIMESTONE AT THE RATE OF 1 TO 1 1/2 TONS/ACRE ON COARSE-TEXTURED SOILS AND 2-3 TONS/ACRE ON FINE-TEXTURED SOILS IS USUALLY SUFFICIENT. APPLY LIMESTONE UNIFORMLY AND INCORPORATE INTO THE TOP 4-6 INCHES OF SOIL. SOILS WITH A PH OF 6 OR HIGHER NEED NOT BE LIMED.
- FERTILIZER** - BASE APPLICATION RATES ON SOIL TESTS. WHEN THESE ARE NOT POSSIBLE, APPLY A 10-10-10 GRADE FERTILIZER AT 700-1,00 LB/ACRE. BOTH FERTILIZER AND LIME SHOULD BE INCORPORATED INTO THE TOP 4-6 INCHES OF SOIL. IF A HYDRAULIC SEEDER IS USED, DO NOT MIX SEED AND FERTILIZER MORE THAN 30 MINUTES BEFORE APPLICATION.
- SURFACE ROUGHENING** - IF RECENT TILLAGE OPERATIONS HAVE RESULTED IN A LOOSE SURFACE, ADDITIONAL ROUGHENING MAY NOT BE REQUIRED, EXCEPT TO BREAK UP LARGE CLOUDS. IF RAINFALL CAUSES THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING BY DISKING, RAKING, HARROWING, OR OTHER SUITABLE METHODS. GROOVE OR FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR BEFORE SEEDING (REFER TO THE NCDEQ EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, PRACTICE 6.03, SURFACE ROUGHENING).

PLANT SELECTION

- SELECT AN APPROPRIATE SPECIES OR SPECIES MIXTURE FROM TABLE 6.10A FOR SEEDING IN LATE WINTER AND EARLY SPRING, TABLE 6.10B FOR SUMMER, AND TABLE 6.10C FOR FALL.
- IN THE MOUNTAINS, DECEMBER AND JANUARY SEEDING HAVE POOR CHANCES OF SUCCESS. WHEN IT IS NECESSARY TO PLANT AT THESE TIMES, USE RECOMMENDATIONS FOR FALL AND A SECURELY TACKED MULCH.

SEEDING

- EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. USE SEEDING RATES GIVEN IN TABLES 6.10A-6.10C. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEEL SLOPES WHERE EQUIPMENT CANNOT BE DRIVEN. HAND BROADCASTING IS NOT RECOMMENDED BECAUSE OF THE DIFFICULTY IN ACHIEVING A UNIFORM DISTRIBUTION.
- SMALL GRAINS SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER.
- HYDROSEEDED MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH.

MULCHING

THE USE OF AN APPROPRIATE MULCH WILL HELP ENSURE ESTABLISHMENT UNDER NORMAL CONDITIONS, AND IS ESSENTIAL TO SEEDING SUCCESS UNDER HARSH SITE CONDITIONS (REFER TO THE NCDEQ EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, PRACTICE 6.14, MULCHING). HARSH SITE CONDITIONS INCLUDE:

- SEEDING IN FALL FOR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE),
- SLOPES STEEPER THAN 3:1,
- EXCESSIVELY HOT OR DRY WEATHER,
- ADVERSE SOILS (SHALLOW, ROCKY, OR HIGH IN CLAY OR SAND), AND
- AREAS RECEIVING CONCENTRATED FLOW.

IF THE AREA TO BE MULCHED IS SUBJECT TO CONCENTRATED WATERFLOW, AND IN CHANNELS, ANCHOR MULCH WITH NETTING (REFER TO THE NCDEQ EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, PRACTICE 6.14, MULCHING).

TEMPORARY SEEDING MAINTENANCE

RESEED AND MULCH AREAS WHERE SEEDING EMERGENCE IS POOR, OR WHERE EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.

8

TEMPORARY/PERMANENT SEEDING

N.T.S.

1

TAPPING SLEEVE WITH GATE VALVE

N.T.S.

2

THRUST BLOCK

N.T.S.

3 A B C

TEMPORARY SILT/TREE PROTECTION FENCE

N.T.S.

4

SILT BAG INLET PROTECTION

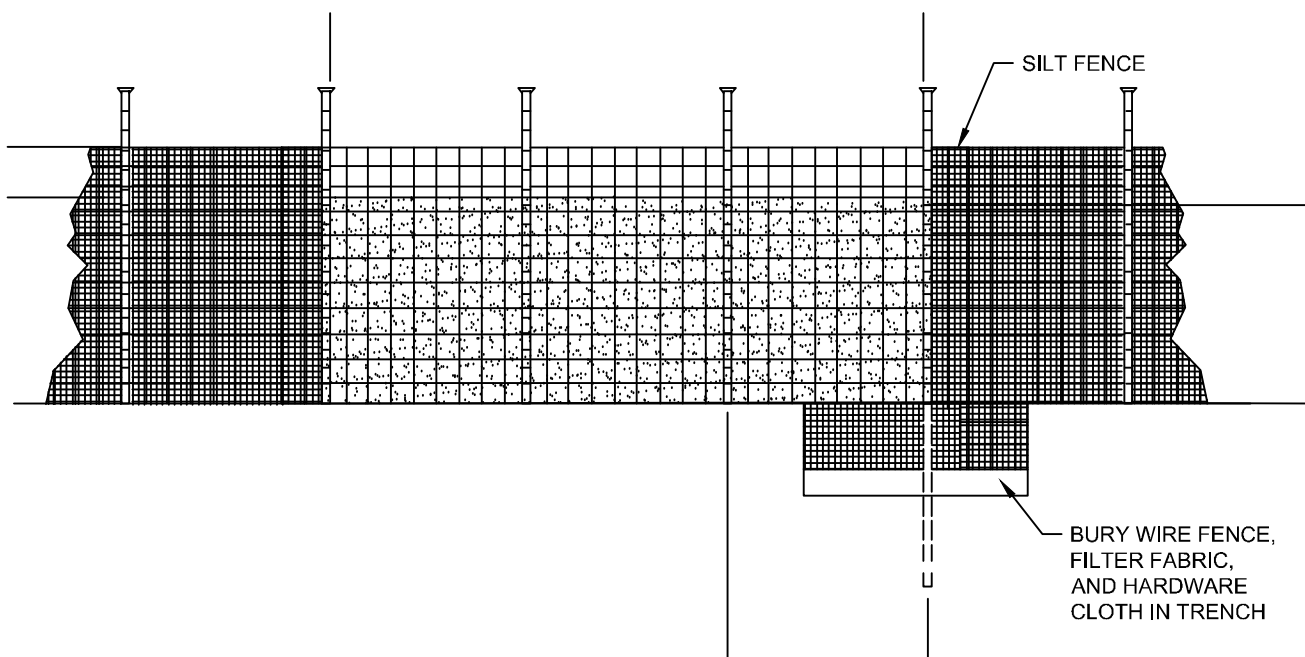
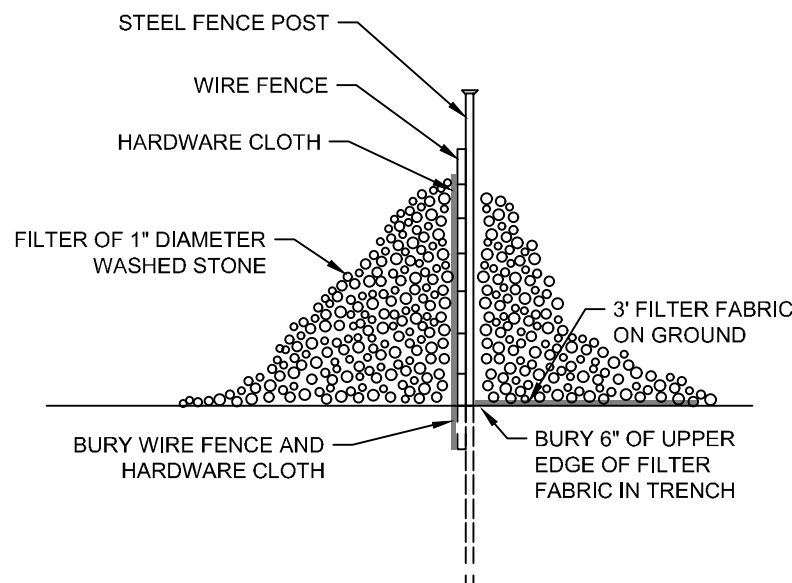
N.T.S.

MAINTENANCE NOTES:

- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE/OUTLET. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE & REPLACE STONE AS NECESSARY AS IT BECOMES CLOGGED WITH SEDIMENT.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

NOTES:

- INSTALL SILT FENCE PER STD. SILT FENCE DETAIL.
- LOCATE REINFORCED OUTLET AT LOW POINTS OF SILT FENCE BARRIER.
- PLACE RIP RAP WITH CARE. DO NOT TEAR SILT FENCE FABRIC.



5

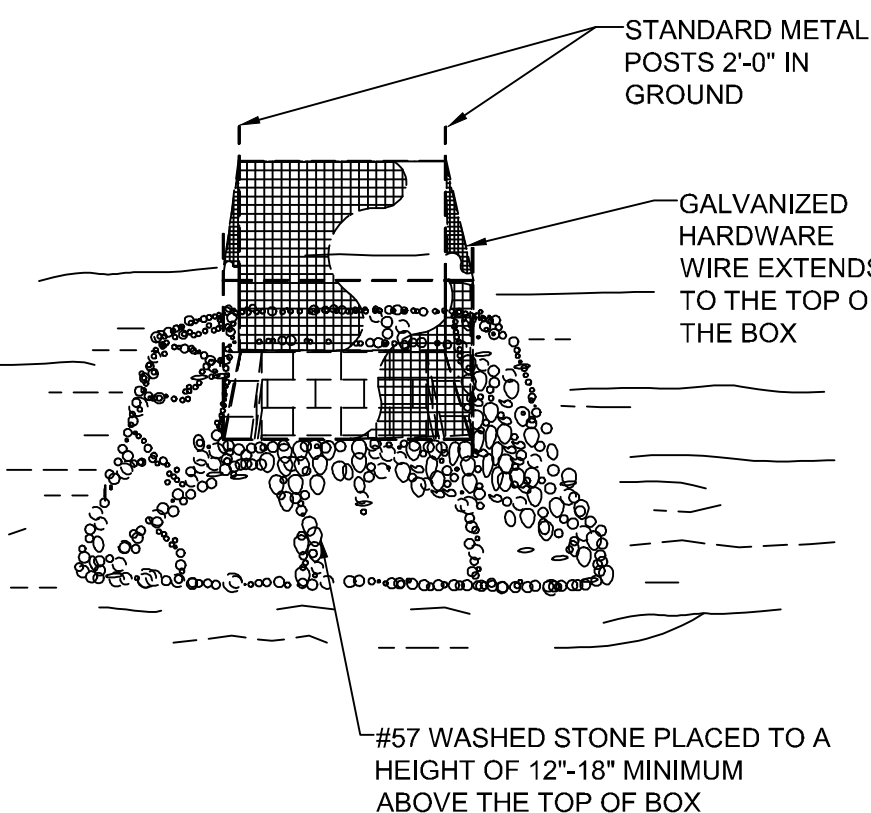
REINFORCED SILT FENCE OUTLET

N.T.S.

7

WIRE CLOTH & GRAVEL INLET PROTECTION

N.T.S.



NOTE:

- INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT. GRAVEL SHOULD BE REPLACED AND REPAIRS MADE AS NEEDED.





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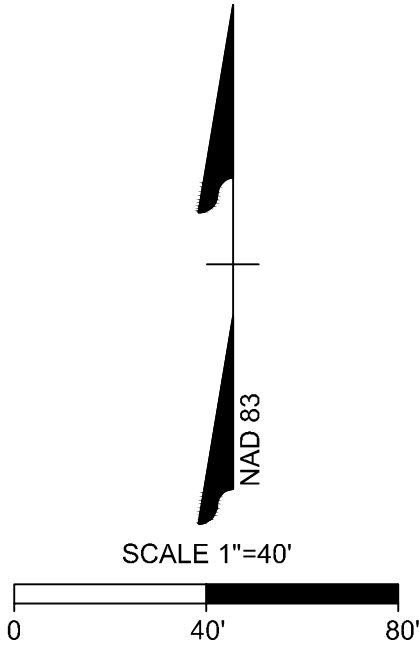
SCO NO. 23-26062-01

SHEET TITLE  
**PARKING EXHIBIT**

SHEET NUMBER  
**EX1**



PARKING SUMMARY	
EX. DTCC BLDG.	40,175-SF
EX. DTCC REQUIRED PARKING	1 SPACE / 200-SF 40,175-SF / 200-SF = 201 SPACES REQ. (6 ADA)
EX. DTCC PARKING	197 SPACES (6 ADA)
PROP. DTCC BLDG.	52,414-SF
PROP. REQUIRED PARKING:	1 SPACE / 200-SF 52,414-SF / 200-SF = 262 SPACES REQ. (7 ADA)
DTCC TOTAL PROVIDED PARKING:	262 SPACES (7 ADA)
EX. PARK & RIDE PARKING	124 SPACES
PROPOSED PARK & RIDE PARKING	124 SPACES - 65 SPACES (DTCC) = 59 SPACES (5 ADA)





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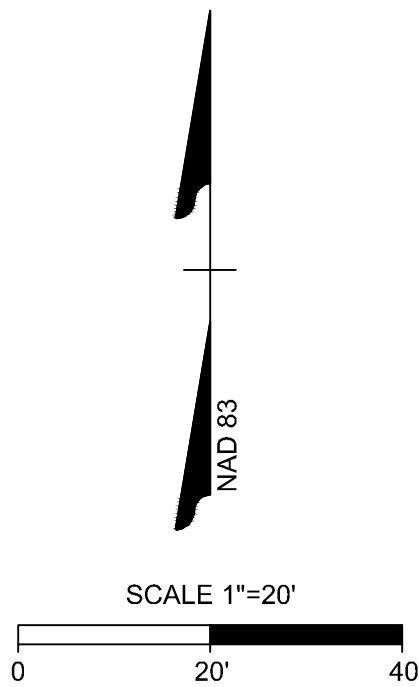
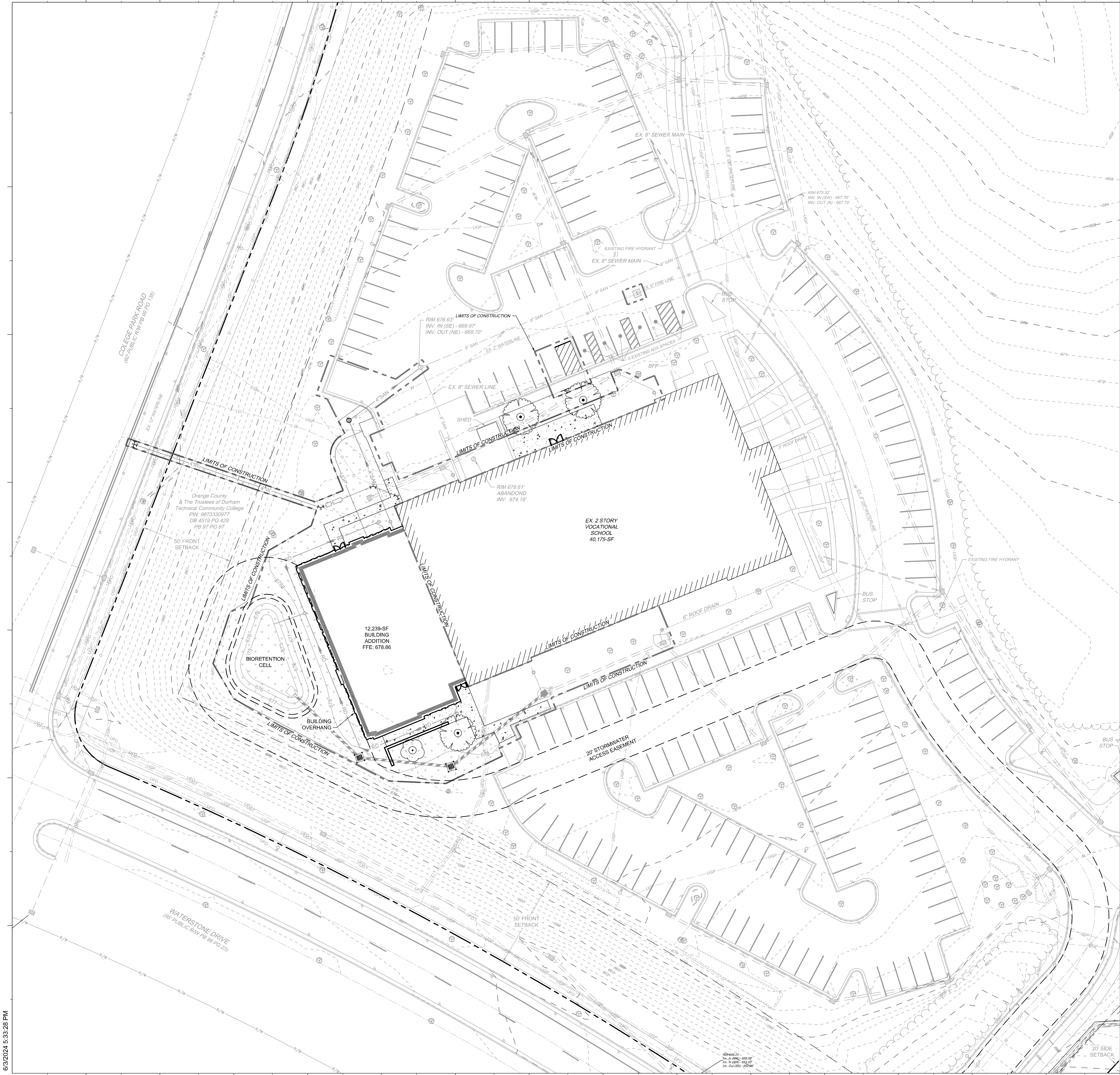
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8	4TH SUP SUBMITTAL	03.14.25
9	50% CD SUBMITTAL - SCO	03.31.25

SCO NO. 23-26062-01

SHEET TITLE  
**OVERALL  
PLANTING PLAN**

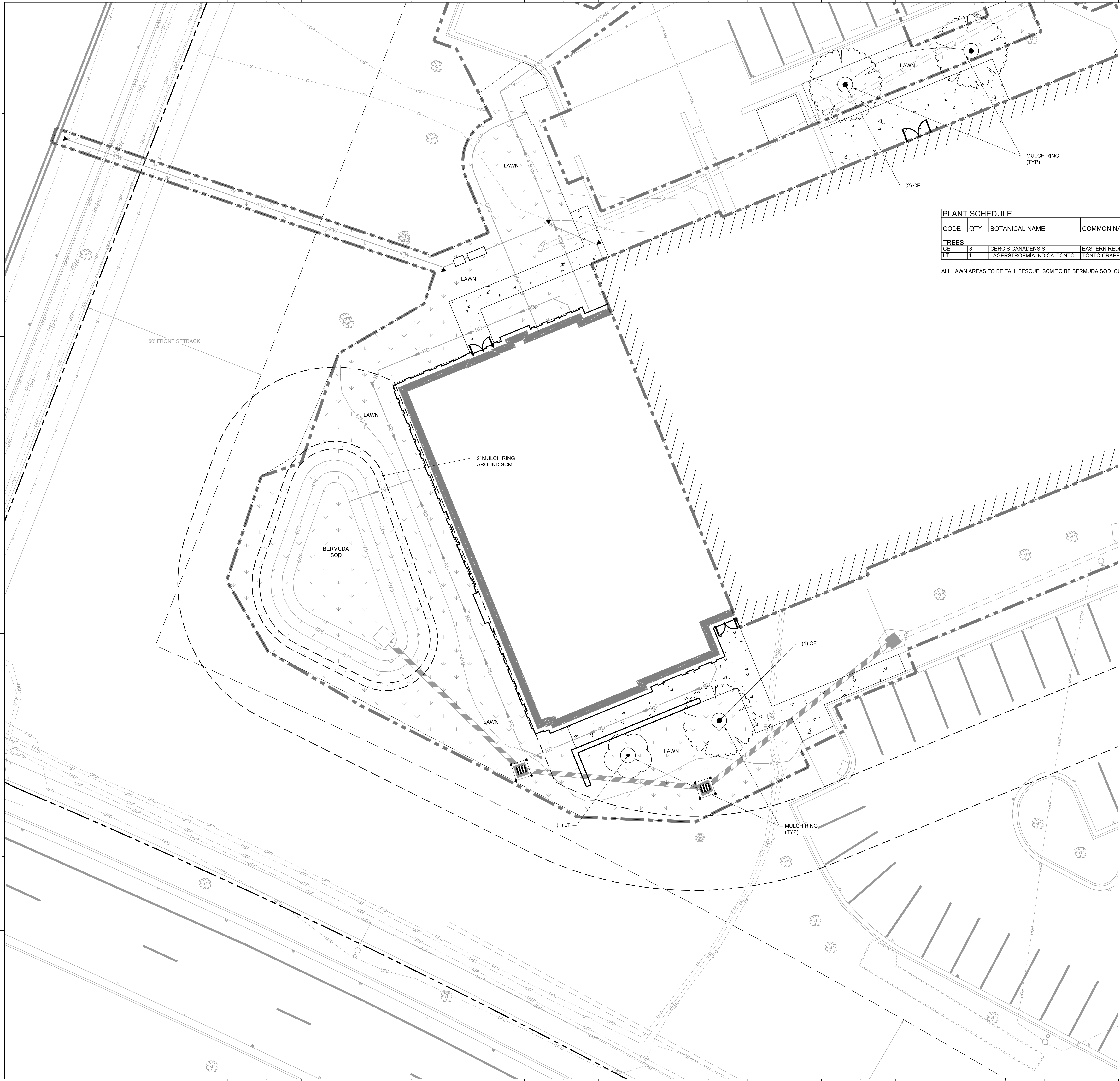
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PLANT SCHEDULE					EST. MATURE HEIGHT
CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	
TREES					
CE	3	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	2.5" CAL.	25'
LT	1	LAGERSTROEMIA INDICA 'TONTON'	TONTON CRAPE MYRTLE	1" CAL. MIN.	5'

ALL LAWN AREAS TO BE TALL FESCUE. SCM TO BE BERMUDA SOD. CUMULATIVE AREA = 9500 SF

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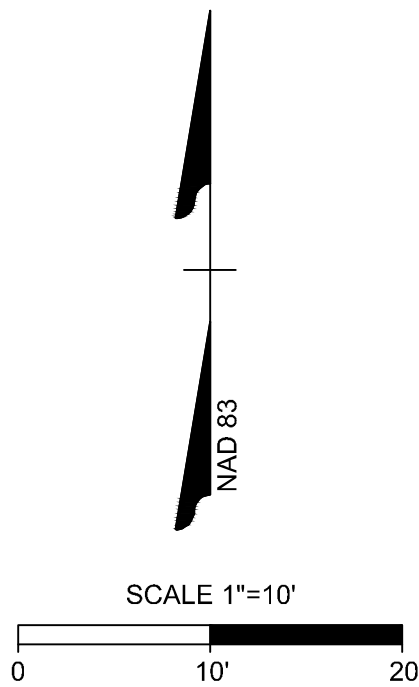
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SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L1.0

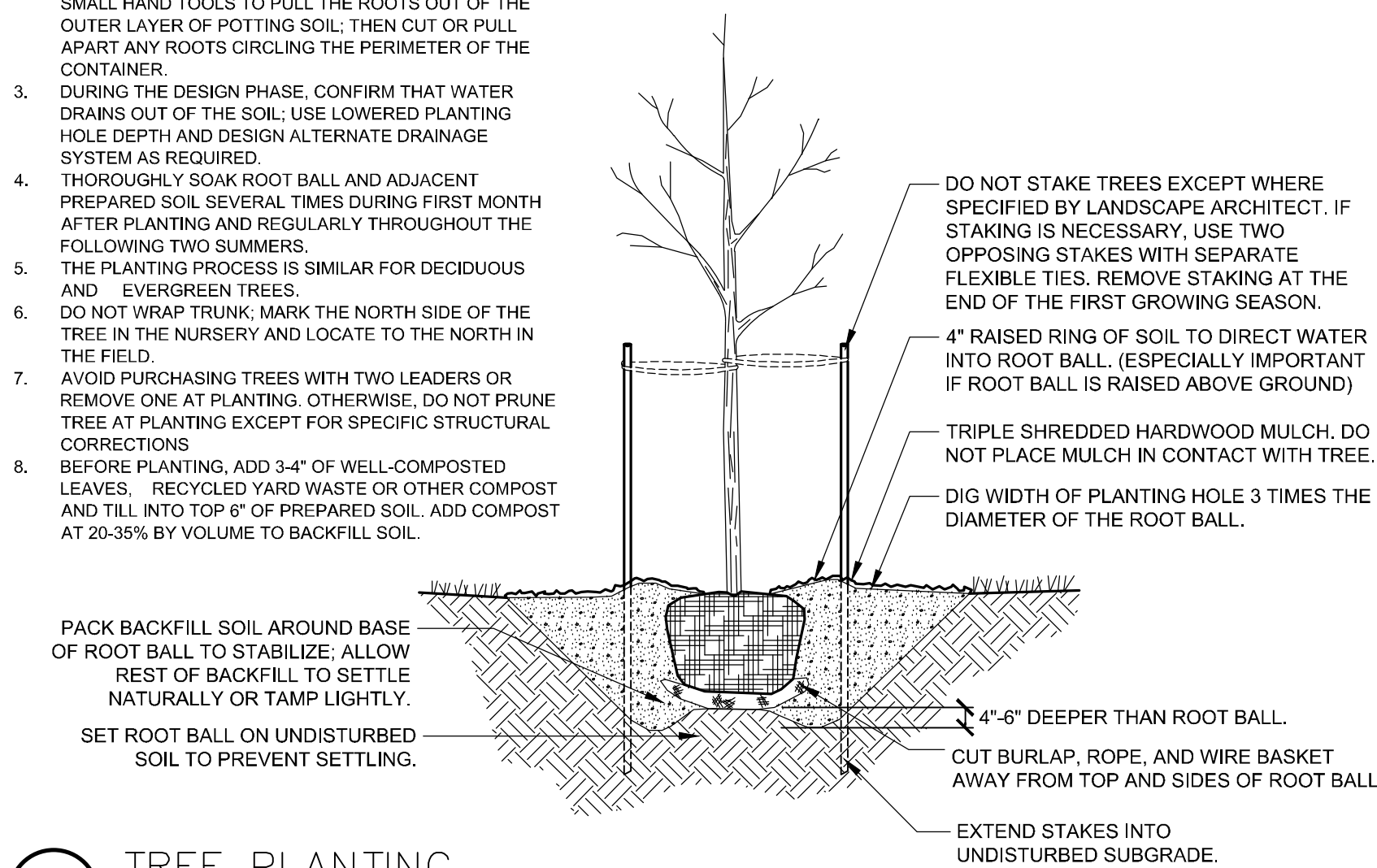




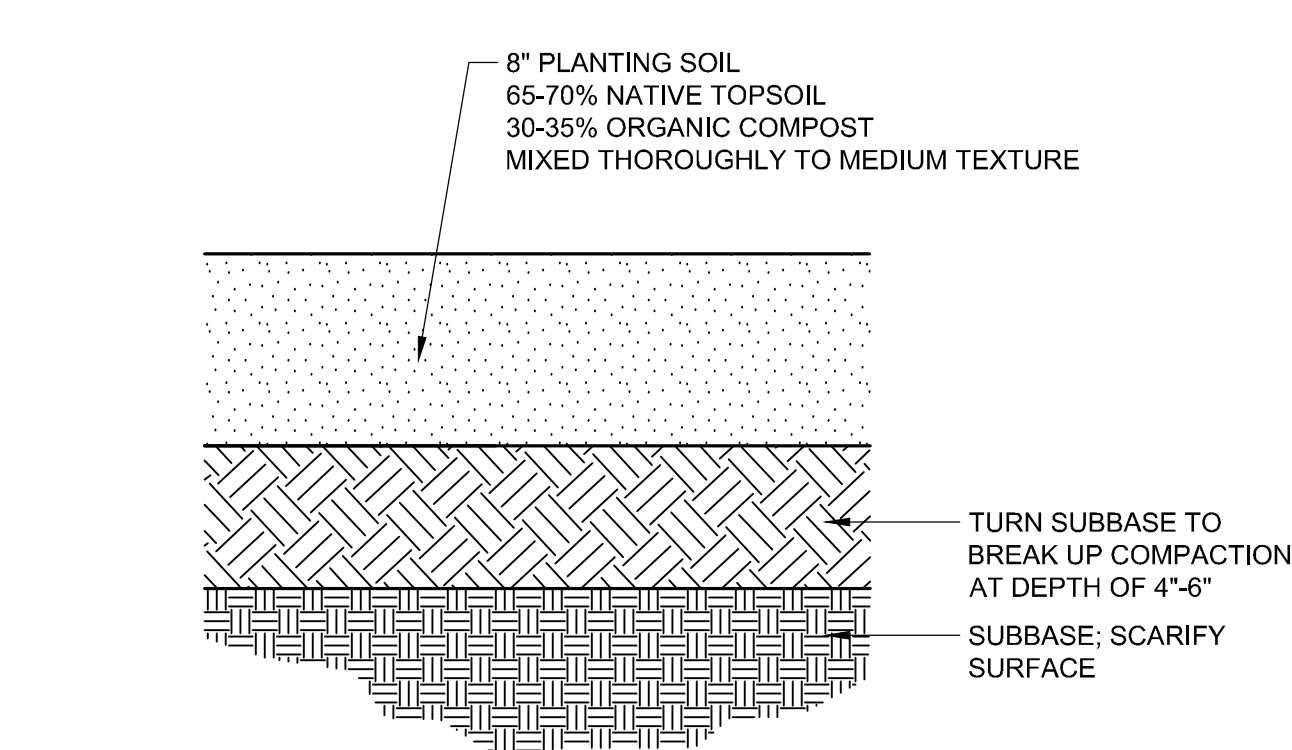
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NOTES:

- NOTES:**
1. WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY PROVIDE A SHARED ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 44" (10-1/2' SOIL) OVER THE ENTIRE AREA.
  2. USE YOUR HANDS OR YOUR FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE SOIL. DO NOT USE A BACKHOUS OR OTHER EQUIPMENT APART FROM YOURS CIRCLING THE PERIMETER OF THE TREES.
  3. DURING CONSTRUCTION, CONFIRM THAT WATER DRAINS OUT OF THE SOIL. USE LOWERED PLANTING HOPE DETH AND DISCHARGE ADJACENT DRAINAGE SYSTEMS TO PREVENT OVERWATERING. WATER THOROUGHLY SOAK ROOT BALL AND ADJACENT DRAINAGE SYSTEMS TO 16" DEPTH OF SOIL. WATER SYSTEM AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
  4. PLANT TREES SEVERAL FEET APART, SIMILAR FOR DEQUOUS AND EVERGREEN TREES.
  5. DO NOT WALK TRUNK, MARK THE NORTH SIDE OF THE TREE. NEVER CROSS THE TRUNK TO GO TO THE NORTH IN THE FIELD.
  6. AVOID PURCHASING TREES WITH TWO LEADERS OR MORE THAN ONE TRUNK AT PLANTING; OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL REPAIRS.
  7. BEFORE PLANTING, ADD 3-4" OF WELL-COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST TO THE TOP OF THE SOIL. ADD COMPOST TO 20-35% BY VOLUME TO BACKFILL SOIL.



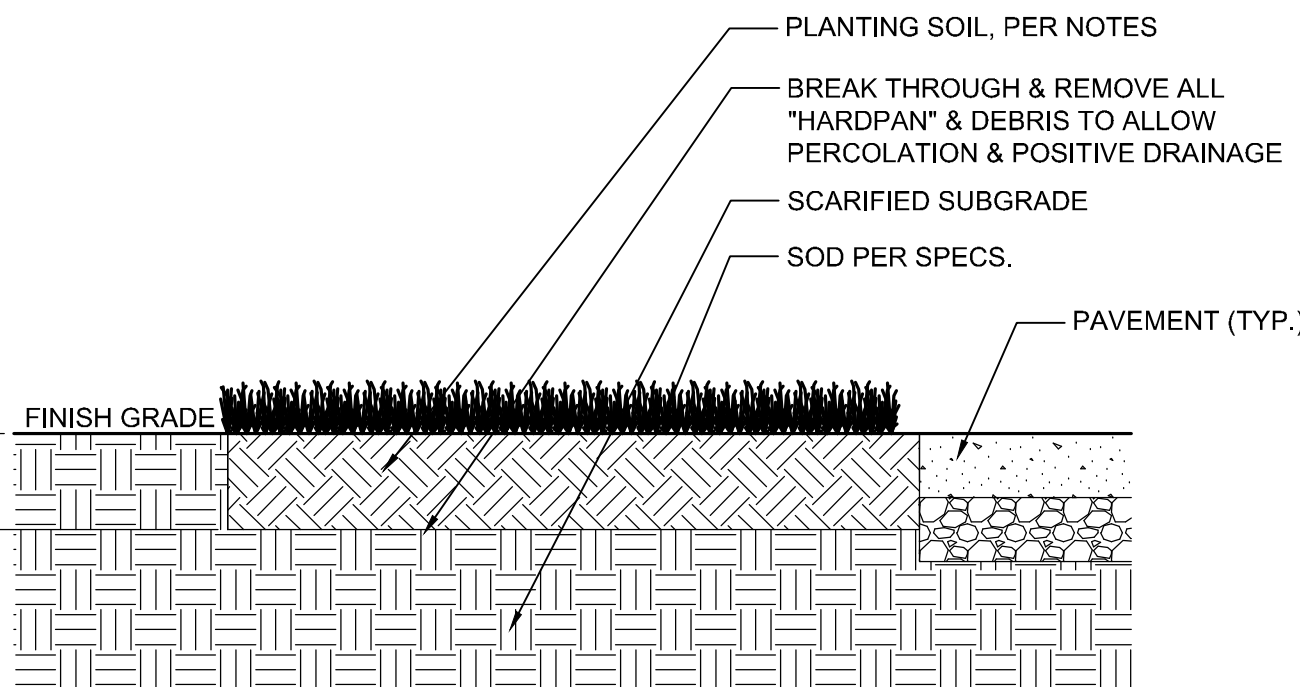
## 1 TREE PLANTING



NOTES:

1. All material to be free of toxic substances, weed seed, stones, sticks or other material harmful to plant growth. Topsoil: ph range of 6.0 to 7.0, min. 6% organic material
2. Compost: well-composted, stable, weed-free organic material, ph range of 5.5 to 8.
3. Submit soil sample for analysis ... provide amendments per recommendations.
4. Remove any debris, rocks, or clumps 2" or larger.
5. Do not spread if planting soil, topsoil or subgrade is frozen, muddy, or excessively wet

## PLANTING SOIL PROFILE



NOTES:

1. All sod shall be from a certified grower and be 99% weed free.
2. The sod shall not be shipped until the site is substantially prepared. It shall be stored and maintained in accordance with the American Nursery Association.
3. The general contractor will provide grades to within an inch of proposed final grades.
4. Planting sod to a minimum depth of 6" (4" uncompacted in situ sod) and 2" soil conditioner, such as lime or organic compost, thoroughly mixed, and 6" native topsoil, hand-rolled smooth.
5. Add additives (per soil test analysis) & blend.
6. Water area to be sodded prior to laying sod.
7. Lay & roll sod, ensuring no gaps; stagger seams; water thoroughly.

7 SOD INSTALLATION DETAIL

1" = 1'-0"

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TOTAL SITE AREA: 871,200 SF (20.00 AC)

EXISTING TREE COVERAGE AREAS:

A - 541,254 SF

B - 20,381 SF

C - 21,205 SF

TOTAL EXISTING TREE COVERAGE AREA: 582,840 SF

PRE-DEVELOPMENT TREE COVERAGE: 66.9%

- 582,840 / 871,200 = 0.669

### TREE COVERAGE AREA TABLE (PER SEC. 6.22.4.2)

	VALUE	PERCENTAGE OF TOTAL SITE
TOTAL SITE AREA	871,200 SF	100%
PRE-DEVELOPMENT TREE COVERAGE	582,840 SF	66.9%
MINIMUM TREE RETENTION (6.22.4.2.C)	69,696 SF	8%
POST-DEVELOPMENT TREE COVERAGE	571,012 SF	65.5%

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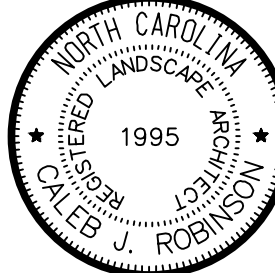
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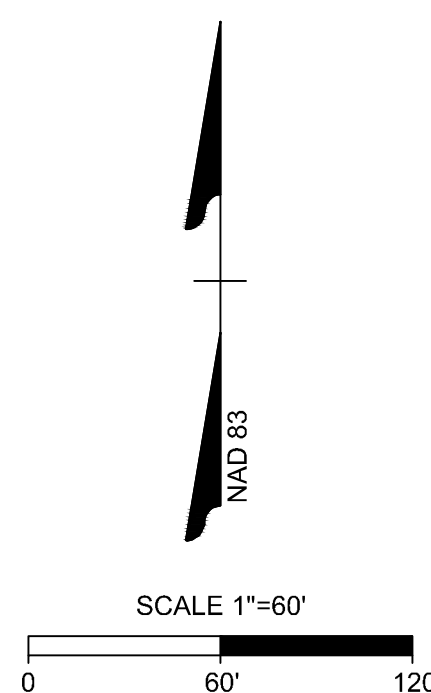
SCO NO. 23-26062-01

#### SHEET TITLE

OVERALL TREE  
PROTECTION  
PLAN

#### SHEET NUMBER

L3.0





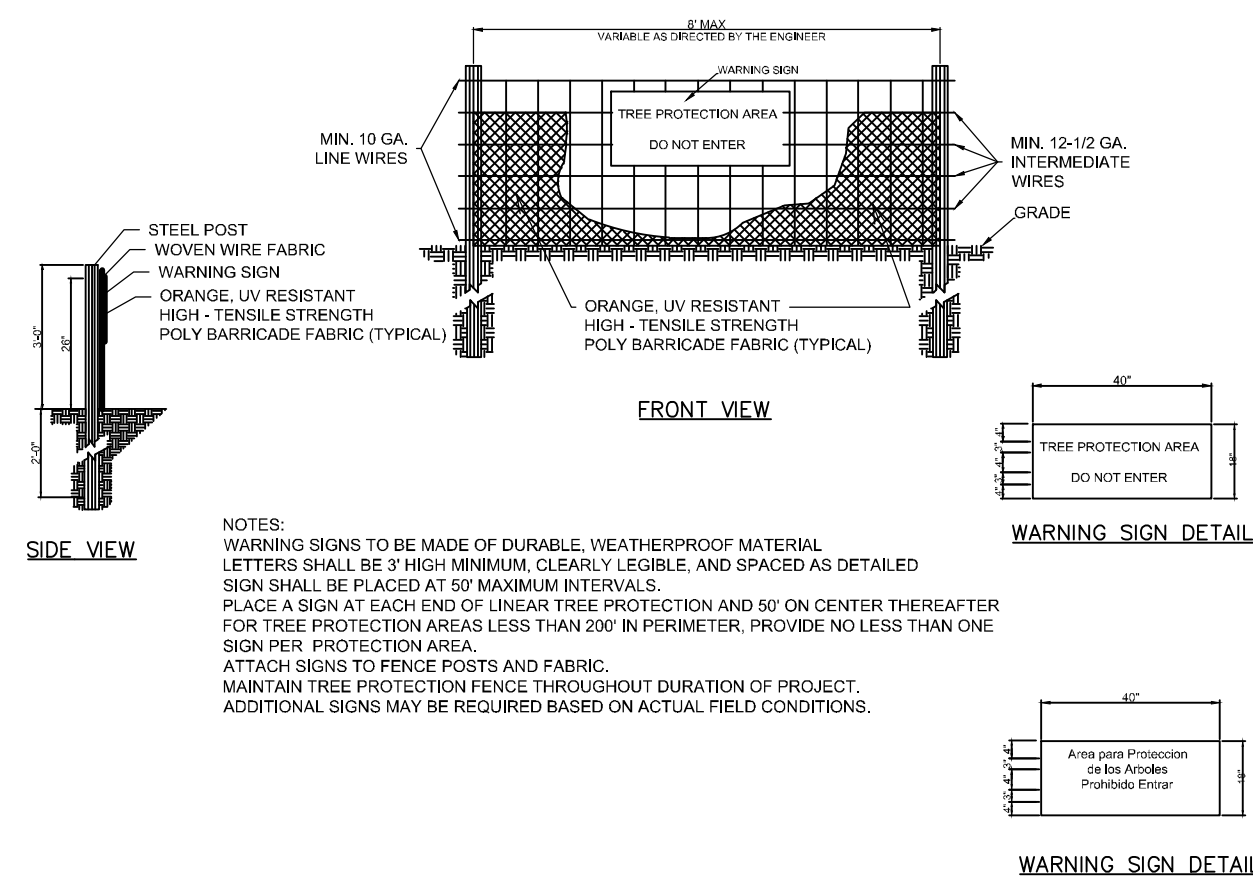
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CANOPY TREE REMOVED TABLE	
	INCHES (DBH)
ACRU	13.1
QUNI	12.7
ACRU	14.7
ACRU	12.2
QUNI	17.8
QUNI	14.5
QUNI	19.6
QUAC	12.8
CORNUS	DDD
TOTAL REMOVED	117.40

TREE PRESERVATION TABLE		
EXISTING DBH	# OF CANOPY TREES REMOVED	# OF CANOPY TREES RETAINED
< 24" CANOPY (6.22.3.5.A & B)	8	SEE PLAN
> 24" CANOPY (6.22.3.5.C)	0	SEE PLAN
≥ 24" DBH (6.22.3.5.D)	0	SEE PLAN

LEGEND	
	COMBINATION TREE PROTECTION & SILT FENCE
	LIMITS OF CONSTRUCTION
	TREE PROTECTION FENCE
	EXISTING TREE TO REMAIN
	CRZ - TREES IMPACTED
	TREES TO BE REMOVED
	DEAD, DISEASED, OR DYING

TREE IDENTIFICATION LEGEND	
ACRU	= ACER RUBRUM
ACBE	= ACER BUERGERIANUM
CECA	= CERCIS CANADENSIS
JUVI	= JUNIPERUS VIRGINIANA
MAGR	= MAGNOLIA GRANDIFLORA (DWARF CULTIVAR)
LAIN	= LAGERSTROEMIA INDICA
QUAC	= QUERCUS ACUTISSIMA
QUAL	= QUERCUS ALBA
QUNI	= QUERCUS NIGRA
QURU	= QUERCUS RUBRA
CORNUS	= CORNUS



1 TREE PROTECTION FENCE DETAIL  
NTS

TREE PROTECTION/IMPACT NOTES:

1. PROTECTING THE ROOT ZONES OF THE EXISTING TREES IS OF THE UTMOST IMPORTANCE. PROTECT EXISTING TREES TO REMAIN TO THE GREATEST EXTENTS POSSIBLE. MINIMIZE DISTURBANCE WITHIN CRITICAL ROOT ZONE OF EXISTING TREES.
2. ANY DEMOLITION WORK REQUIRING THE USE OF HEAVY EQUIPMENT SHALL MAKE USE OF LOW-GROUND PRESSURE TIRES AND/OR TRACKS.
3. UPON COMPLETION OF DEMOLITION WORK, CONTRACTOR SHALL BREAK UP ANY RESULTING COMPACTION IN THE SOIL WITH AN AIR SPADE OR SIMILAR LOW-IMPACT METHOD OR TOOL.
4. NO CLEARING, GRADING, CONSTRUCTION, MATERIAL STORAGE, OR EQUIPMENT ACCESS IS ALLOWED IN TREE PROTECTION AREAS.
5. NO CONCRETE WASHOUT OR MATERIAL DISPOSAL IS TO OCCUR IN LANDSCAPE AREAS.
6. TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT.

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SCO NO. 23-26062-01

SHEET TITLE

TREE  
PROTECTION  
PLAN, NOTES, &  
DETAILS

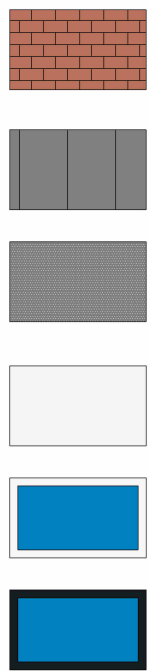
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BUILDING MATERIAL LEGEND

APPLIES TO SHEET 08.00 + 08.01



RUNNING BOND BRICK  
(MATCH EXISTING)

CHARCOAL METAL  
STANDING SEAM

PERFORATED METAL PANEL  
EQUIPMENT SCREEN  
(CHARCOAL, 80% OPACITY)

CENTRIA MARBLE METAL  
PANEL/SPANDREL

ALUMINUM CURTAIN WALL  
W/ LOW-E GLAZING

BLACK ANODIZED CURTAIN  
WALL W/ LOW-E GLAZING

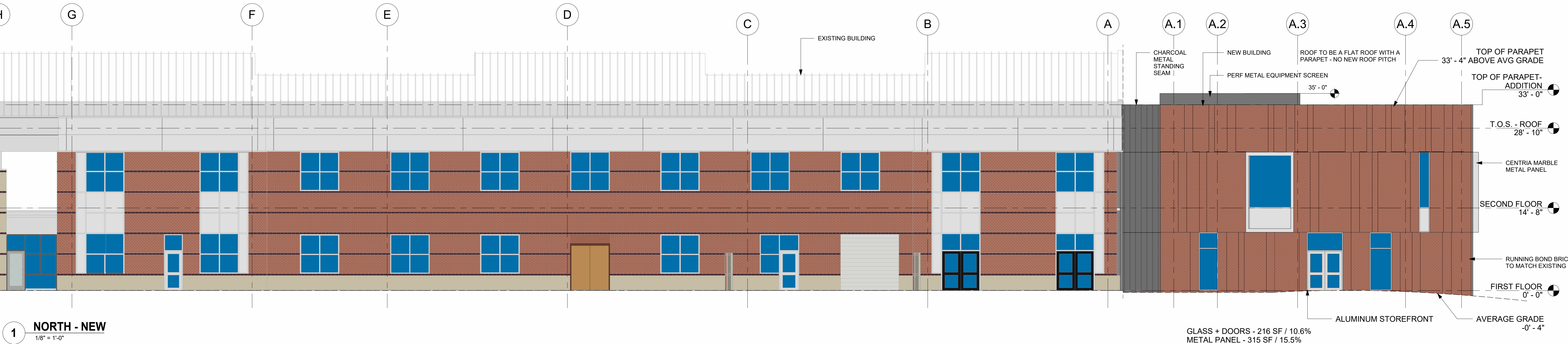
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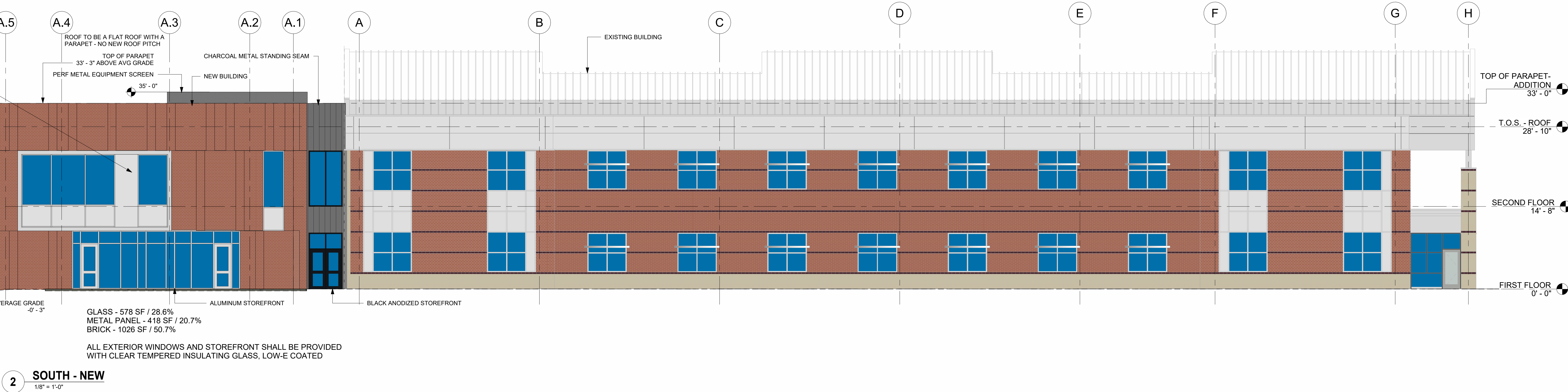


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GLASS + DOORS - 216 SF / 10.6%  
METAL PANEL - 315 SF / 15.5%  
BRICK - 1507 SF / 73.9%

ALL EXTERIOR WINDOWS AND STOREFRONT SHALL BE PROVIDED  
WITH CLEAR TEMPERED INSULATING GLASS, LOW-E COATED



GLASS - 578 SF / 28.6%  
METAL PANEL - 418 SF / 20.7%  
BRICK - 1026 SF / 50.7%

ALL EXTERIOR WINDOWS AND STOREFRONT SHALL BE PROVIDED  
WITH CLEAR TEMPERED INSULATING GLASS, LOW-E COATED

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9	5TH SUP SUBMITTAL	04.10.25

SCO NO. 23-26062-02

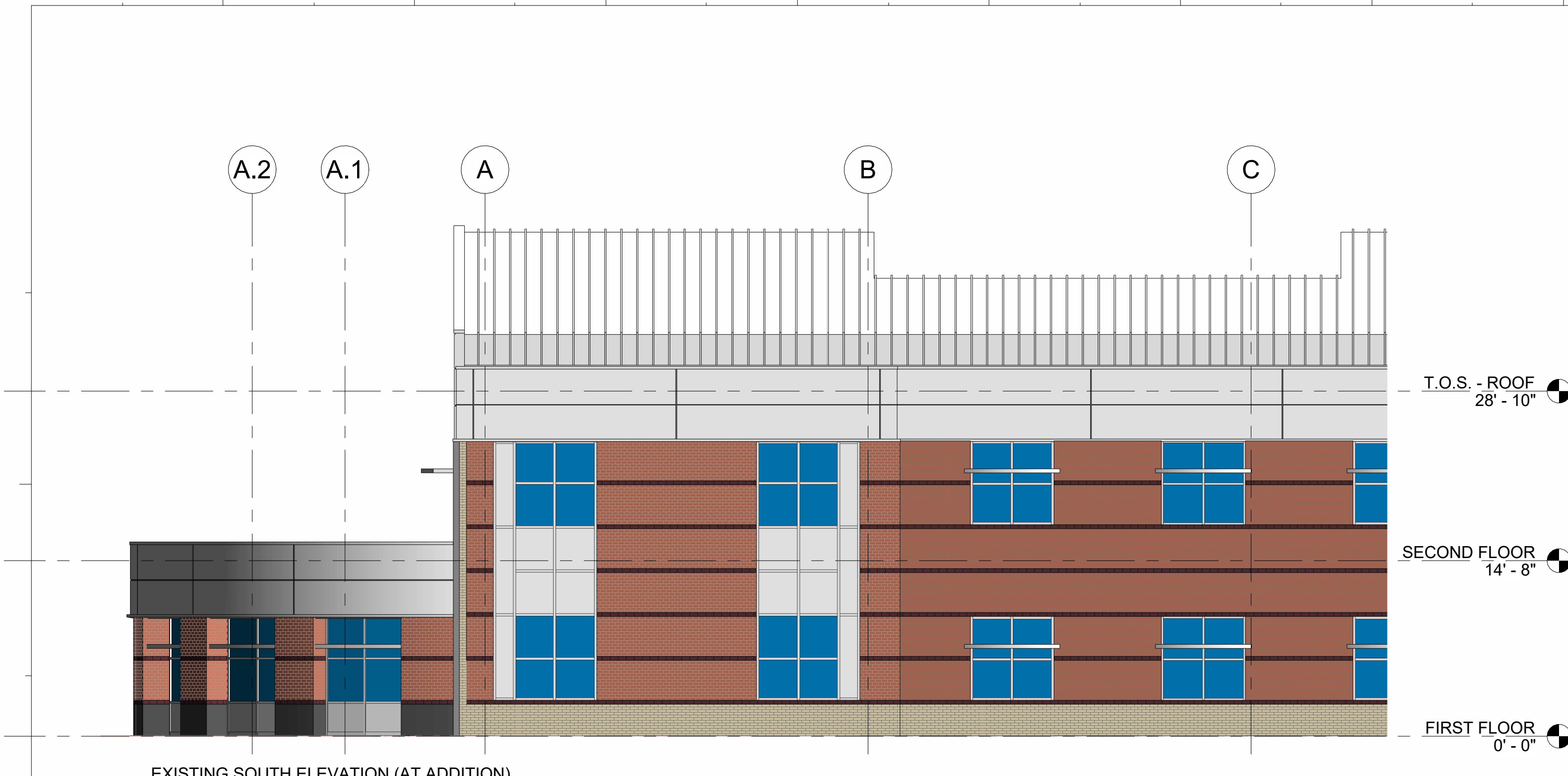
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BUILDING  
ELEVATIONS -  
RENOVATION  
EAST, NORTH,  
AND SOUTH

SHEET NUMBER

A-08.00

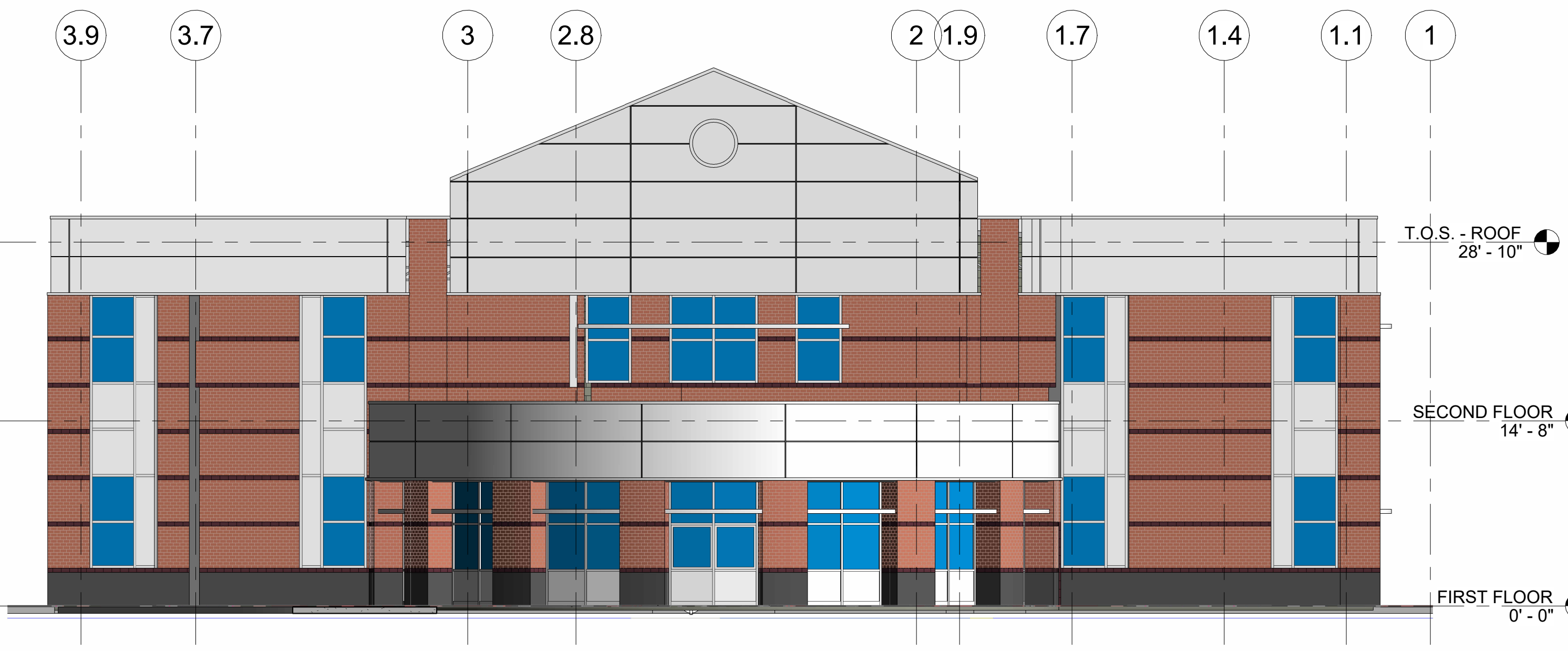




EXISTING SOUTH ELEVATION (AT ADDITION)

GLASS - 76 SF / 17.6%  
METAL PANEL - 200 SF / 46.2%  
BRICK - 157 SF / 36.2%

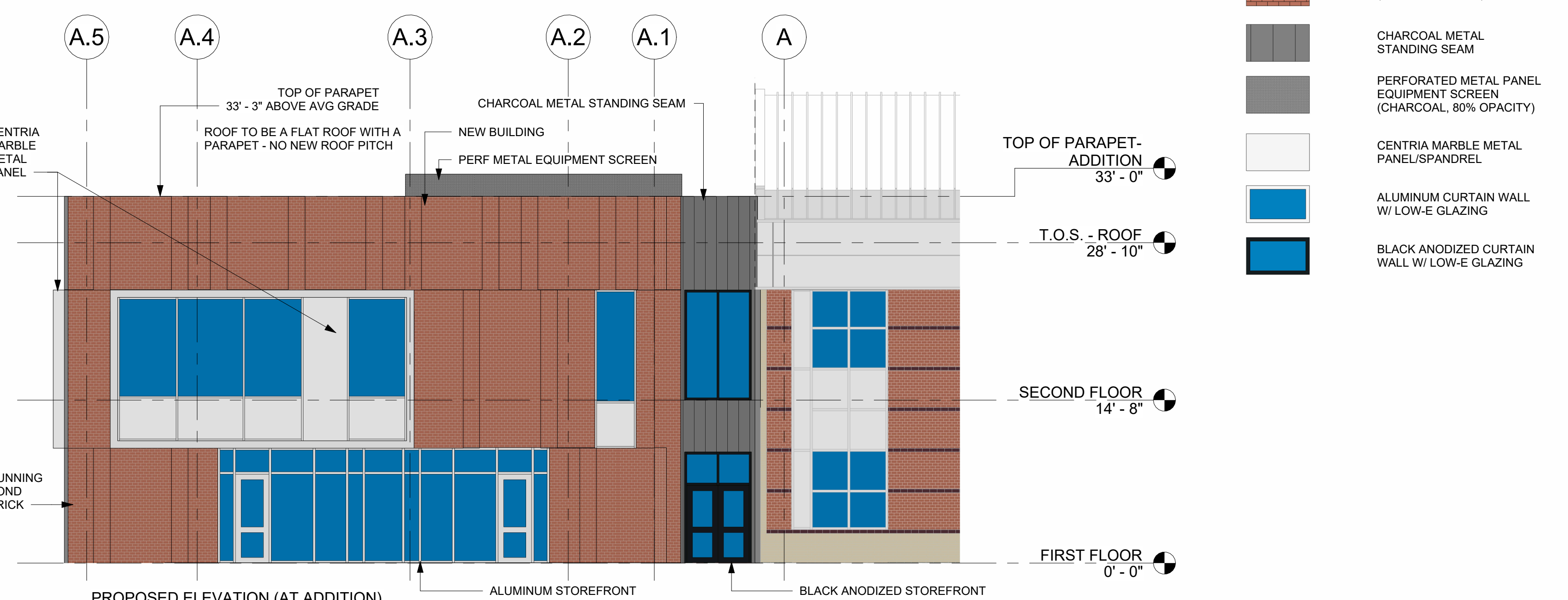
3 SOUTH ELEVATION - EXISTING  
1/8" = 1'-0"



EXISTING WEST ELEVATION

GLASS - 582 SF / 10.9%  
METAL PANEL - 1609 SF / 46.3%  
BRICK - 1490 SF / 42.8%

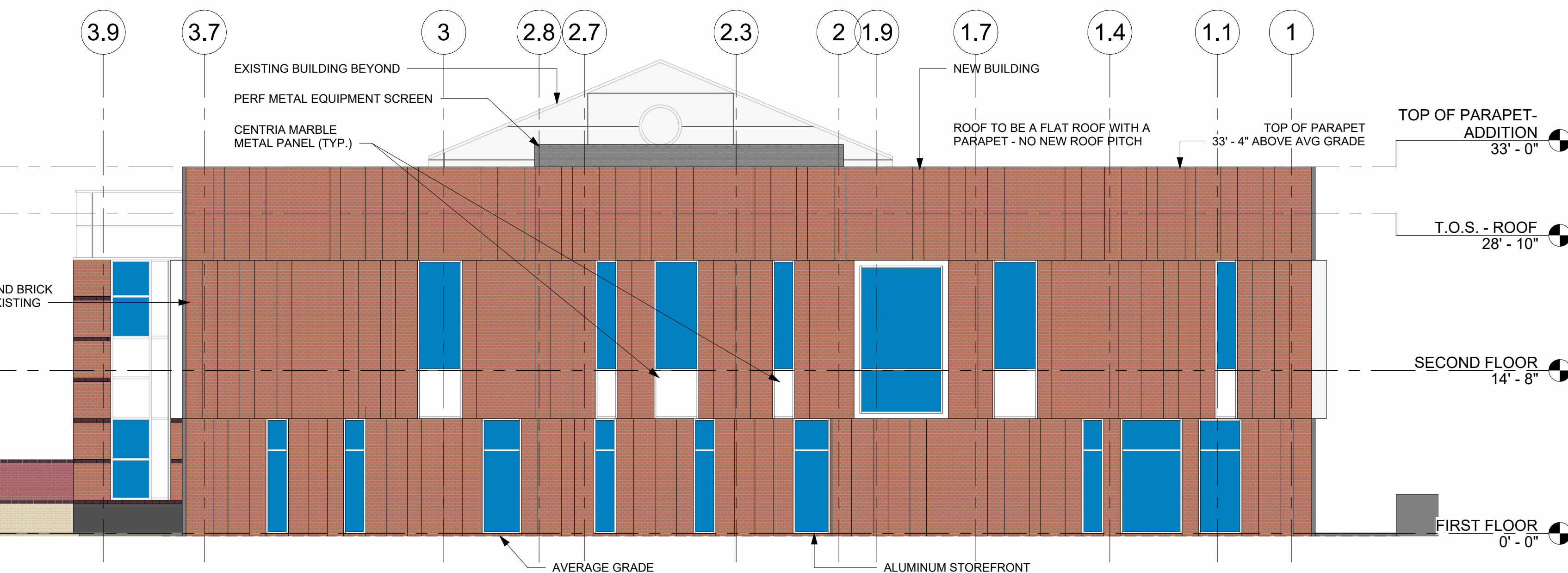
1 WEST ELEVATION - EXISTING  
1/8" = 1'-0"



PROPOSED ELEVATION (AT ADDITION)

GLASS - 578 SF / 28.6%  
METAL PANEL - 418 SF / 20.7%  
BRICK - 1026 SF / 50.7%

4 SOUTH ELEVATION - PROPOSED  
1/8" = 1'-0"



PROPOSED WEST ELEVATION

GLASS - 573 SF / 15.2%  
METAL PANEL - 414 SF / 11.0%  
BRICK - 2779 SF / 73.8%

2 WEST ELEVATION - PROPOSED  
1/8" = 1'-0"



## BUILDING MATERIAL LEGEND

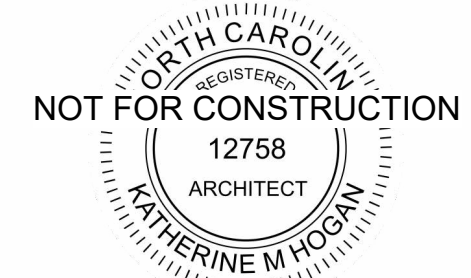
APPLIES TO SHEET 08.00 + 08.01

- RUNNING BOND BRICK (MATCH EXISTING)
- CHARCOAL METAL STANDING SEAM
- PERFORATED METAL PANEL EQUIPMENT SCREEN (CHARCOAL, 80% OPACITY)
- CENTRIA MARBLE METAL PANEL/SPANDREL
- ALUMINUM CURTAIN WALL W/ LOW-E GLAZING
- BLACK ANODIZED CURTAIN WALL W/ LOW-E GLAZING

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9	5TH SUP SUBMITTAL	04.10.25

SCO NO. 23-26062-02

### SHEET TITLE

WEST + SOUTH  
ELEVATIONS

### SHEET NUMBER

A-08.01



# **ATTACHMENT #2**

## **Future Land Use Map and UDO Provisions Relative to the Case**

### **Future Land Use Map Classification:**

**Employment Area:** These areas include a wide range of business, light industrial, office, research and development, along with related/support services uses including restaurants, small scale retail and convenience shopping/services. Buildings and uses will be sited to limit the visual impact of service and warehousing operations, while still providing convenience for business functionality. These areas are in prime locations with good access to major road networks (where capacity exists or is planned) and rail if needed and should be reserved for high return employment generating uses. **Zoning Districts: High Intensity Commercial; Business Park; Economic Development District; Light Industrial, General Industrial; Entranceway Special Use; Special Design Special Use.**

### **UDO Provisions:**

**Section 4 (Zoning Districts), Subsection 4.4 (Special Use Districts), Paragraph 4.4.1 (Entranceway Special Use), Sub-paragraph 4.4.1.1 (Intent):** The purpose of this district is to provide for the development of well-planned and fully integrated projects containing a diverse mixture of commercial, office, and employment uses along the primary entrances to the Town of Hillsborough. This district would be appropriate on major thoroughfares at or near the boundaries of the Town's zoning jurisdiction. This district is not intended to be a vehicle by which new, primarily residential uses are introduced, except where significant new commercial, office or employment uses are also incorporated into the district.

### **Section 9 (Definitions), Subsection 9.2 (Definitions):**

**School: Vocational** - A public or private school offering general, technical, and vocational instruction that operates in buildings or structures or on premises on land leased or owned by the educational institution for administrative purposes. Such uses include classrooms, laboratories, libraries, cafeterias, and other facilities that further the educational mission of the institution.

# **ATTACHMENT #3**

## **Zoning History**

March 8, 2004: Over 300 acres of property south of I-85 between Old NC 86 and NC 86 South annexed into town's corporate limits and zoned ESU (Entranceway Special Use). The rezoning is subject to a Master Plan including (i) a development map identifying development restrictions by parcel, and (ii) a written set of general and specific development condition. Subject property is identified as "Parcel #16."

February 13, 2006: Town Board of Commissioners issues Special Use Permit #2006-04 for the "Durham Technical Community College Orange County Off-Campus Center Classroom Building & Park and Ride Lot" project. The project included an approximately 40,000 square foot, two-story community college building with 200 off-street parking spaces, and a 125-space park and ride lot. The special use permit contained conditions requiring additional town water, sewer and stormwater approvals, and inspection of tree protection fencing and possible preservation of two specified trees, prior to beginning land clearing activities.

October 2, 2006: Zoning Compliance Permit #3627 issued for community college and park and ride lot.

May 13, 2010: Zoning Compliance Permit issued for wall sign for school.

June 14, 2010: Town Board of Commissioners issue Special Use Permit modification allowing a ground-mounted solar array (solar panels) on the property.

October 14, 2010: Zoning Compliance Permit #4048 issued for pole-mounted photovoltaic system (solar panels) on property.

November 3, 2011: Zoning Compliance Permit #4545 issued for transit shelter at park and ride lot.