



ATTACHMENT NO. 1

TRANSMITTAL FORM

REPORT OF REVIEW & REQUESTED ACTION BY PLANNING BOARD

To: Kenneth Bauer, Building Official **Date:** January 25, 2017
Building Department

Application No. 39499

Applicant/Owner: 4005 Ocean Boulevard, LLC

Property Address: 4005 S. Ocean Blvd., Highland Beach, Florida

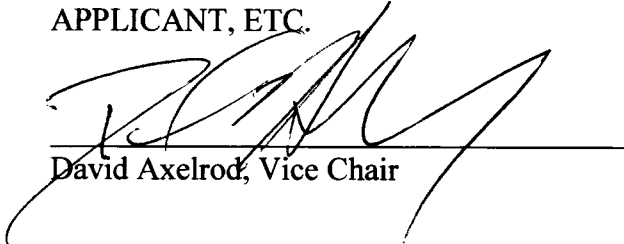
Property Control Number: 24-43-47-04-00-005-0010

- ☐ Preliminary Review:
☒ Final Review: **APPLICATION NO. 39499 – CONSIDERATION OF A SITE PLAN APPROVAL FOR THE CONSTRUCTION OF A THREE-STORY, SINGLE FAMILY RESIDENCE OF APPROXIMATELY 12,351 SQUARE FEET IN THE RS (RESIDENTIAL SINGLE-FAMILY) ZONING DISTRICT.**
☐ Amended Site Plan Review
☐ Other:

THE PLANNING BOARD HAS REVIEWED THE ABOVE MATTER PER THE REQUEST OF THE BUILDING OFFICIAL DATED January 4, 2017 AND HEREBY CERTIFIES THAT THE FOLLOWING ACTION WAS TAKEN:

- ☐ Denied
☒ Recommendation to Approve based on plans dated November 23, 2016 from In-Site Design Group, LLC
☐ Approved with Modifications (as noted):
☐ Other:

PLEASE TAKE WHATEVER ACTION IS REQUIRED TO COMPLETE THE SUBJECT MATTER, i.e., ISSUE PERMIT, TRANSMIT TO TOWN COMMISSION, RETURN TO APPLICANT, ETC.



David Axelrod, Vice Chair

January 25, 2017 Planning Board Special Meeting
Transmittal Form/Report Of Review & Requested Action By Planning Board

IF THE ABOVE PLANS WERE DENIED OR APPROVED WITH MODIFICATIONS, PLEASE NOTE THE BOARD'S FINDINGS:

At its January 25, 2017 Planning Board Special Meeting, Member Shane made a motion to **approve** Application No. 39499 subject the approval by the Florida Department of Environmental Protection (DEP). The motion was seconded by Member Weiss, which passed on a 5-0 vote.

CLERK'S OFFICE USE ONLY:

Reviewed by Planning Board: January 25, 2017

Transmitted to Building Department:

Transmit To: Valerie Oakes, Town Clerk

Date: January 04, 2017

Application No: #39499 **Applicant/Owner:** 4005 OCEAN BLVD., LLC—Applicant & Owner

Property Address: 4005 South Ocean Boulevard, Highland Beach, Florida 33487

Submit Application: Planning Board

Description of Application: Site Plan Review,--Construction of Single Family Residence, RS-Zoning District

REVIEW GIVEN TO SUBJECT PROPERTY

- ☐ Preliminary Review
- ☒ Final Review:
- ☐ Amended Site Plan Review
- ☐ Other:

THE BUILDING OFFICIAL HAS REVIEWED THE ABOVE MATTER DATED, January 04, 2017, AND HEREBY CERTIFIES THAT THE FOLLOWING ACTION WAS TAKEN:

- ☒ Plans meet Town of Highland Beach Zoning and other governmental agencies requirements.
- ☒ Plans meet Town of Highland Beach Zoning requirements; however, approvals are pending with other governmental agencies. *NEED F.O.E.P. NOTICE TO PROCEED BEFORE TOWN CAN ISSUE PERMIT.*
- ☐ Plans do not meet Town of Highland Beach Zoning requirements.

RECOMMENDATION: Applicant has submitted a site/floor plan, and elevations, to construct a three story, single family residence at the subject property, 4005 South ocean Boulevard, Highland Beach, located in the residential single-family zoning district. The total floor area calculations are approximately 12,351 square feet, with approximately 9,565 square feet under A/C. The Town of Highland Beach Building Department has reviewed the site plan, and building elevations submitted by the applicant, and found that the proposed construction does comply with the Highland Beach Code of Ordinances, Property Development Regulations, Section 30-64, Table 30-2, in the RS (Residential Single-Family Zoning District).

PLEASE TAKE WHATEVER ACTION IS REQUIRED TO COMPLETE THE SUBJECT MATTER, i.e., SCHEDULE HEARING, TRANSMIT TO QUASI-JUDICIAL BOARD, ETC.

[Signature]
Michael Desorcy, Building Official

CLERK'S OFFICE USE ONLY:

Date Received: 1/6/17

Date of Workshop Meeting: 1/25/17

Date of Hearing: _____

Special



DOROTHY JACKS
CFA, AAS
Palm Beach County Property Appraiser

Homestead Exemption **E-file**



Location Address 4005 S OCEAN BLVD

Municipality HIGHLAND BEACH

Parcel Control Number 24-43-47-04-00-005-0010

Subdivision

Official Records Book 28497

Page 687

Sale Date JUL-2016

Legal Description 4-47-43, S 100 FT OF N 600 FT OF GOV LT 5 E OF A-1-A A/K/A CITY LOT NO 52

Owners

4005 OCEAN BLVD LLC

Mailing address

170 SE 14TH ST STE 1002
MIAMI FL 33131 3379

Sales Date	Price	OR Book/Page	Sale Type	Owner
JUL-2016	\$4,425,000	28497 / 00687	WARRANTY DEED	4005 OCEAN BLVD LLC
APR-2015	\$4,000,000	27477 / 00213	WARRANTY DEED	FERBER JOHN
MAR-1994	\$940,000	08167 / 00047	REP DEED	
MAR-1994	\$100	08167 / 00046	QUIT CLAIM	
DEC-1987	\$700,000	05516 / 01883	WARRANTY DEED	

No Exemption Information Available.

Number of Units 1 *Total Square Feet 3584

Acres 0.5798

Use Code 0100 - SINGLE FAMILY

Zoning RS - Residential Single Family (24-HIGHLAND BEACH)

Tax Year	2016	2015	2014
Improvement Value	\$60,513	\$121,767	\$103,854
Land Value	\$3,221,192	\$2,801,076	\$2,719,500
Total Market Value	\$3,281,705	\$2,922,843	\$2,823,354

All values are as of January 1st each year

Tax Year	2016	2015	2014
Assessed Value	\$3,281,705	\$2,922,843	\$2,823,354
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$3,281,705	\$2,922,843	\$2,823,354

Tax Year	2016	2015	2014
Ad Valorem	\$58,367	\$54,606	\$54,720
Non Ad Valorem	\$170	\$170	\$175
Total tax	\$58,537	\$54,776	\$54,895

Detail by Entity Name

Florida Limited Liability Company
4005 OCEAN BLVD LLC

Filing Information

Document Number L16000137514
FE/EIN Number NONE
Date Filed 07/21/2016
Effective Date 07/18/2016
State FL
Status ACTIVE

Principal Address

170 SE 14TH STREET
SUITE 1002
MIAMI, FL 33131

Mailing Address

170 SE 14TH STREET
SUITE 1002
MIAMI, FL 33131

Registered Agent Name & Address

NICOLAI, PASCAL
170 SE 14TH STREET
SUITE 1002
MIAMI, FL 33131

Authorized Person(s) Detail**Name & Address**

Title MGR

NICOLAI, PASCAL
170 SE 14TH STREET, SUITE 1002
MIAMI, FL 33131

Annual Reports

No Annual Reports Filed

Document Images

[07/21/2016 -- Florida Limited Liability](#)

[View image in PDF format](#)

DIVISION
OF
CORPORATIONS

**Electronic Articles of Organization
For
Florida Limited Liability Company**

**L16000137514
FILED 8:00 AM
July 21, 2016
Sec. Of State
cewilson**

Article I

The name of the Limited Liability Company is:

4005 OCEAN BLVD LLC

Article II

The street address of the principal office of the Limited Liability Company is:

170 SE 14TH STREET
SUITE 1002
MIAMI, FL. US 33131

The mailing address of the Limited Liability Company is:

170 SE 14TH STREET
SUITE 1002
MIAMI, FL. US 33131

Article III

The name and Florida street address of the registered agent is:

PASCAL NICOLAI
170 SE 14TH STREET
SUITE 1002
MIAMI, FL. 33131

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: PASCAL NICOLAI

Article IV

The name and address of person(s) authorized to manage LLC:

Title: MGR
PASCAL NICOLAI
170 SE 14TH STREET, SUITE 1002
MIAMI, FL. 33131 US

L16000137514
FILED 8:00 AM
July 21, 2016
Sec. Of State
cewilson

Article V

The effective date for this Limited Liability Company shall be:

07/18/2016

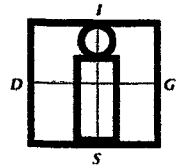
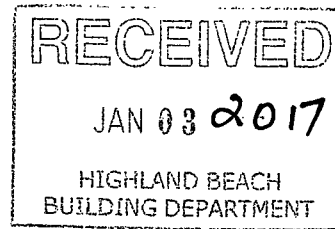
Signature of member or an authorized representative

Electronic Signature: PASCAL NICOLAI

I am the member or authorized representative submitting these Articles of Organization and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of the LLC and every year thereafter to maintain "active" status.

ANNIE CARRUTHERS
PRINCIPAL/ARCHITECT
AR-97156
CGC1511058
annie@insitedesigngroup.com

December 29, 2016



**IN-SITE
DESIGN
GROUP LLC**

ARCHITECTURAL
SERVICES
AA26001758
1546 Jackson Street
Hollywood, FL 33020
954 921 5333
insitedesigngroup.com

Town of Highland Beach
Planning Department
3616 South Ocean Boulevard
Highland Beach, Florida 33487

Re: 4005 South Ocean Boulevard

PLANNING COMMENTS:

COMMENT: 1.) Need Florida Division of Corporation Information for 4005 Ocean Blvd. LLC attached with application.

RESPONSE: OWNER TO SUBMIT REQUIRED INFORMATION

COMMENT: 2.) 3 Exceptions are listed. The Board allows 2 exceptions.

RESPONSE: WE HAVE REMOVED THE MECHANICAL EQUIPMENT ON THE ROOF TO COMPLY WITH THE (2) EXCEPTIONS.

THE TWO (2) EXCEPTIONS WE WILL KEEPING ARE THE PARAPET AND STAIR BULKHEAD. SEE REVISED PLANS ATTACHED

COMMENT: 3.) Volume of stair enclosure exceeds 360 cubic feet.

RESPONSE: WE HAVE REDUCED THE STAIR BULKHEAD SIZE TO UNDER 360 CUBIC FEET TO COMPLY. SEE REVISED PLANS ATTACHED

If you have any questions please call me at 954-921-5333.

A handwritten signature in black ink, appearing to be "Annie Carruthers".

Annie Carruthers
Principal/Architect
AR-97156

AUTHORIZATION LETTER

4005 Ocean Blvd LLC
Pascal Nicolai
170 SE 14th St, Suite 1002
Miami, Florida 33131

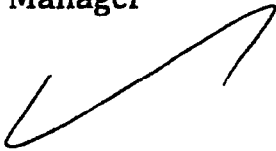
Town of Highland Beach
Planning Department
3616 South Ocean Boulevard
Highland Beach, Florida 33487

I, Pascal Nicolai manager of 4005 Ocean Blvd LLC, hereby authorize Annie Carruthers principal architect of In-Site Design Group LLC to represent me and to act on my behalf in regard to the Planning Board meeting.

Sincerely,

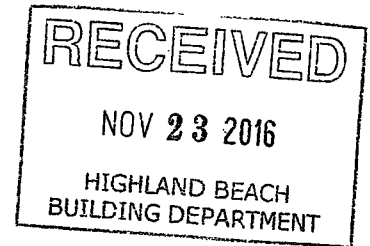
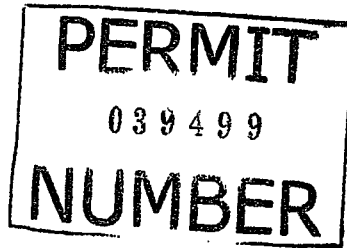
Pascal Nicolai
Manager

Signature of Authorized Agent:



Date: 11/26/2016

File No. 2160288/ln
Prepared by and Return to:
Lorri J. Kolbert Klein, Esq.
Patch Reef Title Company, Inc.
6100 Glades Road, Suite 204
Boca Raton, Florida 33434



Parcel No.: 24-43-47-04-00-005-0010

WARRANTY DEED

This Indenture made this 8th day of August, 2016, BETWEEN John Ferber, a married man, whose post office address is: 6009 Old Ocean Blvd, Ocean Ridge, FL 33435

Grantor*,
and

4005 OCEAN BLVD LLC, a Florida limited liability company
whose post office address is: 170 SE 14th St, Ste 1002, Miami, FL 33131
Grantee*.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100 (\$10.00) Dollars and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the Grantee and Grantee's heirs and assigns forever the following described land situate, lying and being in Palm Beach County, Florida, to-wit:

The South 100 feet of the North 2150 feet (both measured at right angles) of Section 4, Township 47 South, Range 43 East, lying East of the center line of State Road A1A, the right of way of which road was conveyed to State of Florida by deed recorded in Deed Book 578, Page 129, Palm Beach County Records, which property situated in Palm Beach County, Florida.

SUBJECT TO restrictions, reservations, covenants and easements of record which are not reimposed by this deed; taxes for the year 2016 and years subsequent thereto; and all applicable zoning ordinances.

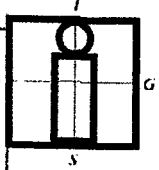
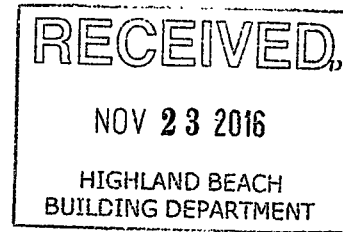
and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "Grantee" are used for singular or plural, as context requires.

Annie Carruthers
Principal/Architect
AR-97156



November 16, 2016



**IN-SITE
DESIGN
GROUP LLC**

Town of Highland Beach
Planning department
3616 South Ocean Boulevard
Highland Beach, Florida 33487

ARCHITECTURE
DESIGN + ENGINEERING

AA26001758

1546 Jackson Street

Hollywood, FL 33020

954 921 5333

insitedesigngroup.com

PROPOSED DEVELOPMENT ORDER REQUEST

Re: 4005 South Ocean Boulevard

To Whom It May Concern:

The applicant and owner, 4005 S. Ocean Blvd LLC, has submitted a development order for the above mentioned property. The owner request to demolish the existing one story, non-conforming residence built in 1966. The existing residence encroaches on the setbacks both on the north and south side property lines by approximately two and a half feet as well as the front property line by over ten and a half feet according to the survey. The zoning district for the property is RS zoning as well as RS zoning on the north and the south adjacent properties. The property is on the ocean with 20,983 square feet. The owner wishes to build a new single family residence with a ground floor garage area and three habitable areas above. The new residence shall conform to current zoning setbacks with a total height of 35 feet from the first habitable floor to the roof deck. A roof top stair access is proposed with 225 square feet of accessible roof area. The air-conditioned areas shall total 9,565 square feet and the gross area 12,351 square feet which includes garage and covered terraces. A new pool, spa, pool deck and driveway is proposed. The new driveway shall replace the existing circular two curb cut drive with one curb cut into the property.

It is important to note that the proposed structure shall remain within the rear existing limits of construction. Exterior structure walls and columns are not proposed more eastward than the existing building. Retaining walls and low walls are also proposed for privacy at the front and side property lines. The existing seawall shall remain and be raised to the height of the proposed pool deck. The existing dock and stair to the beach shall be replaced. The new site shall meet or exceed landscape requirements and shall be regraded accordingly. The new proposed structure shall meet the current 2014 Florida building code and all applicable local zoning codes. The owner shall request DEP approval following Planning Board review.

The architectural style proposed shall be contemporary design with large expanses of large missile impact glass and simulated wood veneer and stucco on the façade. The proposed construction shall be concrete block and a concrete system for the intermediate flooring between levels. The roof shall be an insulated flat roof with drains, parapets and TPO finish. Architectural eyebrows and features are proposed. Rear terraces shall be cantilevered and shall be open with a first level outdoor patio area. The interior shall have an elevator. Exterior lighting shall be code compliant and comply to the sea turtle regulations.

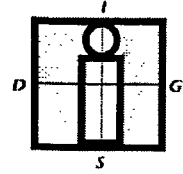
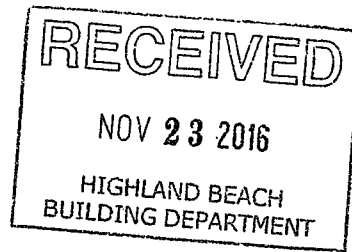
If you have any questions please feel free to contact me at 954-921-5333.

Respectfully,

A handwritten signature in black ink, appearing to read 'Annie Carruthers', is written over the printed name.

Annie Carruthers
Principal/Architect
AR-97156

Annie Carruthers
Principal/Architect
AR-97156



November 16, 2016

**IN-SITE
DESIGN
GROUP LLC**

Town of Highland Beach
Planning department
3616 South Ocean Boulevard
Highland Beach, Florida 33487

ARCHITECTURE
DESIGN + ENGINEERING
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PROPOSED DEVELOPMENT ORDER REQUEST

Re: 4005 South Ocean Boulevard

A. BUILDING ORIENTATION

The applicant and owner, 4005 S. Ocean Blvd LLC, has submitted a development order for the above mentioned property. The owner request to demolish the existing one story, non-conforming residence built in 1966. The existing residence encroaches on the setbacks both on the north and south side property lines by approximately two and a half feet as well as the front property line by over ten and a half feet according to the survey. The zoning district for the property is RS zoning as well as RS zoning on the north and the south adjacent properties.

The property is on the ocean with 20,983 square feet. The owner wishes to build a new single family residence with a ground floor garage area and three habitable areas above. The new residence shall conform to current zoning setbacks with a total height of 35 feet from the first habitable floor to the roof deck. A roof top stair access is proposed with 225 square feet of accessible roof area. The air- conditioned areas shall total 9,565 square feet and the gross area 12,351 square feet which includes garage and covered terraces. A new pool, spa, pool deck and driveway is proposed. The new driveway shall replace the existing circular two curb cut drive with one curb cut into the property.

It is important to note that the proposed structure shall remain within the rear existing limits of construction. Exterior structure walls and columns are not proposed more eastward than the existing building. Retaining walls and low walls are also proposed for privacy at the front and side property lines. The shall compliment the architecture. The wall in the front a rough natural stone is proposed on the stucco concrete block. The colors shall compliment the residence finishes. The screening on the side and for the mechanical equipment shall be simulated wood veneer like the front façade and shall run horizontally.

The existing seawall shall remain and be raised to the height of the proposed pool deck. The existing dock and stair to the beach shall be replaced.

The new proposed structure shall meet the current 2014 Florida building code and all applicable local zoning codes. The owner shall request DEP approval following Planning Board review

The architectural style proposed shall be contemporary design with large expanses of large missile impact glass and simulated wood veneer and stucco on the façade. The proposed construction shall be concrete block and a concrete system for the intermediate flooring between levels. The roof shall be an insulated flat roof with drains, parapets and TPO finish. Architectural eyebrows and features are proposed. Rear terraces shall be cantilevered and shall be open with a first level outdoor patio area. The interior shall have an elevator.

The building shall be orientated so that the front faces Ocean Drive. The existing residence also faces the street. As a single family residence, all homes on the east side of Ocean drive within several blocks have the same orientation. It is therefore appropriate for the façade to face this direction. Equally the beach from shall reflect rear terraces, views and balconies that are also compatible in orientation to the adjacent homes to the north and south.

The mass bulk and scale is compatible to the adjacent property and has also been compared to new homes developed in the area. The height is at regulation height with a ground level similar to other structures including 3833 South Ocean Boulevard currently under construction.

B. REFUSE SERVICE AREAS:

The refuse service areas shall be on the north side of the property just outside of the garage area. There is an existing property wall along the north façade that will shield the refuse area. Only residential trash bins shall be located there. We have also added a gate facing the street and there will be an additional wall along the front property line that will shield the refuse area from Ocean drive. This shall minimize the impact on adjacent properties. The walls shall be concrete block and stucco and shall match the residence. Vehicles do not need to access the area directly as the bins shall be wheeled to the front pick up location on the appropriate day by the owner and be taken back to the refuse area after pick up.

C. MECHANICAL EQUIPMENT OPERATION AND LOCATION:

Mechanical equipment shall be located on the north property, along the south and on the roof. It is indicated on the plans that screening to match the residence in simulated wood veneer shall be utilized in addition to a landscape hedge. On the roof the screening shall be used and is noted on the roof plan.

D. LIGHTING:

Exterior lighting shall be code compliant and comply to the sea turtle regulations. This project shall be reviewed by the DEP and shall be in strict conformance with their guidelines as well. Light source shall be shielded from adjacent residential properties and rights of ways. No glare or spill over effect shall be proposed.

D. LANDSCAPING AND TREES

The new site shall meet or exceed landscape requirements and shall be regraded accordingly including Chapter 28 as required.

E. SIGNS

Signs are not proposed for this project

F. WALLS AND FENCES:

Retaining walls and low walls are also proposed for privacy at the front and side property lines. The walls shall compliment the architecture and be of the same material and texture. The wall in the front a rough natural stone is proposed on the stucco concrete block. The colors shall compliment the residence finishes. The screening on the side and for the mechanical equipment shall be simulated wood veneer like the front façade and shall run horizontally. The existing seawall shall remain and be raised to the height of the proposed pool deck. The existing dock and stair to the beach shall be replaced. A roof top stair access is proposed with 225 square feet of accessible roof area. The railing along the roof access area shall be aluminum and glass so as to have less impact and be more transparent.

If you have any questions please feel free to contact me at 954-921-5333.

Respectfully,



Annie Carruthers
Principal/Architect
AR-97156



TOWN OF HIGHLAND BEACH
PLANNING BOARD
PERMIT DEVELOPMENT ORDER APPLICATION

RECEIVED

NOV 23 2016

HIGHLAND BEACH
BUILDING DEPARTMENT

Application #

I request a hearing regarding the terms of the Zoning Ordinances of the Town of Highland Beach. This request relates to the property and zoning requirements set forth in this application.

PROPERTY INFORMATION ASSOCIATED WITH THIS APPLICATION

Address: 4005 S OCEAN BLVD, HIGHLAND BEACH, FL 33487		PCN: 24-43-47-04-00-005-0010
Full Legal Description of the Property [as described in the deed] or reference to an attachment: 4-47-43, S 100 FT OF N 600 FT OF 60V LT 5 E OF A-1-A A/K/A CITY LOT NO 52. Official Records Book: 28497 Page: 687		
Zoning District: RS	What is the location of the installation? <input type="checkbox"/> Intracoastal Waterway (ICW) <input type="checkbox"/> Interior Canal/Basin <input type="checkbox"/> N/A Beach	

PROPERTY OWNER INFORMATION

Name: 4005 OCEAN BLVD LLC	Phone: 305-343-3671	Fax: 786-361-0948
Mailing Address: 170 SE 14th St, Suite 1002, Miami, FL 33131		
Email Address: pascal@k12f.com / front@k12f.com <i>Pauline</i>		

Contact: **702-831-1320**

APPLICANT INFORMATION

Name: 4005 OCEAN BLVD LLC	Phone: 305-343-3671	Fax: 786-361-0948
Mailing Address: 170 SE 14th St, Suite 1002, Miami, FL 33131		
Email Address: pascal@k12f.com / front@k12f.com		

ARCHITECT/DESIGNER INFORMATION

Name: IN-SITE DESIGN GROUP LLC	Phone: 954-921-5333	Fax:
Mailing Address: 1546 JACKSON STREET, HOLLYWOOD, FLORIDA 33020		
Email Address: annie@insitedesigngroup.com		

DEVELOPMENT ORDER REQUEST

Rezoning: <input type="checkbox"/> Rezoning by a Property Owner or Party Other than the Town	Special Exceptions: <input type="checkbox"/> Boat Basins <input type="checkbox"/> Boat Lifts <input type="checkbox"/> Change of Nonconforming Use <input type="checkbox"/> Dwelling, Single-Family, Zero Lot Line <input type="checkbox"/> Essential Public Service Structures <input type="checkbox"/> Houses of Worship <input type="checkbox"/> Off-Premises Parking <input type="checkbox"/> Perpendicular Docking of Boats <input type="checkbox"/> Post Offices <input type="checkbox"/> Recreation Facilities, Public <input type="checkbox"/> Utility Facilities
Site Plan: <input type="checkbox"/> Site Plan Multifamily and Non-Residential <input type="checkbox"/> Site Plan Review, Major Modification <input checked="" type="checkbox"/> Site Plan Single-Family, Located on a Single Lot <input type="checkbox"/> Site Plan Single-Family, Located within a Larger Project	
Other: _____	

Provide a brief description of the project:

THE DEMOLITION OF AN EXISTING NON CONFORMING SINGLE FAMILY
RESIDENCE AND THE CONSTRUCTION OF A NEW SINGLE
FAMILY RESIDENCE WITH POOL AND GARAGE, DRIVEWAY ^{ON A SINGLE} LOT

I give permission to the members of the Planning Board and staff to inspect the property for the purpose of this application. I declare that all statements made herein are true, based upon the best available information, and I understand that willful false statements and the like are misdemeanors of the second degree under Section 837.06, Florida Statutes. Such willful false statements may jeopardize the validity of my application or any decision issued thereon. I have fully read the information outlining the Board procedures and application requirements. With this application, I am submitting the necessary supporting materials listed.

Applicant's Signature: _____

Date: 11/14/2016

Building Department Use:

Date Application Received: _____ By: _____

Preliminary Review: _____ Final Review: _____ Amended Site Plan: _____ Other: _____

☐ Plans meet Town of Highland Beach Zoning and other governmental agencies requirements.

☐ Plans meet Town of Highland Beach Zoning requirements, however, approvals are pending with other governmental agencies requirements.

☐ Plans do not meet Town of Highland Beach Zoning requirements.

Building Official Signature: _____ Date: _____

Received by the Town Clerk's Office:

Received By: Leanne Goshin

Date: 1/5/17

Date Public Notices Mailed: _____

Date Legal Advertisement Published: _____

File No. 2160288/lm
Prepared by and Return to:
Lorri J. Kolbert Klein, Esq.
Patch Reef Title Company, Inc.
6100 Glades Road, Suite 204
Boca Raton, Florida 33434

Parcel No.: 24-43-47-04-00-005-0010

WARRANTY DEED

This Indenture made this 8th day of August, 2016, BETWEEN John Ferber, a married man, whose post office address is: 6009 Old Ocean Blvd, Ocean Ridge, FL 33435

Grantor*,
and
4005 OCEAN BLVD LLC, a Florida limited liability company
whose post office address is: 170 SE 14th St, Ste 1002, Miami, FL 33131
Grantee*.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100 (\$10.00) Dollars and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the Grantee and Grantee's heirs and assigns forever the following described land situate, lying and being in Palm Beach County, Florida, to-wit:

The South 100 feet of the North 2150 feet (both measured at right angles) of Section 4, Township 47 South, Range 43 East, lying East of the center line of State Road A1A, the right of way of which road was conveyed to State of Florida by deed recorded in Deed Book 578, Page 129, Palm Beach County Records, which property situated in Palm Beach County, Florida.

SUBJECT TO restrictions, reservations, covenants and easements of record which are not reimposed by this deed; taxes for the year 2016 and years subsequent thereto; and all applicable zoning ordinances.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "Grantee" are used for singular or plural, as context requires.

WARRANTY DEED
PAGE 2 OF 2

Grantor hereby certifies that he does not reside at the subject property and that the subject property is not his homestead; that neither he, nor his spouse, nor any minor children reside on the property; and that the subject property is not contiguous to his homestead; and that he permanently resides

6009 Old Ocean Blvd, Ocean Ridge, FL 33435

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

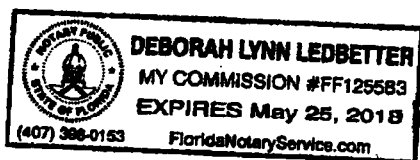
[Signature]
Witness: John Ferber
(Please print name below signature)

[Signature]
John Ferber

[Signature]
Witness: Robert Levy
(Please print name below signature)

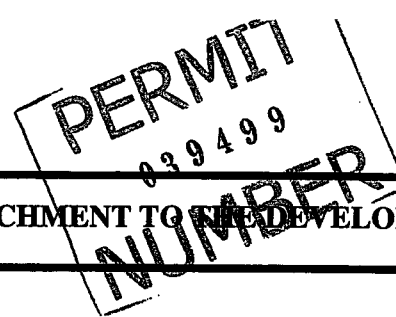
STATE OF Florida
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me this 26 day of July, 2016 by John Ferber, who is personally known to me or who has produced a _____ as identification.



My Commission expires: MAY 25, 2018

[Signature]
Notary Public
Deborah Ledbetter
(Please print name of Notary)



REQUIRED ATTACHMENT TO SITE DEVELOPMENT ORDER APPLICATION

Before any Development Order shall be issued the Board shall make written findings certifying compliance with the specific rules governing individual Development Orders, and that satisfactory provisions and arrangements have been made concerning the following, where applicable: Information you provide will assist the Planning Board to determine whether your application meets the minimum criteria for obtaining a Development Order as described in Chapter 30 Zoning Code, Article 3 Development Review of the Code of Ordinances. Use additional pages if necessary. **The Planning Board will not consider reference to a development order a complete response to the issue.**

Address the issues one at a time and be as detailed as possible. Attach additional sheets if necessary.

A. Building orientation: Buildings shall be oriented to enhance the appearance of the streetscape.

1. Building orientation shall ensure that service areas are placed out of view from public rights-of-way, parking areas, and adjacent properties. Where, because of site constraints service areas can not be so located, such areas shall be screened from view by vegetative or structural means. Any structural screening shall be architecturally compatible with the principal building in terms of style, colors, construction materials, and finish.
2. Mass, bulk, and scale of all structures shall be compatible with other structures and uses both in the same zoning district and in the neighborhood.

SEE ADDITIONAL SHEET ATTACHED

B. Refuse service areas:

1. Refuse service areas shall be located in a manner that minimizes impacts to adjacent residential properties.
2. Refuse service areas shall be screened from adjacent properties and rights-of-way by an enclosure that is constructed of durable building materials such as concrete, stone, or brick. The enclosure shall be faced with the same style as the façade of the primary structure on the site. The gate to the enclosure shall have a similar appearance as the façade of the building. The enclosure shall be the same color as the primary structure.
3. Enclosures shall be large enough and located in a manner that service vehicles can access the dumpster while it is in the enclosure.

SEE ADDITIONAL SHEET ATTACHED

C. Mechanical equipment operation and location:

1. Mechanical equipment shall be located in a manner that minimizes impacts to adjacent residential properties.
2. Mechanical equipment, including equipment located on roofs shall be screened from view of adjacent residential properties and rights-of-way. Screening shall be of a material that is consistent with the architecture of the building.

SEE ADDITIONAL SHEET ATTACHED

D. Lighting:

1. Outdoor lighting shall be arranged so that the light source is shielded from adjacent residential properties and rights-of-way. Light fixtures shall a type that directs the light downward.
2. Outdoor lighting shall be arranged so that no portions of adjacent residential properties are covered by the light shadow. There shall be no glare or spillover effect of lighting from the property on which a development order is approved to adjacent properties, and all lighting shall comply with the Palm Beach County Code, relating to safeguarding nesting female and hatchling marine turtles from sources of artificial light.

SEE ADDITIONAL SHEET ATTACHED.

E. Landscaping and trees: Please refer to Chapter 28 Xeriscape-Landscape Requirements, Installation and Maintenance in the Town of Highland Beach Code of Ordinances.

SEE ADDITIONAL SHEET ATTACHED

F. Signs: Please refer to Chapter 23 Signs and Advertisement in the Town of Highland Beach Code of Ordinances.

SEE SHEET ATTACHED

G. Walls and Fences: Please refer to Chapter 6 Building and Structures; Article 5 Seawalls; Bulkheads; Retaining Walls in the Town of Highland Beach Code of Ordinances.

SEE SHEET ATTACHED

Additional Notes:

30-68 HB CODE OF ORDINANCE

(4)

Exceptions to building height. The following exceptions to building height limits for single-family and multi-family units containing up to four (4) dwelling unit dwellings shall be permitted.

a.

Exceptions. Exceptions to building heights shall include such functional and nonfunctional architectural features as chimneys, cupolas, towers, dormers, parapet walls, domes, and spires. Mechanical features are considered exceptions to height limitations include heating, ventilating, and air conditioning equipment, and flagpoles and radio or television antennae, satellite receivers, digital transmitters, and telecommunication equipment.

b.

Measurement. Height exceptions shall be measured from that point of a flat or pitched roof utilized to determine building height.

c.

Limitations. Height exceptions shall comply with the limitations listed below:

1.

Not more than two (2) height exceptions, including elevator housings, shall be allowed on any defined roof line.

2.

The size of each architectural height exception, unless otherwise provided herein, shall be limited to a total of four feet by four feet by four feet (4' x 4' x 4') and a maximum volume of sixty-four (64) cubic feet.

3.

The size of height exceptions or architectural features shall not exceed four (4) feet above that point of a flat or pitched roof utilized to determine building height, except as may be required to comply with building codes for functional chimneys or similar features.

4.

Parapet walls shall not exceed four (4) feet in height.

5.

The observation area shall not exceed two hundred twenty-five (225) square feet, and habitable area shall not be provided.

2.

The walks or decks shall be open air features and shall not be walled, roofed, or otherwise enclosed.

3.

Electricity, water, and similar services shall not be installed, unless determined necessary by the building official to meet requirements of the building code.

4.

The surface of walks or decks shall not exceed the overall building height limit.

5.

Not more than one deck or walk per principal structure or dwelling shall be installed.

6.

Access to a deck or walk may be provided by an elevator or an unenclosed stairway, with such secondary access as may be required by the building official.

7.

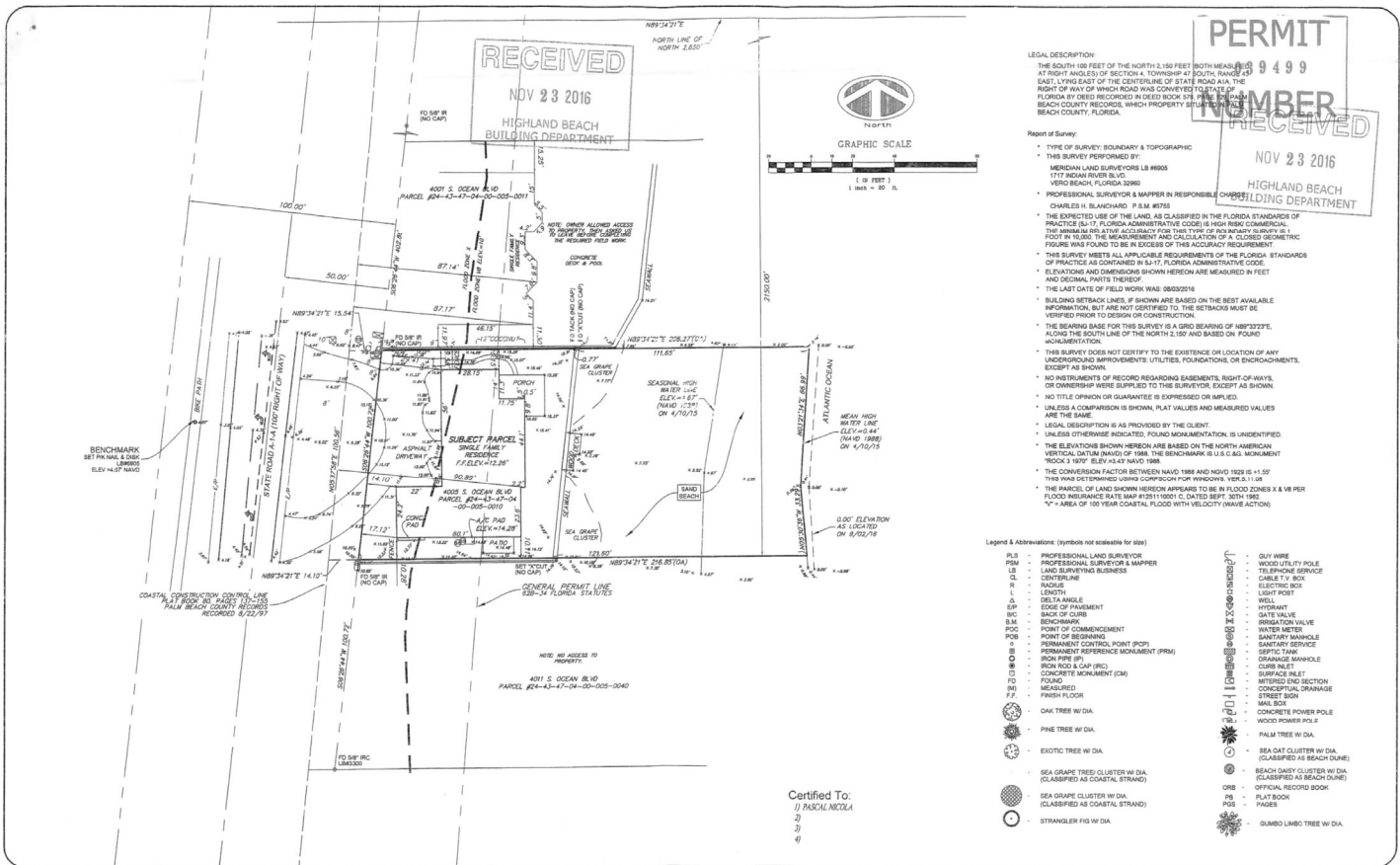
Swimming pools, spas, jacuzzis, and hot tubs, but not other recreational facilities, shall be allowed on a roof top of a single-family dwelling. Recreational facilities of this nature may be permitted on the roof of a multiple-family dwelling if approved by the town commission.

8.

Safety railings shall be provided to meet building or safety codes, provided such railings shall not be opaque.

9.

The decks, walks, and safety railings shall be constructed in a manner consistent with the architectural style, colors, and materials of the principal structure.



TYPE: BOUNDARY & TOPOGRAPHIC				REVISIONS			
PROJECT: 18-044	4			1			
DATE: 8/22/14	3			2			
DRAWN BY: E.P.T.	2			3			
CHECKED BY: C.H.B.	1			4			
SCALE: 1/2" = 10'				5			

PLAT OF SURVEY FOR:
PASCAL NICOLA
4005 S. OCEAN BLVD

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL BASED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER NAMED BELOW:
 CHARLES H. BLANCHARD P.S.M. #5733

RECEIVED
NOV 23 2016
HIGHLAND BEACH

Property Appraiser
GARY R. NIKOLITS, CFA
Palm Beach County

PERMIT
039499
PAPA Search
PAPA Print
NUMBER

Search Results Detail
New Property Record

Owners
4005 OCEAN BLVD LLC

Property detail
Location: 4005 S OCEAN BLVD
Municipality: HIGHLAND BEACH
Parcel No: 24434704000050010
Subdivision:
Book: 28497 Page: 687
Sale Date: JUL 2016
Mailing: 170 SE 14TH ST STE 1002
Address: MIAMI FL 33131 3379
Use Type: 0100 SINGLE FAMILY
Total Square Feet: 1584

Sales Information

Sales Date	Price
JUL 2016	4425000
APR 2015	4000000
MAR 1994	940000
MAR 1994	100
DEC 1987	700000

Appraisals

Tax Year	2016
Improvement Value	\$60,113
Land Value	\$1,221,192
Total Market Value	\$1,281,705

All values are as of January 1st each year

Assessed/Taxable values

Tax Year	2016
Assessed Value	\$1,281,705
Exemption Amount	\$0
Taxable Value	\$1,281,705

Taxes

Tax Year	2016
Ad Valorem	\$58,367
Non Ad Valorem	\$170
Total Tax	\$58,537

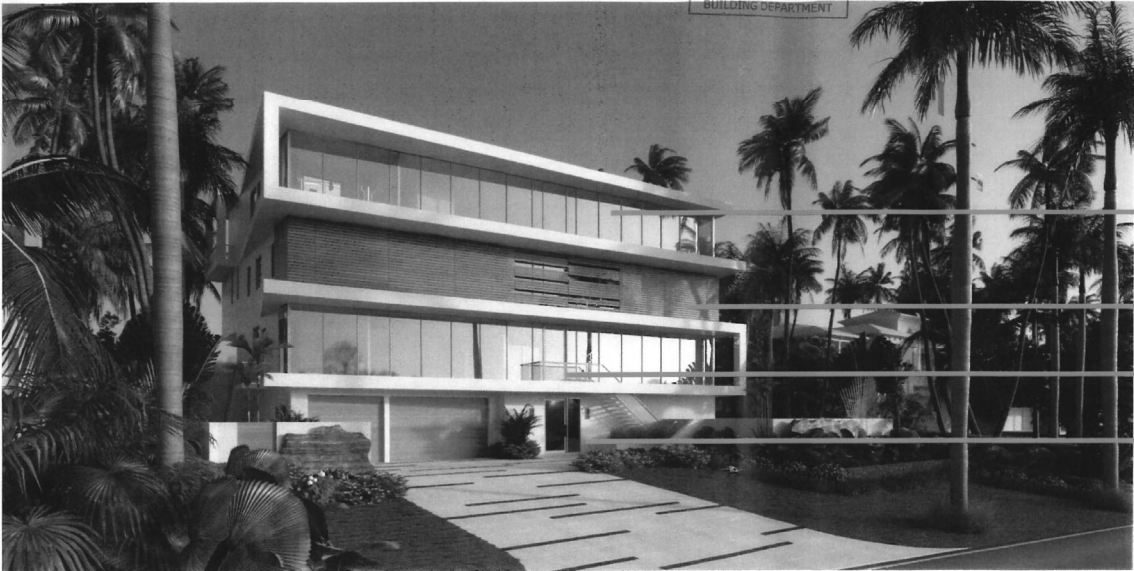


PROPOSED MATERIALS & COLORS

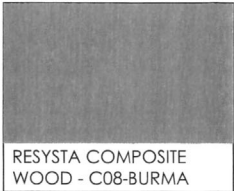
4005 S OCEAN BOULEVARD

RECEIVED
NOV 23 2016
HIGHLAND BEACH
BUILDING DEPARTMENT

PERMIT
039499
NUMBER



ALUMINUM & IMPACT
RESISTANT WINDOW
WALL SYSTEM
RESYSTA COMPOSITE
WOOD
ALUMINUM & IMPACT
RESISTANT GLASS RAILING
STUCCO



IN-SITE DESIGN GROUP LLC
Architecture + Design + Engineering
1546 Jackson Street, Hollywood, FL 33020
AA26001758
954-921-5333
www.instedesigngroup.com

PROPOSED EXISTING RESIDENCE

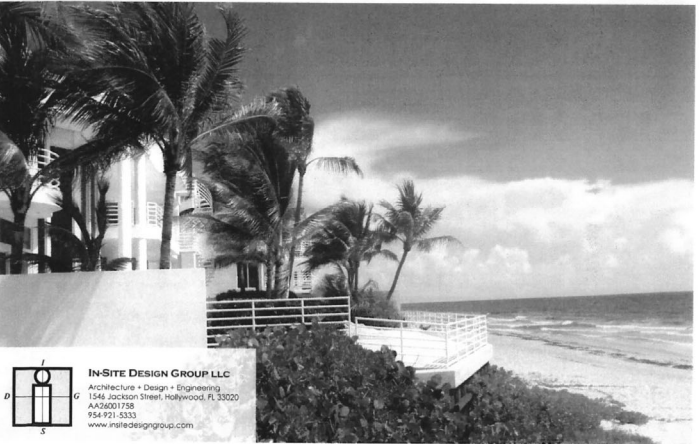
4005 S OCEAN BOULEVARD



**IN-SITE DESIGN GROUP LLC**
Architecture • Design • Engineering
1546 Jackson Street, Hollywood, FL 33020
AA2001758
954-921-5533
www.in-sitedesigngroup.com

ADJACENT NORTH PROPERTY

3921 S OCEAN BOULEVARD

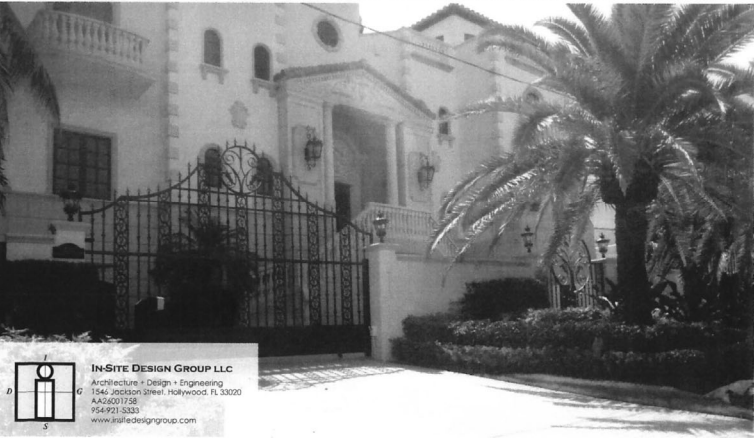


ADJACENT SOUTH PROPERTY

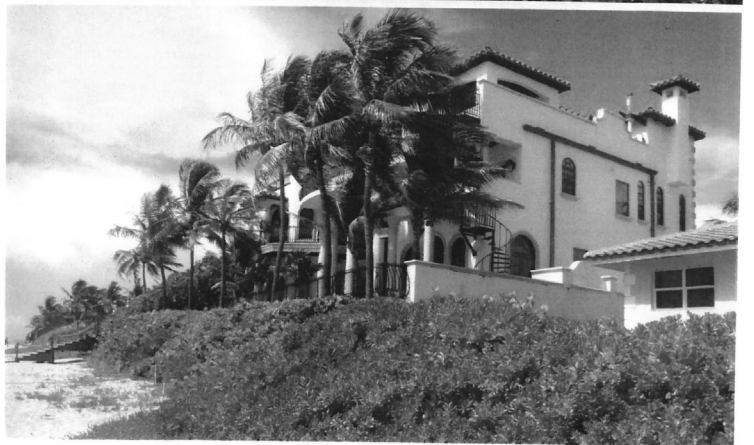
4011 S OCEAN BOULEVARD



PERMIT
039499
NUMBER RECEIVED
NOV 23 2016
HIGHLAND BEACH
BUILDING DEPARTMENT



**IN-SITE DESIGN GROUP LLC**
Architecture • Design • Engineering
1545 Edison Street, Hollywood, FL 33020
AA2001758
954-931-3333
www.insitedesigngroup.com



PERMIT
039499
NUMBER

RECEIVED
NOV 23 2016
HIGHLAND BEACH
BUILDING DEPARTMENT





RECEIVED

NOV 23 2016

HIGHLAND BEACH
BUILDING DEPARTMENT

PERMIT

039499

NUMBER

PROJECT DATA

PROJECT ADDRESS: 10000 N. W. 10th Ave, Miami, FL 33150

OWNER: [REDACTED]

DESIGNER: [REDACTED]

DATE: 10/1/2014

SCALE: 1/8" = 1'-0"

PROJECT DATA

PROJECT ADDRESS: 10000 N. W. 10th Ave, Miami, FL 33150

OWNER: [REDACTED]

DESIGNER: [REDACTED]

DATE: 10/1/2014

SCALE: 1/8" = 1'-0"

INDEX

PAGE	DESCRIPTION	PHASE	DESCRIPTION
1	PROJECT DATA		
2	INDEX OF DRAWINGS		
3	SITE, LANDSCAPE, IRRIGATION AND POOL NOTES		
4	LOCATION MAP		

INSITE DESIGN GROUP LLC

10000 N. W. 10th Ave, Miami, FL 33150

PHASE 1: CONCEPT DESIGN

PHASE 2: PRELIMINARY DESIGN

PHASE 3: FINAL DESIGN

PHASE 4: CONSTRUCTION ADMINISTRATION

PHASE 5: POST-CONSTRUCTION

PHASE 6: MAINTENANCE

PHASE 7: DEMOLITION

PHASE 8: RECONSTRUCTION

PHASE 9: RENOVATION

PHASE 10: RESTAURATION

PHASE 11: REPAIR

PHASE 12: REPLACEMENT

PHASE 13: REPAIR

PHASE 14: REPLACEMENT

PHASE 15: REPAIR

PHASE 16: REPLACEMENT

PHASE 17: REPAIR

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PHASE 95: REPAIR

PHASE 96: REPLACEMENT

PHASE 97: REPAIR

PHASE 98: REPLACEMENT

PHASE 99: REPAIR

PHASE 100: REPLACEMENT

1 PROJECT DATA

2 INDEX OF DRAWINGS

3 SITE, LANDSCAPE, IRRIGATION AND POOL NOTES

4 LOCATION MAP

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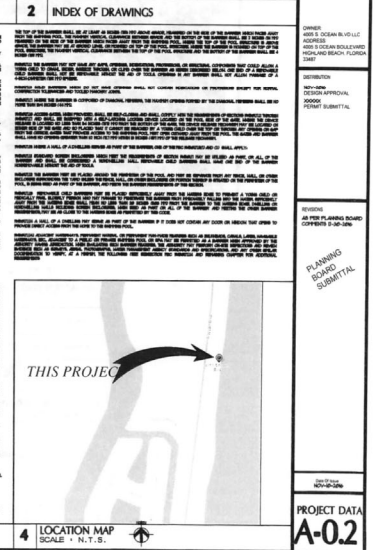
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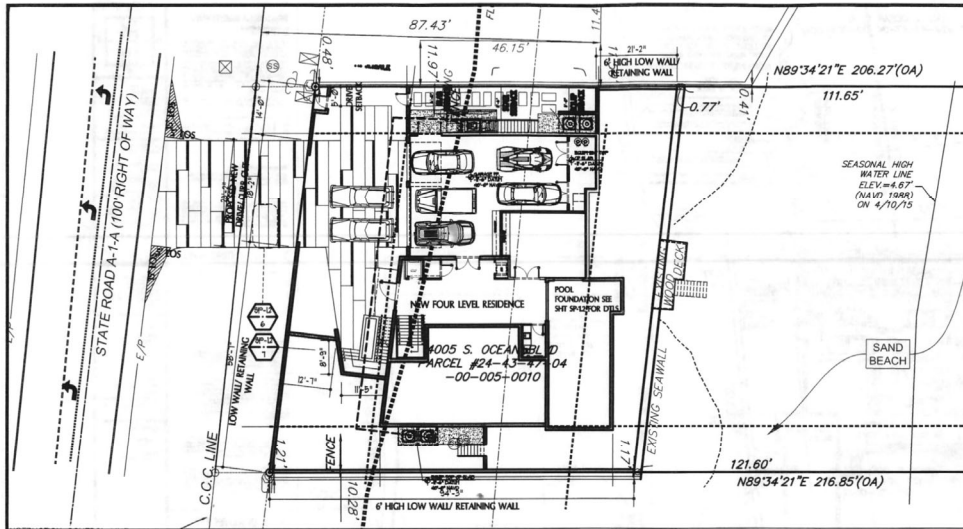
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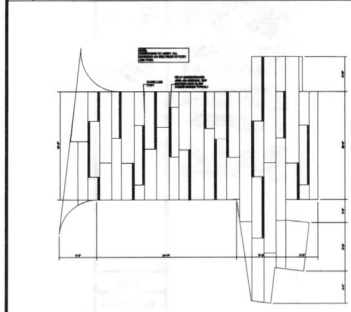
PROJECT DATA

A-0.2

[illegible]



1 WALL LOCATION PLAN AND HARDSCAPE
SCALE: 1/8" = 1'-0"



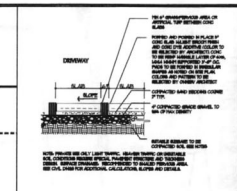
4 DRIVE PAVEMENT LAYOUT PLAN
SCALE: 1/8" = 1'-0"



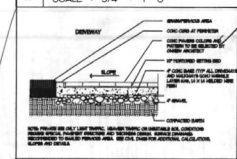
5 FRONT LOW WALL ELEVATION
SCALE: 3/4" = 1'-0"



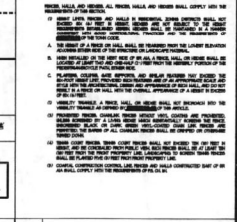
7 LOW WALL DTL
SCALE: 3/4" = 1'-0"



2 DRIVEWAY DETAIL
SCALE: 3/4" = 1'-0"



3 PAVEMENT ON CONC DETAIL (TYP AT POOL)
SCALE: 3/4" = 1'-0"



6 FENCE/WALL REGULATIONS HIGHLAND BCH



8 FENCE/WALL REGULATIONS FBC 2014

INSITE DESIGN GROUP LLC
100 ANDERSON STREET
NORTH MIAMI BEACH, FL 33162
TEL: 305.555.1234
WWW.INSITEDESIGNGROUP.COM

PROJECT:
HIGHLAND BEACH
RESIDENCE

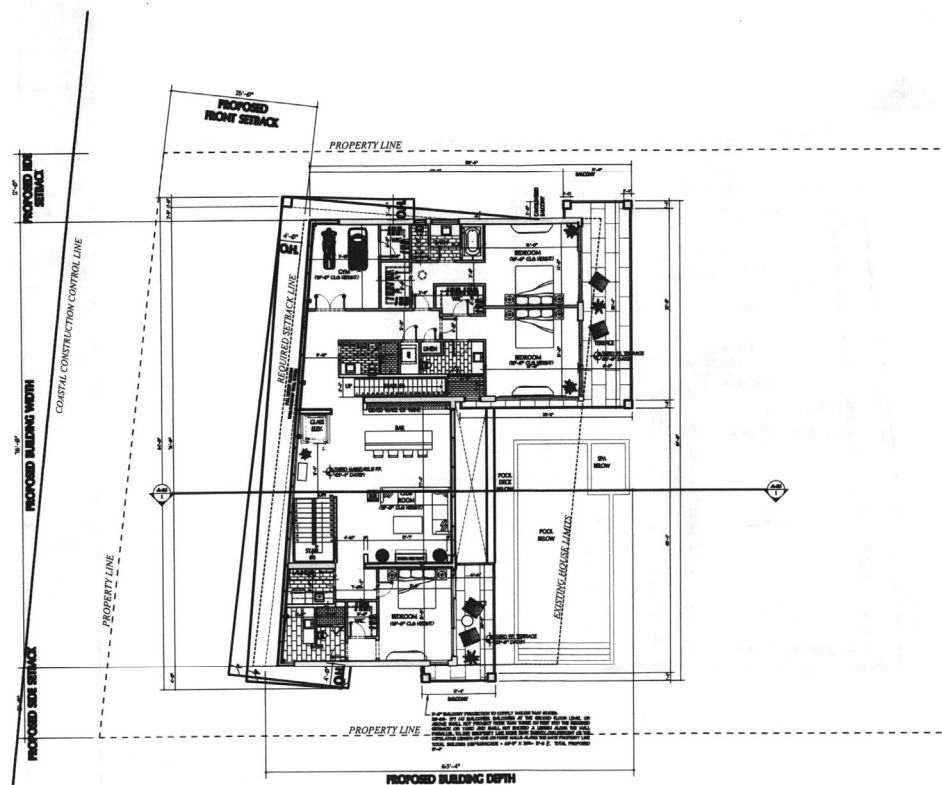
OWNER:
4005 S. OCEAN BLVD
PARCEL #24-43-47-04

DATE:
04/10/15

REVISIONS:
ALL PER CITY/ANNUAL BOARD
COMMENTS & ACTION

PLANNING BOARD SUBMITTAL

SITE DETAILS
SP-13



RESIDENCY HQ1 CALCULATION	
AREAS	PROPOSED
GROUND FLOOR AC	1.173
RESIDENCY 1ST FLOOR AC	2.547
RESIDENCY 2ND FLOOR AC	2.548
RESIDENCY 3RD FLOOR AC	2.781
RESIDENCY 4TH FLOOR AC	73
AC SUB TOTAL	8.999
CANOPY & STORES	1.250
CANOPY AND 1ST FLOOR	0.075
CANOPY TERRACE 2ND FLOOR	0.121
CANOPY TERRACE 3RD FLOOR	0.064
NON AC SUB TOTAL	2.506
GRAND TOTAL	11.505

A diagram of a rectangular frame. It consists of a vertical member on the left and a horizontal member on the right. The vertical member is labeled with the letter 'I' at its top end. The horizontal member is labeled with the letter 'D' at its left end. The two members meet at a corner on the right.

IN-SITE
DESIGN
GROUP LLC

ANNE K. CARLTHERS
ARCHITECT



PROJECT:
INDUSTRIAL AND RESIDENTIAL

OWNER:
4035 S. OCEAN BLVD. LL
ADDRESS:
4035 S OCEAN BOULEV
HIGHLAND BEACH, FLO
33480-4035

DESIGN APPROVAL
FOR PERMIT SUBMITTAL

REVISIONS
AS PER PLANNING BOARD

PLANNING
BOARD
SUBMITTAL

FLOOR PL

A-1.4

PROPOSED SIDE SETBACK

PROPOSED BUILDING WIDTH

**PROPOSED SIDE
SETBACK**

COASTAL CONSTRUCTION CONTROL LINE

PROPERTY LINE

**PROPOSED
FRONT SETBACK**

PROPERTY LINE

REQUIRED SETBACK LINE

EXISTING HOUSE LIMITS

1. The following information is being furnished to you for your information only. It is not intended to be used for any other purpose.

2. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

3. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

4. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

5. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

6. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

7. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

8. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

9. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

10. The information is being furnished to you for your information only. It is not intended to be used for any other purpose.

—

3 AREA CALCULATIONS

[illegible]

PLANNING
BOARD
SUBMITTAL

AD PERS PLANNING FOR
CLIENTS D-36-2016DESIGN APPROVAL
 XXXXXX
 PERMIT SUBMITTAL

OWNER:
4005 S. OCEAN BLVD.
ADDRESS:
4005 S. OCEAN BOULEVARD
HIGHLAND BEACH, FL
33467

HIGHLAND BEACH RESIDENCE

100

STATE OF IN.

AA26001756
954 921 5333

DESIGN
GROUP LLC

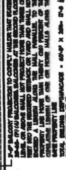
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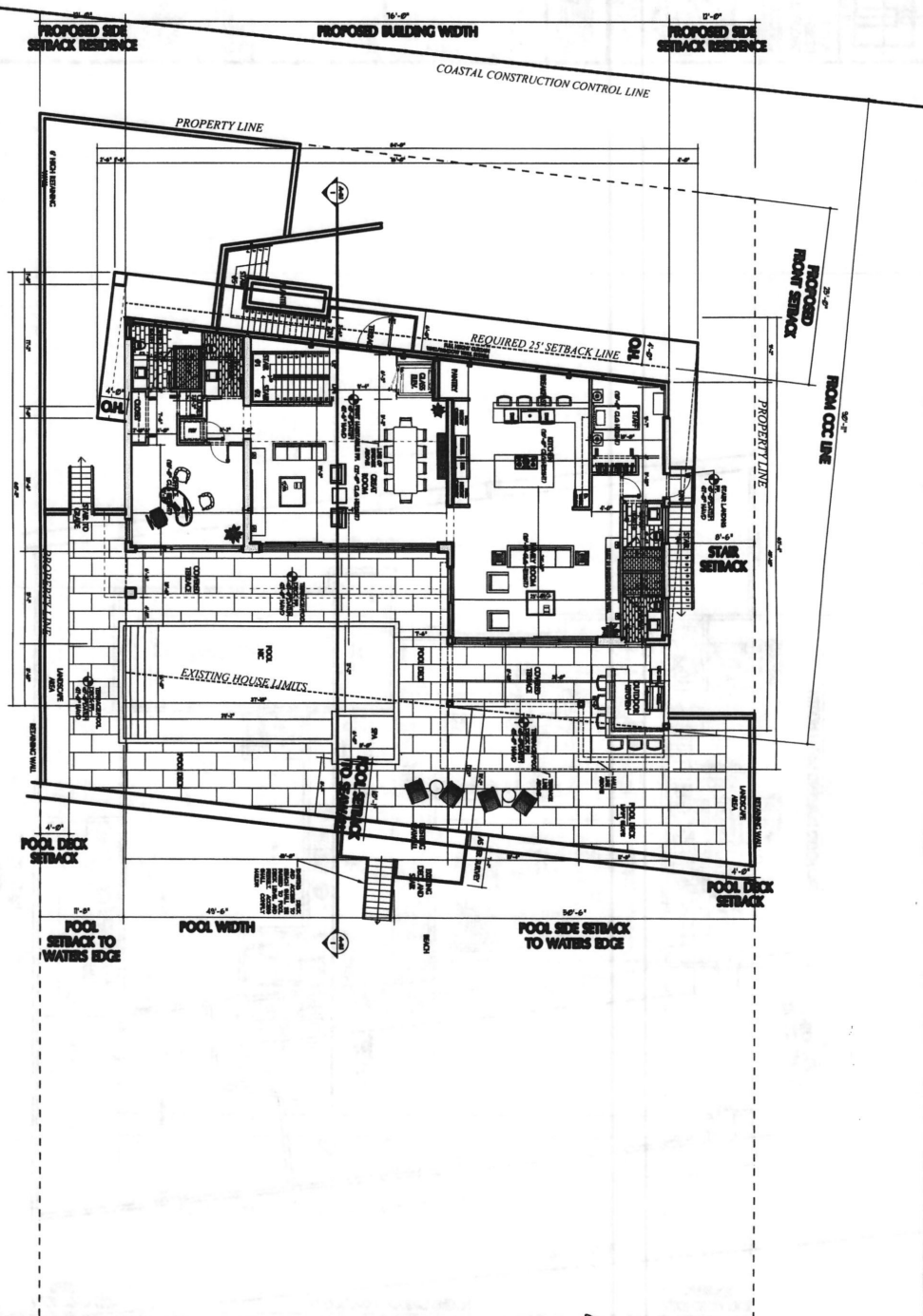
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N WEST
1'-0"



SOUTH

ELEVATIONS
A-21



AREA	AREA	AREA
AREA 1	AREA 2	AREA 3
AREA 4	AREA 5	AREA 6
AREA 7	AREA 8	AREA 9
AREA 10	AREA 11	AREA 12
AREA 13	AREA 14	AREA 15
AREA 16	AREA 17	AREA 18
AREA 19	AREA 20	AREA 21
AREA 22	AREA 23	AREA 24
AREA 25	AREA 26	AREA 27
AREA 28	AREA 29	AREA 30
AREA 31	AREA 32	AREA 33
AREA 34	AREA 35	AREA 36
AREA 37	AREA 38	AREA 39
AREA 40	AREA 41	AREA 42
AREA 43	AREA 44	AREA 45
AREA 46	AREA 47	AREA 48
AREA 49	AREA 50	AREA 51
AREA 52	AREA 53	AREA 54
AREA 55	AREA 56	AREA 57
AREA 58	AREA 59	AREA 60
AREA 61	AREA 62	AREA 63
AREA 64	AREA 65	AREA 66
AREA 67	AREA 68	AREA 69
AREA 70	AREA 71	AREA 72
AREA 73	AREA 74	AREA 75
AREA 76	AREA 77	AREA 78
AREA 79	AREA 80	AREA 81
AREA 82	AREA 83	AREA 84
AREA 85	AREA 86	AREA 87
AREA 88	AREA 89	AREA 90
AREA 91	AREA 92	AREA 93
AREA 94	AREA 95	AREA 96
AREA 97	AREA 98	AREA 99
AREA 100	AREA 101	AREA 102

PLANNING BOARD SUBMITAL

A-12

FLOOR PLAN

INSITE DESIGN GROUP LLC

1000 N. W. 10th Ave., Suite 1000

Miami, FL 33136

305.555.1234

www.insitedesigngroup.com

OWNER: [Name]

PROJECT: [Name]

DATE: [Date]

SCALE: [Scale]

REVISIONS:

1. [Description]

2. [Description]

3. [Description]

4. [Description]

5. [Description]

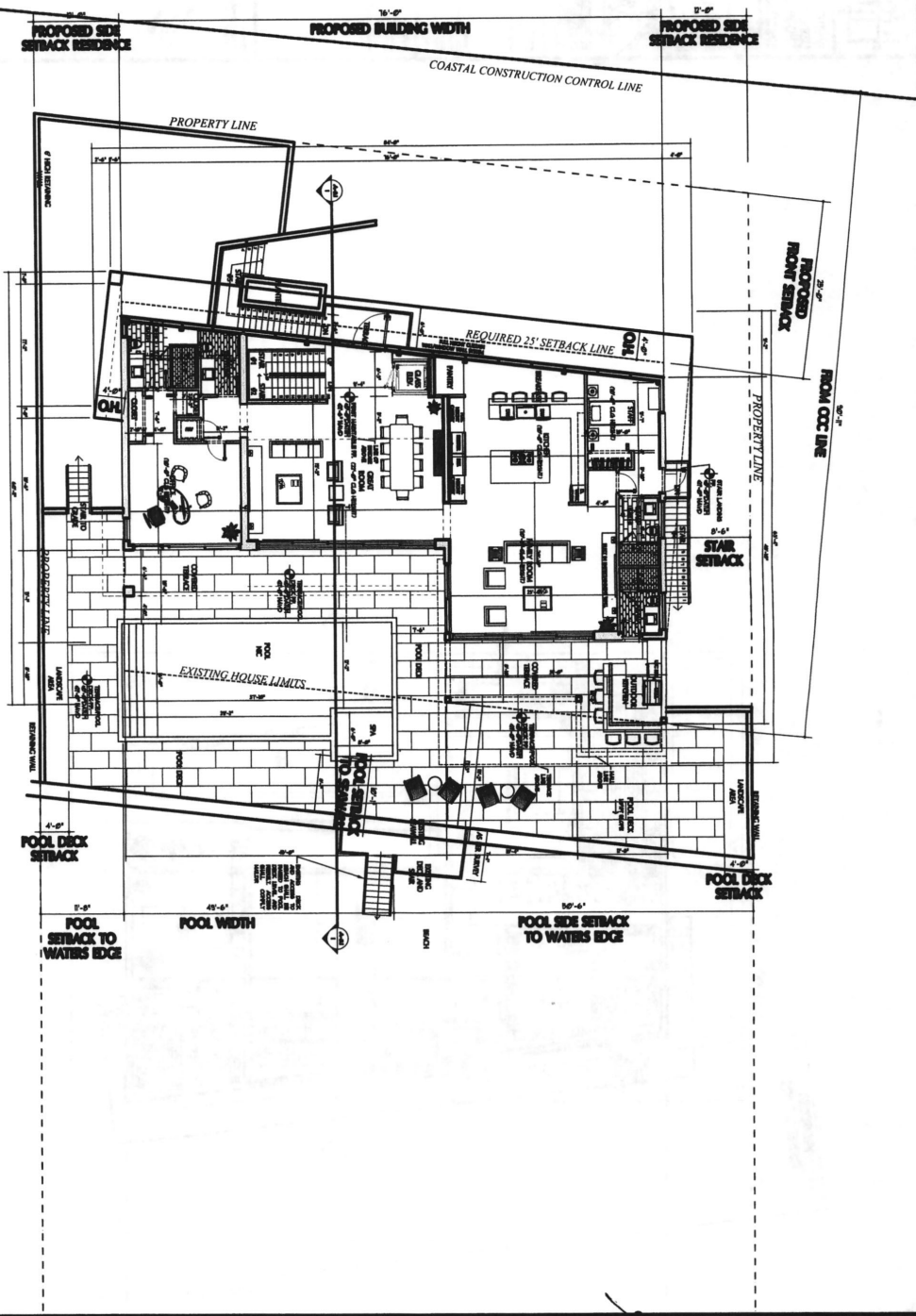
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7. [Description]

8. [Description]

9. [Description]

10. [Description]



RESIDENCE AREA CALC	
AREA	AREA
1. LIVING ROOM	1,200.00
2. DINING ROOM	800.00
3. KITCHEN	700.00
4. BATH	400.00
5. BEDROOM	1,000.00
6. STAIRS	200.00
7. PORCH	1,000.00
8. PATIO	1,000.00
9. POOL DECK	1,000.00
10. POOL	1,000.00
11. TOTAL	8,300.00

A-12

FLOOR PLAN

PLANNING BOARD SUBMITAL

PROJECT: HIGH RISE BEACH RESIDENCE

DESIGNER: INSITE DESIGN GROUP LLC

DATE: 01/15/2023

SCALE: 3/8" = 1'-0"

