

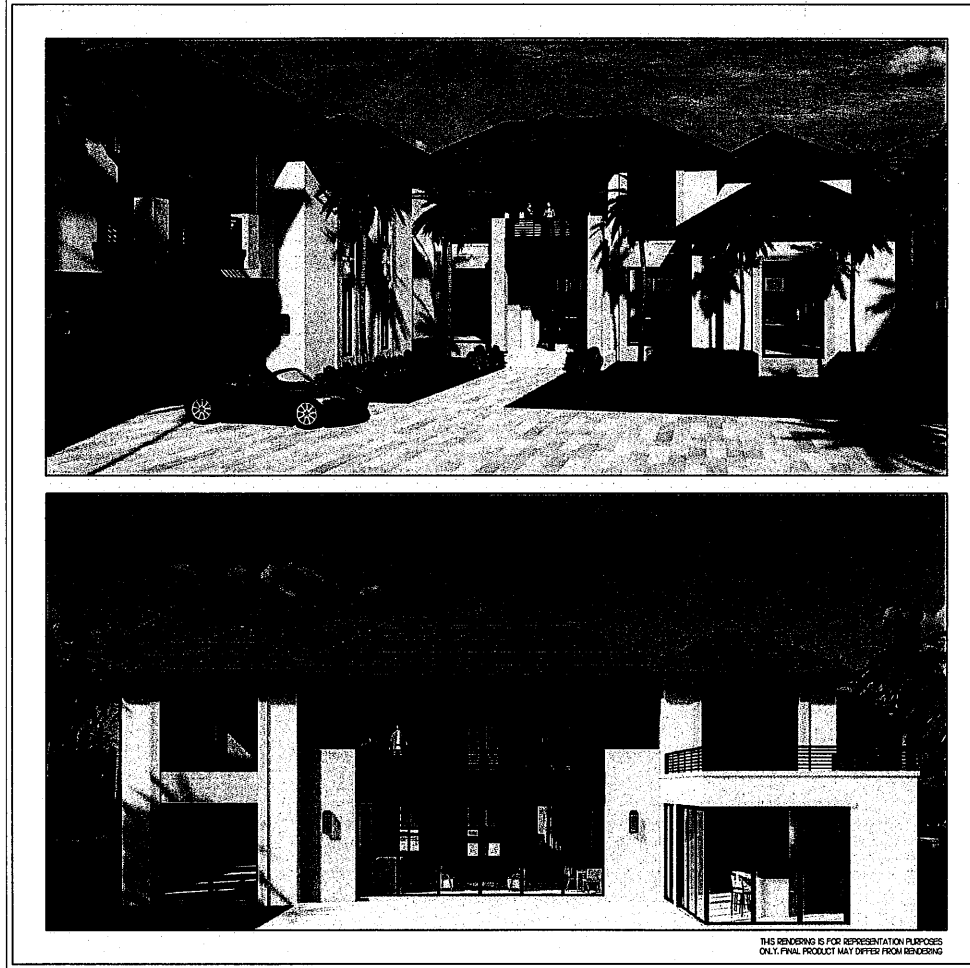
PROPOSED RESIDENCE

Project Number:
22141

RECEIVED

DEC 20 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



BEYER RESIDENCE
2865 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL

Affiniti
Architects, P.A.
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GENERAL NOTES

GENERAL CONSTRUCTION NOTES: CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION (2009) UNLESS ACCESSIBILITY, BUILDING ENERGY CONSERVATION (EXISTING BUILDING), FUEL GAS, PLUMBING, MECHANICAL, & MISC.

- ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED OR NOT.
- BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE DRAWINGS. BUILDER TO NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED TO RECEIVE A BUILDING PERMIT. ARCHITECT SHALL HAVE A REASONABLE AMOUNT OF TIME TO FINALIZE A RESPONSE TO ADDITIONAL REQUESTED INFORMATION.
- SUBMIT MIN. THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
- THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL BE FAMILIAR WITH THE GOVERNING CODE, IN ITS ENTIRETY, AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- THE BUILDER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEMS SPECIFIED ON THESE DRAWINGS WITHOUT ANY PRIOR NOTICE (ITEMS WHICH ARE SUBSTITUTED REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING OFFICIAL, SEE NOTE #9).
- BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL MEMBERS DURING CONSTRUCTION.
- CARPENTERS TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- WOOD AND DOOR SUPPLIES TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- ALL WINDOWS AND DOORS SHALL BE CALLED AND HEATHER STRIPPER WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH FLORIDA STATE ENERGY CODE SECTION 502A.
- ALL FINED GLASS, BUTT GLASS, AND GLASS BLOCK SHALL BE INSTALLED TO WITHSTAND THE DESIRED WIND LOAD. TOUSS MANUFACTURERS SHALL SUBMIT THREE COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REG. ENGINEER OF THESE FLOOR/ROOF TRUSS DESIGN FOR REVIEW.
- TOSSES TO BE ORDERED TO CARRY LOADS OF HEAVY APPLIANCES AND MISCELLANEOUS EQUIPMENT. BUILDER SHALL COORDINATE LOCATIONS PRIOR TO FABRICATION AND INDICATE ON TOSS DRAWINGS.
- PROVIDE GROUNDED CELL AT BEARING POINT OF EACH GABLE TRUSS.
- ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH BEARING CLIPS, TOP AND BOTTOM EACH SIDE, AS PER CODE AND AS NOTED.
- CONCRETE SHALL CONFORM TO ASTM C94. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308 AND ACI 309. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 530/530S MORTAR SHALL MEET THE FOLLOWING STANDARDS: TYPE S MORTAR, M-2000 PSI.
- FILLED CELLS - 3000 PSI CONCRETE BLOCK W/ 8" TO 10" STUCCO.
- MINIMUM CONCRETE COVER: CONCRETE SHALL BE 3/4" SLABS ON WAPOR BARRIER-3/4" / BEAMS AND COLUMNS 1/2" FORMED / CONCRETE BELOW GRADE 2" UNFORMED / CONCRETE BELOW GRADE 3"
- PLUMBING DRAWINGS AND BAR LISTS SHALL CONFORM TO ACIS MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 308).
- DETAILS OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION, AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS OTHERWISE INDICATED.
- ADEQUATE VERTICAL AND HORIZONTAL BRACING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
- CONCRETE BEAM SIZES MAY BE INCREASED/REduced AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK. CLEANING DOOR BOTTOM OF THE BEAMS AS REQUIRED AT WINDOWS AND DOOR BEAMS OF 14" MAX AND 4" MAX BOTTOM 1/4" DROP EXCEEDS IF:
- DOWN, COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF BOWELS AS VERTICAL BARS NOTED.
- VERTICAL CELLS FOR MASONRY TO BE GROUNDED SHALL HAVE VERTICAL ALIGNMENT SUPPORT TO MAINTAIN A CLEAR UNOBTAINED CONTROLLED CELL.
- CLEANOUT GRINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUNDED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE BRASS UP TO CLEANING AND INSPECTION AND BEFORE GROUTING.
- REINFORCING STEEL SHALL BE LAPPED AS BAR DIAMETERS MINIMUM W/ 6" SPACED, AND SHALL BE WELDED TOGETHER. OVERLAP SHALL BE SAME SIZE AND NUMBER BOWELS MINIMUM W/ 6" SPACED, LAP 48 BAR DIAMETERS MIN.
- STRUCTURAL WOOD AND TRUSS FRAMING SHALL CONFORM TO THE "THREE CONSTRUCTION MANUALS" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESERVE TREATED OR PROVIDE AN APPROVED MODULAR WOOD BARRIER BETWEEN THE CONCRETE OR OTHER CRUSTATIVE MATERIALS AND THE WOOD AS REQUIRED PER APPLICABLE CODE.
- BARS SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRACING LINES DURING ERECTION OF THE TRUSSES TO PREVENT COLLAPSE OR DAMAGE TO SAME.
- ALL OPENED UP OPENINGS GREATER THAN 4'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER.
- ALL EXPOSURE OVER DOORS AND WINDOWS TO BE 2 OR 3-INCHES FOR WOOD FRAME CONSTRUCTION DEPENDING ON WALL THICKNESS EXCEPT WHERE NOTED.
- DIMENSION LUMBER FOR MEMBERS, COLUMNS, AND BEAMS WALLS SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER OR SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1000 PSI IN BEAMS FOR COLUMNS, UNLESS 3000 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULUS OF ELASTICITY OF 1000 KSI OR BETTER AS DETERMINED BY AN APPROVED LABOR TESTING AGENCY.
- STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION UNLESS OTHERWISE NOTED. BRACING MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: SHAPES, PLATES, AND COR BOLTS - A 36 / TUBULAR STEEL - A 500 GRADE B46 KSI.
- WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE.
- ELECTRICALS FOR FEED AND SHOP WELDS SHALL BE ANSI A59.18.
- SEE FOUNDATION NOTES AND FRAMING NOTES FOR MORE INFO ON THESE ITEMS.
- TOPICAL CURING REQUIRED FOR ALL SLABS AND PLAT WORK UNLESS NOTED OTHERWISE.
- ANY CHANGES, REVISIONS, ALTERATIONS ETC. SECURED TO THESE PLANS (DRAWINGS, SPECIFICATIONS, ETC.) SHALL BE RECORDED IN WRITING ONLY BY THE BUILDER OR THE OWNER TO THE ARCHITECT. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS ETC. NOT MADE TO THE ARCHITECT IN WRITING ONLY WILL BE FULLY UNCONDITIONALLY AND TOTALLY RELEASE THE ARCHITECT FROM ANY AND ALL RESPONSIBILITY, CLAIMS, AGAINST THE ARCHITECT FOR LIABILITY, ETC. FROM THE DATE SHOWN ON PLANS OR UNTIL THE END OF TIME.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED TO MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS.

ABBREVIATIONS

ACCOLAS	ACCOLATED	MTD	MONOTYPED
ADU	ADULT USE	ML	MILLION
AL	ALUMINUM	NSC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BLK	BLOCK	NIS	NOT TO SCALE
BTM	BOTTOM	OA	OVERALL
CB	CABINET	OS	OSBLOCK
CL	CLEAR	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC.	CONCRETE	OMG	OPENING
CON	CONNECTION	OP	OPENING
CONT.	CONTINUOUS	PL	PLATE
CTCK	COUNTERJACK	PLAS	PLASTER
DEC	DECORATIVE	PR	PURPOSE
DET	DETAIL	PREST	PRESSURE TREATED
DF	DOLBY FIR	PT/DF	PRESSURE TREATED
DIA	DIAMETER	PN	PARTITION
DN	DOWN	QT	QUARTY TILE
DS	DOWN SPOUT	SAD	SADDLES
DWG	DRAWING	BU	BOOK
EA	EACH	RO	ROUND OPENING
EL	ELEVATION	RWD	REDWOOD
ELEC	ELECTRICAL	RWL	RAIN WATER LEADER
EQ	EQUAL	SC	SOLID CORE
EXH	EXHAUST	SOE	SCHEDULE
EXP	EXPANSION	SH	SHEET
EXT	EXTENSION	SM	SMALLER
EXTL	EXTENDING	SO	SQUARE
FF	FINISH FLOOR	SS	STAINLESS STEEL
FL	FLASHING	STD	STANDARD
FLOOR	FLOORSCOTCH	STL	STEEL
FT	FOOTPRINT	STR	STRUCTURE
FIG.	FIGURING	STRUC	STRUCTURAL
GA	GARAGE	SUP	SUPPLIED
GALV.	GALVANIZED	TC	TOP OF CURB
GL	GLASS	TEL	TELEPHONE
GR	GRADE	TG&L	TONGUE AND GROOVE
GIP	GIPSUM	TK	TRUCK
H	HOLE	TOT	TOP OF TRIM
H-1	HOLLOW CORE	TOPS	TOP OF FRAMING
H-2	HOLLOW CORE	TOL	TOP OF LINGER
H-3	HOLLOW CORE	TPL	TOP OF PLATE
H-4	HOLLOW CORE	TYP	TYPICAL
H-5	HOLLOW CORE	UNL	UNLESS NOTED OTHERWISE
H-6	HOLLOW CORE	UNL	UNLESS OTHERWISE NOTED
IND	INDICATED	WEST	WEST
INTL	INTERNATIONAL	WH	WATER HEATER
INT	INTERIOR	WID	WIDE
LAM	LAMINATE	W/	WITH
LAV	LAVATORY	WD	WOOD
LOC.	LOCATION	WH	WATER HEATER
M	MASONRY	W/	WITH
MECH	MECHANICAL	E	END
MET	METAL	J	JANGLE
MFR	MANUFACTURER	A	AT
MN	MENHARD	C	CENTER LINE
MSC	MISCELLANEOUS	P	POINT OR NUMBER
M	MASONRY OPENING		

PROJECT CLASSIFICATION

OCCUPANCY CLASSIFICATION: GROUP B2
TYPE OF CONSTRUCTION CLASSIFICATION: TYPE-VB CONSTRUCTION, NON-SPRINKLED
TWO STORY - SINGLE FAMILY RESIDENCE

STRUCTURAL ENGINEER

MEP

BUILDER

LANDSCAPE ARCHITECT

COASTAL ENGINEER

GENERAL NOTES

- FLOOR SLAB SHALL BE MIN. 4" THICK POLISHED CONCRETE SLAB WITH 5/8" LARVA W/AF, ON 1/2" MIL VISQUEEN VAPOR BARRIER ON WELL-TAMPED SAND FILL (EON SEE FOUNDATION PLAN)
- FOOTINGS AND SLAB CONCRETE SHALL CONFORM TO ACI 308 AND SHALL HAVE 5000 PSI COMPRESSIVE STRENGTH IN 28 DAYS MINIMUM STAFFED
- ALL FOOTINGS SHALL BE ON SOIL PREPARED AS RECOMMENDED BY A FLORIDA CERTIFIED GEOLOGICAL ENGINEER AND SUBMITTED TO BUILDING DEPT.
- REINFORCING STEEL SHALL BE ASTM A603, GRADE 60
- FILL SHALL BE CLEAN SAND, FREE FROM DELETERIOUS MATERIAL AND WELL GRADED AND COMPACTED MIN. 95% PER CODE (SEE GEOTECHNICAL REPORT)
- VERIFICATION OF TEST FOR MODIFIED PROCTOR ASTM D698 SHALL BE FILED WITH BUILDING OFFICIAL. FOOTINGS HAVE BEEN DESIGNED FOR 1500 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL SUBMIT SOIL BEARING REPORT PRIOR TO DOING ANY WORK.
- TERMINATE TEST SOIL PER CODE
- SEE SECTION AND DETAIL NOTES FOR CONNECTION REQUIREMENTS FOR LOAD BEARING WALLS AND PARTITIONS.
- DOUBLE WASH AT PERIMETER OF MOUNTING FOOTINGS SHALL BE 30" MIN. BEYOND EDGE OF FOOTINGS. DOUBLE WASH AT INTERIOR EDGE OF FOOTINGS SHALL COVER BY EACH SIDE OF FOOTING EDGE. SEE FOUNDATION PLAN IF NECESSARY.
- SEE FOUNDATION PLAN FOR DETAIL LOCATIONS OF PAD TYPE FOOTINGS.
- TOP OF FINISHED SLAB SHALL BE 0'-0" REFERENCE FINISH SLAB (SEE STRUCTURAL PLANS)
- COLUMN AND FOOTING CONTRACTORS SHALL CONSOLE UNLESS OTHERWISE NOTED.
- CONCRETE ELEVATION (+/-) TO BE SUBMIT PLAN FOR REVIEW.
- PROVIDE EXPANSION JOINTS BETWEEN INTERIOR AND EXTERIOR SLABS ON GRADE.
- REINFORCE SLAB ELEVATIONS, STEPS, AND CORNERS WITH ARCHITECTURAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR THE LOCATION OF THE BUILDING.
- ALL WINDOW LOCK OPERATORS SHALL BE COORDINATED & REFERRED TO MANUFACTURERS SUPPLIER PRIOR TO FABRICATION.
- SEE ARCHITECTURAL DRAWINGS FOR WINDOW SLAB LAYOUT.
- REBAR SHALL BE PLACED AS SHOWN IN THE PLANS. SEE COLUMN SCHEDULE FOR MORE INFORMATION.
- REINFORCING FOR FOUNDATION SHALL NOT BE LESS THAN 48 BAR DIAMETERS ALONG EACHES, FOR EACH BAR REINFORCING SHALL BE CONTINUOUS.
- REINFORCING FOR FOUNDATION SHALL BE CONTINUOUS AROUND CORNERS AND CHANGES OF DIRECTION WITH THE ADDITION OF A CORNER BAR 48 BAR DIAMETERS ALONG EACHES, FOR EACH BAR REINFORCING SHALL BE CONTINUOUS.
- PROVIDE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBSTRATE INTRUSION. TREATMENT SHOULD BE IN ACCORDANCE WITH THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE & CONSUMER SERVICES.

ROOF BRACING NOTES: SEE ROOF PLAN FOR ADDITIONAL NOTES

1. THE TRUSS LAYOUT SHOWN ON THIS SET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING STRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY FOLLOW THE FINAL TRUSS LAYOUT. THIS FRAMING SCHEME DIRECTION OF TRUSSES, MAJOR G.T. BEARING POINTS, ETC. CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL HEIGHTS, SIZE, AND SPACING OF TRUSSES MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO POLING OF FOUNDATION AS PER GENERAL NOTES.

2. ROOF BRACING SHALL BE RISE EXTERIOR PLYWOOD. APA EXTERIOR EXPOSURE 1.0 D GRADE, INSTALLED PER MANUFACTURERS RECOMMENDATION. INSTALLED OVER ROOF TRUSSES PERPENDICULAR TO ROOF FRAMING. (FINAL JOINTS STAGGERED). BRACING SHALL BE NAILED WITH 60 GALV. 1/2" SHANK NAILS AT 6" O.C. IN FIELD, 4" O.C. AT JOISTS. 4" O.C. DIMENSION BOUNDARY STRIPS ON 2" X 4" O.C. TYPICAL. COVER 2" E, 2" S, 3" W.

3. FLOOR TO ARCHITECTURAL FLOOR PLAN DRAWING FOR ALL ROOM WALLS. THE BEAM HEIGHTS, SIZE, AND REINFORCING.

4. CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL COORDINATION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO POLING OF FLOOR SLAB.

5. ALL CONNECTIONS SHALL BE MADE BY FULL PENETRATION WELDS. ASTM A585 IS GRADE A 1/2" (3000 PSI) FOR SIZE AND WELT REQUIREMENTS SEE PLAN.

6. ALL PLAT ROOF BRACES SHALL HAVE A MIN. SLOPE OF W/ PER FOOT.

7. ALL CONNECTIONS INDICATED JOINTS MINIMUM REQUIREMENTS AND ARE SUBJECT TO FINAL REVIEW UPON ROOF TRUSS SHOP DRAWINGS SUBMITTED TO BUILDING DEPARTMENT OFFICE.

8. SUBMIT THREE COPIES OF THE TRUSS LAYOUT TO ARCHITECT FOR APPROVAL.

9. BRACING OF TRUSSES BY TRUSS ENGINEER (TYP)

10. ALL BRACE BEAMS SHALL BE REFERRED TO TRUSS ENGINEER WITH PER ENGINEERING.

11. ALL LAPTED ERECTIONS IN EXCESS OF 3000' SHALL BE NOTED ON ALL SUBMITTALS AS REQUIRED FOR DEMO TO COMPLIANCE WITH LOCAL ORDINANCES.

12. GALVANIZED FLASHING FOR VALLETS SHALL BE 36 MIN. GAUGE. SEE WALL SECTION.

13. GALVANIZED FLASHING FOR VALLETS SHALL BE 36 MIN. GAUGE. SEE WALL SECTION.

14. THE TRUSS MANUFACTURER IS RESPONSIBLE FOR CHECKING CEILING HEIGHTS WITH GROUND & TRUSS BOTTOM CORNER HEIGHTS.

15. ALL PLYWOOD FOR WALL AND ROOF BRACING IS TO BE 3/4" APA RATED STRUCTURAL SHEATHING, 40/20 EXPOSURE 1 NAILED WITH 60 GALV. 1/2" SHANK NAILS AT 4" X 16" ON.

SHEET INDEX

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A3	NEW FIRST FLOOR PLAN		
A4	NEW FIRST FLOOR PLAN - GARAGE		
A5	NEW SECOND FLOOR PLAN		
A6	NEW SECOND FLOOR PLAN - GARAGE		
A7	FRONT ELEVATIONS (EXISTING & NEW)		
A8	REAR ELEVATIONS (EXISTING & NEW)		
A9	RIGHT ELEVATIONS (EXISTING & NEW)		
A10	LEFT ELEVATIONS (EXISTING & NEW)		
A11	LEFT ELEVATIONS (EXISTING & NEW)		
A12	LEFT ELEVATIONS (EXISTING & NEW)		
A13	ROOF PLAN		
A14	ROOF PLAN		

Revisions

NO.	DATE	DESCRIPTION
1	10/20/2023	TOWN CENTER COMMENTS 10-19-2023

NOT FOR CONSTRUCTION

Date: 10/20/2023
Drawn/Checked: FC
Date / Approval: []
Date / Permit: []
Date / Construction: []

Seal: Digitally signed by Mitchell Kunik
DN: cn=Mitchell Kunik, o=Affiniti Architects, email=mitch@affinitiaarchitects.com, c=US
Date: 2023.12.18 15:45:05 -0500

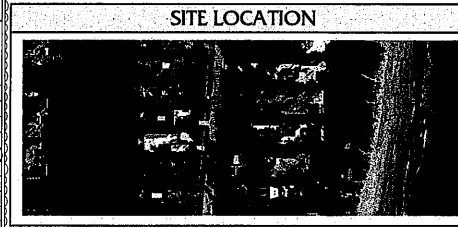
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HIGHLAND BEACH
BUILDING DEPARTMENT

PROPERTY DEVELOPMENT REGULATIONS			
PROPOSED ONE FAMILY 1/2 STORY DWELLING 2365 S OCEAN BLVD, HIGHLAND BEACH, FL 33487			
LOT 4, PLAT OF BYRD BEACH ACCORDING TO THE PLAT THEREFORE, AS RECORDED IN THE PLAT BOOK 20 PAGE 1 OF THE PUBLIC RECORDS OF THE PALM BEACH COUNTY FLORIDA.			
FUTURE LAND USE: SINGLE FAMILY			
RESIDENTIAL SINGLE-FAMILY (RS) EXISTING RESIDENTIAL SINGLE FAMILY ESTATE			
SETBACK	REQUIRED	PROPOSED	COMMENT
FRONT	25'-0"	74'-10"	NO CHANGE
REAR	20'-0"	64.7'	NO CHANGE
SIDES	12'-0"	12'-0" (LEFT) - 12'-0" (RIGHT)	NO CHANGE
EQUIPMENT	8'-0"	8' (LEFT) - 7' (RIGHT)	NO CHANGE
MIN LOT AREA	30,000 SF	60,835 SF	NO CHANGE
MIN LOT WIDTH	80'-0"	100.03'	NO CHANGE
OVERALL BLDG HGT	35'-0" MAX	35'-0"	NO CHANGE



SITE NOTES

- SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION
- VERIFY PROPERTY LINE DIMENSIONS WITH SURVEY
- SEE CIVIL AND LANDSCAPE PLANS FOR ANY ADDITIONAL INFORMATION REGARDING HARDSCAPE, DRAINAGE, POOL, CONSTRUCTION AND DESIGN AND ANY OTHER SITE SPECIFIC INFORMATION.
- SITE DRAINAGE BY CIVIL ENGINEER

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Revisions

1	TOWN CENTER COMMENTS FC	10-09-2023
2	TOWN CENTER COMMENTS FC	11-14-2023
3	TOWN CENTER COMMENTS FC	11-20-2023
4	TOWN CENTER COMMENTS FC	11-14-2023

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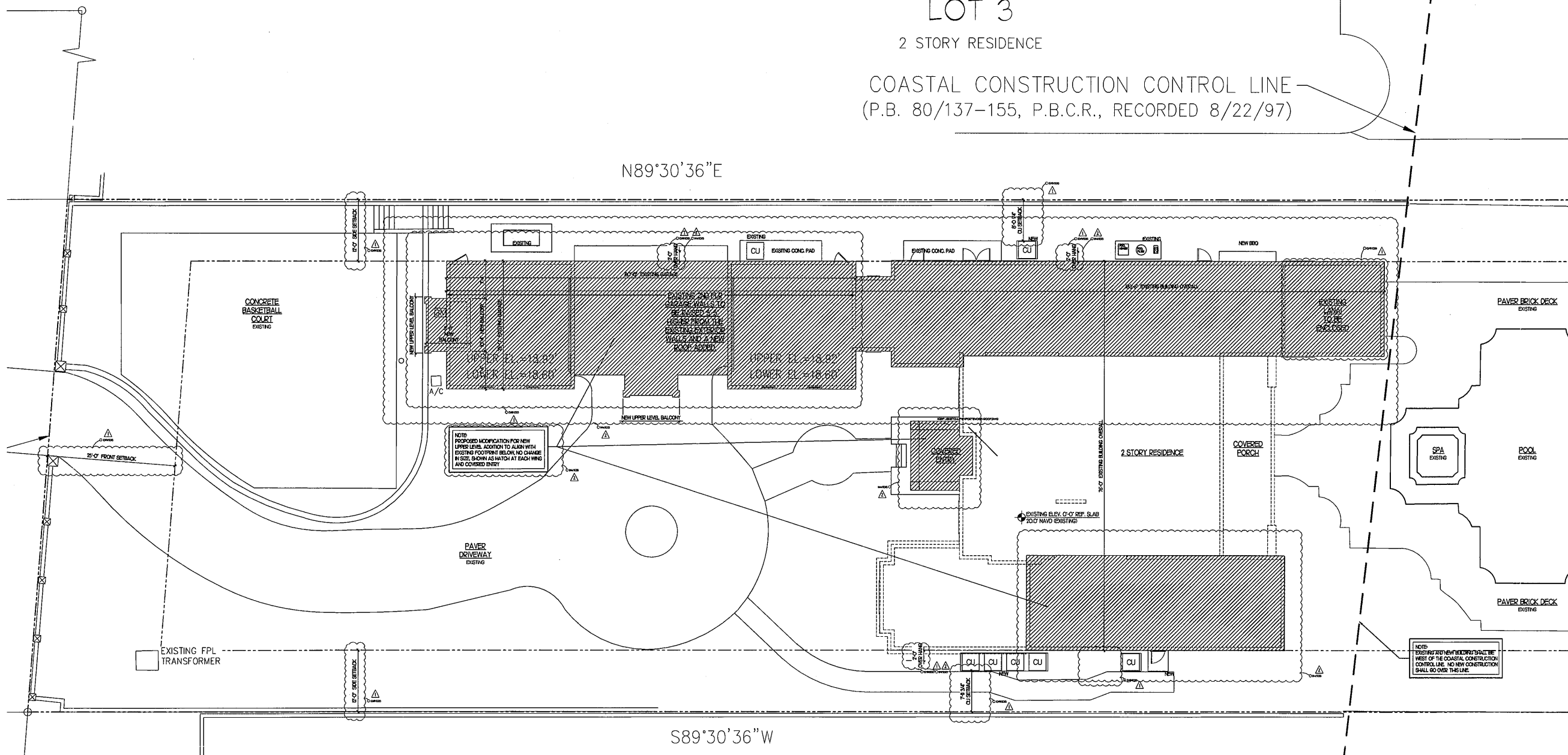
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Digitally signed by Mitchell Kunk
DN: cn=2342192000010, o=AFINITY ARCHITECTS, ou=AFINITY ARCHITECTS, email=Mitchell.Kunk@afinityarchitects.com, c=US
Date: 2023.12.11 14:29:51 -0500

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LOT 3

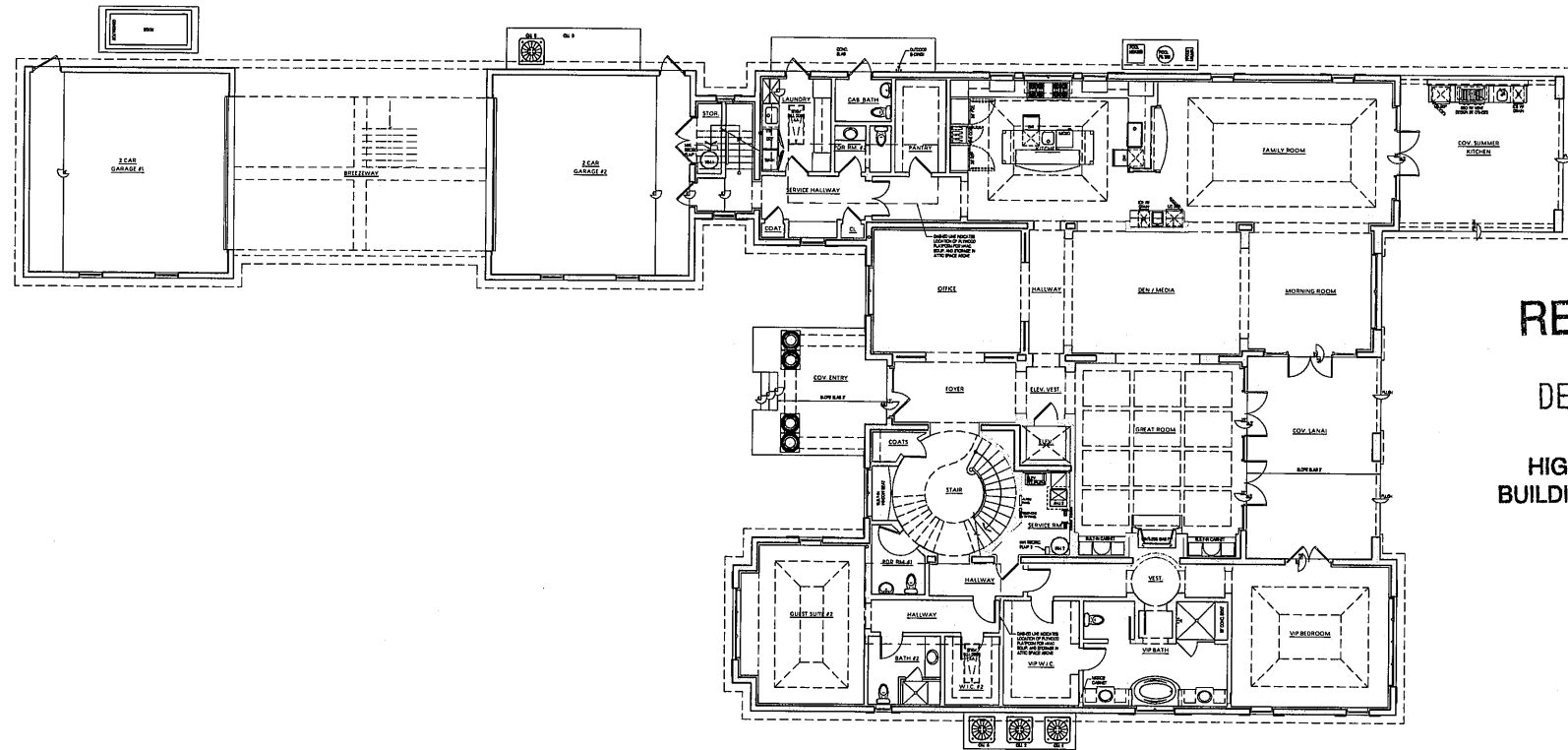
2 STORY RESIDENCE

COASTAL CONSTRUCTION CONTROL LINE
(P.B. 80/137-155, P.B.C.R., RECORDED 8/22/97)



LOT 5
2 STORY RESIDENCE

SITE PLAN
1/8" = 1'-0"

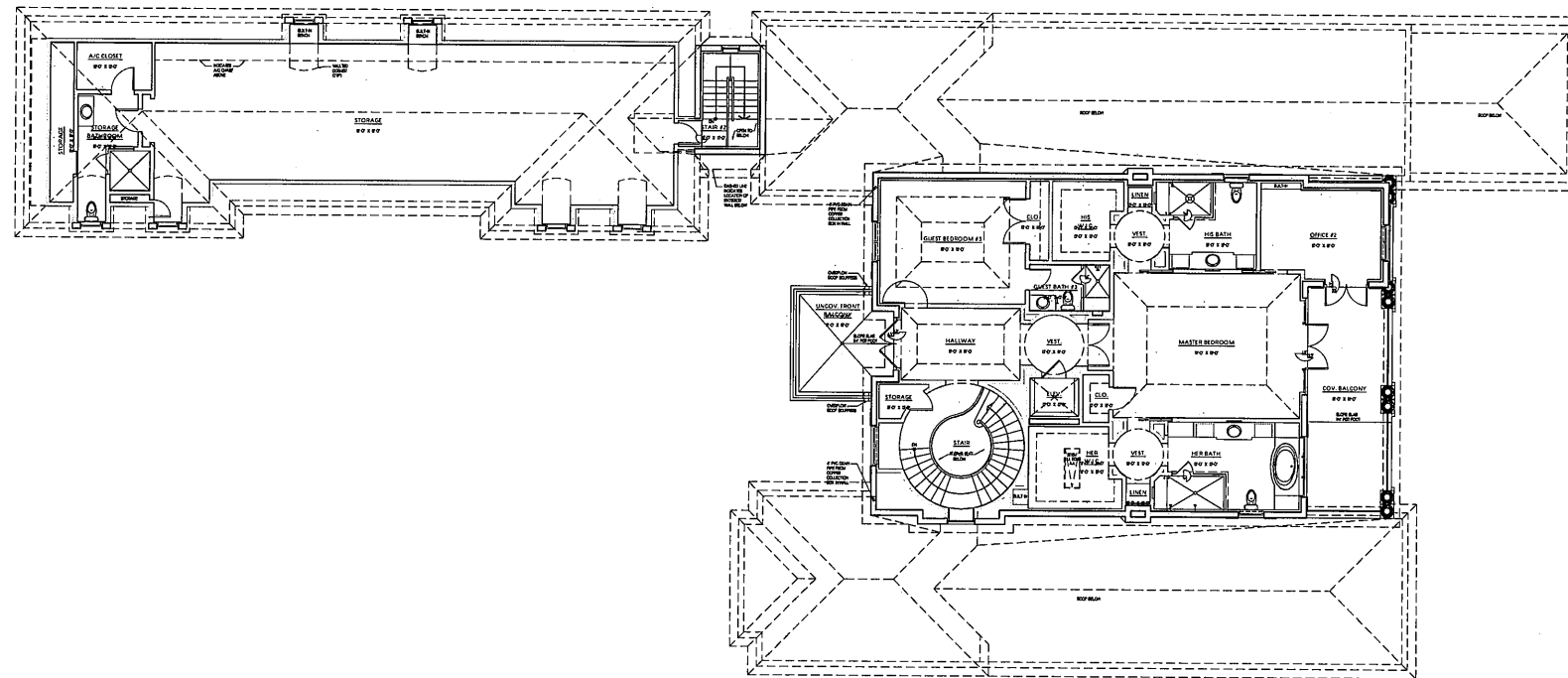


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HIGHLAND BEACH
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(EXISTING) FIRST FLOOR PLAN
1/8" = 1'-0"



(EXISTING) SECOND FLOOR PLAN
1/8" = 1'-0"

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Revisions

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Date 8/31/2023
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Date | Approval -
Date | Permit -
Date | Construction -

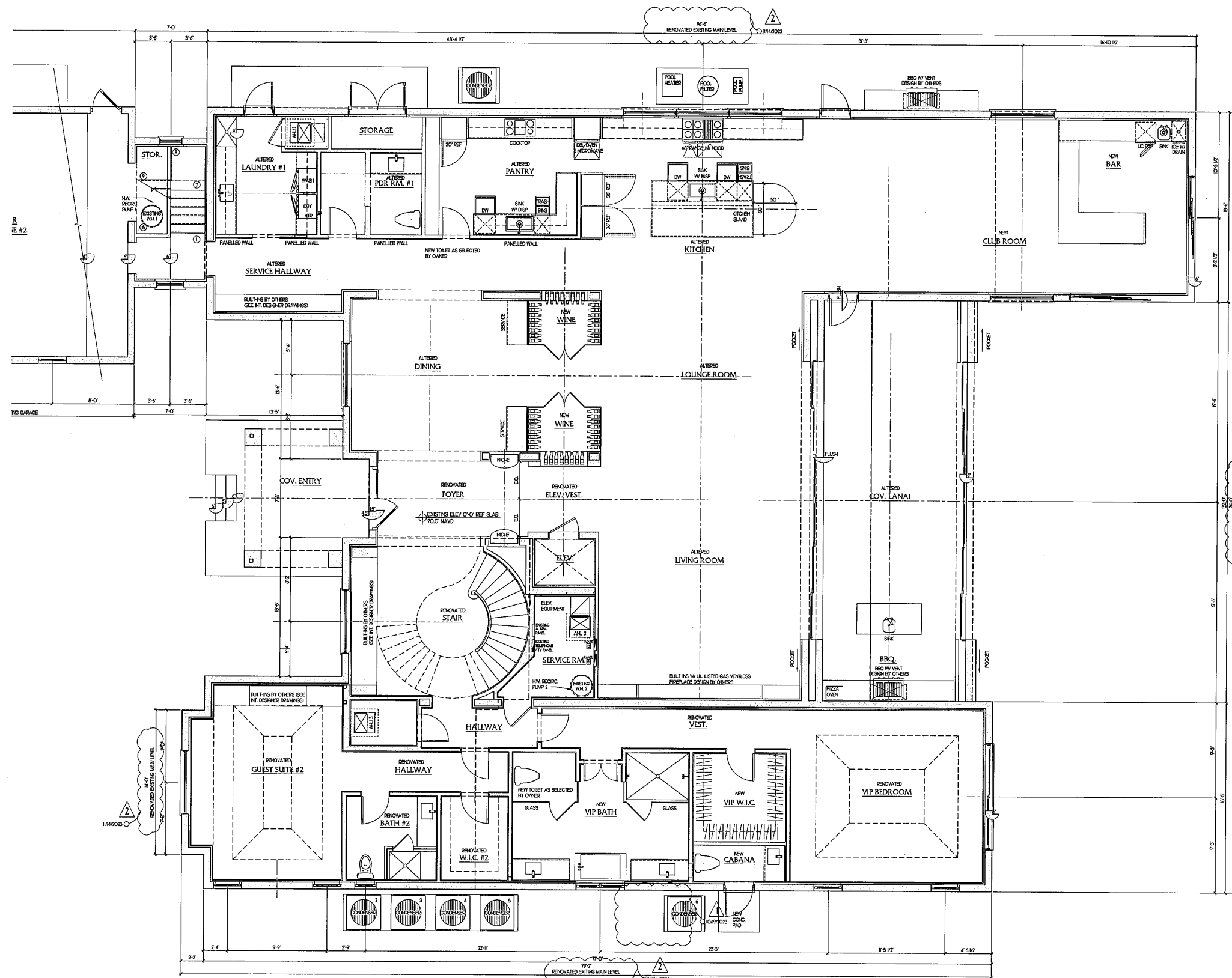
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by Mitchell
Kunk
DN: cn=Mitchell
Kunk, o=Affinity
Architects,
email=mk@affinity
architects.com,
c=US
Date: 2023.12.18
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HIGHLAND BEACH
BUILDING DEPARTMENT



AREA CALCULATION EXISTING	
1ST FLOOR A/C	5038 SQ. FT.
2ND FLOOR A/C	292 SQ. FT.
TOTAL A/C	7230 SQ. FT.
GARAGE	1250 SQ. FT.
STORAGE 2ND FLOOR	1558 SQ. FT.
COVERED ENTRY	150 SQ. FT.
COVERED LANAI	384 SQ. FT.
COVERED SUMMER KITCHEN (TO BE ELIMINATED)	361 SQ. FT.
COVERED BREEZEWAY	677 SQ. FT.
COVERED BELVEDERE	232 SQ. FT.
TOTAL NON AC	4612 SQ. FT.
TOTAL	11805 SQ. FT.
DATE: 10/24/2023	

AREA CALCULATION PROPOSED	
1ST FLOOR A/C (NEW 172 SQ. FT.)	5210 SQ. FT.
2ND FLOOR A/C (NEW 1,899 SQ. FT.)	4091 SQ. FT.
GARAGE LOFT - 2ND FLOOR A/C (NEW)	1882 SQ. FT.
TOTAL A/C	11833 SQ. FT.
GARAGE	1250 SQ. FT.
COVERED ENTRY	149 SQ. FT.
COVERED FRONT BALCONY	149 SQ. FT.
COVERED REAR BALCONY	390 SQ. FT.
REAR MASTER BALCONY	361 SQ. FT.
COVERED FRONT GARAGE LOFT BALCONY	79 SQ. FT.
COVERED SIDE GARAGE LOFT BALCONY	43 SQ. FT.
COVERED LANAI	546 SQ. FT.
TOTAL	14150 SQ. FT.
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Revisions

1	TOWN CENTER COMMENTS	10-19-2023
2	TOWN CENTER COMMENTS	11-14-2023

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 Date/Approval: -
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Seal: Digitally signed by Mitchell Karik
 DN: cn=Mitchell Karik, o=Affinity Architects Holding LLC, c=US, email=mkarik@affinityarchitects.com, ou=Affinity Architects Holding LLC, ou=112839-0510
 AA0002340 © 2023

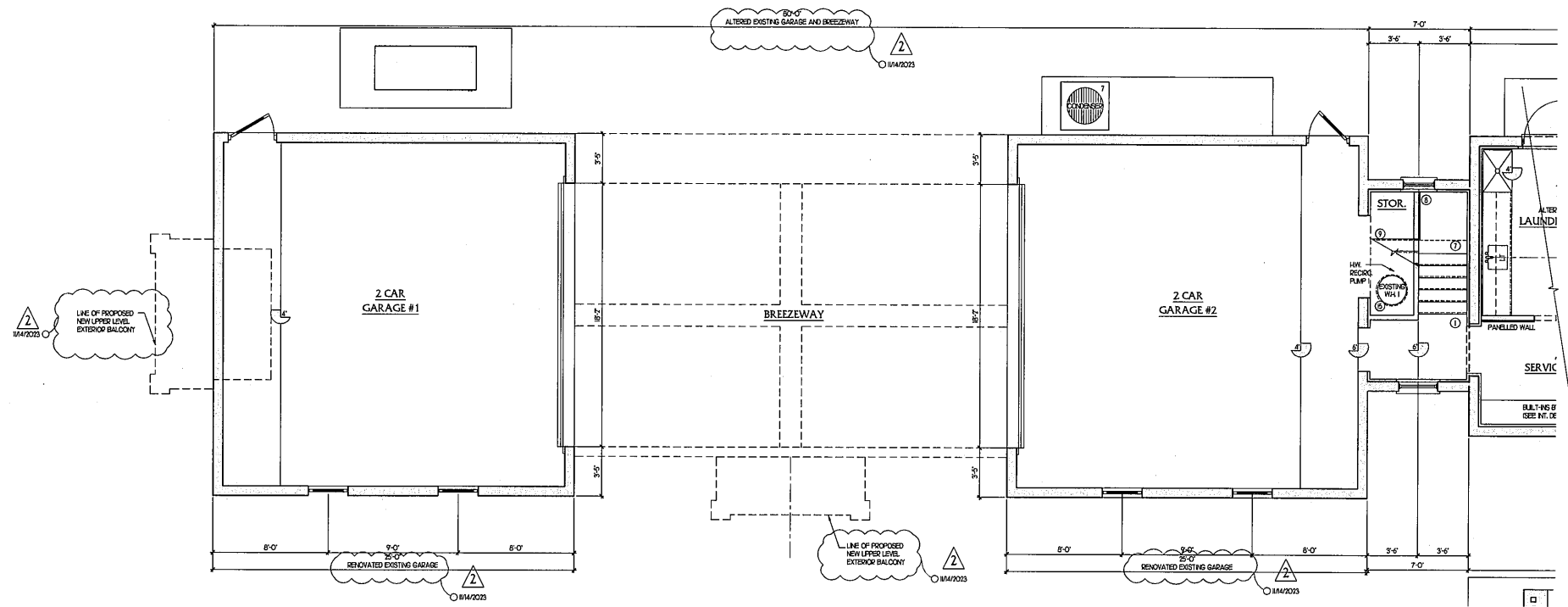
(NEW) MAIN HOUSE FIRST FLOOR PLAN
1/4" = 1'-0"

A3

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HIGHLAND BEACH
BUILDING DEPARTMENT



Project Number:
22141

BEYER RESIDENCE
2365 SOUTH OCEAN BLVD.,
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A R C H I T E C T S
6100 Broken Sound Pkwy., NW - Suite 8 - Boca Raton FL - 33487
561.750.0445 AFINITIARCHITECTS.COM

Revisions

1	TOWN CENTER COMMENTS FC 10-19-2023
2	TOWN CENTER COMMENTS FC 11-14-2023
3	TOWN CENTER COMMENTS FC 11-30-2023

NOT FOR CONSTRUCTION

Date: 11/20/2023
 Drawn / Checked: FC / -
 Date / Approval: - / -
 Date / Permit: - / -
 Date / Construction: - / -

Seal:
 Digitally signed by
 Michael Funch
 DN:
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 ou=11140141000,
 cn=Michael Funch,
 c=US
 Date: 2023.11.21
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AA0002340 © 2023

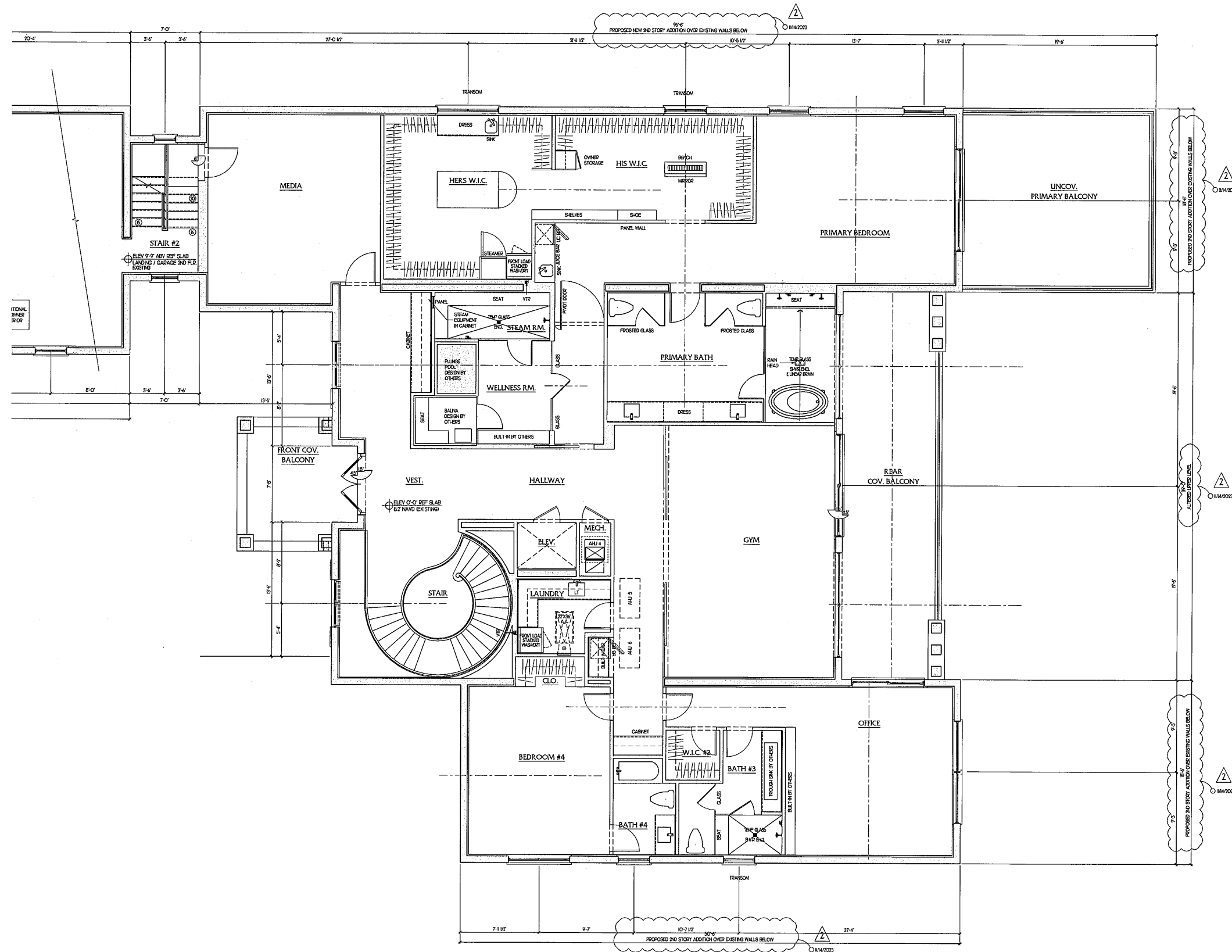
(NEW) FIRST FLOOR PLAN - GARAGE
1/4" = 1'-0"

A4

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HIGHLAND BEACH
BUILDING DEPARTMENT



Project Number:
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Revisions

1	TOWN CENTER COMMENTS FC	10-19-2023
2	TOWN CENTER COMMENTS FC	11-14-2023

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Date: 11/19/2023
Drawn / Checked: FC / ...
Date / Approval: / ...
Date / Permit: / ...
Date / Construction: / ...

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Michael Kurik
DN:
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100.1.1-401410000,
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Architects Holding
LLC-CFLUS
Date: 2023.11.15
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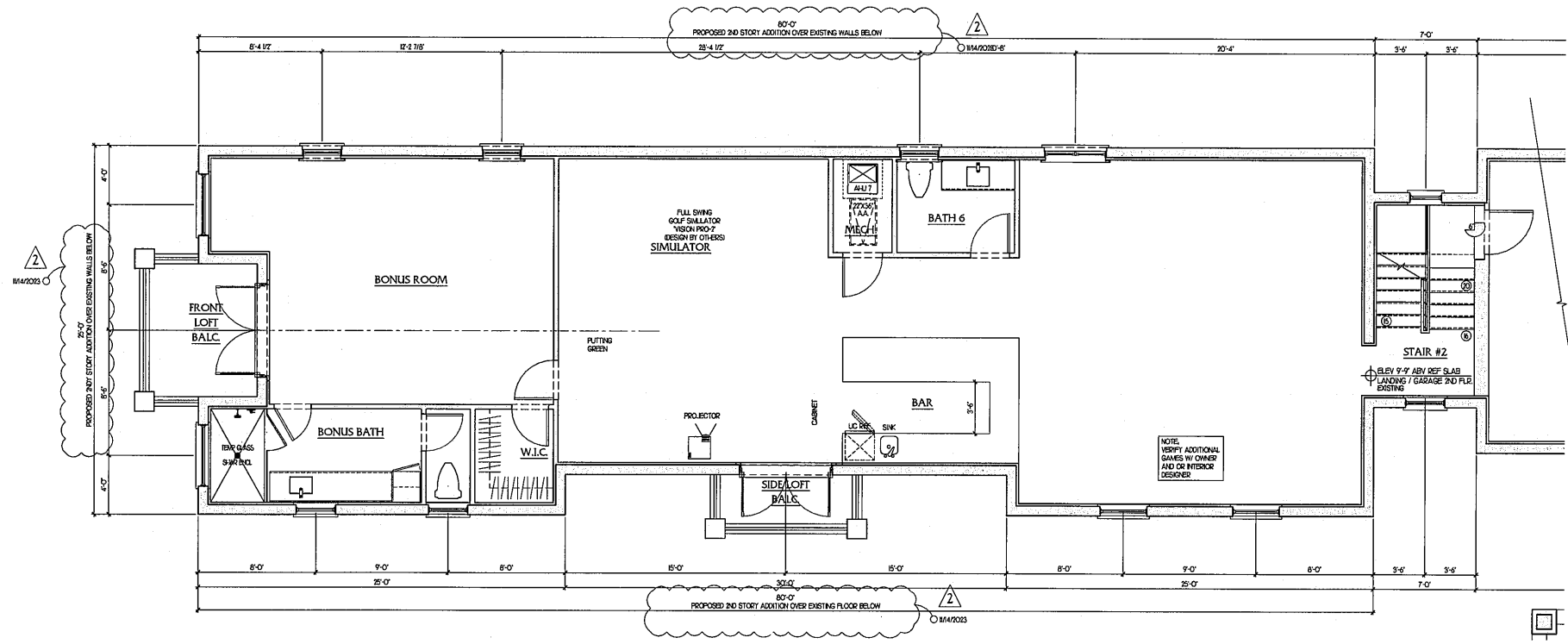
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A5

(NEW) MAIN HOUSE SECOND FLR PLAN
1/4" = 1'-0"

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Revisions

△	TOWN CENTER COMMENTS FC	10-19-2023
△	TOWN CENTER COMMENTS FC	11-14-2023

NOT FOR CONSTRUCTION

Date 11/13/2023
 Drawn / Checked FC
 Date / Approval -
 Date / Permit -
 Date / Construction -

Seal:
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 Michael Kunk
 DN:
 cn=Michael Kunk,
 o=AFINITI Architects
 Holding LLC, c=US
 Date: 2023.11.15
 11:31:25 -0500

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(NEW) SECOND FLR PLAN - GARAGE
1/4" = 1'-0"

A6

- RENOVATION NARRATIVE**
- EXISTING HOUSE FOOTPRINT TO REMAIN AND NO REVISIONS TO BE ADDED TO THE FOOTPRINT.
 - EXISTING AND NEW HOUSE ARE WEST OF THE COASTAL CONSTRUCTION CONTROL LINE.
 - EXISTING GROUND FLOOR SLAB TO REMAIN AT 20.0' NAVD.
 - EXISTING SECOND FLOOR SLAB TO REMAIN.
 - EXISTING ROOF HEIGHT TO REMAIN. NO EXTRA HEIGHT IS TO BE ADDED TO THE NEW ROOF.
 - NEW ROOF SLOPE TO MATCH EXISTING ROOF SLOPE # 8 ON 12.
 - REMOVE ALL EXISTING WINDOWS AND DOORS AND REPLACE WITH NEW WINDOWS AND DOORS AS APPROVED / SELECTED BY OWNER / BUILDER.
 - REMOVE ALL EXISTING SHUTTERS.
 - REMOVE EXISTING CHIMNEYS.
 - REMOVE ALL EXISTING TRIM ON BALCONIES, WINDOWS AND DOORS.
 - REMOVE FRONT ENTRY EXISTING COLUMNS AND REPLACE WITH NEW COLUMNS.
 - REMOVE EXISTING BALUNGS AND REPLACE WITH NEW BALUNGS.
 - ADD NEW COLUMNS AND ROOF TO EXISTING FRONT BALCONY.
 - ADD NEW STONE CLADDING TO WINDOW SURROUNDS (AS SEEN IN ELEVATIONS).
 - REMOVE EXISTING STAIR NEAR LAUNDRY AND ADD NEW STAIR.
 - INCREASE HEIGHT OF CEILING AND ROOF IN STAIRWELL NEAR LAUNDRY.
 - ADD SECOND FLOOR WALLS AND ROOF TO NORTH AND SOUTH WINGS OF EXISTING HOME.
 - NEW ROOF TILES AND ROOF.
 - NEW ROOF OVERHANGS - 7'-0"

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HIGHLAND BEACH
BUILDING DEPARTMENT

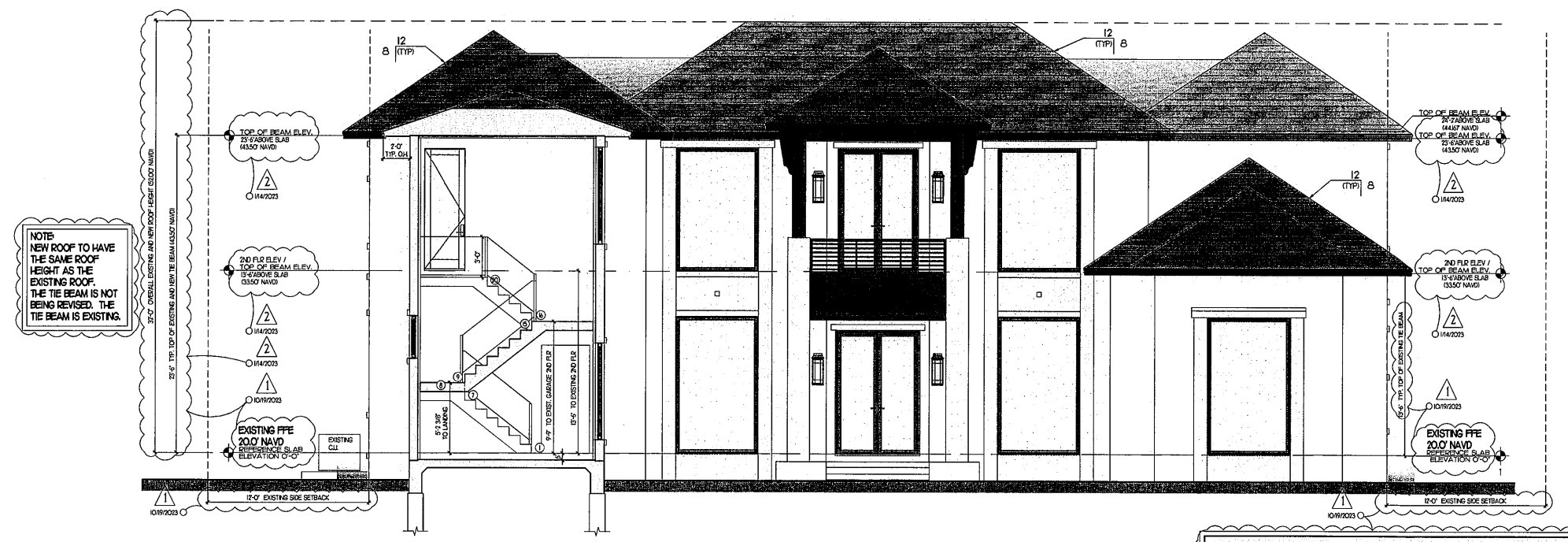
Project Number:
22141

BEYER RESIDENCE
2365 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL

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(EXISTING) MAIN HOUSE FRONT ELEVATION
1/4" = 1'-0"



(NEW) MAIN HOUSE FRONT ELEVATION
1/4" = 1'-0"

Revisions

1	TOWN CENTER COMMENTS FC 10-9-2023
2	TOWN CENTER COMMENTS FC 11-4-2023

NOT FOR CONSTRUCTION

Date	11/13/2023
Drawn / Checked	FC / -
Date / Approval	- / -
Date / Permit	- / -
Date / Construction	- / -

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Digitally signed by
Mitchell Hink
DN: cn=2342.1920900.1,
ou=1140411000009,
o=3342037100009,
c=US, email=hink_m@affinityarchitects.com,
ou=Affinity Architects Holding
LLC, ou=US,
Date: 2023.11.15
11:32:27 -0500

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A7

- RENOVATION NARRATIVE**
- EXISTING HOUSE FOOTPRINT TO REMAIN AND NO REVISIONS TO BE ADDED TO THE FOOTPRINT.
 - EXISTING AND NEW HOUSE ARE WEST OF THE COASTAL CONSTRUCTION CONTROL LINE.
 - EXISTING GROUND FLOOR SLAB TO REMAIN AT 20.0' NAVD.
 - EXISTING SECOND FLOOR SLAB TO REMAIN.
 - EXISTING ROOF HEIGHT TO REMAIN. NO EXTRA HEIGHT IS TO BE ADDED TO THE NEW ROOF.
 - NEW ROOF SLOPE TO MATCH EXISTING ROOF SLOPE 8 ON 12.
 - REMOVE ALL EXISTING WINDOWS AND DOORS AND REPLACE WITH NEW WINDOWS AND DOORS AS APPROVED / SELECTED BY OWNER / BUILDER.
 - REMOVE ALL EXISTING SHUTTERS.
 - REMOVE EXISTING CHIMNEYS.
 - REMOVE ALL EXISTING TRIM ON BALCONIES, WINDOWS AND DOORS.
 - REMOVE FRONT AND REAR COVERED LOGGIA EXISTING COLUMNS. REMOVE EXISTING BALUNES AND REPLACE WITH NEW BALUNES.
 - ADD NEW COLUMNS AND ROOF TO EXISTING FRONT AND REAR BALCONIES.
 - ADD NEW STONE CLADDING TO WINDOW SURROUNDS (AS SEEN IN ELEVATIONS).
 - ADD SECOND FLOOR WALLS AND ROOF TO NORTH AND SOUTH WINGS OF EXISTING HOME.
 - ENCLOSE EXISTING COVERED REO LOGGIA AND ADD NEW SLIDING DOORS WITH A ROOF DECK ABOVE.
 - NEW ROOF TILES AND ROOF.
 - NEW ROOF OVERHANG - 2'-0".

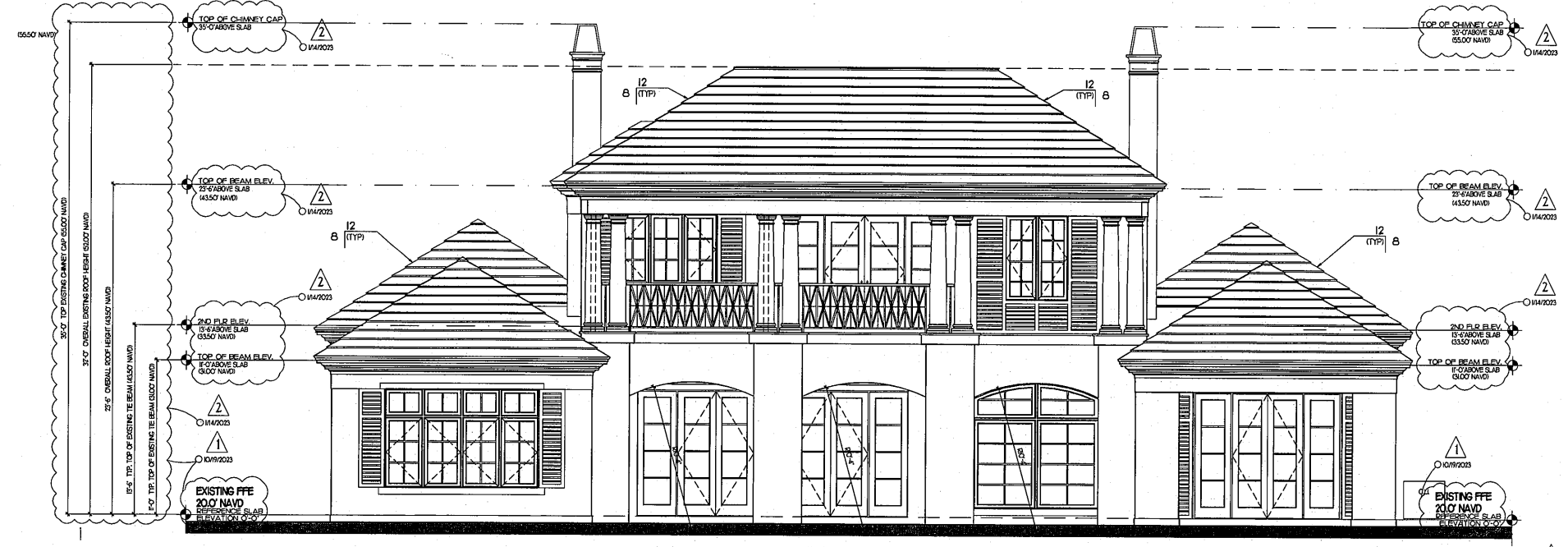
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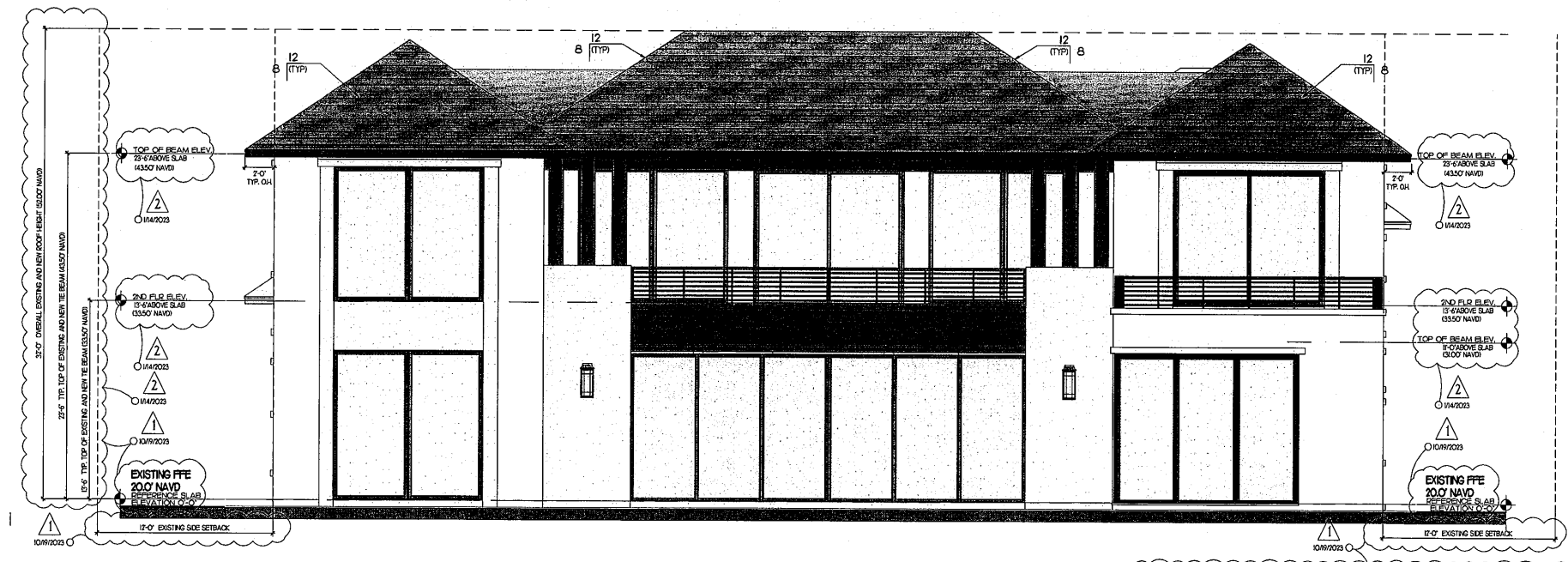
HIGHLAND BEACH
BUILDING DEPARTMENT

Project Number:
22141

BEYER RESIDENCE
2365 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL



(EXISTING) MAIN HOUSE REAR ELEVATION
1/4" = 1'-0"



(NEW) MAIN HOUSE REAR ELEVATION
1/4" = 1'-0"

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Revisions

△	TOWN CENTER COMMENTS	10-19-2023
△	TOWN CENTER COMMENTS	11-14-2023

NOT FOR CONSTRUCTION
Date: 11/13/2023
Drawn | Checked | FC |
Date | Approval | FC |
Date | Permit |
Date | Construction |

Seal:
Digitally signed by
Michael Kurik
DN: cn=Michael Kurik, o=Michael Kurik Architects, ou=Michael Kurik Architects, email=mkurik@affinityarchitects.com, c=US
Date: 2023.11.15 11:32:47 -0500
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A8

- RENOVATION NARRATIVE**
- EXISTING HOUSE FOOTPRINT TO REMAIN AND NO REVISIONS TO BE ADDED TO THE FOOTPRINT.
 - EXISTING AND NEW HOUSE ARE WEST OF THE COASTAL CONSTRUCTION CONTROL LINE.
 - EXISTING GROUND FLOOR SLAB TO REMAIN AT 20.0' NAVD.
 - EXISTING SECOND FLOOR SLAB TO REMAIN.
 - EXISTING ROOF HEIGHT TO REMAIN. NO EXTRA HEIGHT IS TO BE ADDED TO THE NEW ROOF.
 - NEW ROOF SLOPE TO MATCH EXISTING ROOF SLOPE • 8 ON 12.
 - REMOVE ALL EXISTING WINDOWS AND DOORS AND REPLACE WITH NEW WINDOWS AND DOORS AS APPROVED / SELECTED BY OWNER / BUILDER.
 - REMOVE ALL EXISTING SHUTTERS.
 - REMOVE EXISTING CHIMNEYS.
 - REMOVE ALL EXISTING TRIM ON BALCONIES, WINDOWS AND DOORS.
 - REMOVE FRONT AND REAR COVERED LOGGIA EXISTING COLUMNS.
 - REMOVE EXISTING BALINGS AND REPLACE WITH NEW RAILINGS.
 - ADD NEW COLLARS AND ROOF TO EXISTING FRONT AND REAR BALCONIES.
 - ADD NEW STONE CLADDING TO WINDOW BALCONIES (AS SEEN IN ELEVATIONS).
 - ADD SECOND FLOOR WALLS AND ROOF TO NORTH AND SOUTH WINGS OF EXISTING HOME.
 - ENCLOSE EXISTING COVERED BERO LOGGIA AND ADD NEW SLIDING DOORS WITH A ROOF DECK ABOVE.
 - NEW ROOF TILES AND ROOF.
 - NEW ROOF OVERHANG - 2'-0".

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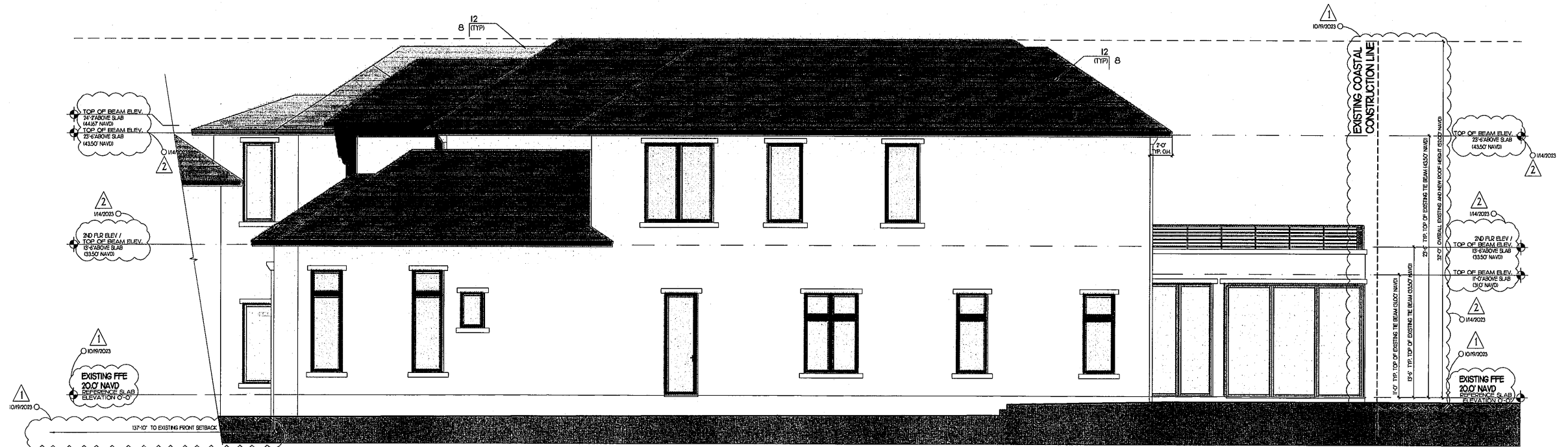
HIGHLAND BEACH
BUILDING DEPARTMENT

Project Number:
22141

BEYER RESIDENCE
2365 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL



(EXISTING) MAIN HOUSE RIGHT ELEVATION
1/4" = 1'-0"



(NEW) MAIN HOUSE RIGHT ELEVATION
1/4" = 1'-0"

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Revisions

△	TOWN CENTER COMMENTS	FC	10-9-2023
△	TOWN CENTER COMMENTS	FC	11-14-2023

NOT FOR CONSTRUCTION
Date Drawn / Checked 11/13/2023
Date Approval FC
Date I Permit
Date I Construction

Seal:
Digitally signed by
Michelle Kunkin
DN:
o=2342, ou=2023020,
cn=1140211020,
c=US, email=MKK@AFFINITYARCHITECTS.COM,
ou=Michelle Kunkin,
ou=Affinity Architects
Holding LLC, ou=US
Date: 2023.11.15
11:38:08 -0500

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A9

- RENOVATION NARRATIVE**
- EXISTING HOUSE FOOTPRINT TO REMAIN AND NO REVISIONS TO BE ADDED TO THE FOOTPRINT.
 - EXISTING AND NEW HOUSE ARE WEST OF THE COASTAL CONSTRUCTION CONTROL LINE.
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 - REMOVE ALL EXISTING SHUTTERS.
 - REMOVE EXISTING CHIMNEYS.
 - REMOVE ALL EXISTING TRIM ON BALCONIES, WINDOWS AND DOORS.
 - REMOVE FRONT AND REAR COVERED LOGGIA EXISTING COLUMNS.
 - REMOVE EXISTING RAILINGS AND REPLACE WITH NEW RAILINGS.
 - ADD NEW COLUMNS AND ROOF TO EXISTING FRONT AND REAR BALCONIES.
 - ADD NEW STONE CLADDING TO WINDOW SLEEVES (AS SEEN IN ELEVATIONS).
 - ADD SECOND FLOOR WALLS AND ROOF TO NORTH AND SOUTH WINGS OF EXISTING HOME.
 - ENCLOSE EXISTING COVERED REAR LOGGIA AND ADD NEW SLIDING DOORS WITH A ROOF DECK ABOVE.
 - NEW ROOF TILES AND ROOF.
 - NEW ROOF OVERHANG - 2'-0".

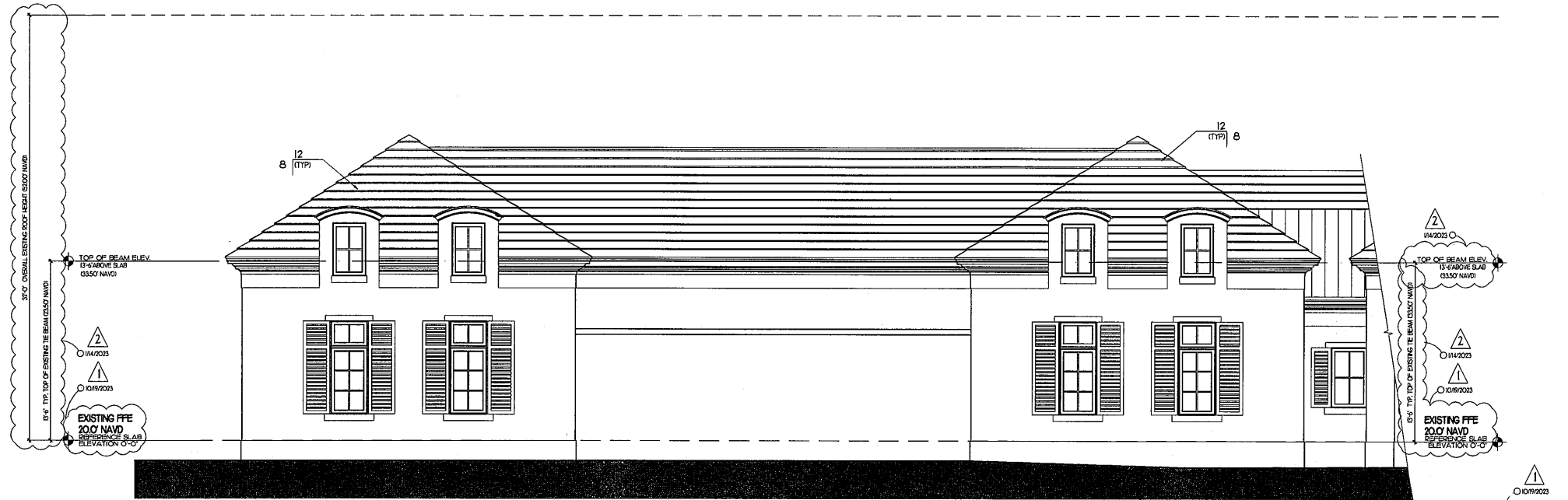
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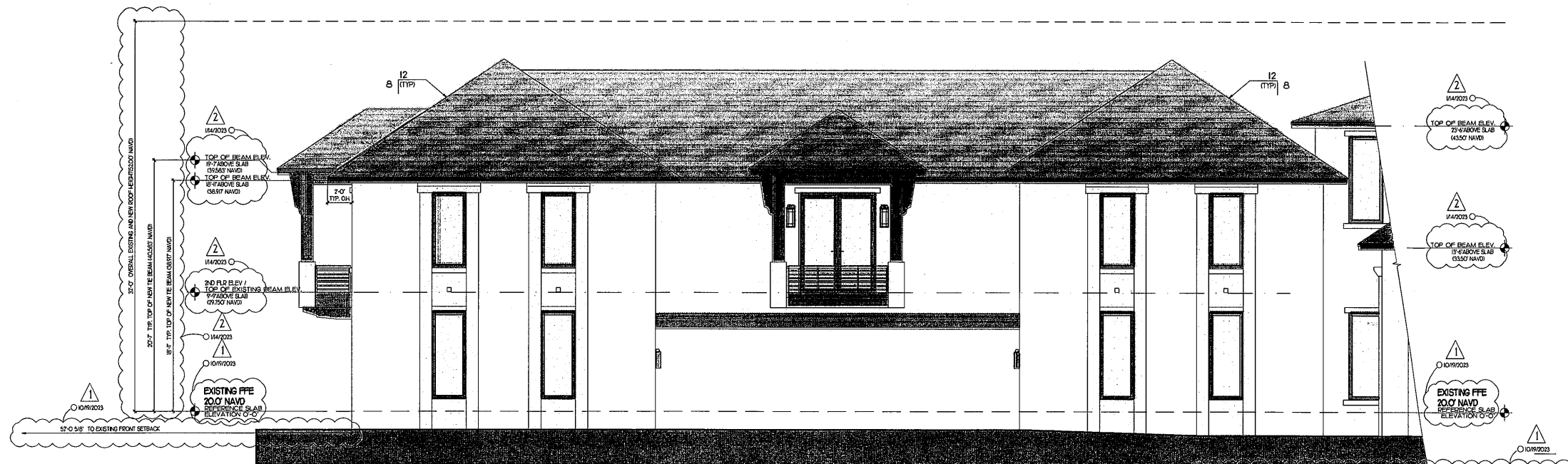
HIGHLAND BEACH
BUILDING DEPARTMENT

Project Number:
22141

BEYER RESIDENCE
2365 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL



(EXISTING) GARAGE RIGHT ELEVATION
1/4" = 1'-0"



(NEW) GARAGE RIGHT ELEVATION
1/4" = 1'-0"

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Revisions

△	TOWN CENTER COMMENTS FC	12-19-2023
△	TOWN CENTER COMMENTS FC	1-14-2023

NOT FOR CONSTRUCTION
Date 11/13/2023
Drawn I Checked FC
Date I Approval
Date I Permit
Date I Construction

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ou=Affinity Architects
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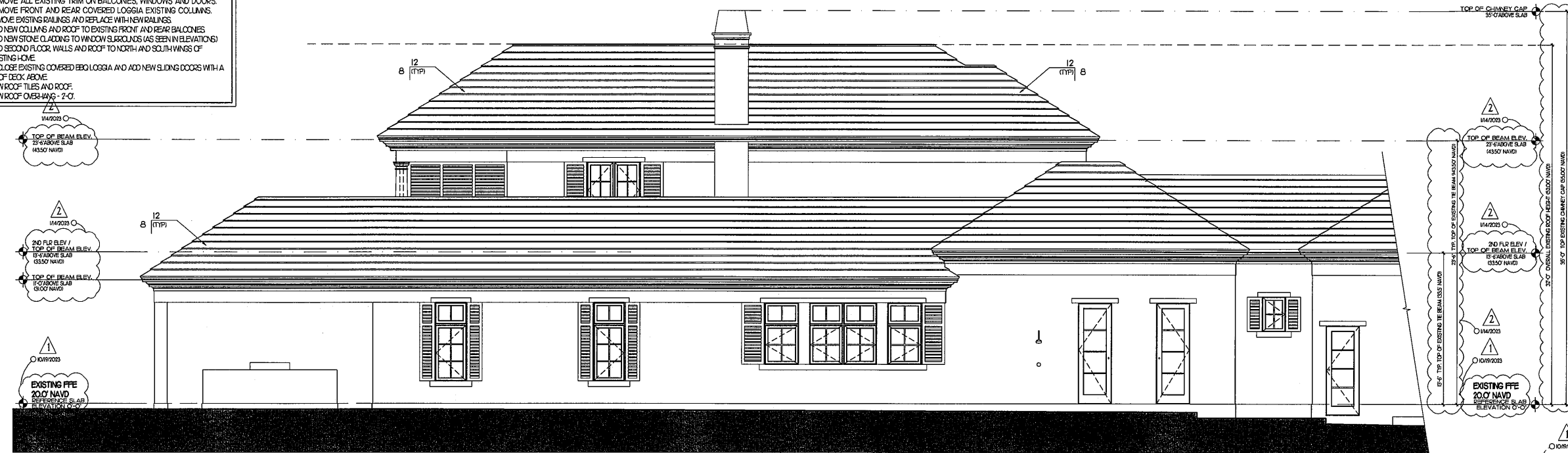
DEC 20 2023

HIGHLAND BEACH
BUILDING DEPARTMENT

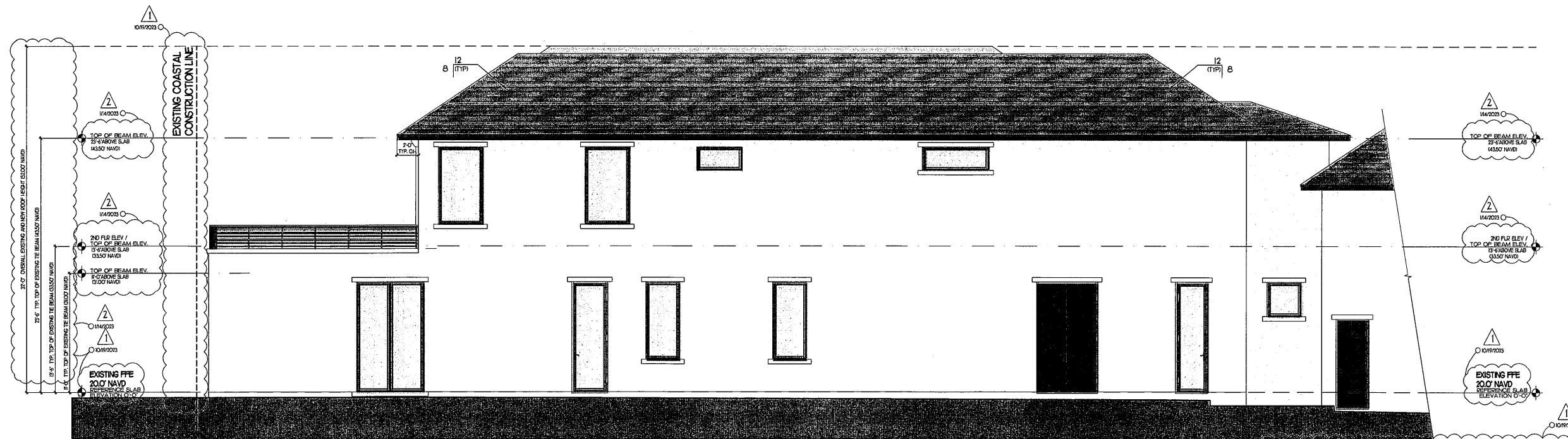
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BEYER RESIDENCE
2365 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL

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 - ENCLOSE EXISTING COVERED BEQ LOGGIA AND ADD NEW SLIDING DOORS WITH A ROOF DECK ABOVE.
 - NEW ROOF TILES AND ROOF.
 - NEW ROOF OVERHANG - 2'-0".



(EXISTING) MAIN HOUSE LEFT ELEVATION
1/4" = 1'-0"



(NEW) MAIN HOUSE LEFT ELEVATION
1/4" = 1'-0"

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Revisions

1	TOWN CENTER COMMENTS	10/19/2023
2	TOWN CENTER COMMENTS	11/4/2023

NOT FOR CONSTRUCTION
Date 11/13/2023
Drawn / Checked FC
Date / Approval
Date / Permit
Date / Construction

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Digitally signed by
Michael Hunt
DN:
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Hunt, o=AFFINITI
Architects Holding
LLC, c=US
Date: 2023.11.13
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A11

- RENOVATION NARRATIVE**
- EXISTING HOUSE FOOTPRINT TO REMAIN AND NO REVISIONS TO BE ADDED TO THE FOOTPRINT.
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 - ADD NEW STONE CLADDING TO WINDOW SILLBOARDS (AS SEEN IN ELEVATIONS).
 - ADD SECOND FLOOR WALLS AND ROOF TO NORTH AND SOUTH WINGS OF EXISTING HOME.
 - ENCLOSE EXISTING COVERED BEG LOGGIA AND ADD NEW SLIDING DOORS WITH A ROOF DECK ABOVE.
 - NEW ROOF TILES AND ROOF.
 - NEW ROOF OVERHANG = 2'-0".

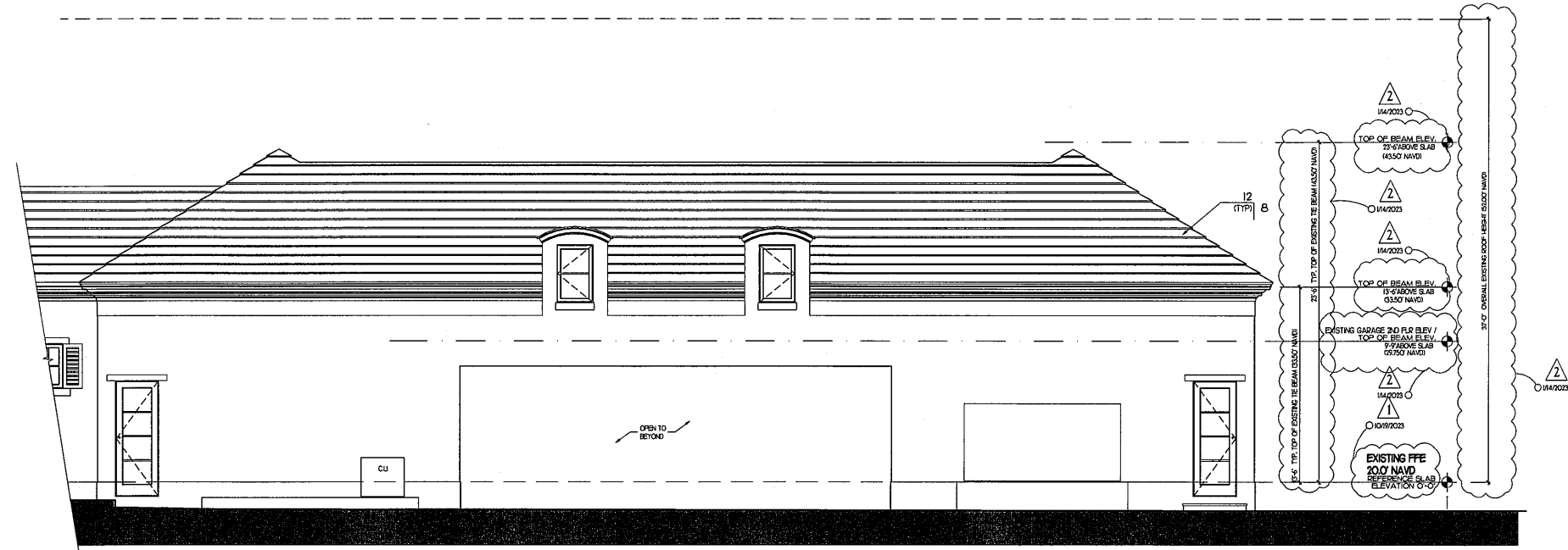
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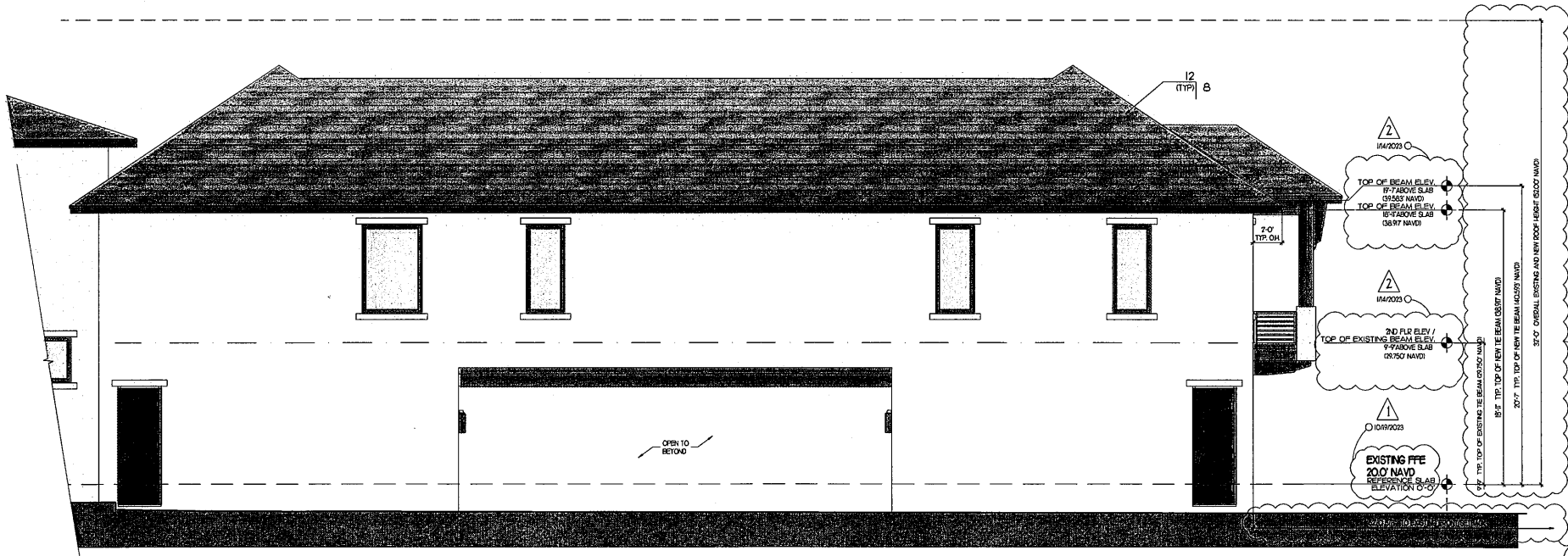
HIGHLAND BEACH
BUILDING DEPARTMENT

Project Number:
22141

BEYER RESIDENCE
2865 SOUTH OCEAN BLVD.,
HIGHLAND BEACH, FL



(EXISTING) GARAGE LEFT ELEVATION
1/4" = 1'-0"



(NEW) GARAGE LEFT ELEVATION
1/4" = 1'-0"

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ARCHITECTS
6100 Broken Sound Pkwy. NW - Suite 8 - Boca Raton FL - 33487
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Revisions

▲	TOWN CENTER COMMENTS FC	09/2023
▲	TOWN CENTER COMMENTS FC	11/14/2023

NOT FOR CONSTRUCTION
Date 11/13/2023
Drawn / Checked FC / ---
Date / Approval ---
Date / Permit ---
Date / Construction ---

Seal:
Digitally signed by
Michael Burns
DN:
c.2014.12000001
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Architects Holding
LLC, c=US
Date: 2023.11.13
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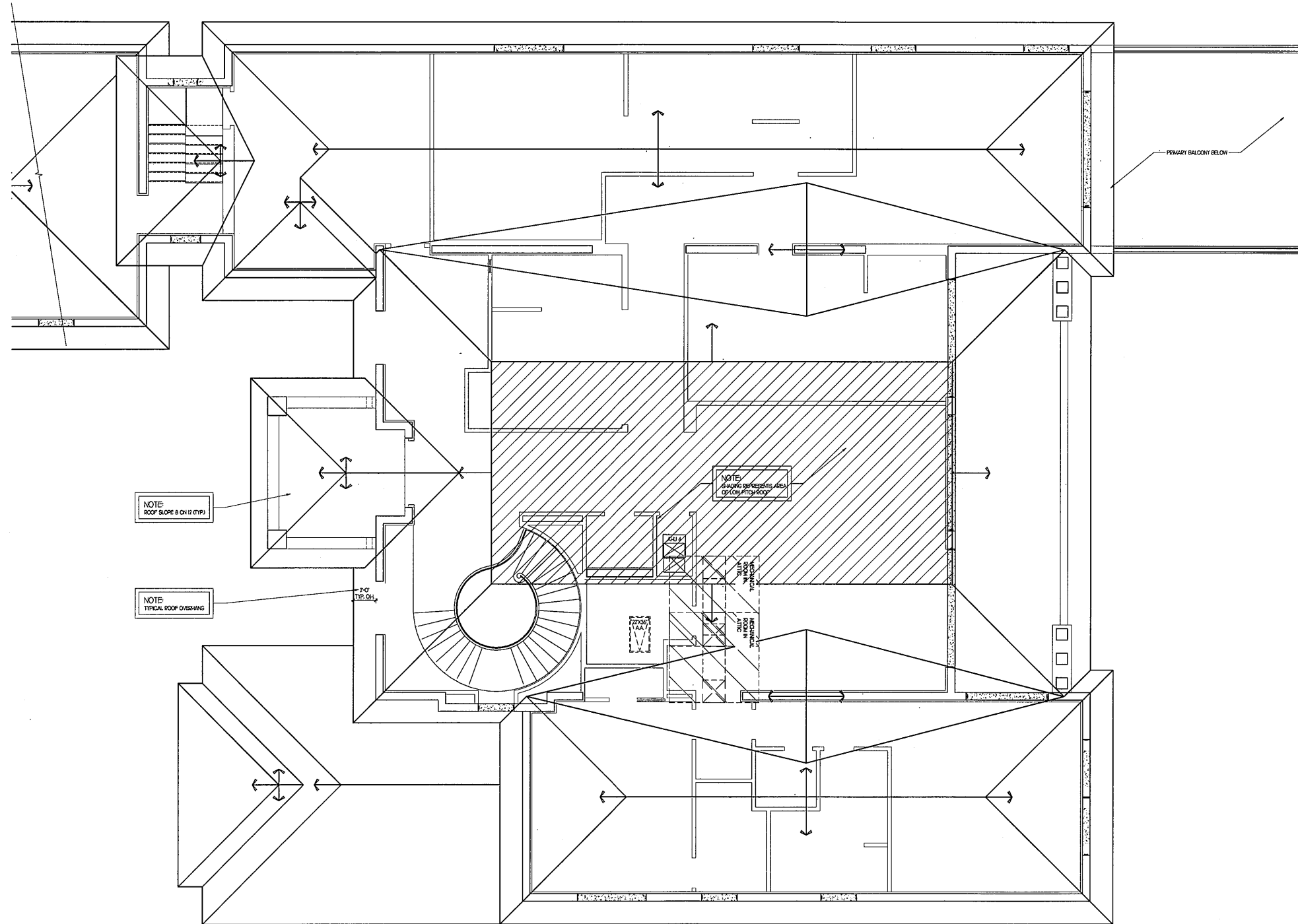
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Revisions
1. TOWN CENTER COMMENTS
FC 12-19-2023

NOT FOR CONSTRUCTION

Date	10/19/2023
Drawn Checked	FC --
Date Approval	FC --
Date Permit	FC --
Date Construction	FC --

Seal: Digitally signed by Mitchell Kunik
DN: cn=Mitchell Kunik, o=Affinity Architects,
email=mk@affinityarchitects.com,
c=US
Date: 2023.12.18
45409-0500

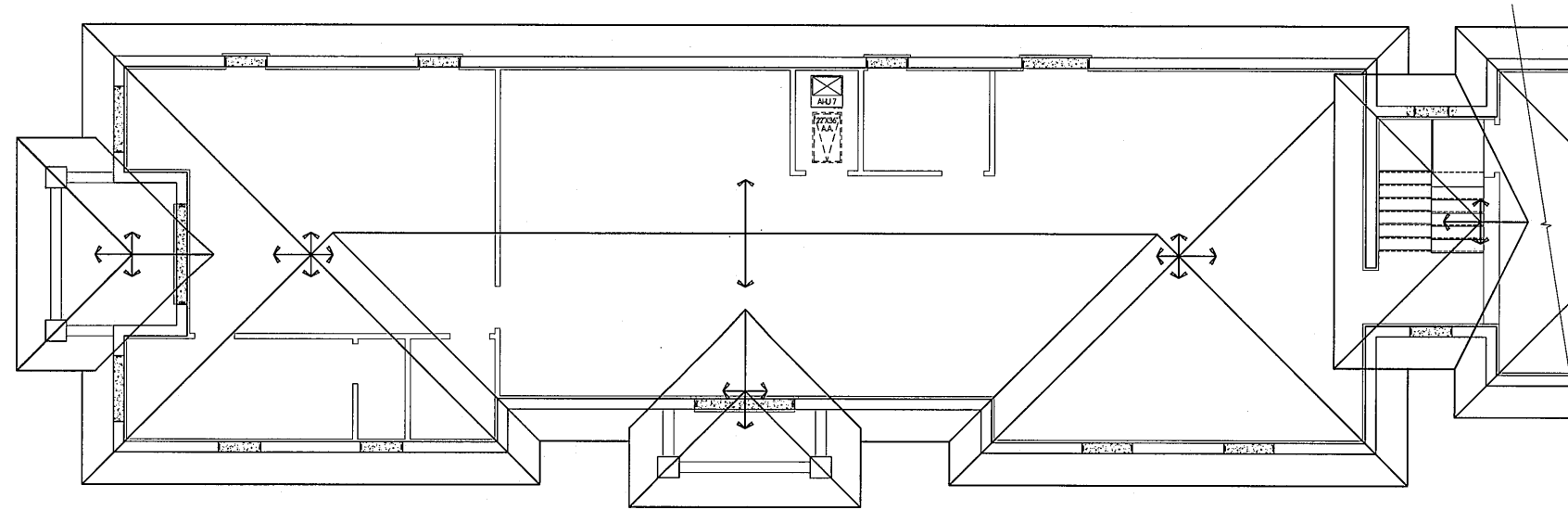
(NEW) MAIN HOUSE ROOF PLAN
1/4" = 1'-0"

A13

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HIGHLAND BEACH
BUILDING DEPARTMENT



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22141

BEYER RESIDENCE
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HIGHLAND BEACH, FL

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10-19-2023

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Seal: Digitally signed by Mitchell Kunik
 DN: cn=Mitchell Kunik, o=Affiniti Architects, email=mk@affinit architects.com, c=US
 Date: 2023.12.14 15:46:29 -0500

(NEW) GARAGE ROOF PLAN
1/4" = 1'-0"

A14

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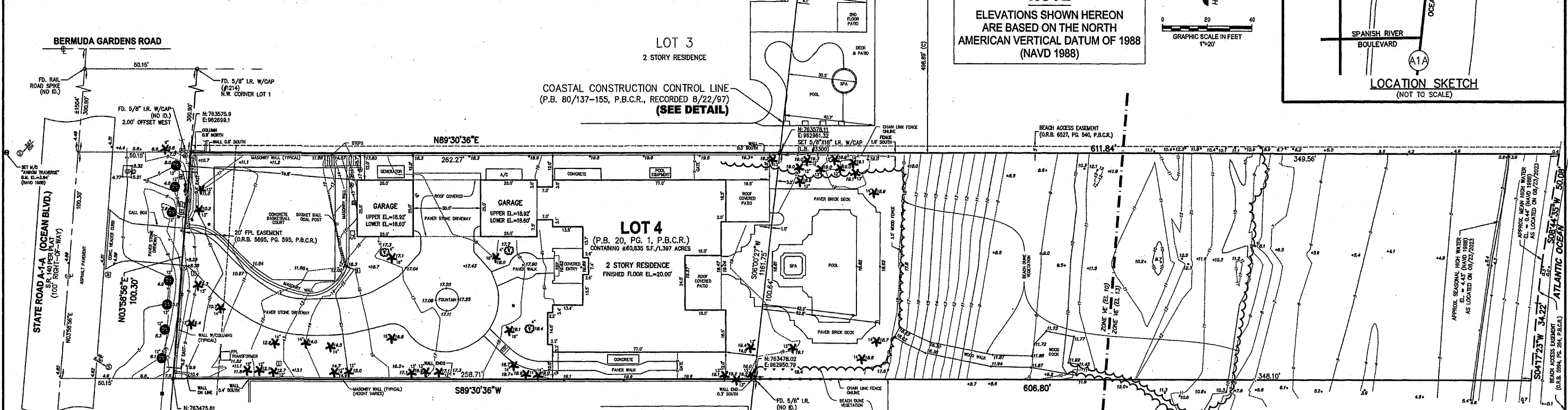
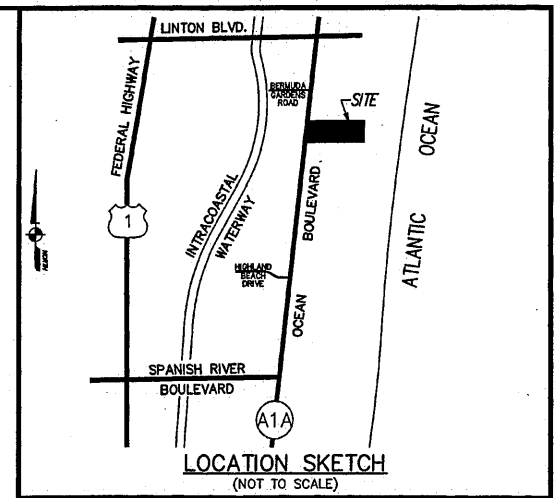
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L8	S 85°10'51" E	137.29'
L9	S 05°00'27" W	508.09'
L10	S 06°00'27" W	103.64'
L11	S 06°00'27" W	553.02'

COASTAL CONSTRUCTION CONTROL LINE DETAIL

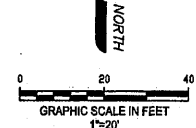
SCALE: 1" = 500'

FD. P.R.M.
06 78 H01 1978
N 768667.426 (P)
E 963691.268 (P)
N 768667.53 (M)
E 963691.16 (M)

NOTE:
THE COORDINATES SHOWN THUSLY ARE BASED UPON THE NORTH AMERICAN 1983 DATUM (ADJUSTMENT OF 1990), FLORIDA MERCATOR EAST ZONE PER COASTAL CONSTRUCTION CONTROL LINE (SEE SURVEYOR'S REPORT #7).



NOTE
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)



LEGEND

- BACKFLOW PREVENTOR VALVE
- BENCHMARK
- CLEAN OUT
- CONCRETE UTILITY POLE
- EXISTING ELEVATION
- EXISTING ELEVATION
- GAS METER
- GUY ANCHOR
- IRRIGATION VALVE
- IRRIGATION CONTROL BOX
- LIGHT POLE
- MAIL BOX
- OVERHEAD WIRES
- SANITARY MANHOLE
- UNDERGROUND GAS MARKER
- UNKNOWN UTILITY SERVICE BOX
- WATER METER
- YARD DRAIN

TREE LEGEND

- Palm
- Shrub
- Unknown Species
- Denotes 12" Diameter Trunk (Typical)

STATION NAME: 06 78 H01 1978	PUBLISHED COORDINATES: N 768667.426 E 963691.268
REMARKS: FD. P.R.M. STAMPED "06 78 H01 1978"	
STATION NAME: PM BH R-192 1974	PUBLISHED COORDINATES: N 761715.957 E 962893.586
REMARKS: FD. P.R.M. STAMPED "PM BH R-192 1974"	

SURVEYOR'S REPORT:

- Reproductions of this Sketch are not valid without the signature and the original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
- The land description shown hereon was taken from Warranty Deed recorded in Official Records Book 32624, Page 1811 of the Public Records of Palm Beach County, Florida.
- No underground improvements were located.
- The undersigned surveyor has no knowledge as to whether any of the hereon property is filled formerly submerged lands.
- Bearings shown hereon are based on Coastal Construction Control Line Book 80, Pages 137 through 155, with a bearing of S06°00'27"W.
- Coordinates shown hereon are based on a Real-time Kinematic (RTK) GPS Control Survey which is certified to 0.3 feet accuracy (US Survey Foot), relative to the control points as shown hereon and is based on the North American Datum of 1983, adjustment of 1990 (NAD 83/90), of the Florida State Plane Coordinate System (Traverse Mercator Projection), East Zone (NAD 83/90). Ties were made to published control coordinates as shown on Plat Book 80, Pages 137-155, Palm Beach County Records.
 - (i) Equipment Used: Leica GS18 High Precision GNSS (Multi Frequency Receiver).
 - (ii) Method: Virtual Reference Station GPS Network.
 - (iii) Processing Software: Leica Infinity, Version 3.3.
- Coordinates depicted on "R" Monuments were obtained from Florida Department of Environmental Protection and unless noted, these monuments were not recovered.
- Benchmark Description: U.S.C. & G.S. Benchmark #K-315, A1A & 220 feet N.E. of Post Office, Elevation = 5.61 feet. (NAVD 1988).
- Elevations indicated hereon are in feet and decimals referenced to North American Vertical Datum of 1988, (NAVD 1988).
- The property described hereon lies within Flood Zones VE (EL 10) & VE (EL 13), as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Numbers 12099C0991F & 12099C0987F, Community Number 125111, dated 10/05/2017.
 - (a) The flood zone lines shown hereon were digitized from data downloaded from FEMA's website.
 - (b) Atlantic Ocean approximate Seasonal High Water Elevation is 4.43 feet, NAVD 1988, as located on 08/24/2023. Seasonal High Water Elevation shown hereon is equal to the elevation of Mean High Water (0.44 feet, NAVD 1988) plus 150% of Mean Range (3.99 feet) which equals Seasonal High Water Elevation of 4.43 feet, NAVD 1988.
 - (c) Atlantic Ocean approximate Mean High Water Elevation is 0.44 feet, NAVD 1988, as located on 08/24/2023.
 - (d) Both the Mean and Seasonal High Water Elevation indicated hereon are based on established data obtained from the Land Boundary Information System website, www.labis.org, referenced to Tide Interpolation Point Number: 100836. (Procedure: Extend the above Mean High Water height onto job site)
- Survey References:
 - (a) Coastal Construction Control Line, recorded in Plat Book 80, Pages 137-155, Palm Beach County, Records.
 - (b) Plat Book 20, Page 1 of the Public Records of Palm Beach County, Florida.
- The common name of trees shown hereon were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
- Property Address: 2365 S. Ocean Boulevard, Highland Beach, Florida.
- Abbreviation Legend: A/C = Air conditioner; APPROX. = Approximate; B.M. = Benchmark; C = Calculated; C = Centerline; CCCL = Coastal Construction Control Line; C.M. = Concrete Monument; CONC. = Concrete; EL = Elevation; FD. = Found; F.F. = Finished Floor; F.P.L. = Florida Power & Light Company; ID. = Identification; I.R. = Iron Rod; L.B. = Licensed Business; MHW = Mean High Water; MS = Measured; NAD = North American Datum; NAVD = North American Vertical Datum; N/D = Nail & Disk; O.R.B. = Official Records Book; OW = Overhead Wires; P = Per Record Plat; P.B. = Plat Book; P.B.C.R. = Palm Beach County Records; PG. = Page; P.L.S. = Professional Land Surveyor; P.R.M. = Permanent Reference Monument; R.L.S. = Registered Land Surveyor; R/W = Right-of-Way; S.F. = Square Feet; W/ = With; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

Lot 4, PLAT OF BYRD BEACH according to the Plat thereof, as recorded in Plat Book 20, Page 1, of the Public Records of Palm Beach County, Florida.

Said lands situate in the Town of Highland Beach, Palm Beach County, Florida and containing 60,835 square feet (1.397 acres) more or less.

CERTIFICATION:

I HEREBY CERTIFY that the attached Boundary and Mean High Water Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary and Mean High Water Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 8/24/2023

John T. Doogan, PLS
Digitally signed by John T. Doogan, PLS
Date: 2023.09.12 13:59:15 -04'00'

JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300

RECEIVED
DEC 20 2023
HIGHLAND BEACH
BUILDING DEPARTMENT



AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
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REVISIONS	DATE	F.B./PG.	BY	CKD	REVISIONS	DATE	F.B./PG.	BY	CKD

BOUNDARY & MEAN HIGH WATER SURVEY
2365 SOUTH OCEAN BOULEVARD
LOT 4
PLAT OF BYRD BEACH
(P.B. 20, PG. 1, P.B.C.R.)
LYING IN SECTION 28, TOWNSHIP 46 SOUTH, RANGE 43 EAST
TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FLORIDA

JOB #:	6813
SCALE:	1" = 20'
DATE:	08/24/2023
BY:	S.K.
CHECKED:	J.T.D.
F.B. 2193	PG. 6-11
SHEET:	1 OF 1