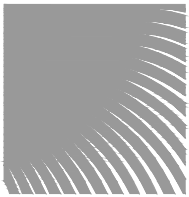


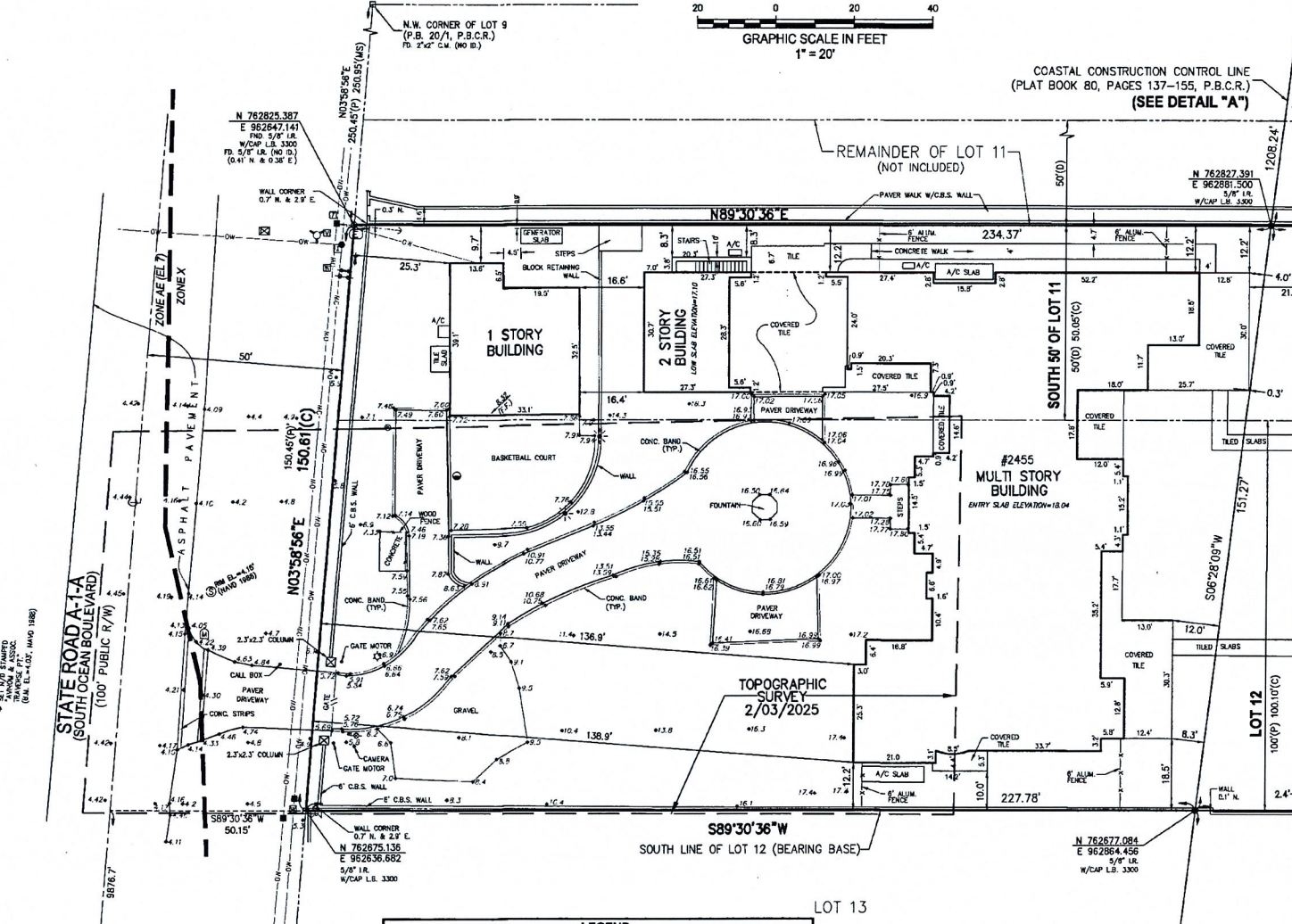
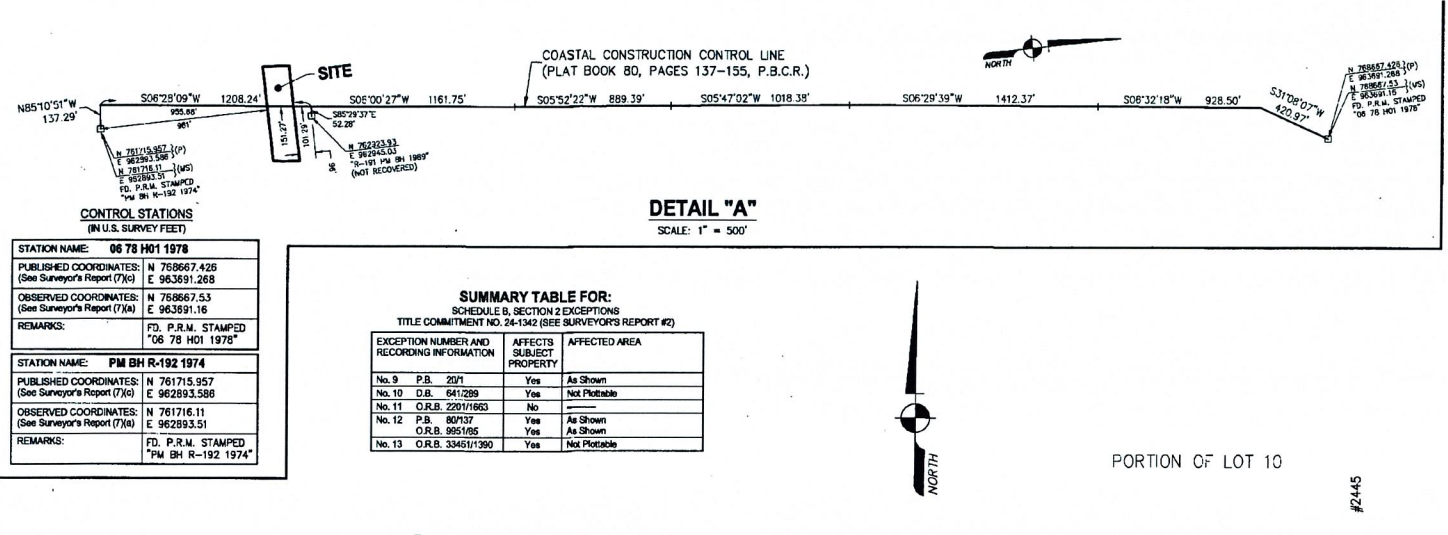


FRONT ENTRY GATE VIEW FROM AIA



DSBoca
design studio boca

landscape architects
and planners
LC - 0000396
2300 Corporate Blvd. NW, Suite 214
Boca Raton, Florida 33431
Ph: 561.955.8623
Fax: 561.362.4749
email: landscapearchitects@dsboca.com



NOTE

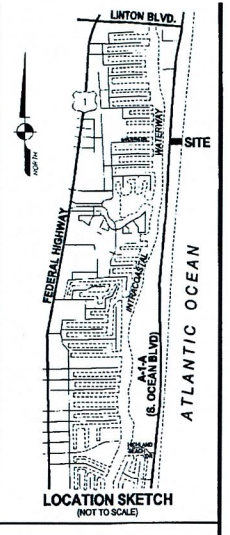
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

LEGEND

BACKFLOW PREVENTER VALVE	SANITARY MANHOLE
BASKETBALL HOOP	SPRIG
BENCHMARK	TELEPHONE RISER
CLEAN OUT	UNKNOWN VALVE
CONCRETE UTILITY POLE	WATER MANHOLE
DOUBLE DETECTOR CHECK VALVE	WATER METER
ELECTRIC SERVICE BOX	WATER SERVICE
EXISTING FINISHED FLOOR ELEVATION	WATER VALVE IN CONCRETE
EXISTING ELEVATION	WOOD LIGHT POLE
FIRE HYDRANT	YARD DRAIN
IRRIGATION CONTROL VALVE	YARD LIGHT
MAIL BOX	
OVERHEAD WIRES	

SURVEYOR'S REPORT:

- Reproductions of this sketch are not valid without the signature and the original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- The property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment issued by Fidelity National Title Insurance Company, Title Commitment No. 24-1342, effective date January 18, 2024, 11:00 P.M. Where applicable, these instruments are shown on the survey (see SUMMARY TABLE). Avrom & Associates, Inc. did not research the public records for easements, rights-of-way, ownership or other instruments of record.
- The land description shown hereon is in accord with the Title Commitment.
- No underground improvements were located.
- The undersigned surveyor has no knowledge as to whether any of the hereon property is filled formerly submerged lands.
- Bearings shown hereon are relative to the Coastal Construction Control Line recorded in Plat Book 80, Pages 137-155, Palm Beach County Records, with the south line of Lot 12 (BYRD BEACH) having a bearing of S89°30'36"W.
- (a) Coordinates shown hereon are based on a Real-time Kinematic (RTK) GPS Control Survey which is certified to 0.3 feet accuracy (US Survey Foot), relative to the control points as shown hereon and is based on the North American Datum of 1983, adjustment of 1990 (NAD 83/90), of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone (NAD 83/90), as shown on Plat Book 80, Pages 137-155, Palm Beach County Records.
(i) Method: Wide Area Continuously Operating GPS Reference Station Network.
(ii) Processing Software: Trimble Geomatics Office, Version 1.61.
(b) Published Control Coordinates shown hereon are based upon the State Plane Coordinate System, Florida East Zone North American Datum of 1983 (NAD 83/90), adjustment of 1990, as shown on Plat Book 80, Pages 137-155 of the Public Records of Palm Beach County, Florida.
(c) Coordinates depicted on "R" Monuments were obtained from Florida Department of Environmental Protection and unless noted, these monuments were not recovered.
- Benchmark Description: U.S. Coast & Geodetic Survey Benchmark #M310 - a U.S.C. & G.S. brass disc stamped "M 310", Elevation 6.732 feet (NGVD 1929) and Palm Beach County Station "SWFTLY" - east edge of asphalt path at west side of A-1-A, at residence #4023, Elevation 4.797 feet (NGVD 1929).
- Elevations indicated hereon are in feet and decimals referenced to the National Geodetic Vertical Datum of 1929 (NGVD 1929) and converted to the North American Vertical Datum of 1988 (NAVD 1988). The datum was converted from NGVD 1929 to NAVD 1988 utilizing the U.S. Army Corps of Engineers Program Corpn for Windows, Version 5.11.08. The model value of (-) 1.542 was added algebraically to the NGVD 1929 height.
- (a) The property described hereon lies within Flood Zone X as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 12099C0987G, Community Number 125111 and (FIRM) Number 12099C0991G, Community Number 120192, dated 12/20/2024.
(b) The flood zone lines shown hereon were digitized from data downloaded from FEMA's website.
(c) The Mean High Water Survey depicted hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File 4738.
(d) Atlantic Ocean Mean High Water Elevation is 0.44 feet, NAVD 1988, as located on 02/04/2011.
(e) Atlantic Ocean Seasonal High Water Elevation is 4.43 feet, NAVD 1988, as located on 02/04/2011.
(f) Seasonal High Water Line as shown hereon was calculated as follows: Mean High Water (0.44 feet, NAVD 1988) plus 150% of Mean Range (3.99 feet) which equals to 4.43 feet, NAVD 1988.
(g) The Mean High Water Elevation as shown hereon was established by extending the elevation shown at Mean High Water Interpolation Point No. 100836, which was obtained from the Florida Department of Environmental Protection Web Site, <http://www.flahis.org>. The Mean Range was calculated from the published data on Mean High Water Interpolation Point No. 100836.
- The owners of the adjacent properties obstructed the surveyor from entering their properties. The improvements shown hereon on the adjacent properties were located partially by the use of prismless reflectors and partially taken from a previous photogrammetric mapping project that was controlled by Avrom & Associates, Inc. in 1999.
- Abbreviation Legend: A/C = Air conditioner; APPROX. = Approximate; ALUM. = Aluminum; BLDG. = Building; B.M. = Benchmark; C. = Calculated; C. = Centerline; C.B.S. = Concrete, Block & Stucco; CCCL = Coastal Construction Control Line; C.L.F. = Chain Link Fence; C.M. = Concrete Monument; CONC. = Concrete; D. = Per Deed; EL. = Elevation; FD. = Found; F.F. = Finished Floor; ID. = Identification; I.P. = Iron Pipe; I.R. = Iron Rod; L.B. = Licensed Business; MHW = Mean High Water; MS = Measured; NAD = North American Datum; NAVD = North American Vertical Datum; N/D = Nail & Disk; NGVD = National Geodetic Vertical Datum; N/TT = Nail & Tin Tap; O.R.B. = Official Records Book; O/S = Offset; OW = Overhead Wires; P. = Per Record Plat; P.B. = Plat Book; P.B.C.R. = Palm Beach County Records; PG. = Page; PK. = Parker-Kalon; P.R.M. = Permanent Reference Monument; P.S.M. = Professional Surveyor & Mapper; R.L.S. = Registered Land Surveyor; R/W = Right-of-Way; S.F. = Square Feet; S.R. = State Road; TYP. = Typical; W. = With; W/CAP. = With Surveyors Cap.



RECEIVED
SEP 23 2025
HIGHLAND BEACH
BUILDING DEPARTMENT

LAND DESCRIPTION:

The south 50 feet of Lot 11 and all of Lot 12, of PLAT OF BYRD BEACH, according to the map or plat thereof, as recorded in Plat Book 20, Page 1, of the Public Records of Palm Beach County, Florida.

Said lands situate in the Town of Highland Beach, Palm Beach County, Florida and containing 78,837.35 square feet (1.81 acres) more or less.

CERTIFICATION:

I HEREBY CERTIFY that the attached Boundary Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 2/3/2025
John T. Doogan, P.L.S.
Doogan, P.L.S.
P.L.S.

Digitally signed by John T. Doogan, P.L.S.
Date: 2025.08.07 14:50:46 -04'00'

JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVROM & ASSOCIATES, INC.
L.B. No. 3300

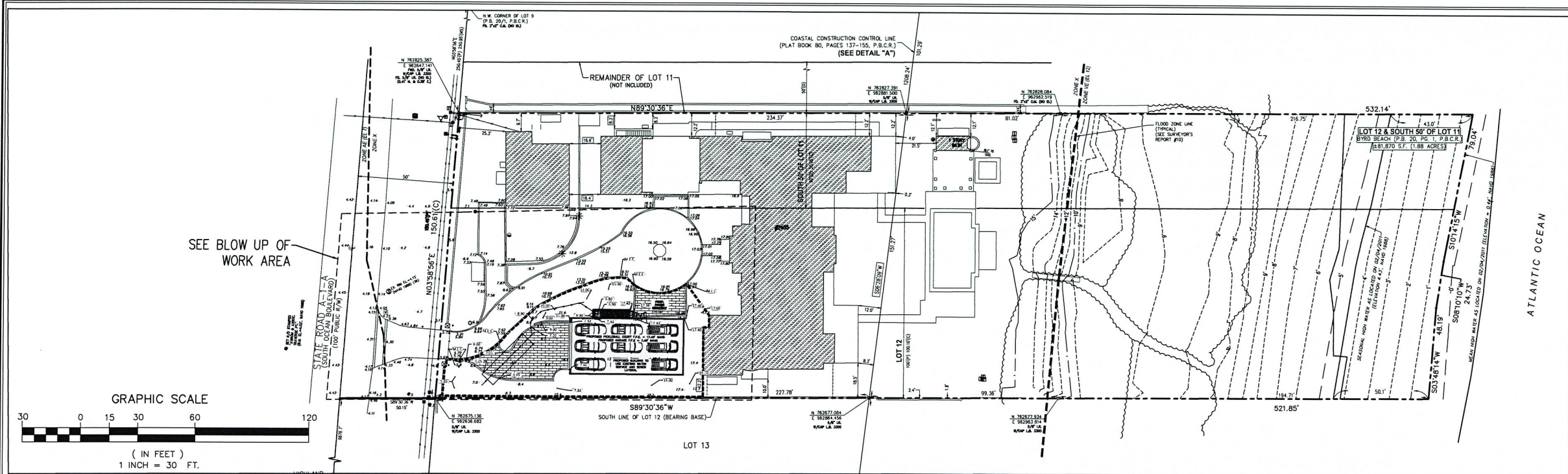


AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2ND AVENUE, SUITE 102, BOCA RATON, FLORIDA 33432
TEL: (561) 392-2594
www.AVIROM-SURVEY.com
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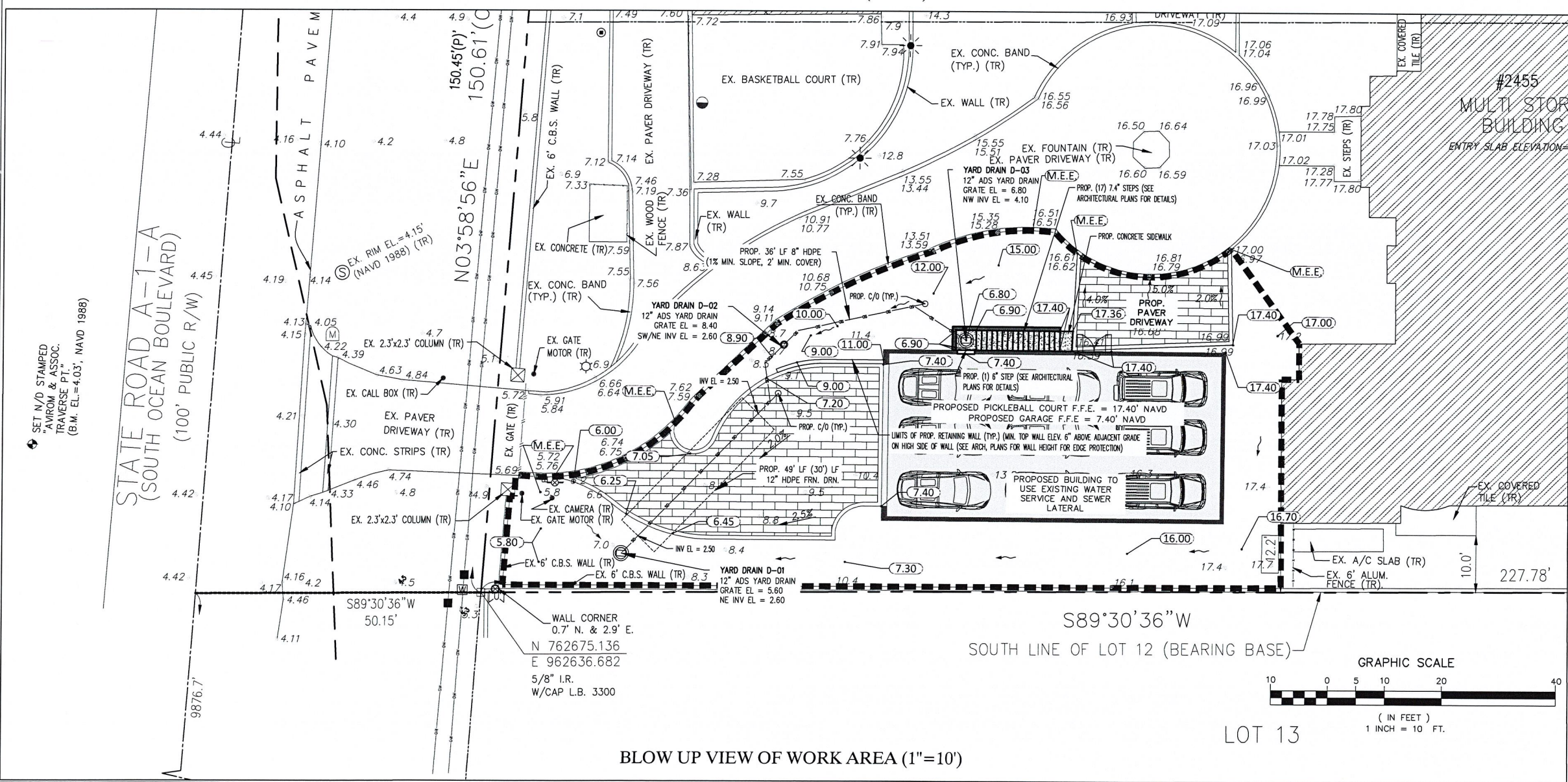
REVISIONS	DATE	F.B. / PG.	BY	CKD	REVISIONS	DATE	F.B. / PG.	BY	CKD
REVISED SURVEY FOR DEP. PERMIT SUBMITTAL	03/01/2021	N/A	M.M.K.	M.D.A.	TOPOGRAPHIC SURVEY	02/03/25	22/83-83	L.B.	J.T.D.
ADD SECTION, TOWNSHIP & RANGE	04/05/2021	N/A	M.M.K.	M.D.A.					
FIELD UPDATE SURVEY / ADD NEW ELEVATIONS / REUSE NORTH & CENTER SECTIONS	06/26/2021	1546/22	W.R.E.	D.E.B.					
ADD ADDITIONAL LOCATIONS FOR LOTS 9, 10 AND 14	09/22/2021	1546/38-40	W.R.E.	D.E.B.					
FORWARD RE-USE	10/21/2021	1546/46	S.A.M.	D.E.B.					
SLAB ELEVATION SURVEY	02/03/2022	SECTION	D.E.B.	D.E.B.					
FORWARD RE-USE	02/08/2022	1546/78	J.B.	D.E.B.					
FINAL SURVEY	09/17/2023	1415/47	W.L.Z.	D.E.B.					
RE-CERTIFY SURVEY & UPDATE FLOOD ZONE LINES (NO FIELD WORK PERFORMED)	01/24/2024	N/A	J.S.B.	D.E.B.					
UPDATE TRANSFER, SURVEY, & TITLE COMMITMENT	02/08/2024	2170/53	M.A.J.	M.A.J.					

BOUNDARY SURVEY
2455 SOUTH OCEAN BOULEVARD
LOT 12 AND THE SOUTH 50' OF LOT 11
BYRD BEACH (PLAT BOOK 20, PAGE 1, P.B.C.R.)
LYING IN SECTION 28, TOWNSHIP 46 SOUTH, RANGE 43 EAST
TOWN OF HIGHLAND BEACH
PALM BEACH COUNTY, FLORIDA

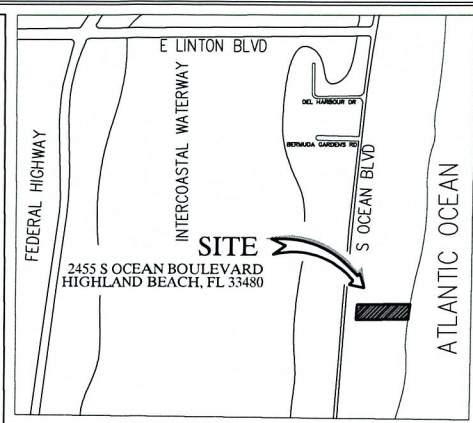
JOB #: 8800-1
SCALE: 1" = 20'
DATE: 02/07/2011
BY: M.M.K.
CHECKED: M.D.A.
F.B. 1546 PG. 07-20
SHEET 1 OF 1



OVERALL VIEW OF SITE (1"=30")

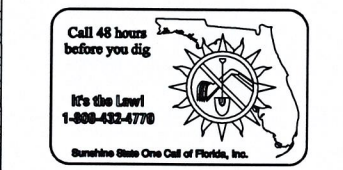


BLOW UP VIEW OF WORK AREA (1"=10')



- LEGEND**
- PROPERTY LINE
 - EXISTING GRADE
 - PROPOSED GRADE
 - MATCH EXISTING GRADE
 - PROPOSED WATER LINE
 - EXISTING WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED ELECTRIC LINE
 - EXISTING OVERHEAD LINE
 - PROPOSED TELEPHONE/CABLE LINE
 - EXISTING TELEPHONE/CABLE LINE
 - PROPOSED GAS LINE
 - EXISTING GAS LINE
 - LIMIT OF CONSTRUCTION LINE
-
- PROPOSED BUILDING
 - PROPOSED PAVER DRIVEWAY
 - EXISTING BUILDING
 - PROPOSED CONCRETE SIDEWALK

NOTE:
ELEVATION ARE SHOWN IN NAVD
CONVERSION NAVD+1.55 = NGVD



RECEIVED

SEP 23 2025

HIGHLAND BEACH
BUILDING DEPARTMENT

REV.	DATE	BY
1	07/10/25	TBH
2		
3		
4		
5		
6		
7		
8		
9		
10		

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1991 / FAX (561) 750-1452
FILE NAME: 11349C.dwg

2455 S Ocean Boulevard
PAVING, GRADING & DRAINAGE PLAN
HIGHLAND BEACH, FL

DATE 06/02/25
DRAWN BY TBH
F.B./PG. ---
SCALE AS NOTED

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 11349
SHT. NO. 1
OF 3 SHEETS

COMPUTE THE INCREASE OF RUNOFF FOR A 100-YEAR, 3-DAY STORM EVENT:

COMPUTE THE INCREASE OF RUNOFF FOR A 100-YEAR, 3-DAY STORM EVENT:

3-DAY RAINFALL AMOUNT: 20.00

PROJECT AREAS:

	EXISTING	CALC.	PROPOSED
PROJECT AREA	0.14	Ac.	0.14 Ac.
BUILDINGS	0.00	Ac.	0.04 Ac.
PAVED AREAS	0.01	Ac.	0.04 Ac.
SOD/LANDSCAPE AREAS	0.13	Ac.	0.06 Ac.

EXISTING CONDITIONS:

$$\text{RUNOFF} = \frac{[20.00 - 0.2 (7.72)]^2}{[20.00 + 0.8 (7.72)]} = \frac{340.63}{26.18} = 13.01$$

$$\text{VOLUME} = \frac{13.01 \times 0.14}{12} = 0.15 \text{ Ac-ft.}$$

PROPOSED CONDITIONS:

$$\text{RUNOFF} = \frac{[20.00 - 0.2 (3.39)]^2}{[20.00 + 0.8 (3.39)]} = \frac{373.35}{22.71} = 16.44$$

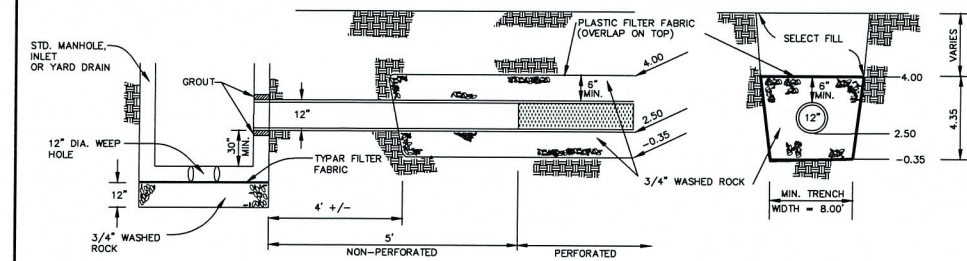
$$\text{VOLUME} = \frac{16.44 \times 0.14}{12} = 0.19 \text{ Ac-Ft}$$

INCREASE IN RUNOFF:

$$\text{INCREASE} = 0.19 - 0.15 = 0.04 = \text{Ac-Ft.}$$

TOTAL EXFILTRATION TRENCH STORAGE PROVIDED = 0.04 AC-FT

100 YEAR, 3 DAY STORM VOLUME INCREASE OF 0.04 Ac-Ft IS ACCOMMODATED BY THE PROPOSED EXFILTRATION TRENCHES WHICH PROVIDE 0.04 Ac-Ft OF STORAGE TOTAL



LONGITUDINAL VIEW

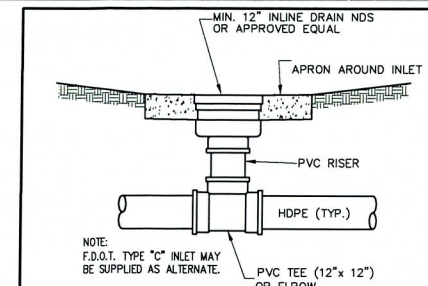
CROSS - SECTION

NOTES:

1. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH BY SAND, SILT, OR OTHER MATERIAL.
2. THE CONTRACTOR SHALL INSTALL
 - A. PERFORATED RCP IN ACCORDANCE WITH F.D.O.T. REQUIREMENTS.
 - B. CORRUGATED ALUMINUM IN ACCORDANCE WITH F.D.O.T. REQUIREMENTS.
3. NO PIPE PERFORATIONS FOR THE FIRST 5 FEET FROM THE INLET OR MANHOLE.
4. PIPE PERFORATIONS SHALL BE PER FOOT REQUIREMENTS
5. SEE DETAILS OF MANHOLE AND/OR INLET FOR CONSTRUCTION DETAILS OF SAME.
6. PLASTIC FILTER FABRIC SHALL CONFORM TO D.O.T. SECTION 985 OR APPROVED EQUAL.
7. PRIOR TO BACKFILLING ANY DRAINAGE STRUCTURES, THE CITY ENGINEERING DEPARTMENT SHALL BE GIVEN 24 HOURS NOTICE IN ORDER TO SCHEDULE AN INSPECTION OF THE FACILITY.

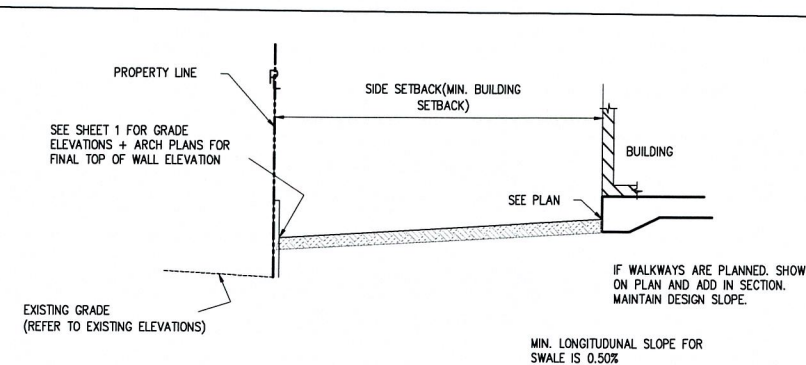
FRENCH DRAIN DETAIL

N.T.S.



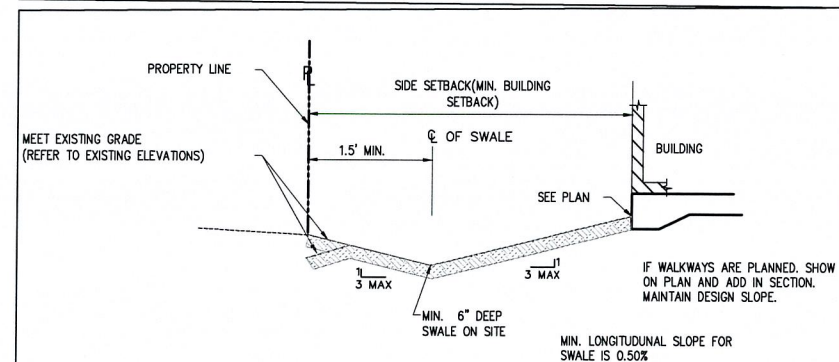
ADS INLET DETAIL

N.T.S.



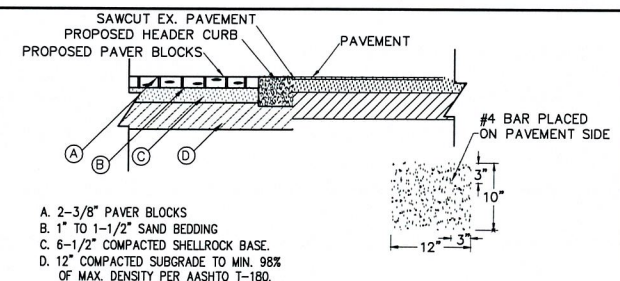
TYP. PROPERTY LINE DETAIL FOR PROPERTY
BOUNDARIES WITH PERIMETER RETAINING WALL

NOT TO SCALE



TYP. PROPERTY LINE DETAIL FOR PROPERTY
BOUNDARIES WITHOUT PERIMETER RETAINING WALL

NOT TO SCALE



FLUSH HEADER CURB
N.T.S.

PAVER BLOCK DETAIL

NOT TO SCALE

NOTE: PROVIDE TYPE "B" JOINT, WHERE HEADER CURB
ABUTS VALLEY CURB

REV. PER TOWN OF HIGHLAND BEACH CMTS	07/10/25	TBH
REVISIONS	DATE	BY
FILE NAME 1154BENG.dwg		

FIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452



2455 S Ocean Boulevard
PAVING, GRADING & DRAINAGE DETAILS
HIGHLAND BEACH, FL

DATE	06/02/25
DRAWN BY	TBH
F.B./ PG.	----
SCALE	N.T.S.

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 11349
SHT.NO. 2
OF 3 SHEETS

RECEIVED

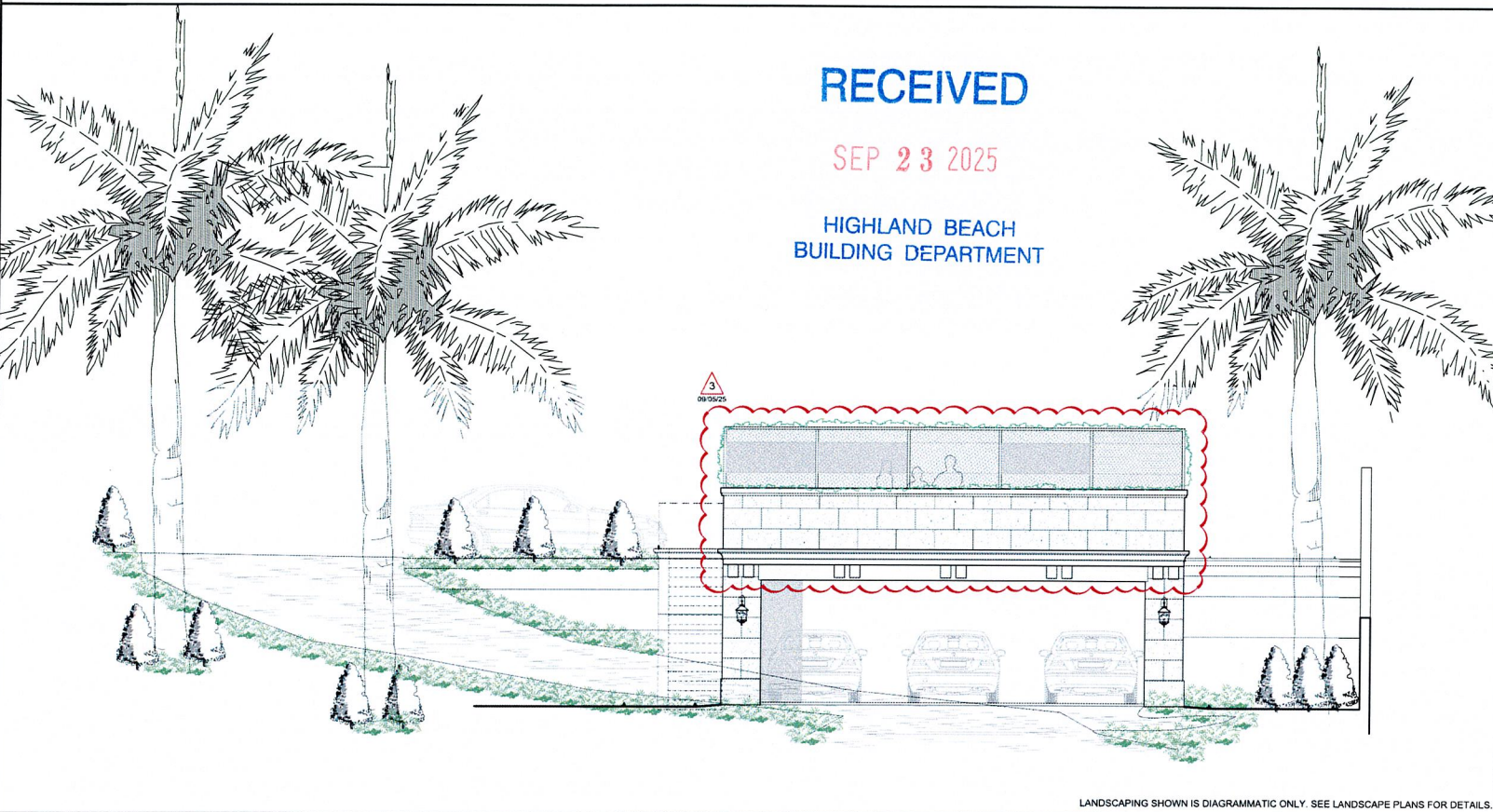
SEP 23 2025

HIGHLAND BEACH
BUILDING DEPARTMENT

ABBREVIATIONS			
ABV. ABOVE	H.G. HOLLOW CORE	R.O. ROUGH OPENING	
ACOUS. ADJUSTABLE	HOWE. HARDWARE	RWD. REDWOOD	
AL. ALUMINUM	HGT. HEIGHT	R.W.L. RAIN WATER LEADER	
APPROX. APPROXIMATE	HORIZ. HORIZONTAL	S.C. SOLID CORE	
BOARD. BOARD	ID. INSIDE DIAMETER	SCHED. SCHEDULE	
BLOG. BUILDING	INCAND. INCANDESCENT	SH. SHEET	
BLCK. BLOCK	INSUL. INSULATION	SM. SIMILAR	
BOT. BOTTOM	INT. INTERIOR	SQ. SQUARE	
CAB. CABINET	JT. JOINT	ST. STAINLESS STEEL	
CER. CERAMIC	LAM. LAMINATE	STD. STANDARD	
C.I. CAST IRON	LAV. LAVATORY	STL. STEEL	
CLR. CLEAR	LOC. LOCATION	STOR. STORAGE	
COL. COLUMN	MAX. MAXIMUM	STRUCT. STRUCTURAL	
CONC. CONCRETE	MECH. MECHANICAL	SUSP. SUSPENDED	
CONN. CONNECTION	MET. METAL	T.C. TOP OF CURB	
CONT. CONTINUOUS	MFR. MANUFACTURER	TEL. TELEPHONE	
CTSK. COUNTERSUNK	MIN. MINIMUM	T&G. TONGUE AND GROOVE	
DECOR. DECORATIVE	MISC. MISCELLANEOUS	THK. THICK	
DET. DETAIL	M.O. MASONRY OPENING	T.O.C. TOP OF CHIMNEY	
D.F. DOUGLAS FIR	MTD. MOUNTED	T.O.F. TOP OF FRAMING	
DIA. DIAMETER	MUL. MULLION	T.O.L. TOP OF LEDGER	
DIM. DIMENSION	N.I.C. NOT IN CONTRACT	T.O.P. TOP OF PLATE	
DN. DOWN	NO. NUMBER	T.O.P.L. TOP OF PLATE	
D.S. DOWN SPOUT	N.T.S. NOT TO SCALE	TYP. TYPICAL	
DWG. DRAWING	O.A. OVERALL	UNLESS OTHERWISE NOTED	
EA. EACH	OBS. OBSOLETE	VERT. VERTICAL	
EL. ELEVATION	O.C. ON CENTER	VEST. VESTIBULE	
ELEC. ELECTRICAL	OFF. OFFICE	VERT. VERTICAL GRAIN	
EQ. EQUAL	OPNG. OPENING	W/ WITH	
EXH. EXHAUST	OPP. OPPOSITE	W/O WITHOUT	
EXP. EXPANSION	PL. PLATE	W.H. WATER HEATER	
EXT. EXTERIOR	PLAS. PLASTER	WD. WOOD	
EXIST. EXISTING	PLYWD. PLYWOOD	WIDW. WINDOW	
F.F. FINISH FLOOR	PR. PAIR	W.W. WATER WEAVER	
FLASH. FLASHING	PRCST. PRECAST	WSCOT. WAINSCOT	
FLUOR. FLUORESCENT	P.T. PRESSURE TREATED	WT. WEIGHT	
FT. FOOTING	PTN. PARTITION	SYMB. SYMBOLS	
FTG. FOOTING	Q.T. QUARRY TILE	AT. ANGLE	
GAL. GALVANIZED	R.D. RADIUS	AT. ANGLE	
GL. GLASS	REIN. REINFORCE	AT. ANGLE	
GR. GRADE	REQ. REQUIRED	AT. ANGLE	
GYP. GYPSUM	RM. ROOM	AT. ANGLE	
H.B. HOSE BIBB		AT. ANGLE	

PROJECT TEAM		
ARCHITECT: RANDALL STOFFT ARCHITECTS 42 NORTH SWINTON AVE., SUITE 1 DELRAY BEACH, FL 33444 561-242-0799 (7) CONTACT: DON DURANTE EMAIL: don@ststoff.com	SURVEYOR: AVIRON & ASSOCIATES, INC. 50 S.W. 2nd AVENUE, SUITE 102 BOCA RATON, FL 33432 561-392-2594 (7) CONTACT: JOHN T. DOOGAN EMAIL: john@avironsurvey.com	CIVIL ENGINEER: CAUFIELD & WHEELER, INC. 7900 GLADES ROAD, SUITE 100 BOCA RATON, FL 33434 561-392-1881 (7) CONTACT: MATTHEW KAHN EMAIL: matthew@cwassoc.com
LANDSCAPE ARCHITECT: DESIGN STUDIO BOCA 2300 CORPORATE BLVD., SUITE 214 BOCA RATON, FL 33431 561-955-8823 (7) CONTACT: MARK JACOBSEN EMAIL: mark@dsboca.com		
RESIDENTIAL CODE INFORMATION		
ALL RESIDENTIAL CONSTRUCTION SHALL COMPLY WITH SEVEN VOLUMES OF THE FLORIDA BUILDING CODE 2023 EDITION. THE CODE IS COMPILED WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY REFERENCE. THE NATIONAL ELECTRICAL CODE IS REFERENCED STANDARD NFPA-70.		

CUSTOM RESIDENCE ADDITION



CONSTRUCTION NOTES, SPECIFICATIONS AND GENERAL REQUIREMENTS

<p>ARCHITECT'S STATUS:</p> <p>A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.</p> <p>CODES:</p> <p>A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.</p> <p>THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-19 EDITION), (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC ASD 13th EDITION, BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13/TMS 402-16), BUILDING CODE REQUIREMENTS AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (ANSI/APA NDS-2018).</p> <p>B. THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNMENT CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.</p> <p>PERMITS:</p> <p>A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS.</p> <p>JOB CONDITIONS:</p> <p>A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS, AND HE SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT. BACK CHARGES WILL NOT BE ACCEPTED.</p> <p>B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS DO NOT SCALE DRAWINGS.</p> <p>C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND / OR AS AN ADDITION OR ALTERATIONS) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF THE WORK, SUPPLIES, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.</p> <p>D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.</p> <p>WORK NECESSARY TO COMPLETE CONSTRUCTION:</p> <p>A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.C." (NOT IN CONTRACT).</p> <p>CLEAN UP / REPAIR:</p> <p>A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.</p> <p>B. THE CONTRACTOR SHALL REPAIR AND / OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.</p> <p>CLIMATE & GEOGRAPHIC DESIGN CRITERIA:</p> <p>A. PER 2023 FBC-RESIDENTIAL, TABLE R301.2(1), "SUBJECT TO DAMAGE FROM WEATHERING IS CLASSIFIED AS 'NEGLECTABLE', TERMITE DAMAGE IS CLASSIFIED AS 'VERY HEAVY'. SEE ADDITIONAL NOTES UNDER EARTHWORK.</p>	<p>EARTH WORK:</p> <p>A. PERFORM ALL WORK IN CONFORMANCE WITH THE FINAL SOILS. COMPACTION AND GEOLOGICAL REPORTS.</p> <p>B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2500 PSF. FINAL WRITTEN VERIFICATION SHALL BE SENT TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.</p> <p>C. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES.</p> <p>D. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 5 FEET BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SQUARE FEET OF AREA. DENSITY TESTS ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES. RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED TO THE ARCHITECT/ENGINEER.</p> <p>E. FILL SHALL BE CLEAN, WELL GRADED SAND, CLASSIFICATION SW PER ASTM D2487-69 (75) WITH LESS THAN 12% PASSING 200 SIEVE. FILL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPACTED AS ABOVE.</p> <p>F. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1816 OF THE FL. BUILDING CODE 2023.</p> <p>CONCRETE:</p> <p>A. GENERAL: ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI 318-19.</p> <p>B. PORTLAND CEMENT: ASTM C-150 TYPES I OR II, LOW ALKALI, SILT TESTED AND CERTIFIED. USE TYPE I CEMENT FOR SOIL CONTAINING SULFATE CONCENTRATIONS OF MORE THAN 0.2 PERCENT.</p> <p>C. WATER: FROM DOMESTIC SOURCES. CLEAN, POTABLE, AND FREE FROM ALL ORGANIC OR OTHER DELETERIOUS MATERIALS.</p> <p>D. AGGREGATES: ASTM C-33 FOR SLABS ON GRADE.</p> <p>E. SAND: ASTM C-33 FOR SLABS ON GRADE.</p> <p>H. CONCRETE SHALL BE READY MIX & HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS - EXCEPTION PILINGS SHALL BE 5,000 PSI. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318-19) THE ACI DETAILING MANUAL (ACI 318LATEST EDITION), AND THE SPECS. FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 308LATEST EDITION). CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE LATEST ACI SPECIFICATIONS. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC AT LEAST 1" ABOVE SLAB ON GRADE LAP ALL WITH A MINIMUM OF 6 INCHES U.N.O. ALL REINFORCING STEEL SHALL BE MANUF. FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60. LAP ALL BARS MINIMUM 48 DIA. U.N.O. ON DRAWINGS ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS U.N.O.</p> <p>REINFORCING STEEL:</p> <p>A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, EXCEPT WHERE MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.</p> <p>B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL:</p> <ul style="list-style-type: none">"SLAB ON VAPOR BARRIER 2" (ELEVATED 1 1/2")"BEAMS AND COLUMNS 1 1/2""FORMED CONCRETE BELOW GRADE 2""UNFORMED BELOW GRADE 3""FOOTING 3" CLEAR AT BOTTOM & SIDES 2" CLEAR OF TOP"WALLS 2" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE"SLABS 3/4" CLEAR AT TOP (INTERIOR), 1 1/2" CLEAR AT TOP (EXTERIOR)"BEAMS 1 1/2" CLEAR TO STRIPS"COLUMNS 1 1/2" CLEAR TO TIES <p>C. REINFORCING MESH: ON-GRADE BUILDING SLABS SHALL BE ACI-318 ELECTRICALLY WELDED WIRE FABRIC, SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.</p> <p>D. GENERAL BEAM NOTES:</p> <ol style="list-style-type: none">1) SCHEDULE HOOKS OR STRIPS SHALL BE PLACED AT EACH END OF BEAM U.N.O.2) BUNDLE ALL STR. BEAM TOP BARS IN PAIRS OVER SUPPORT W/ TOP BARS FROM ADJ. BEAMS.3) ALL BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJ. STR. BEAM PER STANDARD ASTM BENDING DIAGRAM.4) THE BEAM DEPTHS ARE MIN. AND MAY BE INCREASED (8" MAX.) TO FIT BLOCK WORK AND WINDOW AND DOOR HEADS.5) DROP BOTTOM OF THE BEAMS, AS REQUIRED, AT WINDOW & DOOR HEADS (28" MAX. BEAM DEPTH) & ADD 2#5 BOTTOM, IF DROP EXCEEDS 8" U.N.O. ON PLANS.6) ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 7' MIN. INTO SUPPORT U.N.O.	<p>TRUSSES:</p> <p>A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE TRUSS TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING OF FOUNDATION.</p> <p>B. WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA. TRUSS FABRICATOR TO PROVIDE PRE-FABRICATED HANGERS AS REQUIRED.</p> <p>C. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS:</p> <p>D. DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD ROOF TRUSSES PER TPI 85; DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHORD TRUSSES PER PCI 60; HANDLING, INSTALLATION, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES PER BWT 76, H&B-91.</p> <p>CONCRETE UNIT MASONRY:</p> <p>A. THIS PROJECT IS DESIGNED AS ENGINEERED UNIT MASONRY. STRUCTURAL DESIGN SHALL BE IN ACCORDANCE WITH ACI 530-13/ASCE 5-13/TMS 402-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES. REFER TO STRUCTURAL PLANS.</p> <p>B. REINFORCING STEEL: LAP REINFORCING NOT LESS THAN 48 BAR DIAMETERS AT SPICE IN WALL REINFORCING. LAP HORIZONTAL REINFORCING A MINIMUM OF 18" AROUND CORNERS. HORIZONTAL BARS SHALL BE TIED TO VERTICAL BARS AS THE WORK PROGRESSES AND SHALL BE EMBEDDED IN GROUT. PLACING OF HORIZONTAL REINFORCING IN JOINTS OR MORTAR WILL NOT BE PERMITTED EXCEPT FOR WIRE JOINT REINFORCING.</p> <p>C. FOUNDATION DOWELS: SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL TO 6 VERTICAL TO ALIGN WITH BLOCK CORE.</p> <p>D. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.</p> <p>E. MASONRY UNITS SHALL BE ASTM C-90 TYPE II WITH MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND U.N.O. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60.</p> <p>F. ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. NO TESTING FOR MORTAR STRENGTH IS REQUIRED FOR THIS PROJECT.</p> <p>G. GROUT SHALL BE A HIGH SLUMP MIX (21"1") IN ACCORDANCE WITH ASTM SPECIFICATION C-1078 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. NO TESTING FOR GROUT STRENGTH IS REQUIRED FOR THIS PROJECT.</p> <p>H. PROVIDE 9 GAUGE HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE ONLY) AT EVERY SECOND COURSE FOR ALL EXTERIOR WALLS.</p> <p>I. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS MUST BE INSPECTED BY A QUALIFIED ENGINEER JUST PRIOR TO POURING OF THE FOUNDATION, 1ST & 2ND FLOOR TIE BEAMS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "SPECIFICATION FOR THE MASONRY AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.</p> <p>STRUCTURAL STEEL:</p> <p>A. WORKMANSHIP: WORK SHALL COMPLY WITH A.I.S.C. LRFD 15TH EDITION, UNLESS MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.</p> <p>B. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISI CODE. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A36. ALL STEEL TUBING & PIPE SHALL CONFORM TO ASTM SPECIFICATION A-500 GRADE B (P=46KSI). ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" (AWS D11.1) TO PERFORM THE TYPE OF WORK REQUIRED. ALL STEEL WELDING ROOFS SHALL BE E70XX ELECTRODES.</p>	<p>ROUGH CARPENTRY:</p> <p>A. ALL BEAMS INSTALLED WITH CROWN UP UNLESS OTHERWISE NOTED. CANTILEVERED BEAMS SHALL BE INSTALLED WITH CROWN DOWN.</p> <p>B. 3" MINIMUM BEARING BY BEAMS AND GIRDERS ON MASONRY OR CONCRETE.</p> <p>C. PROVIDE 4"x4" POSTS OR (2) 2"x4" STUDS MINIMUM UNDER ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.</p> <p>D. ALL SUB-SILLS, OVER 8'-0" IN LENGTH SHALL BE DOUBLE 2"x4"s.</p> <p>E. DOUBLE 2"x4"s, SPIKED TOGETHER W/ 160'S @ 5' O.C. STAGGERED MAY BE USED IN LIEU OF 4"x4" POSTS WHERE CONTAINED WITHIN WALLS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS.</p> <p>F. ALL LUMBER IN DIRECT CONTACT WITH STEEL OR CONCRETE SHALL BE PRESSURE TREATED, HAVE AN APPROVED SEPARATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.</p> <p>G. BUILDING PAPER: FEDERAL SPECIFICATIONS UO-7-800. INSTALL UNDER ROOFING AND TRIM AND CAREFULLY APPLY 30 S.O.S TO FORM A WATERTIGHT MEMBRANE. EACH COURSE OF PAPER SHALL OVERLAP THE COURSE BENEATH IT 6" MINIMUM. WHERE PAPER MEETS ANY OPENING, THE PAPER SHALL BE CAREFULLY LAPPED OVER THE FRAME TO PREVENT THE PASSAGE OF WATER BEHIND THE FRAME. INSTALL SILKA KRAFT PAPER AT EXTERIOR DOORS AND WINDOW FRAMES.</p> <p>H. ALL BEARING PARTITIONS SHALL BE SECURED TO ADJACENT PARTITIONS, AND SHALL HAVE AT LEAST A DOUBLE STUD POST AT ALL ENDS, CORNERS AND EACH SIDE OF ALL WINDOW AND DOOR OPENINGS.</p> <p>I. ROOF SHEATHING: 1932" THICK STANDARD PLYWOOD SHEATHING, EXTERIOR, GLUE C-0 GRADE, 4 PLY, INDES 24/0, APA GRADE TRADEMARKED, APPLY WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS.</p> <p>J. HANGERS, FRAMING ANCHORS AND FASTENERS: STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED. NAILS TO BE THOSE FURNISHED OR RECOMMENDED BY MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR, ALL HANGERS AND ANCHORS SHALL BE GALVANIZED.</p> <p>K. DRAFT-STOPPING: IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 1,000 SIF. IN ATTICS FOR AREAS OVER 3,000 SIF.</p> <p>L. FIRE-BLOCKING: INSTALL IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRINGERS (TOP AND BOTTOM) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.</p> <p>SHOP DRAWINGS:</p> <p>A. THE CONTRACTOR SHALL SUBMIT THREE COPIES OF ALL SHOP DRAWINGS, ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION AND COMMENCEMENT OF THE WORK.</p> <p>B. CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS.</p> <p>C. WINDOW AND DOOR SUPPLIER SHALL PROVIDE SHOP DRAWINGS.</p> <p>SECTION AND DETAILS</p> <p>ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE U.N.O.</p> <p>PLUMBING FIXTURES:</p> <p>A. ALL SHOWER HEADS SHALL HAVE ANTI-SCALDING PROTECTION.</p> <p>THERMAL MOISTURE PROTECTION:</p> <p>A. INSULATION: INSULATION SHALL BE PROVIDED AND INSTALLED PER FBC 2023 ENERGY CONSERVATION CODE. PRESCRIPTIVE REQUIREMENTS INCLUDE: MINIMUM OF R-30 CLO INSUL. IN CLIMATE ZONE 1, R-38 CLO INSUL. IN CLIMATE ZONE 2. MASONRY WALLS A MINIMUM OF R-4 IN CLIMATE ZONE 1, R-6 IN CLIMATE ZONE 2. FRAME WALLS A MINIMUM OF R-13 IN BOTH CLIMATE ZONE 1 & 2. VERIFY REQUIRED INSULATION VALUES TO BE INSTALLED AGAINST FBC ENERGY CONSERVATION ENERGY CALCULATIONS AS SUBMITTED.</p> <p>B. ROOF/TILE TILE SHALL BE AS SHOWN ON DRAWINGS AND AS SELECTED BY ARCHITECT/ENGINEER. INSTALLATION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND FLORIDA BUILDING CODE 2023. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL FURNISH A ROOFERS WRITTEN GUARANTEE COVERING WORKMANSHIP MATERIAL, MANUFACTURERS GUARANTEE FOR REPLACEMENT OF THE SAME AT NO COST TO THE OWNER WITHIN WARRANTY PERIOD.</p>	<p>TIMBER</p> <p>A. STRUCTURAL TIMBER TO BE SOUTHERN PINE #2 (MIN.) STRESS GRADE LUMBER OR APPROVED EQUAL. THE MIN. ALLOWANCE PROPERTIES ARE AS FOLLOWS:</p> <p>"F8" = 1,150 PSI (Fv = 86 PSI) E = 1,600,000 PSI AND PRESSURE TREATED FOR USE AGAINST CONCRETE AND MASONRY.</p> <p>B. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS SPECIFIED BELOW:</p> <p>AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, TIMBER CONSTRUCTION MANUAL, NATIONAL FOREST PRODUCTS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, AMERICAN PLYWOOD ASSOCIATION, PLYWOOD DESIGN SPECIFICATION, AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS, NATIONAL LUMBER MANUFACTURERS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS.</p> <p>C. ALL TIMBER CONNECTIONS ARE TO BE MADE USING PREFABRICATED CONNECTORS. TOE NAILING WILL NOT BE PERMITTED. SUBMIT MANUFACTURER'S DATE FOR APPROVAL. FASTENERS TO BE AS MANUFACTURED BY USP OR SIMPSON.</p> <p>D. LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH ALL PROCEDURES AND AGENCIES APPROVED BY US PROCEDURE PS 20-84.</p> <p>E. PLYWOOD: PRODUCT STANDARD PS-173 AND RULES FOR DFPA GRADE. TRADEMARKS OF AMERICAN PLYWOOD ASSOCIATION.</p> <p>F. MARKING: WOOD AND LUMBER SHALL BE MARKED WITH ITS GRADE AND PLYWOOD WITH ITS GRADE TRADEMARK IN ACCORDANCE WITH THE REFERENCED STANDARDS. A PIECE WITH DEFECTS SHALL NOT BE USED REGARDLESS OF GRADING.</p> <p>G. EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP 1 STANDARD (C-0) EXT-DPPA, (C-0) EXT-DPPA, STRUCTURAL (C-0) EXT-DPPA OR STRUCTURAL I (C-0) EXT-DPPA.</p> <p>DOORS AND WINDOWS:</p> <p>A. PER FBC 406.3.2.1 DOOR OPENINGS BETWEEN THE GARAGE AND DWELLING TO BE SOLID CORE NOT LESS THAN 1 1/2" THICK OR BE IN COMPLIANCE WITH FBC 716.5.3 WITH A FIRE PROTECTION RATING NOT LESS THAN 20 MINUTES. DOORS SHALL BE SELF CLOSING AND SELF LATCHING.</p> <p>B. DOORS CONTAINING GLAZING MATERIAL, NOT GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY I AND SHALL BE CAPABLE OF WITHSTANDING A 150 FOOT-POUND IMPACT TEST.</p> <p>C. DOORS, BATH & SHOWER ENCLOSURES, AND SLIDING GLASS DOORS CONTAINING GLAZING MATERIAL GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY II AND SHALL BE CAPABLE OF WITHSTANDING A 400 FOOT-POUND IMPACT TEST.</p> <p>D. THE GLAZING IN SLIDING AND SWINGING DOORS AND IN SHOWER OR TUB ENCLOSURES, INCLUDING ANY GLAZING WITHIN 60 INCHES OF THE FINISHED FLOOR IN WALLS SURROUNDING TUB & SHOWER ENCLOSURES SHALL BE SAFETY GLAZED FOR CATEGORY II GLAZING PRODUCTS.</p> <p>E. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60" ABOVE THE FLOOR OF THE TUB OR SHOWER.</p> <p>F. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS 20" WIDE, 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR (MAX).</p> <p>G. WINDOW UNITS SHALL DISP. LABELS SHOWING COMPLIANCE WITH THE FL ENERGY CODE.</p> <p>H. ALL NEW SINGLE-FAMILY HOUSES, DUPLEXES, TRI-PLEXES, CONDOMINIUMS AND TOWNHOUSES SHALL PROVIDE AT LEAST ONE BATHROOM LOCATED WITH MAX. POSSIBLE PRIVACY, WHERE BATHROOMS ARE PROVIDED ON HABITABLE GRADE LEVELS, WITH A DOOR THAT HAS A MIN. 28" CLEAR OPENING.</p>
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DESIGN PARAMETERS

CODE EDITIONS:	WIND LOADS AS PER FBC 2023 FLORIDA BUILDING CODE, 8TH EDITION AND ASCE 7-22
2023 FLORIDA BUILDING CODE - RESIDENTIAL, 8TH EDITION NATIONAL ELECTRICAL CODE (NEC) 2023	ALL EXTERIOR OPENINGS TO BE IMPACT RESISTANT PRODUCTS/ CONSTRUCTION
BUILDING CLASSIFICATION:	
2023 FLORIDA BUILDING CODE - BUILDING, 8TH EDITION CHAPTER 3, GROUP R-3 OCCUPANCY ONE-STORY, DETACHED RESIDENTIAL GARAGE STRUCTURE	
CONSTRUCTION TYPE:	
2023 FLORIDA BUILDING CODE - BUILDING, 8TH EDITION CHAPTER 6, TABLE 601 V-B	
TABLE 504.3: ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE: 40'-0", NON-SPRINKLED	THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-19), AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) LRFD 15th EDITION, BUILDING CODE REQUIREMENTS AND SPEC'S FOR MASONRY STRUCTURES (TMS402-16/ACI 530/ASCE 5 & TMS602, ACI530.1/ASCE 8), BUILDING CODE REQUIREMENTS AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (AF&PA NDS-2018, ASD). SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DESIGN PARAMETERS.
TABLE 504.4: ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE: 3-STORIES, NON-SPRINKLED	
TABLE 506.2: ALLOWABLE AREA FACTOR: UNLIMITED S.F., NON-SPRINKLED & SPRINKLED	

DRAWING INDEX

TOWN D.O.A. SUBMITTAL	DWD	06/24/25
PLAN REVIEW COMMENTS	DWD	07/14/25
PLAN REVIEW COMMENTS	DWD	08/14/25
PLAN REVIEW COMMENTS	DWD	09/05/25

SURVEY	
1	BOUNDARY SURVEY
CIVIL	
1	PAVING, GRADING & DRAINAGE PLAN
2	PAVING, GRADING & DRAINAGE DETAILS
3	EROSION CONTROL PLAN, NOTES & DETAILS

LANDSCAPE	
L-0	GARAGE LEVEL LANDSCAPE PLAN
L-1	GARAGE LEVEL LANDSCAPE PLAN
L-2	PLANT LIST & DETAILS
L-3	SPECIFICATIONS
L-4	SPECIFICATIONS
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION TABLE
ARCHITECTURAL	
A000	COVER SHEET
A101	OVERALL SITE PLAN & NOTES
A102	ENLARGED SITE PLAN
A201	GARAGE LEVEL PLAN
A202	PICKLEBALL COURT LEVEL PLAN
A301	FRONT (WEST) & RIGHT (SOUTH) ELEVATIONS
A302	REAR (EAST) & LEFT (NORTH) ELEVATIONS
A303	BUILDING SECTION A-A
A401	EXISTING LANDSCAPE CONDITIONS

SCOPE OF WORK NOTES

PROPOSED SCOPE OF WORK UNDER THIS PERMIT SUBMITTAL SHALL CONSIST OF THE FOLLOWING:

SITE WORK:

1. NEW DETACHED 1-STORY CONCRETE MASONRY UNIT MULTI-CAR GARAGE STRUCTURE WITH PICKLEBALL COURT & SCREEN FENCING CONSTRUCTED ON TOP FLAT ROOF OF GARAGE STRUCTURE.
2. NEW CONCRETE STAIRCASE DOWN FROM EXISTING PAVED PARKING AREA TO NEW MULTI-CAR GARAGE STRUCTURE.
3. NEW PAVEMENT DRIVEWAY TO MATCH EXISTING.
4. NEW LANDSCAPING ADDED TO EXISTING LANDSCAPING.

RESIDENTIAL POOL CODE INFORMATION

RESIDENTIAL POOL SAFETY ACT - CHAPTER 45 OF THE 2023 FBC RESIDENTIAL

1. OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH R4501.17.1.1 THROUGH R4501.17.1.1.4.
2. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL MEET THE REQUIREMENTS OF RESIDENTIAL POOL SAFETY ACT SECTION R4501.17.1.1.3.
3. ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL ARE TO BE SELF CLOSING AND PROVIDING MECHANICAL LATCH MECHANISM SHALL BE MOUNTED AT 4" A.F.F. (MIN).
4. THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

ALTERATION LEVEL NOTES

THE SCOPE OF WORK FOR THIS PROJECT UNDER THE 2023 FLORIDA BUILDING CODE-EXISTING BUILDING, IS AN ALTERATION LEVEL 2 AS DEFINED IN CHAPTER 6, SECTION 603.1 & 603.2 AND MUST BE IN TOTAL COMPLIANCE AS OUTLINED BELOW.

- ALL WORK SHALL CONFORM TO THE 2023 EDITION OF THE FLORIDA BUILDING CODE AND CONFORM TO EXISTING BUILDINGS' CHAPTER 4 - REPAIRS.
- ADDITIONALLY, ALL WORK SHALL CONFORM TO THE PROVISIONS IN CHAPTER 7 & CHAPTER 8 FOR LEVELS 1 & 2 ALTERATIONS, RESPECTIVELY, AS WELL AS ANY AND ALL APPLICABLE FEDERAL AND LOCAL BUILDING CODES.

CUSTOM RESIDENCE ADDITION
2455 SOUTH OCEAN BLVD.
HIGHLAND BEACH, FLORIDA

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 2410087

Digitally signed by Randall E Stofft
DN: cn=Randall E Stofft, o=Randall E Stofft, ou=Randall E Stofft, email=Randall.E.Stofft@ststoff.com, c=US
S-Florida, C=US
Date: 2025.09.05 13:42:42-04'00'

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A000

LAND DESCRIPTION:
THE SOUTH 50 FEET OF LOT 11 AND ALL OF LOT 12, OF PLAT OF BYRD BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE 1, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
SAID LANDS SITUATE IN THE TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAINING 78,837.35 SQUARE FEET (1.81 ACRES) MORE OR LESS.

FLOOD ZONE:
X - FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12099C0987G, COMMUNITY NUMBER 125111 AND (FIRM) NUMBER 12099C0991G, COMMUNITY NUMBER 120192, DATED 12.20.24.

SITE PLAN GENERAL NOTES:

- G.C. TO COORDINATE THE REMOVAL OF EXISTING VEGETATION AS REQUIRED.
- ALL DOORS & WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME SHALL MEET THE RESIDENTIAL POOL SAFETY ACT.
- ALL SCREEN DOORS ARE TO BE SELF LATCHING AND SELF CLOSING. LATCH MECHANISM SHALL ME MOUNTED @ 54"
- ALARMS SHALL ALSO BE INSTALLED ON SCREEN DOORS. G.C. TO VERIFY THAT ALL EXISTS TO THE BACKYARD MEET SWIMMING POOL SAFETY ACT.
- G.C. TO VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOT ALL EXISTING CONDITIONS ARE NECESSARILY SHOWN ON THIS PLAN.
- SEE SURVEY FOR ALL EXISTING EASEMENTS AND RESTRICTIONS.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR INFORMATION ON THE HARDSCAPE AND POOL. ALL WATER RELATED FEATURES UNDER SEPARATE PERMIT SUBMITTAL (BY OTHERS).
- REFER TO SITE DRAINAGE PLAN BY CIVIL ENGINEER FOR PROPOSED SITE ELEVATIONS, GRADING, ETC.
- DOCK WORK, IF APPLICABLE, UNDER SEPARATE PERMIT SUBMITTAL (BY OTHERS).

ZONING RE		
TOWN OF HIGHLAND BEACH		
SEC. 30-64, PROPERTY DEVELOPMENT REGULATIONS, TABLE 30-2		
	REQUIRED	PROPOSED
MAXIMUM DENSITY	1.45 UNITS / ACRE	1.0 UNIT
MINIMUM LOT AREA	30,000 SF. MIN. PER UNIT	78,837 SF. EXIST.
MINIMUM LOT WIDTH	80 FT.	150.61 FT.
MINIMUM FRONT SETBACK	25 FT. MIN.	25 FT.
MINIMUM SIDE SETBACK	12 FT. MIN.	12 FT.
MINIMUM REAR SETBACK	20 FT. MIN.	20 FT.
MAXIMUM LOT COVERAGE	NONE	N/A
MAXIMUM BUILDING HEIGHT	35 FT. MAX.	28'-10"
MAXIMUM BUILDING WIDTH	NONE	N/A
MAXIMUM BUILDING LENGTH	NONE	N/A
FLOOD ZONE		X
FINISH FLOOR ELEV.		7.40' NAVD
FUTURE LAND USE		RESIDENTIAL SINGLE FAMILY



VICINITY MAP
NOT TO SCALE

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SEP 23 2025

**HIGHLAND BEACH
BUILDING DEPARTMENT**

TOWN D.O.A. SUBMITTAL 06-24-2

TOWN D.O.A. SUBMITTAL	DWD	06.24.25
PLAN REVIEW COMMENTS	DWD	07.14.25
PLAN REVIEW COMMENTS	DWD	08.14.25
PLAN REVIEW COMMENTS	DWD	09.05.25

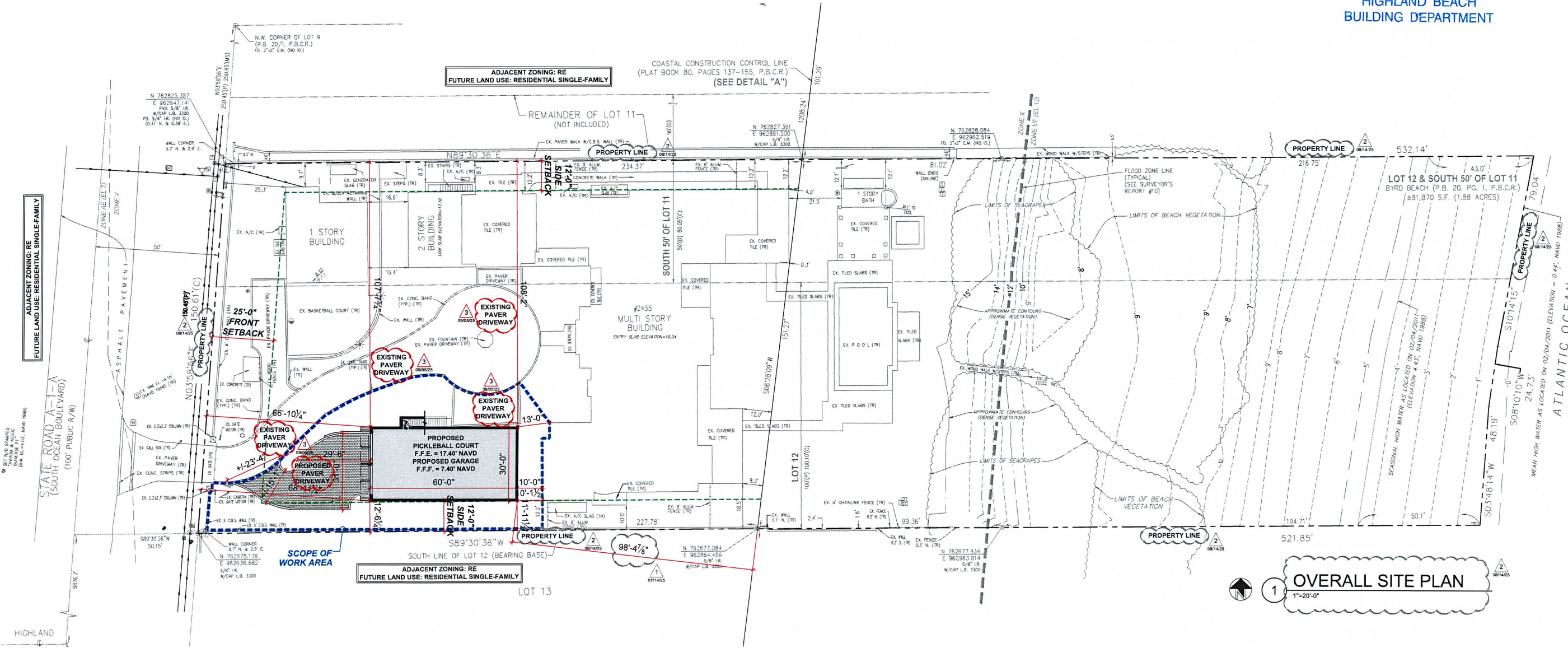
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HIGHLAND BEACH, FLORIDA

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A101



OVERALL SITE PLAN
1"=20'-0"

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PLAN REVIEW COMMENTS	DWD	07.14.25
PLAN REVIEW COMMENTS	DWD	08.14.25
PLAN REVIEW COMMENTS	DWD	09.05.25

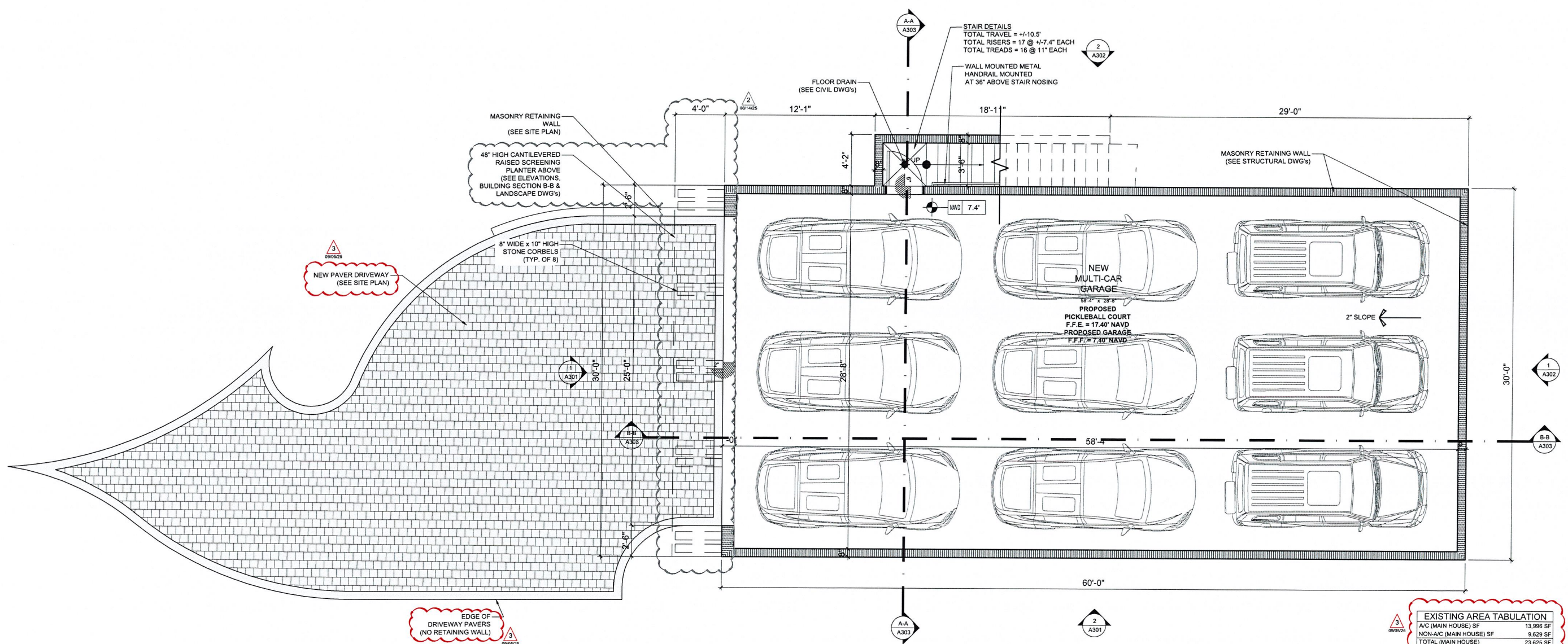
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Digitally signed by
Randall E Stofft
DN:
c=US, o=Randall E Stofft
ARCHITECTS, P.A.,
s=Highway Beach,
s=Florida, c=US
Date: 2025.09.05
13:43:34 -0400

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RANDALL STOFFT ARCHITECTS P.A.

A201



1 FLOOR PLAN - GARAGE LEVEL
1/4"=1'-0"

EXISTING AREA TABULATION	
A/C (MAIN HOUSE) SF	13,996 SF
NON-A/C (MAIN HOUSE) SF	9,629 SF
TOTAL (MAIN HOUSE)	23,625 SF

PROPOSED AREA TABULATION	
A/C (MAIN HOUSE) SF	13,996 SF
NON-A/C (MAIN HOUSE) SF	9,629 SF
MULTI-CAR GARAGE (ADDITION) SF	1,800 SF
PICKLEBALL COURT (ADDITION) SF	1,800 SF
STAIRCASE (ADDITION) SF	75 SF
TOTAL (MAIN HOUSE + ADDITION)	27,300 SF

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HIGHLAND BEACH
BUILDING DEPARTMENT

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HIGHLAND BEACH, FLORIDA



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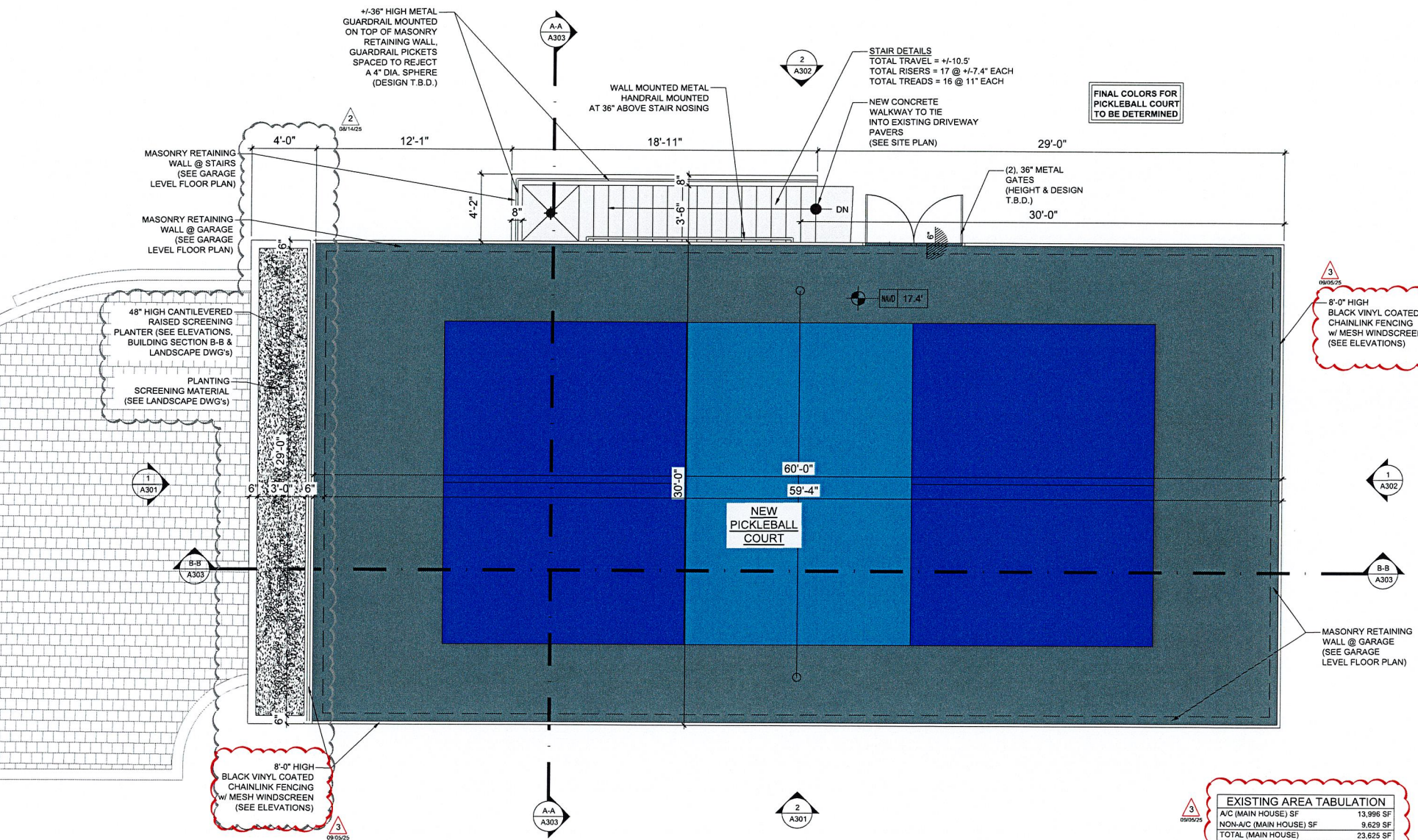
Job No. 2410087

Digitally signed by


 Randall E Stofft
 DN:
 E=randall@stofft.com,
 CN=Randall E Stofft,
 O="RANDALL E.
 STOFFT,
 ARCHITECTS, P.A.",
 L=Delray Beach,
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A202



 1 FLOOR PLAN - PICKLEBALL COURT LEVEL
1/4"=1'-0"

EXISTING AREA TABULATION	
A/C (MAIN HOUSE) SF	13,996 SF
NON-A/C (MAIN HOUSE) SF	9,629 SF
TOTAL (MAIN HOUSE)	23,625 SF

PROPOSED AREA TABULATION	
A/C (MAIN HOUSE) SF	13,996 SF
NON-A/C (MAIN HOUSE) SF	9,629 SF
MULTI-CAR GARAGE (ADDITION) SF	1,800 SF
PICKLEBALL COURT (ADDITION) SF	1,800 SF
STAIRCASE (ADDITION) SF	75 SF
TOTAL (MAIN HOUSE + ADDITION)	27,300 SF

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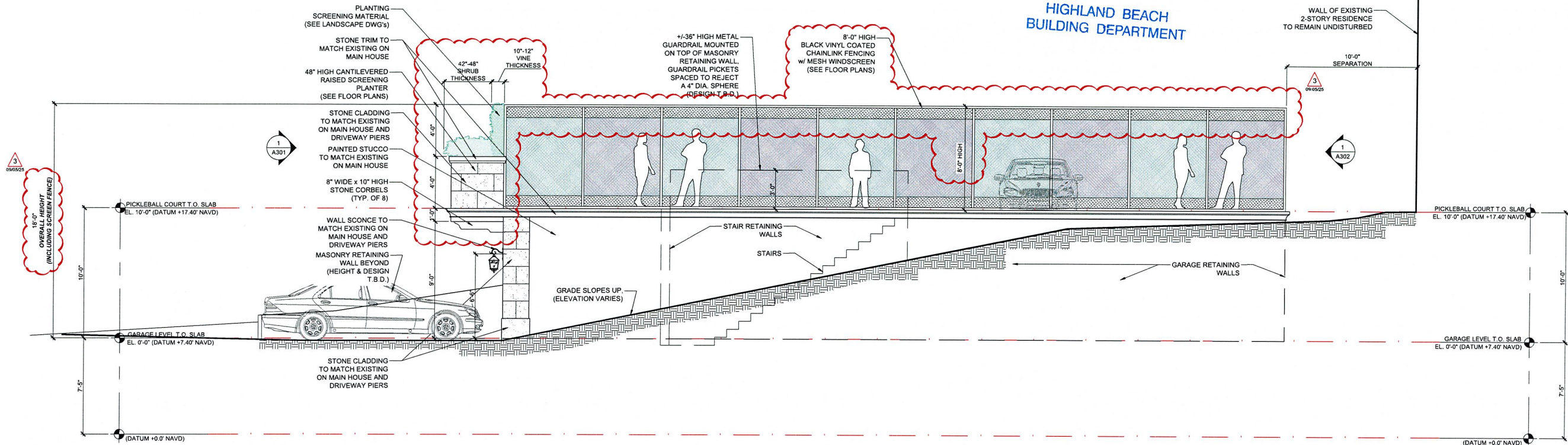
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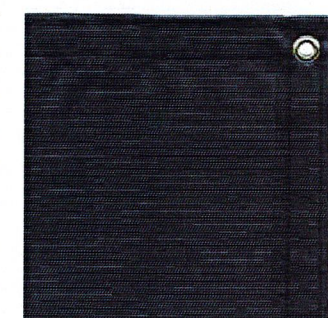
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A301



PICKLEBALL COURT WIND SCREEN DETAIL
(SEE DETAIL ON SHEET A303)

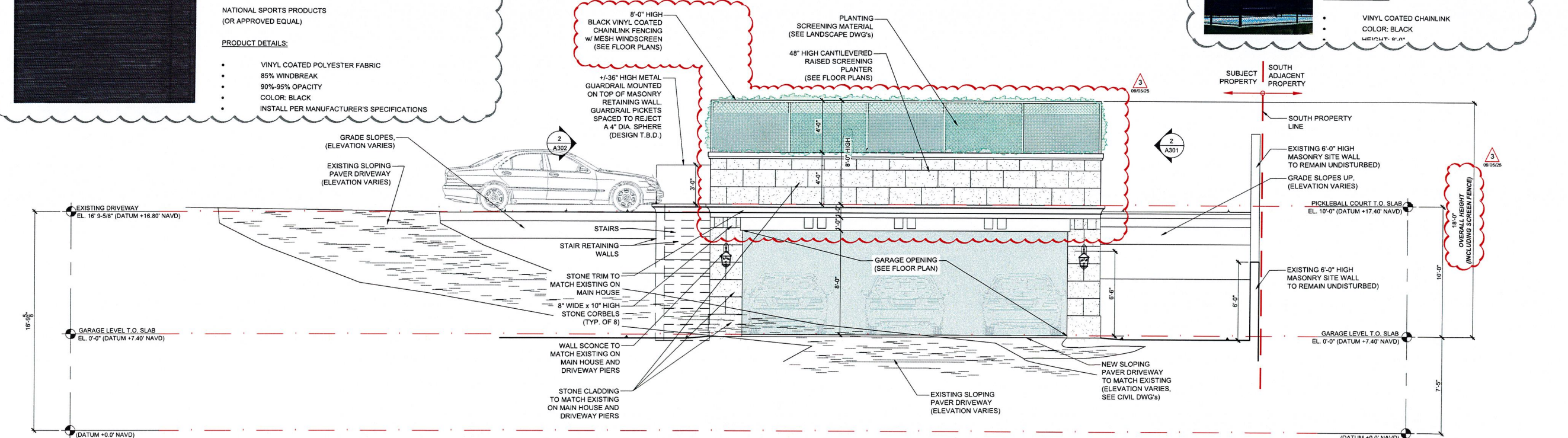
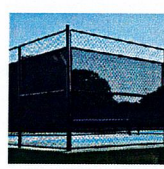
- PRODUCT:
DOUGLAS VCP MAX WINDSCREEN
- MANUFACTURER:
NATIONAL SPORTS PRODUCTS
(OR APPROVED EQUAL)
- PRODUCT DETAILS:
- VINYL COATED POLYESTER FABRIC
 - 85% WINDBREAK
 - 90%-95% OPACITY
 - COLOR: BLACK
 - INSTALL PER MANUFACTURER'S SPECIFICATIONS



2 RIGHT (SOUTH) ELEVATION
1/4"=1'-0"

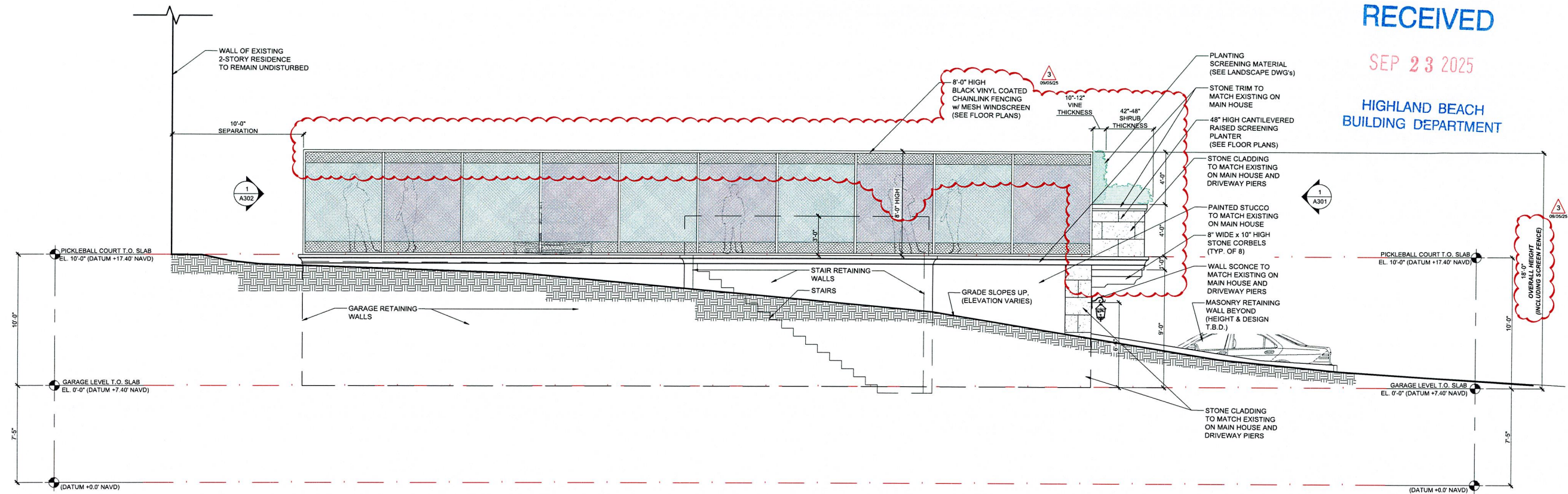
PICKLEBALL COURT FENCING
(SEE DETAIL ON SHEET A303)

- PRODUCT DETAILS:
- VINYL COATED CHAINLINK
 - COLOR: BLACK
 - WEIGHT: 6" x 1"

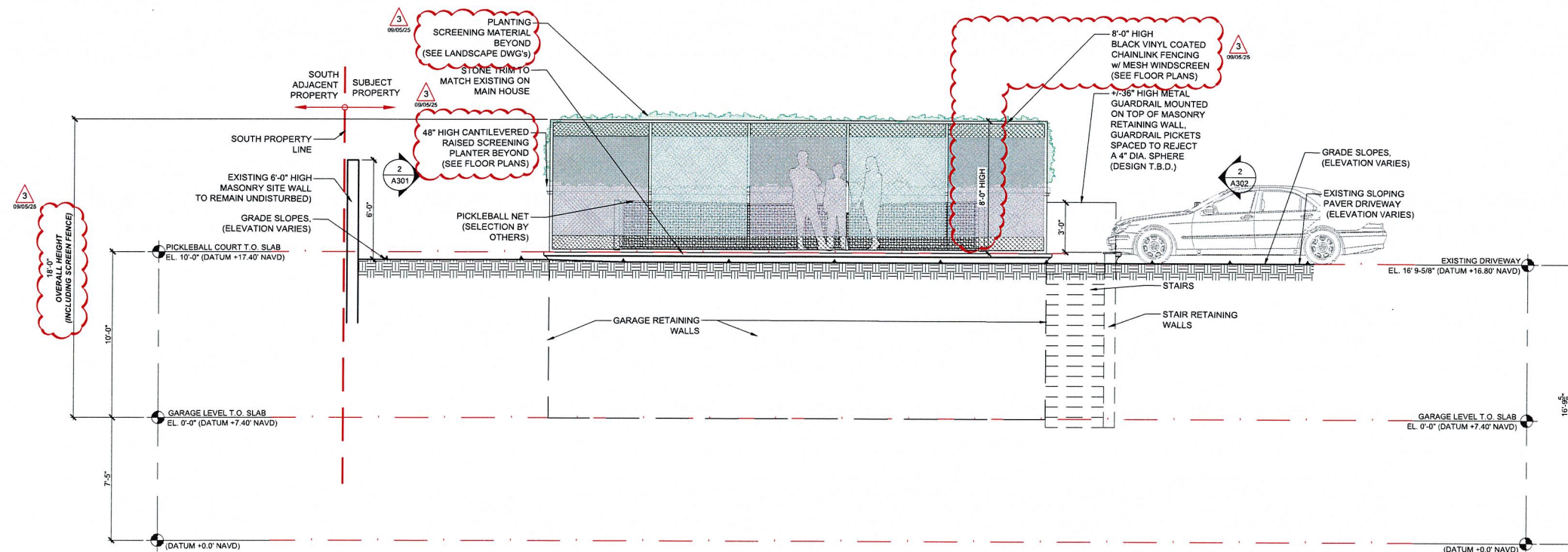


1 FRONT (WEST) ELEVATION
1/4"=1'-0"

HIGHLAND BEACH
BUILDING DEPARTMENT



2 LEFT (NORTH) ELEVATION
1/4"=1'-0"



1 REAR (EAST) ELEVATION
1/4"=1'-0"

TOWN D.O.A. SUBMITTAL 06-24-20

CUSTOM RESIDENCE ADDITION
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HIGHLAND BEACH, FLORIDA



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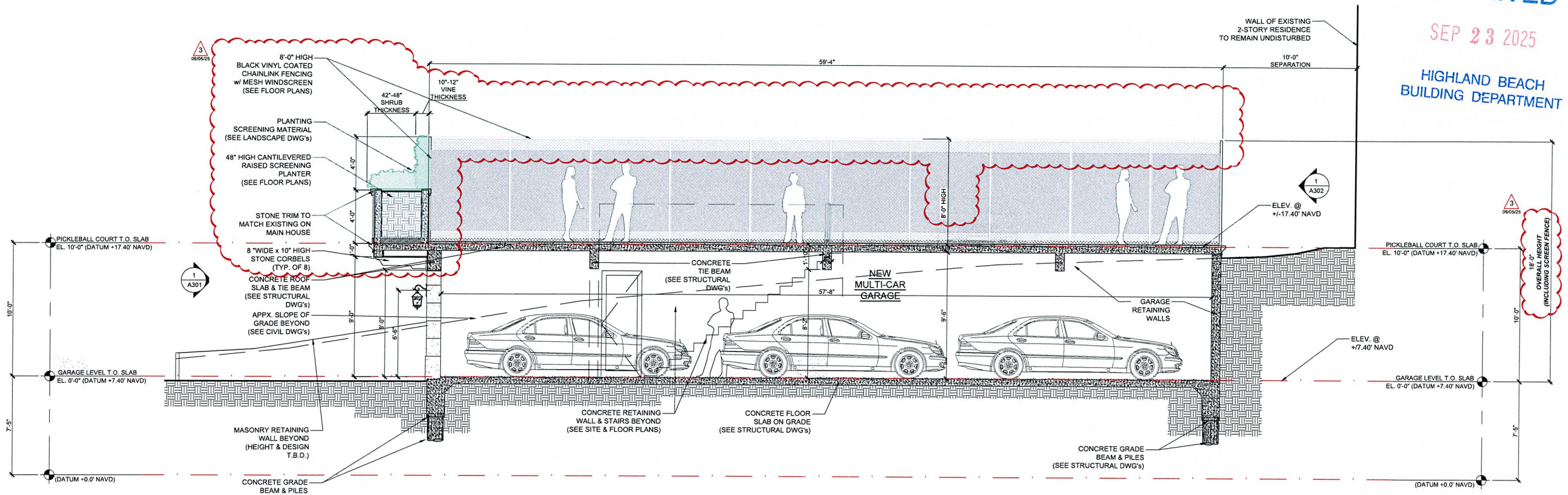
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Randall E Stofft
DN:
E=randall@stofft.com,
CN=Randall E Stofft,
O="RANDALL E.
STOFFT,
ARCHITECTS, P.A.",
L=Delray Beach,
S=Florida, C=US
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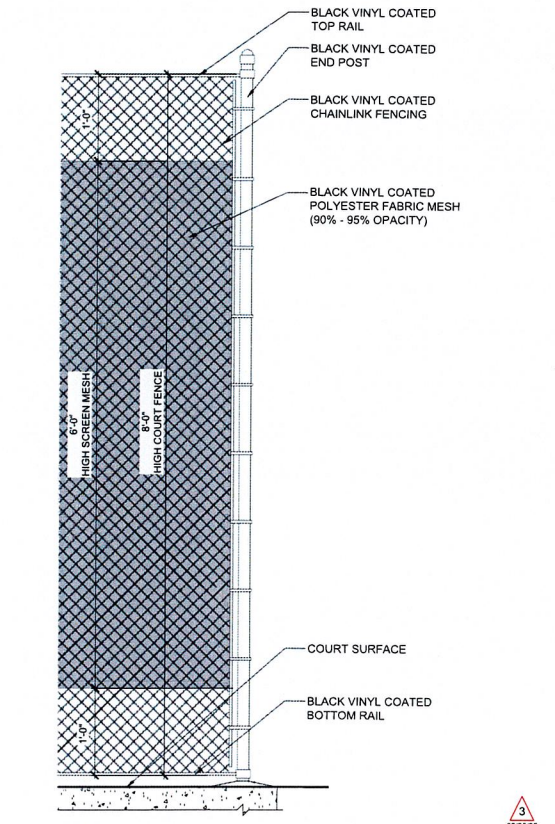
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A302

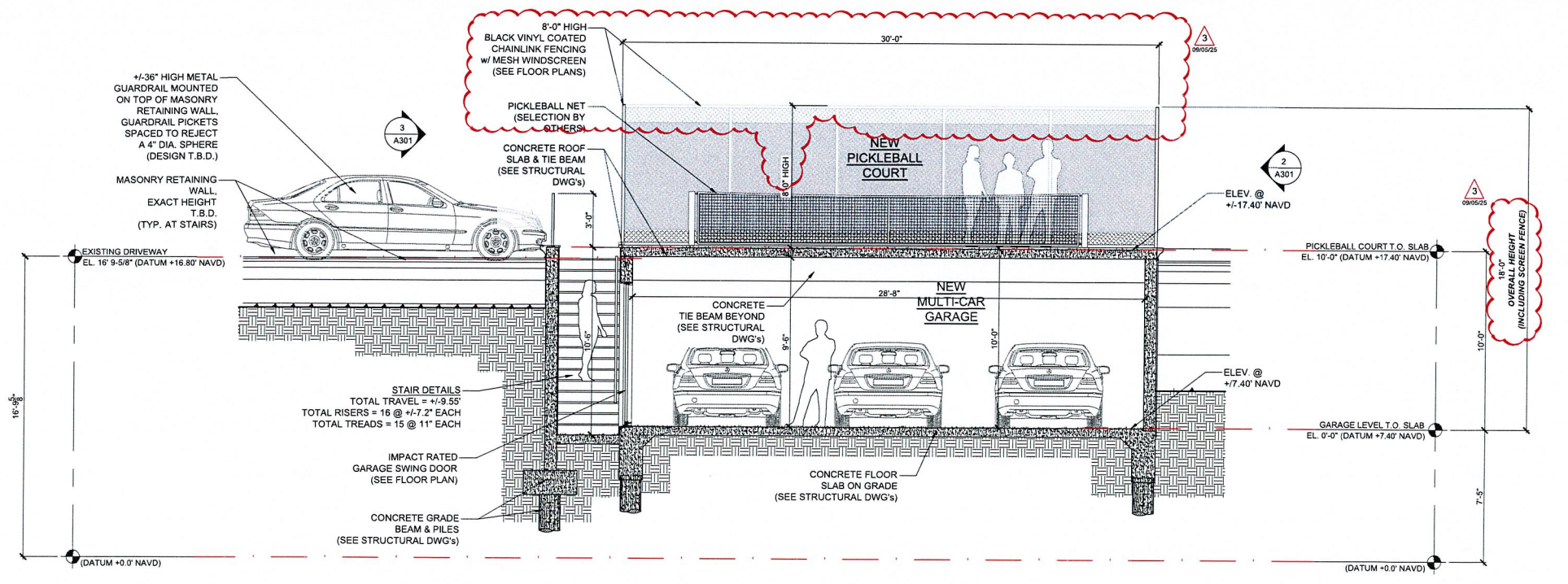
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BUILDING SECTION B-B
1/4"=1'-0"



TYP. COURT FENCING DETAIL
1"=1'-0"



BUILDING SECTION A-A
1/4"=1'-0"

TOWN D.O.A. SUBMITTAL 06-24-21

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HIGHLAND BEACH, FLORIDA

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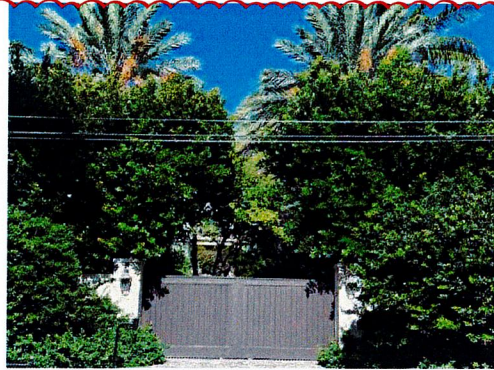
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Randall E. Stofft
DN:
c=US, o=Randall E. Stofft
ARCHITECTS, P.A.,
u=Delray Beach,
s=Florida, c=US
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OR AGREEMENT BETWEEN THE USER AND RANDALL
E. STOFFT ARCHITECTS, P.A.

A303



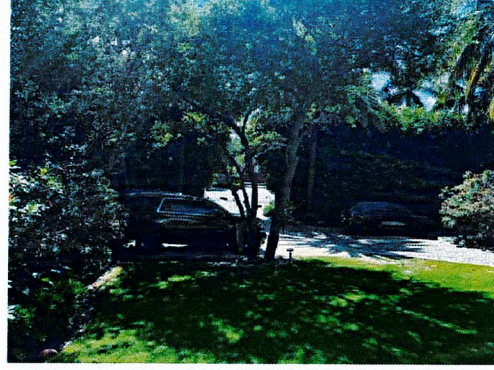
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VIEW #7



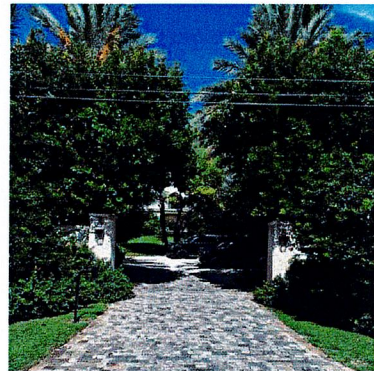
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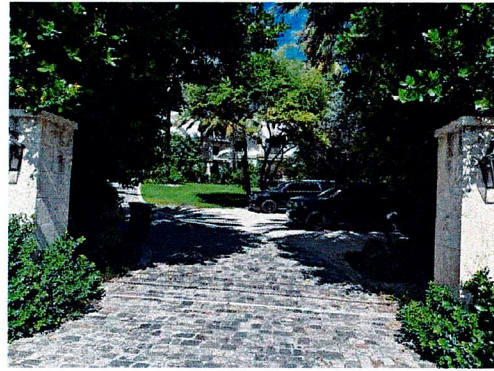
VIEW #3



VIEW #1



VIEW #10



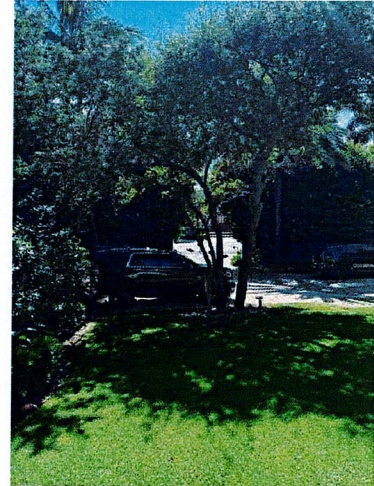
VIEW #8



VIEW #6



VIEW #4

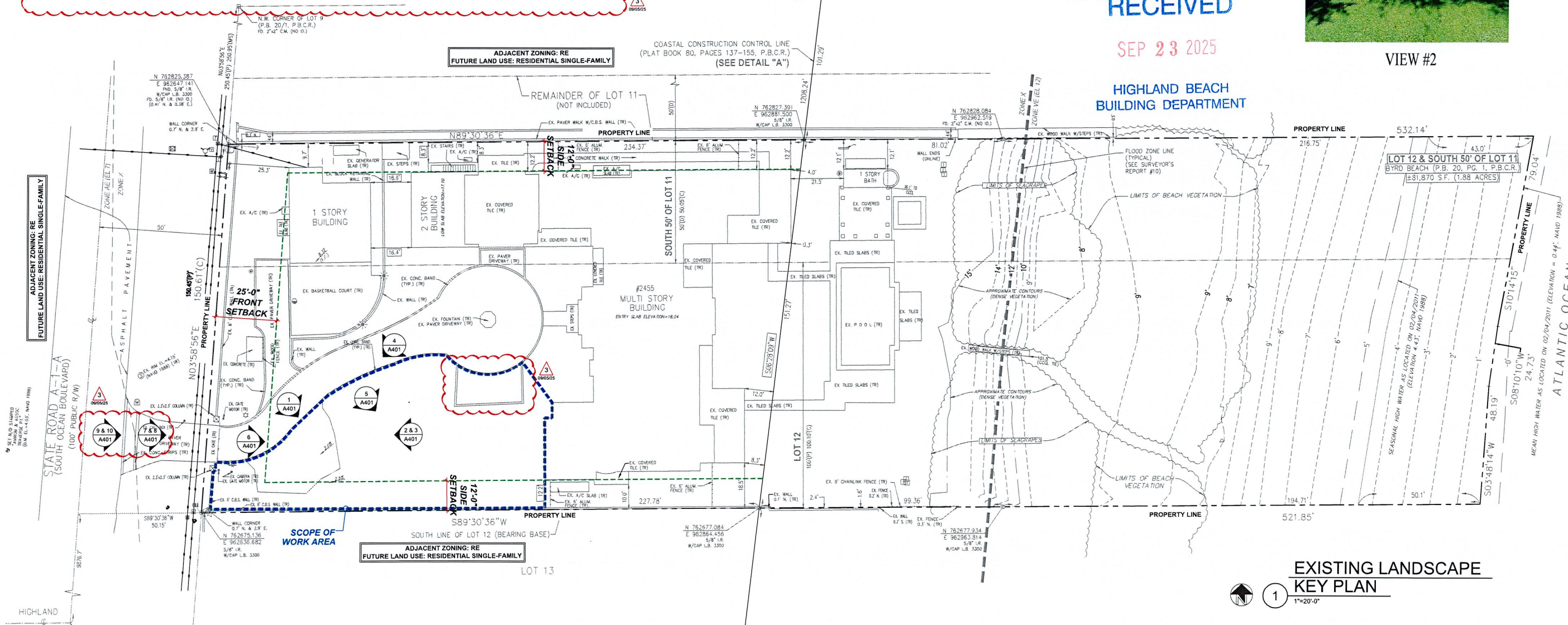


VIEW #2

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BUILDING DEPARTMENT



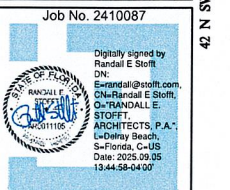
EXISTING LANDSCAPE
KEY PLAN



TOWN D.O.A. SUBMITTAL	DWD	06.24.25
PLAN REVIEW COMMENTS	DWD	07.14.25
PLAN REVIEW COMMENTS	DWD	08.14.25
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DSBoca
design studio boca
landscape architects
and planners
LC - 0000396
2300 Corporate Blvd. NW, Suite 214
Boca Raton, Florida 33431
Ph: 561.955.8623
Fax: 561.362.4749
email: landscapearchitect@dsboca.com



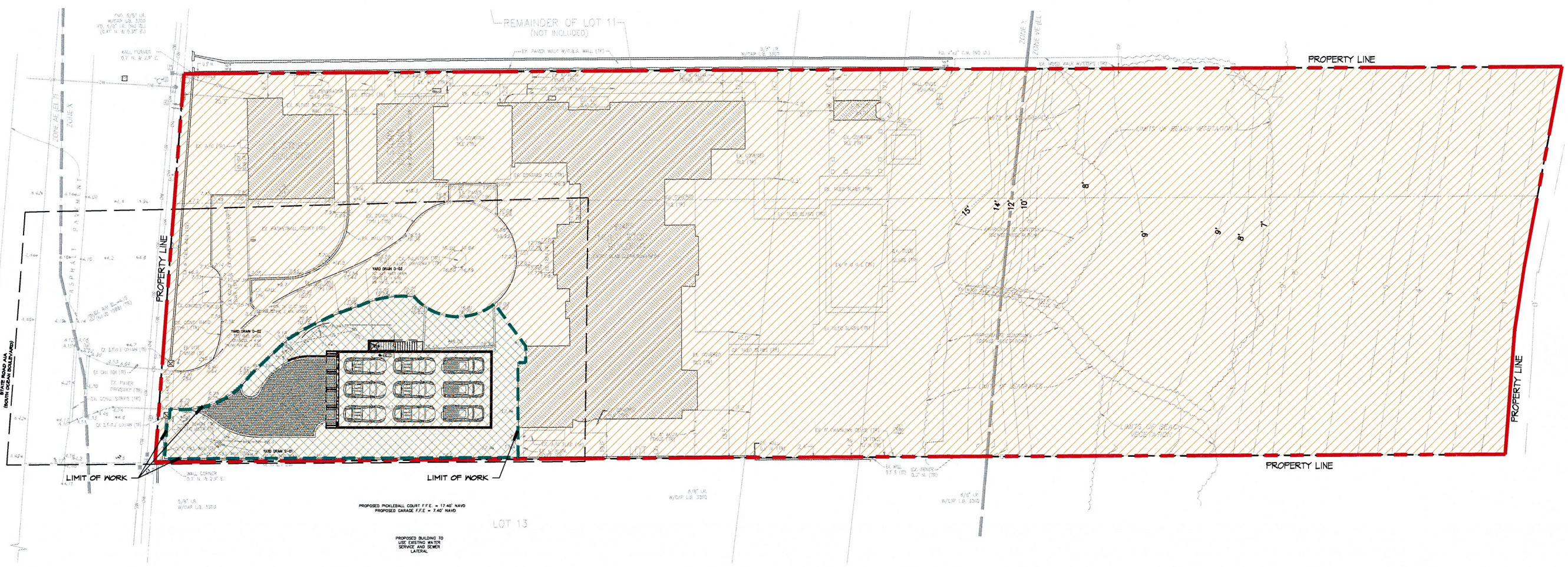
2455 SOUTH OCEAN RESIDENCE
2455 SOUTH OCEAN BLVD., HIGHLAND BEACH, FL
SITE AREA DIAGRAM

REVISIONS:
09-05-25 Zoning Comments


JUNE 3, 2025
DATE
M.F.
DRAWN BY:
M.J.
APPROVED BY:


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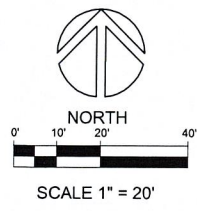
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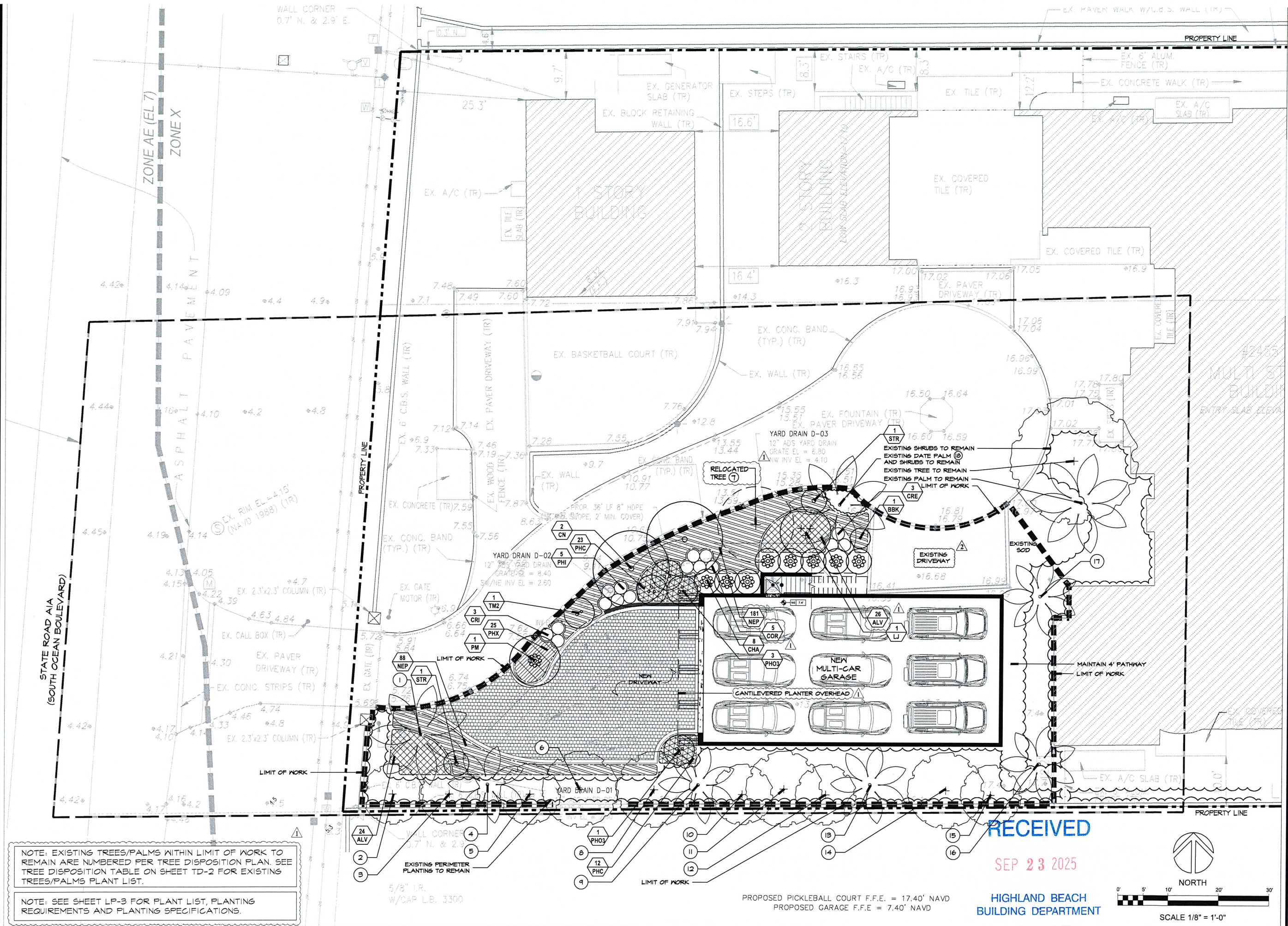


KEY:

 **TOTAL SITE AREA:**
78,897.95 SQ. FT. / 1.80 ACRES
20% OF TOTAL SITE AREA: 15,767.47

 **LIMIT OF WORK AREA:**
6,308.34 SQ. FT. (8% OF TOTAL SITE AREA)





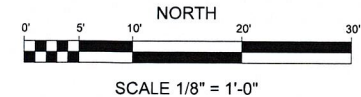
NOTE: EXISTING TREES/PALMS WITHIN LIMIT OF WORK TO REMAIN ARE NUMBERED PER TREE DISPOSITION PLAN. SEE TREE DISPOSITION TABLE ON SHEET TD-2 FOR EXISTING TREES/PALMS PLANT LIST.

NOTE: SEE SHEET LP-3 FOR PLANT LIST, PLANTING REQUIREMENTS AND PLANTING SPECIFICATIONS.

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HIGHLAND BEACH
BUILDING DEPARTMENT



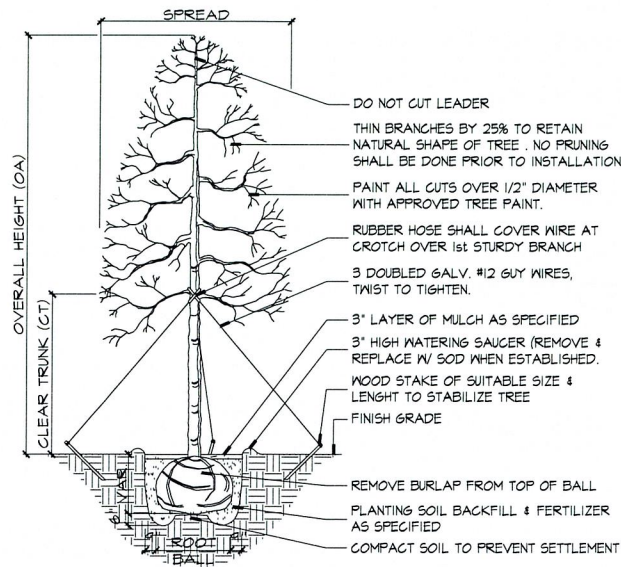
2455 SOUTH OCEAN RESIDENCE
2455 SOUTH OCEAN BLVD., HIGHLAND BEACH, FL
GARAGE LEVEL PLANTING PLAN

REVISIONS:	
1	08-13-25 Zoning Comments
2	09-05-25 Zoning Comments

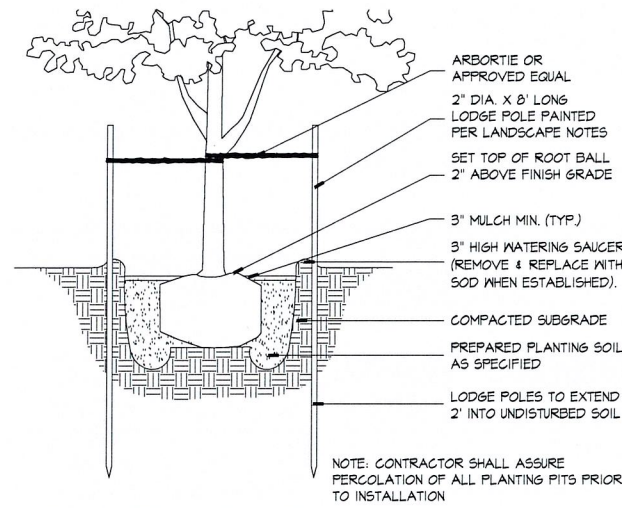
JUNE 3, 2025
DATE
M.S.
DRAWN BY:
M.J.
APPROVED BY:

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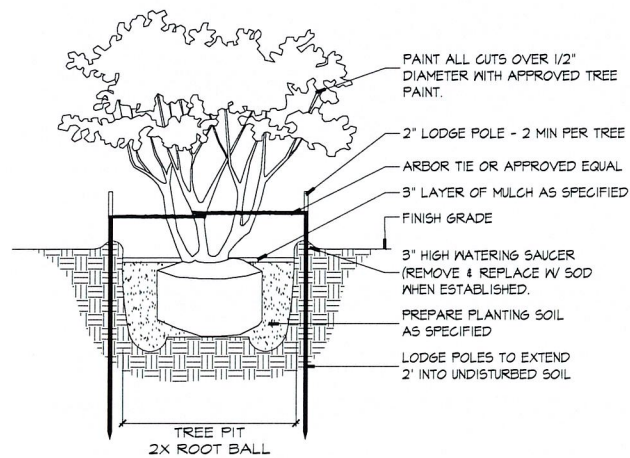
SCALE 1/8" = 1'-0"



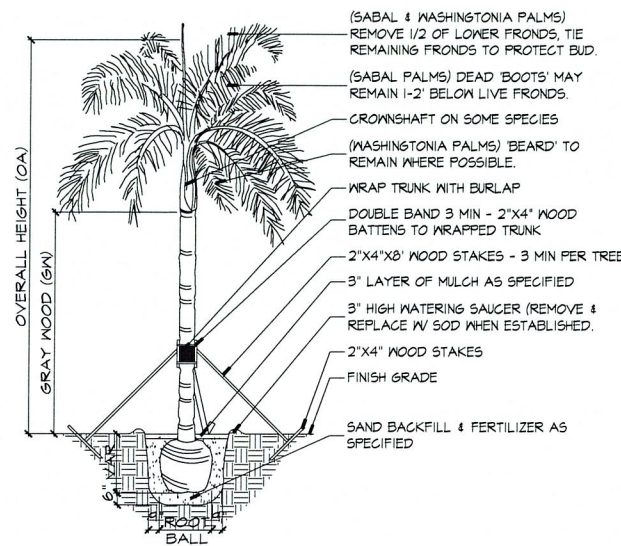
TYPICAL TREE PLANTING DETAIL



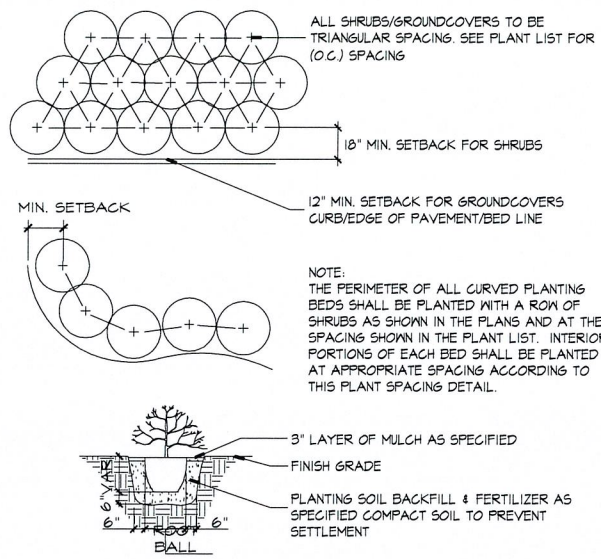
SMALL TREE PLANTING DETAIL



MULTI TRUNK TREE PLANTING DETAIL

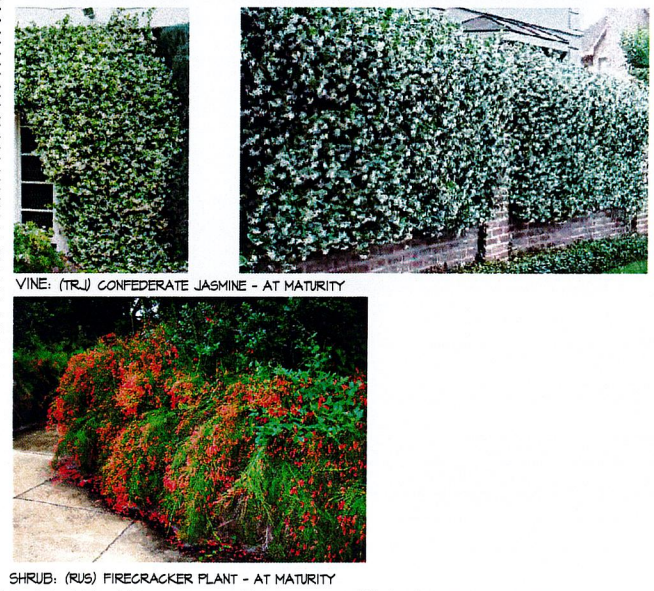


TYPICAL PALM PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL

PICKLEBALL COURT PLANTER PROPOSED PLANTING MATERIAL:



PLANT LIST											
TREES AND PALMS											
KEY	QTY. TOTAL	LP-1	LP-2	BOTANICAL/COMMON NAME	CAL/ DBH	HEIGHT	SPREAD	CLEAR TRK.	SPA.	REMARKS	DROUGHT TOLERANCE
CN	2	2	-	COCOS NUCIFERA 'GREEN MALAY' GREEN MALAYAN COCONUT PALM		15' OF WOOD				FULL HEADS	HIGH
LJ	1	1	-	LIGUSTRUM JAPONICUM WAX PRIVET	2" EA.	8-9'	7-8'			FULL CANOPY MULTI-TRUNK	HIGH
PM	1	1	-	PTYCHOSPERMA MACARTHURII MACARTHUR PALM		20-24'				FULL HEADS MULTI-TRUNK	MODERATE
TM2	1	1	-	THRINAX MORRISII 'DOUBLE' KEY THATCH PALM		6' O.A.				DOUBLE HEADS FULL HEADS	X HIGH
SHRUBS AND GROUNDCOVER											
KEY	QTY. TOTAL	LP-1	LP-1	BOTANICAL/COMMON NAME		HEIGHT	SPREAD	CLEAR TRK.	SPA.	REMARKS	DROUGHT TOLERANCE
ALV	50	50	-	ALPINIA Z. 'VARIEGATA' VARIEGATED SHELL GINGER		30"	30"			FULL CLUMP 7 GAL.	MODERATE
BBK	1	1	-	BOUGAINVILLEA 'BARBARA KARST' BOUGAINVILLEA		5-6'	2-3'			TREE STANDARD PURPLE	HIGH
CHA	8	8	-	CHAMAEDOREA CATARACTARUM CAT PALM		5'	4'	FULL TO BASE		MULTI-STEM, FULL	MODERATE
COR	5	5	-	CORDYLINE FRUTICOSA TI PLANT		24"	18"	FULL TO BASE		MULTI 7 GAL.	MODERATE
CRE	3	3	-	CRINUM AUGUSTUM 'QUEEN EMMA' CRINUM LILY 'QUEEN EMMA'		30"	30"				MODERATE
CRI	3	3	-	CRINUM ASIATICUM CRINUM LILY		30"	30"			FULL CLUMP	MODERATE
NEP	269	269	-	NEPHROLEPIS EXALTATA BOSTON FERN		16"	16"		18" O.C.	FULL CONT.	X MODERATE
PHC	35	35	-	PHILODENDRON 'ROJO CONGO' ROJO CONGO		24"	24"		2' O.C.	FULL CLUMP 7 GAL.	MODERATE
PHI	5	5	-	PHILODENDRON SELLOUM SPLIT-LEAF PHILODENDRON		36"	36"			FULL CLUMP	MODERATE
PHO3	4	4	-	PHOENIX ROEBELLINI 'TRIPLE' PYGMY DATE PALM			5-6'	3-5' OF WOOD		TRIPLE TRUNK, FULL HEADS	MODERATE
PHX	25	25	-	PHILODENDRON 'XANADU' DWARF PHILODENDRON		16-18"	16-18"		18" O.C.	FULL CLUMP 7 GAL.	MODERATE
RUS	30	-	30	RUSSELLIA EQUISETIFORMIS FIRECRACKER		18"	18"		18" O.C.	FULL CONT.	HIGH
STR	2	2	-	STRELITZIA REGINAE ORANGE BIRD OF PARADISE		4'	4'			FULL CLUMP 15 GAL.	HIGH
TRJ	19	-	19	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE		5-6' LONG RUNNERS			18" O.C.	SUPPORT 15 GAL.	MODERATE

MISCELLANEOUS

- Sod to be St. Augustine sod. Accept where other type of sod is specified.
- Planting soil - 1/2 cu. yd. per tree and 4" depth at all hedges and mass planting beds.
- Sand - Palms to be planted in clean sand; 1/2 cu. yd. per palm.
- Mulch - 3" depth of shredded "dark brown" hybrid mulch B grade or better at all hedges and mass planting beds.

GENERAL NOTES

- All ground mounted valves and equipment shall be screened with plant material.
- All sod to be Stenotaphrum secundatum 'Flor-tam', St. Augustine solid sod.
- Any pervious area to remain that is disturbed by construction and not indicated on landscape plans to have shrubs or groundcovers shall be sodded.
- All plant materials shall conform to Florida No.1 or better, and follow the standards and inspection procedures, as stated in "Florida Grades and Standards for Nursery Plants", Latest Edition: July 2022, State of Florida Department of Agriculture, Tallahassee.
- All trees shall be properly guyed and staked at the time of planting to ensure proper establishment, by using Wellington tape/rope/twine with burlap as padding and to avoid damage of using wire or rubber hose pieces.
- The planting soil for all planting areas shall be composed of a 70:30 mix for sand and loam with up to 10% organic matter. The minimum soil depth shall be four inches in all hedges and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
- Three inches minimum of shredded "dark brown" hybrid mulch shall be installed around each tree and palm and throughout mass planting beds, the use of Cypress mulch is strongly discouraged.
- Irrigation system to provide 100% coverage to landscaped areas with 50% overlap. Irrigation to be an automatic system with a rain gauge/moisture sensor shut-off.
- For trees designated for preservation, protective barriers shall be in place prior to the start of any construction and shall remain in place until development is completed and the Planning and Zoning Division has authorized their removal.
- The relocation of any tree and necessary tree pruning must conform to ANSI A-300 Standards for Maintenance of Trees and Woody Plants, as well as the per the current UF-IFAS and ISA specifications and standards.
- In case of discrepancies, planting plan takes precedence over plant list.
- Landscape contractor is responsible for his own quantity take-offs.

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SEP 23 2025

HIGHLAND BEACH BUILDING DEPARTMENT

REVISIONS:	
08-13-25	Zoning Comments
09-05-25	Zoning Comments

JUNE 3, 2025
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APPROVED BY:

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design studio boca

landscape architects and planners

LC - 0000396
2300 Corporate Blvd. NW, Suite 214
Boca Raton, Florida 33431
Ph: 561.955.8623
Fax: 561.362.4749
email: landscapearchitects@dsboca.com

2455 SOUTH OCEAN RESIDENCE

2455 SOUTH OCEAN BLVD., HIGHLAND BEACH, FL

PLANT LIST AND PLANTING DETAILS

GENERAL PLANTING SPECIFICATIONS:

1. Scope:

The work includes furnishing all plants, materials, equipment and labor necessary for planting of plant materials indicated on the drawings and in these specifications. A list of plants is attached to these specifications.

2. Plant Materials & Protection:

- A. All plant materials shall be nursery grown unless otherwise noted.
- Spread (or Spr.): Indicates average spread to midpoint of current season's growth.
 - Height (or O.A.): Indicates overall height from top of ball to midpoint of current season's growth.
 - C.T.: Indicates clear trunk measurement from top of ball to first branching (see tree & Palm Planting Diagrams).
 - Meter of Wood (or Meter of Hard Grey Wood): Indicates measurement of Palms from top of ball to top of solid trunk before start of frond stalks or "green"boots". (See Palm Planting Diagram)
- B. Quantities:
All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Architect/Landscape Architect is to be notified for clarification prior to the submission of bids.
- C. Quality and Sizes:
Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured with branches in normal position. Pruning (Section IV.L) should not reduce acceptable size and shape of tree, and should be done after acceptance of Architect/Landscape Architect. Requirements for measurements, branching, grading, quality, baling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard for Nursery Stock. Plant materials shall be graded Fancy No.1 or better as outlined under U.A.E. Grades & Standards for nursery plants. Plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plant material to be healthy, pest and disease free.
- D. Substitutions:
Plant substitution requests by the Contractor will be considered by the Architect/Landscape Architect only upon submission of proof that any plant is not obtainable in the type or size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the Owner.
- E. Protection of Plants:

1. Root Protection

A. Balled and Burlapped Plants (B & B) shall be dug with natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants shall be balled and burlapped.

B. Container Grown Plants: Plants grown in containers will be accepted as B & B, providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the plans, and shall not be governed by container sizes. Minimum root balls or container grown material shall be no more than 25% less proportionately in size than that stated in "Grades & Standards" for nursery plants. These plants shall have been grown in the container for a maximum of two years prior to installation and shall exhibit a fully developed root system when removed from the container.

2. Protection During Transporting:

All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

3. Protection After Delivery:

Plants which cannot be planted immediately upon delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until accepted. Storage period shall not exceed seventy-two (72) hours.

4. Protection of Palms:

Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. Clear trunk (C.T.) shall be as specified after the minimum of fronds have been removed. Coconut palms shall be "hard" trees grown in marl or sand. Cabbage palm buds shall be tied with a biodegradable cord to be left in place until the tree is well established in its new location. All palms shall be triple banded and staked with new, clean lumber at least 6" in length to resist tree displacement.

5. Protection During Planting:

Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of other approved methods.

B. Materials:

- A. Commercial Fertilizer: Commercial fertilizer shall be organic fertilizer containing nitrogen, phosphoric acid and potash in equal percentages, 6-6-6 with micro nutrients.

Nitrogen shall be not less than 50 % from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall not be acceptable.

The following shall be sterilized, certified and free of seed:

- B. Peat: Peat shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition, free from lumps.
- C. Planting Soil: Planting soil for all plantings shall be sandy loam and shall contain a 25% minimum amount of decomposed organic matter. There must be a slight acid reaction to the soil with no excess of calcium carbonate. Planting soil shall be free from clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth and shall be delivered in a loose friable condition and applied in accordance with the planting specifications and details.
- D. Mulch: Mulch material to be shredded "dark brown" hybrid mulch B grade or better, moistened at time of installation to prevent wind displacement. Alternate mulch material may be noted elsewhere in these drawings.
- E. Drainage Stone (when applicable): Drainage stone shall be gravel or crushed stone reasonably free of sharp edges - 1/4"-1/2" in diameter - as required in the bottom of raised planters.
- F. Filter Fabric (when applicable): Filter fabric, as required between gravel and soil in planters to be Densit "Filter-fabric" (800)888-4664 or equal.

4. Planting Operations:

- A. Soil Preparation:
All existing soil and new fill/berms shall be treated with an approved weed killer such as "Round Up" according to manufacturer's specifications.
- B. LAYOUT:
Location for plants and outlines of areas to be planted are indicated on the drawings. All plant locations shall be staked in the field by the Contractor, to the satisfaction of the Architect/Landscape Architect. Where construction or utilities below ground or overhead are encountered or where changes have been made in the construction, necessary adjustments will be approved by the Architect/ Landscape Architect.
- C. Excavation for Planting:
Excavation of holes shall extend to the required sub-grades as specified hereunder. Plant pits shall be circular in outline and shall have a profile which conforms to the "Typical Tree & Palm Planting Details"(attached). The minimum depth of plant pits specified below shall be measured from the finishing grade. Shrub planting beds shall be "bed-prepared" and not "pit-prepared".
- D. Balled and Burlapped Plants:
After final setting, loosen wrappings of balled and burlapped plants and roll wrappings back from top of ball, leaving ball unbroken. Cut off excessive amounts of burlap and remove in sufficient quantity to eliminate creation of voids upon decomposition.
- E. Container Grown Plants:
Container grown plants shall, when delivered, have sufficient root growth to hold earth intact when removed from container. They shall not be root bound. Containers shall be removed to prevent damage to plant or root system according to diagrams (attached). Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls.
- F. Pit Sizes:
Minimum diameter (Width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:

-Diameter-Trees: 18" greater than diameter of ball or spread of roots.
-Diameter-Shrubs: 6" greater than diameter of ball or spread of roots.
-Depth-Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the root ball. (Large, heavy trees and shrubs shall sit directly on excavated pit bottom to prevent settlement)
-Depth-Vines and Ground Covers: Pits shall be large enough for adequate planting.
- G. Backfilling:
When pit has been excavated as specified in Paragraph IV-C, the pit shall be backfilled with material as specified in Paragraph III. A, B, G, D, and IV. B and shown in the Typical Tree and Shrub diagrams (attached).
- H. Setting Trees and Shrubs:
Unless otherwise specified, all trees and shrubs shall be planted in pits, centered and set on four inches (4") of compacted topsoil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire and surplus binding from top and sides of the balls shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in, to the level of the finished grade, allowing for two inches (2") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.
- I. Setting Palms:
All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.
- J. Pruning - New Plant Material:
Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as is practicable. Make all cuts with sharp instrument flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs."Headback" cuts at right angles to line of growth will not be permitted. Trees shall not be poled or topped. Remove trimmings from site.
- K. Guying Trees:
(See "Typical Tree Planting Diagram" included herein.) Guy all trees 1 1/2 inches in caliper and greater, in three directions with two strands of No. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys not less than 1/3 of the height of tree above finished grade and above substantial limbs (one inch (1") in diameter or more), if possible. All hoses shall be interlocked around tree trunk. Place anchors so that guys are equally spaced and at 45 degree angles to horizon. Keep guys tight until project completion.
- L. Mulching:
All trees and shrub beds shall be mulched immediately after planting to a three inch (3") depth. Prevent wind displacement of mulch by thoroughly wetting down.
- M. Excess Excavated Soil:
Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner, at Owner's discretion.
- N. Relocated Material (when applicable):
Existing material shown on the plan to be relocated shall be root-pruned as far ahead of time as necessary to move them safely, and shall be protected and treated as new material, as previously specified. Planting shall be in accord with these specifications.
- O. Disposition of Existing Material:
All existing plant material not shown as remaining or relocated shall be removed from the site at no additional cost to the Owner, at Owner's discretion.

5. Sod

- A. Soil:
The Landscape Contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1"), to all areas receiving sod. (The use of this one inch (1") of soil shall be at the discretion of the Architect/Landscape Architect after evaluation of the existing soil on the site.)
- B. Grades:
It shall be the responsibility of the Landscape Contractor to finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Architect/Landscape Architect.
- C. The sod shall be as called for on the landscape plans. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no weeds or any other objectionable vegetation. The soil embedded in the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.
- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- E. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. If, in the opinion of the Architect/Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in.

6. Clean-up:

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly, keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site or disposed of as directed by the Architect/Landscape Architect.

7. Maintenance:

- A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance by the Owner. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright position and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas and existing plant materials shall be provided and any damage resulting from planting operations shall be repaired promptly.
- B. The Contractor shall deep-water all trees and shrubs for a period of ninety (90) days after planting. In the event an irrigation system is operable, Contractor shall see that adequate water is supplied for that period.

8. Inspection and Acceptance:

- A. Inspection:
Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the written request of the Contractor.
- B. Acceptance:
After inspection, the Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

9. Guarantee and Replacement:

- A. Guarantee:
The Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, for a period specified in the General Conditions of Project Specifications. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of guarantee period. Where vandalism is agreed by the Architect/Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the guarantee after final acceptance. See General Conditions of Project Specifications for additional guarantee information.
- B. Replacement:
During guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Architect/Landscape Architect, shall be replaced within two weeks of notification by the Architect/Landscape Architect. The Contractor shall be responsible for the full replacement cost of plant materials.
- C. Material and Operations:
All replacements shall be plants of the same kind and size as specified in the plant list. They shall be furnished and planted as specified herein.

10. Care and Maintenance Schedule:

- A. The Contractor shall furnish the Owner's Maintenance staff with a written and detailed description for the care and maintenance of all plant materials and irrigation systems at the time of final inspection. Contractor will also provide a one year Landscape Maintenance Contract, to take affect affect after Substantial Completion of the project. It will be in the Owner's discretion to accept or reject this contract.

11. Permits and Regulations:

- A. The Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of this work as drawn and specified.

12. Protection of Work and Property:

- A. The Contractor shall continuously maintain adequate protection of all his work from damage and theft and shall protect the Owner's property from injury and loss arising in connection with this contract, making good any such loss or injury or damage except where caused by Owner or his agents. He shall adequately provide and maintain passageways, guard fences, lights and other protections required by public authority according to State, Federal and local ordinances.
- B. The Contractor shall provide protection for existing trees and other plant material as designated by drawings, by Owner's representative or by local authorities. Such protection shall consist of fencing or such devices as will prevent harm to material from excavation, breakage, chemical or other types of damage.
- C. A competent superintendent, foreman or workman capable of reading drawings and acting on behalf of the Contractor shall be kept on the work during its progress.

13. Changes In The Work:

- A. The Contractor shall conduct a soil survey of the site to determine the need for any additives to overcome severe conditions not met by normal planting soil requirements. A report of any problems shall be submitted to the Owner and the Architect/Landscape Architect for approval prior to installation, along with a cost break-down of additional services needed.
- B. The Contractor shall advise the Owner and Landscape Architect of any special site conditions (high water table, light or soil conditions, etc.) that might require change of plant material or adjustment to finish elevation shown. The Owner will approve any changes thus determined.

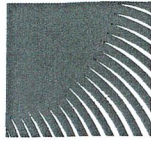
14. Landscape Architect:

- A. The Landscape Architect is the author of the design and agents for its execution. When his services are used by the Owner for supervision, he shall act impartially between the Owner and Contractor and shall have authority to reject all work and materials which do not conform to the contract. All decisions of the Landscape Architect shall be final.

The Contractor shall remove from the site all materials considered not up to specifications by the Landscape Architect and replace with suitable materials.

15. Obstructions:

- A. The Contractor shall acquaint himself with the existence and location of all surface and subsurface structures, utilities and installations before commencing any work, and shall avoid any disturbance or damage to them throughout the course of the work. Repairs to any utilities, subsurface structures and installations and surface obstructions damaged by the Contractor shall be at the Contractor's own time and expense.



design studio boca

landscape architects
and planners

LC - 0000396
2300 Corporate Blvd. NW, Suite 214
Boca Raton, Florida 33431
Ph: 561.955.8623
Fax: 561.362.4749

email: landscapearchitects@dsboca.com



2455 SOUTH OCEAN RESIDENCE
2455 SOUTH OCEAN BLVD., HIGHLAND BEACH, FL
PLANTING SPECIFICATIONS

REVISIONS:

08-13-25 Zoning Comments

09-05-25 Zoning Comments

JUNE 3, 2025

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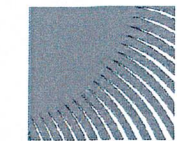
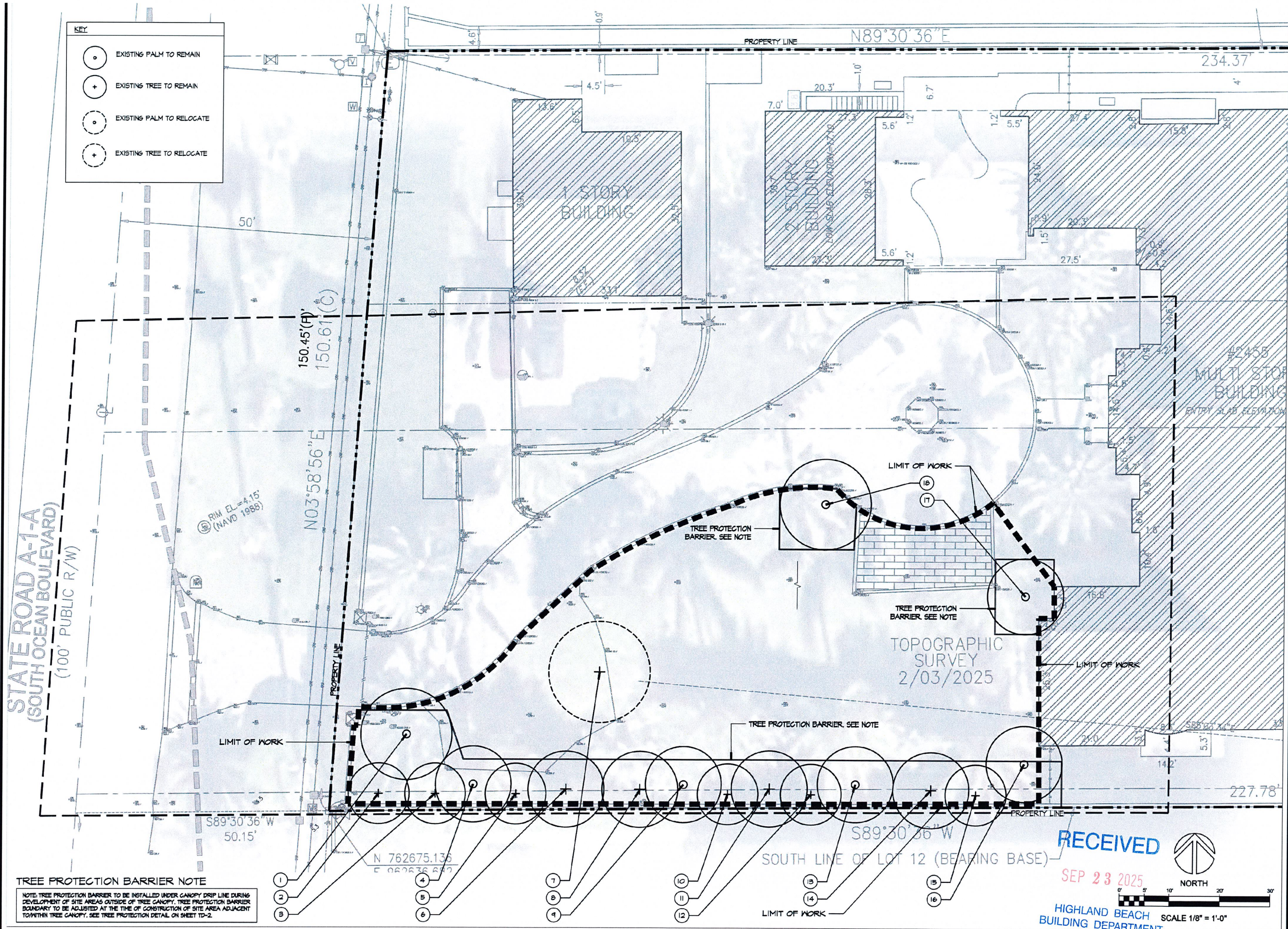
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design studio boca

landscape architects
and planners

LC - 0000396
2300 Corporate Blvd., NW, Suite 214
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Ph: 561.955.8623
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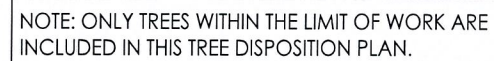
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TREE DISPOSITION PLAN

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TREE NO.	COMMON NAME	BOTANICAL NAME	DBH	OVERALL HEIGHT	CROWN SPREAD	CRITICAL ROOT ZONE (ft diam.)	HEALTH CONDITION	DISPOSITION	REMARKS
1	Date Palm	Phoenix sylvestris	N/A	30 ft	18 ft	10 ft	Good	Remain	
2	Brazilian Beauty Leaf	Calophyllum brasiliense	6 in	20 ft	10 ft	10 ft	Good	Remain	
3	Brazilian Beauty Leaf	Calophyllum brasiliense	6 in	20 ft	10 ft	10 ft	Good	Remain	
4	Coconut Palm	Cocos nucifera	N/A	35 ft	15 ft	10 ft	Good	Remain	
5	Brazilian Beauty Leaf	Calophyllum brasiliense	6 in	20 ft	10 ft	10 ft	Good	Remain	
6	Silver Buttonwood	Conocarpus erectus sericeus	6 in	16 ft	12 ft	12 ft	Good	Remain	Multi-trunk
7	Live Oak	Quercus virginiana	8 in, 6 in	22 ft	16 ft	N/A	Fair	Relocate	multi-trunk, double
8	Silver Buttonwood	Conocarpus erectus sericeus	6 in	16 ft	12 ft	12 ft	Good	Remain	Multi-trunk
9	Coconut Palm	Cocos nucifera	N/A	35 ft	15 ft	10 ft	Good	Remain	
10	Brazilian Beauty Leaf	Calophyllum brasiliense	6 in	20 ft	10 ft	10 ft	Good	Remain	
11	Silver Buttonwood	Conocarpus erectus sericeus	6 in	16 ft	12 ft	12 ft	Good	Remain	Multi-trunk
12	Brazilian Beauty Leaf	Calophyllum brasiliense	6 in	20 ft	10 ft	10 ft	Good	Remain	
13	Coconut Palm	Cocos nucifera	N/A	35 ft	15 ft	10 ft	Good	Remain	
14	Silver Buttonwood	Conocarpus erectus sericeus	6 in	16 ft	12 ft	12 ft	Good	Remain	Multi-trunk
15	Brazilian Beauty Leaf	Calophyllum brasiliense	6 in	20 ft	10 ft	10 ft	Good	Remain	
16	Coconut Palm	Cocos nucifera	N/A	35 ft	15 ft	10 ft	Good	Remain	
17	Coconut Palm	Cocos nucifera	N/A	35 ft	15 ft	10 ft	Good	Remain	
18	Date Palm	Phoenix sylvestris	N/A	30 ft	18 ft	10 ft	Good	Remain	



HIGHLAND BEACH
BUILDING DEPARTMENT

2455 SOUTH OCEAN RESIDENT
2455 SOUTH OCEAN BLVD., HIGHLAND BEACH, FL
TREE DISPOSITION TABLE

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