

LOCATION MAP



CODE RESEARCH

PROPOSED PROJECT: TWO STORY ACCESSORY STRUCTURE GROUP R ADDITION
 GOVERNING CODE: FBC 2023 (8TH EDITION), FPFC 2007 EDITION, NFPA 101 UFC FLORIDA 2010 EDITION, NFPA 101 LSC FLORIDA 2010 EDITION
 MAXIMUM ROOF HEIGHT: 35'-0" MEAN ROOF HEIGHT FROM BASE BUILDING ELEVATION
 TYPE OF CONSTRUCTION: TYPE III-B UNSPRINKLERED
 BUILDING DESIGNED: ENCLOSED
 WIND SPEED: 170 MPH ULTIMATE WIND SPEED
 EXPOSURE: D
 ZONING DISTRICT: R5 SINGLE FAMILY RESIDENTIAL DISTRICT, TOWN OF HIGHLAND BEACH
 FLOOD ZONE: ZONE 'AE' (6.00' NAVD)
 REQUIRED SETBACKS: FRONT SETBACK = 25'-0"
 STRUCTURAL ELEMENTS = 20'-0"
 SIDE STREET = 25'-0"
 SIDE INTERIOR SETBACK = 12'-0"
 ADDITION LEVEL: LEVEL III

GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW "F.B.C. 2023 8TH EDITION" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS
- BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES
- BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY ARCHITECT OF RECORD (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR NOT) OTHERWISE ARCHITECT OF RECORD WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE TO THE BEST OF HIS KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES
- SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN
- WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO 2 OR BETTER ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
- DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EGRESS REQUIREMENTS ALL SLIDING GLASS DOORS SHALL BE TEMPERED ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4 WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION
- THE ARCHITECT OF RECORD RESERVES, MAINTAINS AND RETAINS IT'S COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE ARCHITECT OF RECORD NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE ARCHITECT OF RECORD, IN EACH AND EVERY INSTANCE
- ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE ARCHITECT OF RECORD ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE ARCHITECT OF RECORD (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE ARCHITECT OF RECORD FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE ARCHITECT OF RECORD FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME
- BUILDING SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS
- APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS, DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION
- ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE ARCHITECT OF RECORD FOR VERIFICATION OTHERWISE, THE ARCHITECT OF RECORD WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE
- ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH F.B.C. 2023 8TH EDITION
- ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS
- ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS
- GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH F.B.C. 2023 8TH EDITION
- ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS
- ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

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OPUS HOMES DESIGN & BUILDING

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NEW PAVILION NESSEN RESIDENCE

1096 BEL LIDO DRIVE
HIGHLAND BEACH, FLORIDA

REVISIONS: 1. BLDG. DEPT. 03.14.24 COMMENTS

RECEIVED
APR 26 2024
HIGHLAND BEACH BUILDING DEPARTMENT

SUBMITTALS: 11.09.23 FOR PERMIT

PROJECT #: 22-1054
DESIGNER: RB
DRAWN BY: KR/RB
PLAN REVIEW: RB

COVER SHEET

CVR

ABBREVIATIONS:

ABV	ABOVE	FB	FIRE HOSE	POL	POLISHED
AFF	ABOVE FINISH FLOOR	FH	FLASHING	PBSI	POUNDS PER SQUARE INCH
AP	ACCESS PANEL	FL	FLOOR	PRECAB	PRECAST
ADJ	ADJUSTABLE	FD	FLOOR DRAIN	PROJ	PROJECTION
AC	AIR CONDITIONING	FLUR	FLUORESCENT	QT	QUARRY TILE
AHU	AIR HANDLING UNIT	FL	FLUSH		
ALT	ALTER	FR DR	FRENCH DOOR		
ALUM	ALUMINUM				
AND	AND/ODD				
ANN	ANNUNCIATOR	GALV	GALVANIZED	RADN	RADIATION
APP	APPLIQUE	GA	GAUGE	REQD	REQUIRED
APPROX	APPROXIMATE	GC	GENERAL CONTRACTOR	RYS	REVERSE
ARCH	ARCHITECT(URAL)	GL	GLASS, GLAZING	RH	RIGHT HAND
@	AT	GYP BD	GYP. BOARD	RISER	RISER
AWI	AMER. WOODWORK INSTITUTE	GB	GRAB BAR	RM	ROUGH OPENING
AWPI	AMER. WOOD PRESERVERS INSTITUTE			RO	ROUGH OPENING
BM	BEAM	HB	HOSE BIB	SCHD	SCHEDULE
BK	BLOCK	HWD	HARDWARE	SEAL	SEALANT
BLDG	BUILDING	HTG	HEATING	SEAL	SEALANT
BD	BOARD	HVAC	HEATING/VENTILATING/AIR	SEV	SERVICE
BOT	BOTH FACES			SHT	SHEET
BOTM	BOTTOM	HT, HGT	HEIGHT	SH	SHUT-OFF
BLDG	BUILDING			SO	SIMILAR
BY	BY OTHERS			SL	SLIDING
CS	BODY SPRAY			SLC	SOLID CORE
				S	SPECIFICATION
CAB	CABINET	IN	INCH	SQ	SQUARE
CC	CARPET	ID	INCLUDE	SF	SQUARE FOOT
CD	CENT. IRON	INSUL	INSULATION	STL	STEEL
CK	CAULK	INT	INTERIOR	STD	STANDARD
CL	CEILING	JT	JOINT	STL	STEEL
CH	CEILING HEIGHT	JB	JUNCTION BOX	STR	STRUCTURAL
C	CENTER TO CENTER	KO	KNOCK OUT	SUS	SUSPENDED
CH	CENTERLINE	LB	LABEL	SW	SWITCH
C	CERAMIC TILE	LAV	LAVATORY	SYM	SYMMETRICAL
CH	CHANNEL	LG	LEFT HAND		
CL	CLEAR	LG	LIGHT WEIGHT	TEL	TELEPHONE
CL	CONTROL JOINT	LI	LIGHTING	TEMP	TEMPERED
COL	COLUMN	LK	LEFT WEIGHT	TFG	TEMPERED FIXED GLASS
COMB	COMBINATION			THK	THICK
CON	CONCRETE	MANUF	MANUFACTURER	TG	TONGUE & GROOVE
CMU	CONCRETE MASONRY UNIT	MAS	MASONRY	TOP	TOP
CON	EXISTING	MO	MASONRY OPENING	TOP	TOP OF CURB
CON	CONSTRUCTION JOINT	MAT	MATERIAL	TOP	TOP OF WALL
CONT	CONTINUOUS	MAX	MAXIMUM	TR	TREAD
CON	CONTRACTOR	MECH	MECHANICAL	TR	TREAD
CON	CONTRACT LIMIT LINE	MEM	MEMBRANE	TYP	TYPICAL
CON	COUNTERFLASHING	MEZZ	MEZZANINE	UP	UP
CRS	COUNTERSINK	ML	MILLWORK	UNDER	UNDERCUT
		MIN	MINIMUM	UNF	UNFINISHED
D	DOWN SPOUT	MISC	MISCELLANEOUS	UTIL	UTILITY
DBL	DAMP/PROOFING	MUL	MULLION	USEP	UNDER SEPERATE PERMIT
DE	DETAIL				
DIAG	DIAGONAL	NGM	NOMINAL		
DIA	DIAMETER	NIC	NOT IN CONTRACT	VB	VAPOR BARRIER
DIFF	DIFFUSER	NTS	NOT TO SCALE	VNR	VENEER
DIM	DIMENSION	NO	NUMBER	VENT	VENTILATION
DD	DITTO			VERT	VERTICAL
DD	DOWN	CC	ON CENTER		
DD	DOWN	OPG	OPENING	WF	WALL FABRIC
DWG	DRAIN	OPP	OPPOSITE	WR	WATERPROOFING
		OD	OUTSIDE DIAMETER	HT	HEIGHT
		OA	OVERALL	W	WEST
		CH	OVERHEAD	WH	WIDTH, WIDE
EA	EACH			WIN	WINDOW
E	EAST	PNT	PAINT	W/O	WITHOUT
EJ	EXPANSION JOINT	PR	PAIR	W	WOOD
ELEC	ELECTRICAL / ELECTRIC	PNL	PANEL	WB	WOOD BASE
ELEV	ELEVATION	PTN	PARTITION		
EMER	EMERGENCY	PLAS	PLASTER		
ENG	ENGINEER	PLM	PLASTIC LAMINATE		
EQ	EQUAL	PL	PLATE		
EQUIP	EQUIPMENT	PLYWD	PLYWOOD		
EST	ESTIMATE(D)	PR	PRESSURE TREATED		
EXH	EXHAUST				
EXIST	EXISTING				
EXT	EXTERIOR				
FT	FEET				
FIN	FINISH				

ELECTRICAL NOTES:

- ALL FIXTURE AND OUTLET LOCATIONS SHALL BE VERIFIED AND COORDINATED WITH STRUCTURAL ELEMENTS
- CONTRACTOR SHALL VERIFY W/ FPL LOCATION OF SERVICE. LOCATE METER, DISCONNECT & PANEL ACCORDINGLY.
- ALL ELECTRICAL WORK SHALL BE PREFORMED BASED ON THE N.E.C. AND ALL APPLICABLE CODES
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER WITH "THIN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THIN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STANDARD
- ALL RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER.
- ALL CONVENIENCE OUTLETS TO BE OF GROUNDING TYPE.
- SMOKE DETECTORS SHALL BE INSTALLED ON THE CEILING AT BOTTOM OF STAIRS AND AT THE TOP LANDINGS
- SMOKE DETECTORS TO BE POWERED BY HOUSE ELECTRICAL SERVICE WITH BATTERY BACK-UP, VISIBLE "POWER-ON" INDICATOR AND A TEST BUTTON. ALL SMOKE DETECTORS TO BE INTERCONNECTED AND MUST SIGNAL SIMULTANEOUSLY WITH TEMPORAL SOUND
- CONTRACTOR SHALL VERIFY WITH FPL THE LOCATIONS OF SERVICE AND SHALL LOCATE METER AND PANEL ACCORDINGLY.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER'S SPECIFICATIONS
- PROVIDE G.F.I. OUTLETS IN GARAGE, AND LIGHTING FIXTURES WITHIN 5'-0" OF SWIMMING POOL EDGE.
- ALL BRANCH CIRCUITS SHALL BE IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
- ALL CONDUCTORS SHALL BE COPPER, U.N.O. CONDUCTORS #8 AND SMALLER SHALL HAVE T.W. INSULATION. CONDUCTORS LARGER THAN #8 SHALL HAVE T.H.W. INSULATION.
- INSTALL ELECTRICAL SWITCHES 48" A.F.F. UNLESS OTHERWISE NOTED.
- ALL RECEPTACLES SHALL BE INSTALLED 12" A.F.F. UNLESS OTHERWISE NOTED.
- CLOSET LIGHTING SHALL BE MIN. 18" CLEAR FROM EDGE OF SHELVES.

PLUMBING NOTES

- SANITARY LINES SHALL BE OF CAST IRON, OR PVC (SCHEDULE 40) AS APPROVED BY THE BUILDING OFFICIAL.
- WATER LINES SHALL BE COPPER (UNLESS NOTED OTHERWISE)
- CONDENSE LINES SHALL BE 3/4" PVC (SCHEDULE 40), INSULATED WITH 1/2" AMFLEX.
- HOT WATER LINES INSULATED WITH 1" AMFLEX ABOVE.
- PROVIDE AIR CHAMBER WITH ALL WATER SUPPLIES.
- COPPER WATER LINES RUN UNDER SLAB SHALL BE PROTECTED BY MINIMUM OF 12" OF EARTH COVER, 1" AMFLEX (HOT WATER ONLY) AND SLEEVED TO 12" ABOVE SLAB. PROVIDE CONDENSE DRAIN PAN UNDERneath ELECTRIC WATER HEATERS. METAL PANS SHALL BE GALVANIZED AND RUSTPROOF. PROVIDE DRAIN LINE FROM DRIP PAN TO EXTERIOR OF BUILDING.
- SHOWER HEADS TO HAVE FLOW CONTROL DEVICE TO GIVE MAXIMUM FLOW OF (2 1/2) GALLONS PER MINUTE EACH
- HOSE BIBS TO BE PROVIDED WITH BACK FLOW PREVENTER.
- ELECTRIC WATER HEATER SHALL HAVE A STAND BY LOSS NOT TO EXCEED 4.0 WATTS PER SQUARE FOOT TO TANK SERVICE AREA.
- PLUMBING FIXTURES, TRIM, ACCESSORIES, COLORS, ETC. SHALL BE SELECTED (SEE BUILDER TO VERIFY)
- ALL POOL PLUMBING AND RELATED EQUIPMENT SHALL BE PROVIDED BY POOL SUBCONTRACTOR AND SHALL BE PERMITTED SEPARATELY. SEE POOL SUBCONTRACTOR'S ENGINEERED SHOP DRAWING. PLUMBING CONTRACTOR SHALL PROVIDE (2) TWO COPIES OF THE "AS-BUILT" PLUMBING RISER DIAGRAM TO THE ARCHITECT OF RECORD.
- THE PLUMBING SUBCONTRACTOR SHALL PROVIDE A HOSE BIB AT THE POOL EQUIPMENT LOCATION (VERIFY LOCATION WITH OWNER) AND SHALL LOCATE A POOL-FILL LINE WITH A VACUUM BREAKER. PLUMBING SUBCONTRACTOR SHALL COORDINATE WITH POOL SUBCONTRACTOR AND SHALL ALSO PROVIDE A LINE, TIED DIRECTLY FROM THE 'FILL' LOCATION, UNDER POOL DECK (SLEEVED IN PVC PIPE) INTO TILE BAND AREA OF POOL AND COORDINATE SAME WITH SUBCONTRACTOR.
- ALL CLEAN OUTS UP TO GRADE
- NO VENT STACKS SHALL PASS THROUGH ROOF CRICKETS OR VALLEYS.
- SIZE AND LOCATION OF CLEAN OUTS SHALL CONFORM TO ALL LOCAL BUILDING CODE.
- FIXTURE SUPPLY SIZES SHALL CONFORM TO ALL LOCAL BUILDING CODE.
- PLUMBER TO DIVERT ALL VENTS TO REAR ELEVATION

GENERAL FLOOR PLAN NOTES:

- SEE FOUND. PLAN FOR SLAB STEPS & SLOPES & FOR COLUMNS, FILLED BLOCK CELLS, ETC.
- VERIFY ALL MASONRY & HD. FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE CONSTRUCTION - NOTIFY ARCHITECT IF A CONFLICT EXISTS
- USE WATER-RESISTANT GYP. BOARD IN ALL BATHROOMS & OTHER WET AREAS. PROVIDE WOOD BACKING BEHIND CABINETS, SHELVES, BATH ACCESSORIES, ETC.
- ALL ATTIC SPACES AND SPACES ABOVE CEILING SHALL BE DIVIDED INTO HORIZONTAL AREAS NOT TO EXCEED 3,000 S.F. BY DRAFT STOPS. PROVIDE A 22"x36" (MIN) ATTIC ACCESS INTO EACH SPACE DIVIDED BY A DRAFT STOP. (SEE DTL SHEET)

DOOR / WINDOW NOTES

- SEE PLAN AND ELEVATIONS FOR HIGH GLASS SIZE AND LOCATIONS.
- ALL GLAZING SHALL COMPLY WITH CHAPTER 24 OF F.B.C. 2023 RES. 8TH EDITION.
- SEE DETAIL SHEETS FOR ANCHORAGE OF ALL DOOR JAMBS, HEADS AND SILLS. ALSO REFER TO DETAIL SHEET FOR ANCHORAGE OF GARAGE DOOR BUCKS.
- ALL WINDOWS AND GLASS IN EXT. DOOR TO BE IMPACT-RESISTANT GLASS.
- EGRESS WINDOWS SHALL COMPLY WITH SEC. 1005.4.2 F.B.C. 2023 RES. 8TH EDITION EACH EGRESS WINDOW SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WITH, 24" IN HEIGHT AND MIN. OF 5.7 S.F. IN AREA. BOTTOM EDGE OF SUCH OPENING SHALL NOT BE MORE THAN 44" AFF. AND NO PART OF THE OPERATING MECHANISM SHALL BE MORE THAN 54" AFF. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
- ALL GLASS SHOWER & TUB ENCLOSURES SHALL BE TEMPERED GLASS.
- EMERGENCY EGRESS DOOR - DO NOT SHUTTER.
- DOORS BETWEEN GARAGE & HOUSE MUST BE SOLID CORE 1 3/4" THICK W/ 2x4 SOLID RABBETED JAMB, OR A C-LABEL METAL DOOR & JAMB. DOORS TO HAVE AUTOMATIC CLOSER AS INDICATED IN DOOR SCHEDULE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL WINDOW & DOOR SIZES/OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
- FOR ALL EXTERIOR DOORS/WINDOWS, PRODUCT APPROVAL IS REQUIRED. SUBMIT TO ARCHITECT OR ENGINEER FOR REVIEW AND TO BUILDING DEPT. FOR APPROVAL
- GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF TUB OR SHOWER.
- ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
- G.C. TO COORDINATE THRESHOLD FOR ALL DOORS ON MASONRY WALL.
- OPERABLE WINDOWS WITH MORE THEN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.)

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LANDSCAPE

CIVIL ENGINEER

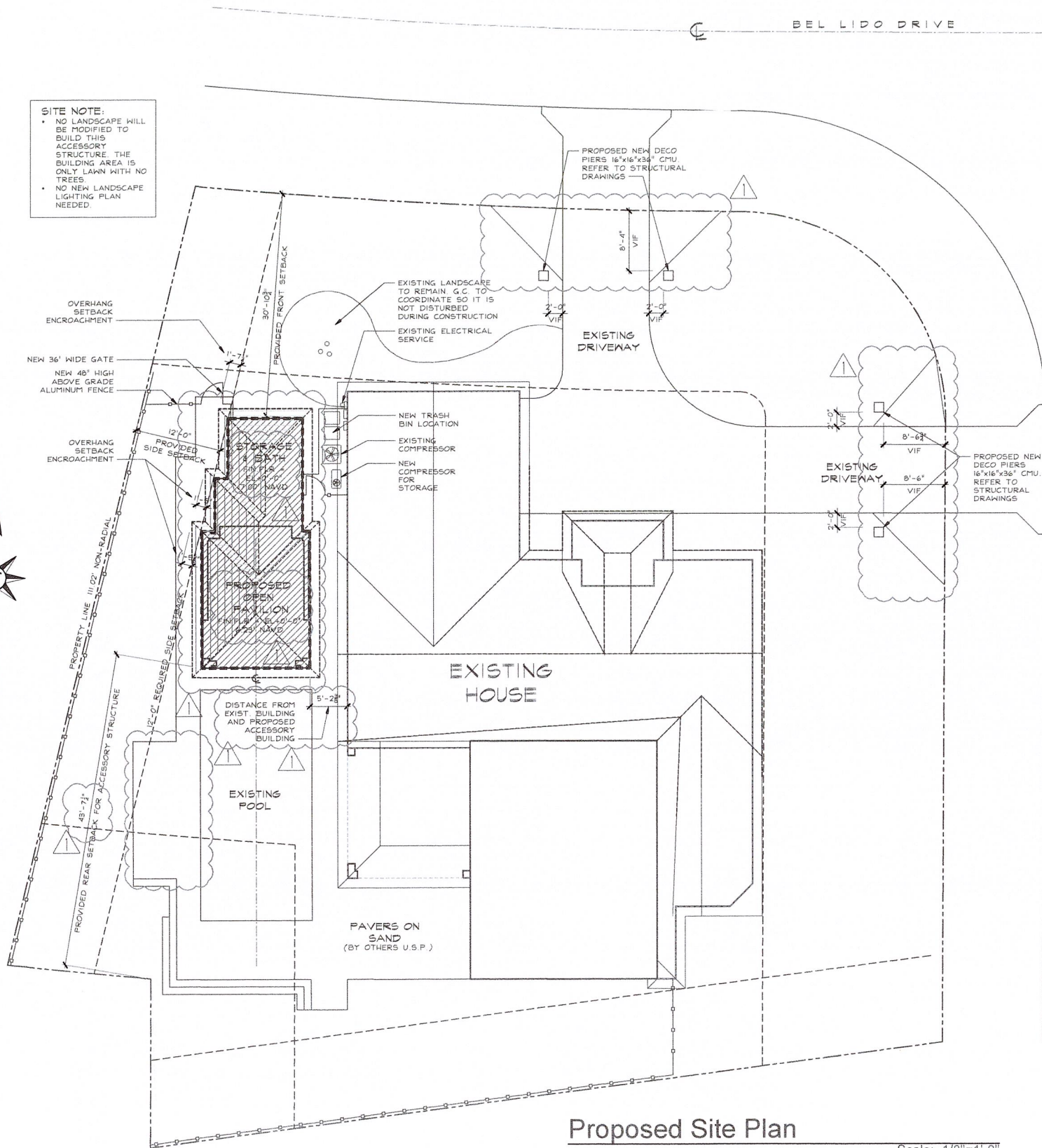
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SITE NOTE:


- NO LANDSCAPE WILL BE MODIFIED TO BUILD THIS ACCESSORY STRUCTURE. THE BUILDING AREA IS ONLY LAWN WITH NO TREES.
- NO NEW LANDSCAPE LIGHTING PLAN NEEDED.



Proposed Site Plan
Scale: 1/8"=1'-0"

ZONING DATA		
ZONING DISTRICT	R5 SINGLE FAMILY	
FUTURE LAND USE	TOWN OF HIGHLAND BEACH SINGLE FAMILY	
FLOOD ZONE	ZONE "AE" (6'00" NAVD)	
EXISTING AIR CONDITIONED FINISH FLOOR	7.00' NAVD	
PROPOSED A/C FINISH FLOOR	7.00' NAVD	
OPEN PAVILION FINISH FLOOR	6.25' NAVD	
LEGAL DESCRIPTION		
LOT 4, BLOCK 3, BEL LIDO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25, PAGE 47 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA		
PAVILION SITE DATA CHART		
	REQUIRED	PROVIDED
BUILDING FOOTPRINT		4048 S.F.
IMPERVIOUS AREA		7126 S.F.
TOTAL SITE AREA		14074 S.F.
MAIN HOUSE MAX. BUILDING HEIGHT	35'-0"	24'-2 5/16"
ADDITION MAX. BUILDING HEIGHT	22'-3 9/16"	
TOTAL BUILDING AREA		6276 S.F.
PAVILION BUILDING SETBACK		
	REQUIRED	PROVIDED
FRONT SETBACK	25'-0"	30'-10 3/4"
SIDE SETBACK (WEST)	12'-0"	12'-0"
SIDE STREET SETBACK	25'-0"	43'-7 1/4"
REAR SETBACK	20'-0"	48'-6"
AREA CALCULATIONS		
EXISTING BUILDING		
1ST FLOOR		
AIR CONDITIONED AREA		2646 S.F.
GARAGE		552 S.F.
COVERED ENTRY		106 S.F.
LOGGIA		306 S.F.
2ND FLOOR		
AIR CONDITIONED AREA		832 S.F.
PROPOSED PAVILION		
1ST FLOOR		
AIR CONDITIONED AREA		81 S.F.
STORAGE		68 S.F.
OPEN PAVILION (NON A/C SPACE)		238 S.F.
2ND FLOOR		
AIR CONDITIONED AREA		390 S.F.
TOTAL AIR CONDITIONED AREA		3949 S.F.
TOTAL ENCLOSED AREA		621 S.F.
TOTAL UNDER ROOF		700 S.F.
TOTAL OPEN AREA		0 S.F.
TOTAL LIVABLE ROOF AREA		5270 S.F.

RECEIVED
APR 26 2024
HIGHLAND BEACH BUILDING DEPARTMENT



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NEW PAVILION
NESSEN RESIDENCE
1016 BEL LIDO DRIVE
HIGHLAND BEACH, FLORIDA

REVISIONS:
1. BLDG. DEPT. 03.14.24
COMMENTS:

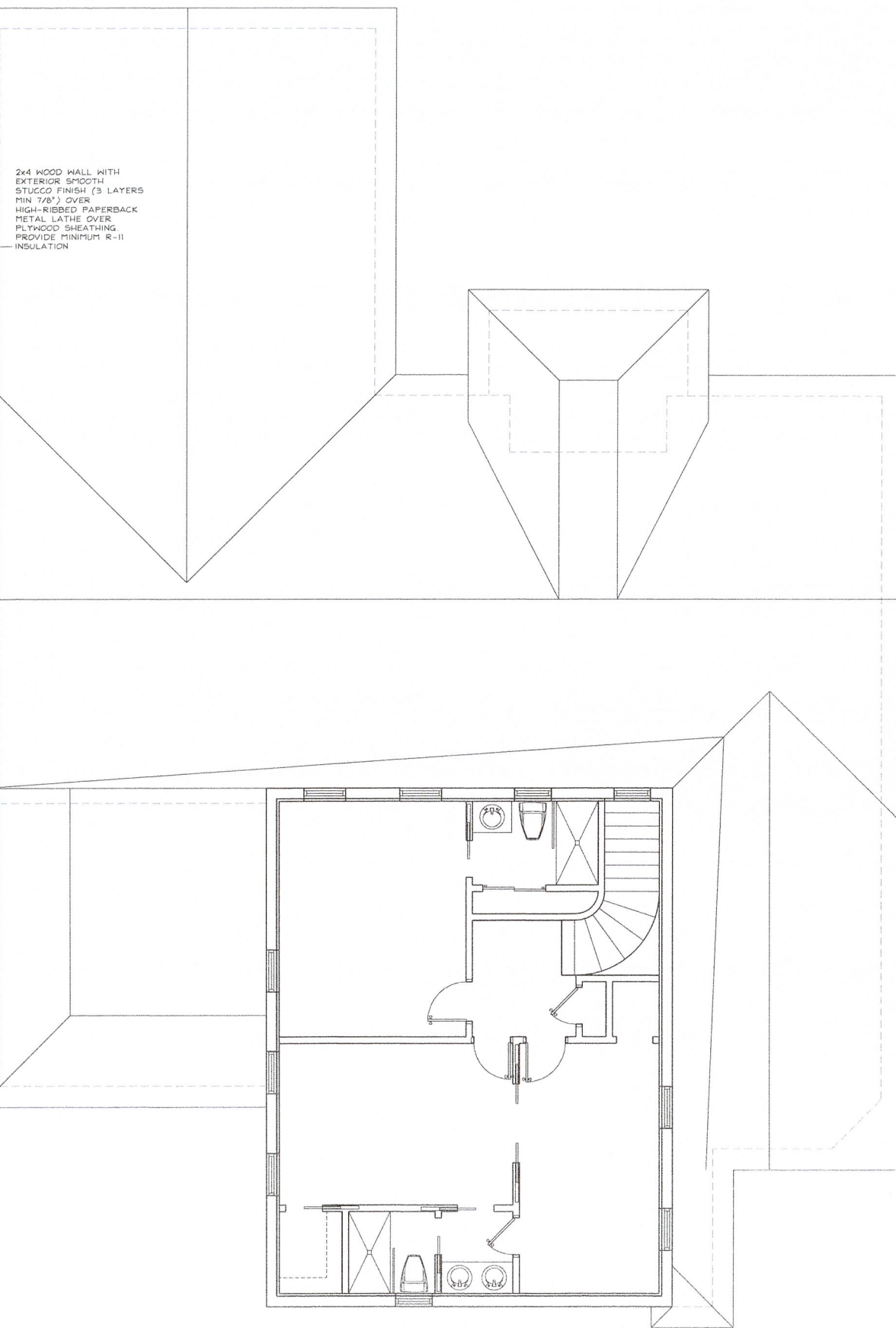
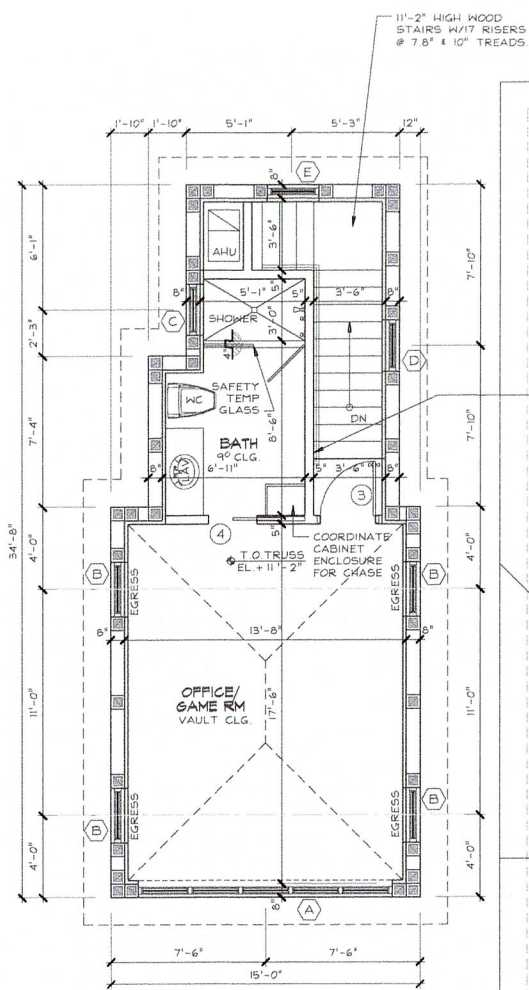
SUBMITTALS:
ISSUED FOR PERMIT: 11.09.23

PROJECT #: 22-1054
DESIGNER: RB
DRAWN BY: KR/RB
PLAN REVIEW: RB

PROPOSED SITE PLAN

SP-1

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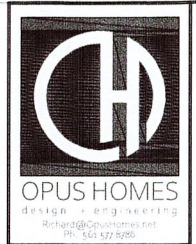


2x4 WOOD WALL WITH EXTERIOR SMOOTH STUCCO FINISH (3 LAYERS MIN 7/8") OVER HIGH-RIBBED PAPERBACK METAL LATHIE OVER PLYWOOD SHEATHING PROVIDE MINIMUM R-11 INSULATION

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HIGHLAND BEACH BUILDING DEPARTMENT

Second Floor Plan

Scale: 1/4"=1'-0"



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NEW PAVILION NESSEN RESIDENCE
 1096 BEL LIDO DRIVE
 HIGHLAND BEACH, FLORIDA

REVISIONS:
 1. BLDG. DEPT. 03.14.24
 COMMENTS

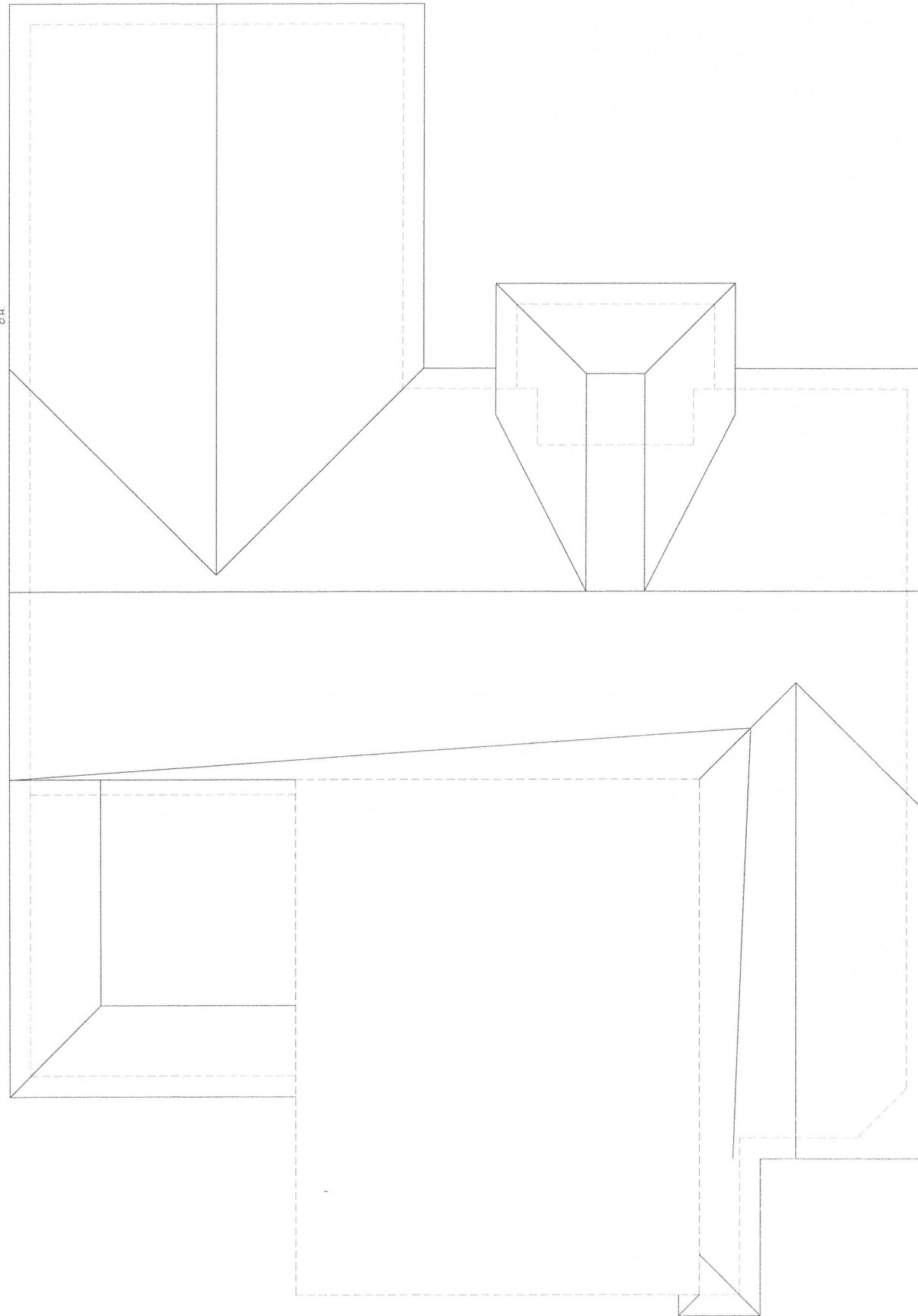
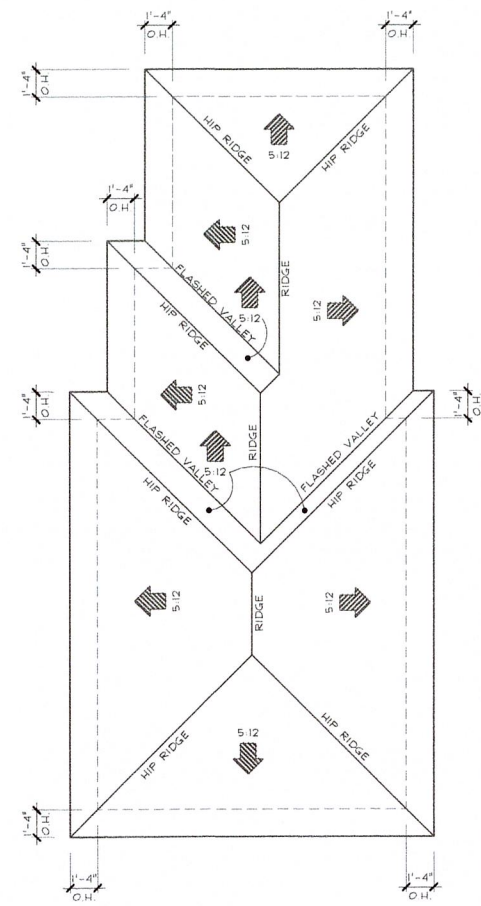
SUBMITTALS
 ISSUED FOR PERMIT: 11.09.23

PROJECT #: 22-1054
 DESIGNER: RB
 DRAWN BY: KR/RB
 PLAN REVIEW: RB

SECOND FLOOR PLAN

P-2



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 BUILDING DEPARTMENT

Roof Plan

Scale: 1/4"=1'-0"

 OPUS HOMES <small>design + engineering</small> <small>Richard@OpusHomes.net</small> <small>954.327.5985</small>	
TUMAY CONSULTING ENGINEERS INC.  Hikmet Tumer Tumay <small>Professional Engineer</small> <small>Florida Reg. # 50109</small> <small>1300 SW 52nd Ave., Suite 206</small> <small>Boca Raton, FL 33431</small> <small>TEL: (561) 391-0277 FAX: (561) 391-2151</small> <small>Email: TUMAY@CEAFLA.COM</small> <small>123338 09/07</small>	
NEW PAVILION NESSEN RESIDENCE 1096 BEL LIDO DRIVE HIGHLAND BEACH, FLORIDA	
REVISIONS: 1. BLDG. DEPT. 03.14.24 COMMENTS:	
SUBMITTALS: ISSUED FOR PERMIT: 11.09.23	
PROJECT #: 22-1054 DESIGNER: RB DRAWN BY: KR/RB PLAN REVIEW: RB	
ROOF PLAN	
P-3	

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HIGHLAND BEACH
BUILDING DEPARTMENT



OPUS HOMES
design + engineering
Richard@OpusHomes.net
Tel: 407.429.9588

TUMAY CONSULTING ENGINEERS INC.
HIKMET TUMER TUMAY, P.E.
Florida Reg. # 50109
1500 NW 23rd Ave, Suite 208
Boca Raton, FL 33431
Tel: (561) 991-2151
Email: TUMAYCE@AOL.COM
Tumay
2024.03.14
233556.dwg

NEW PAVILION
NESSEN RESIDENCE
1096 BEL LIDO DRIVE
HIGHLAND BEACH, FLORIDA

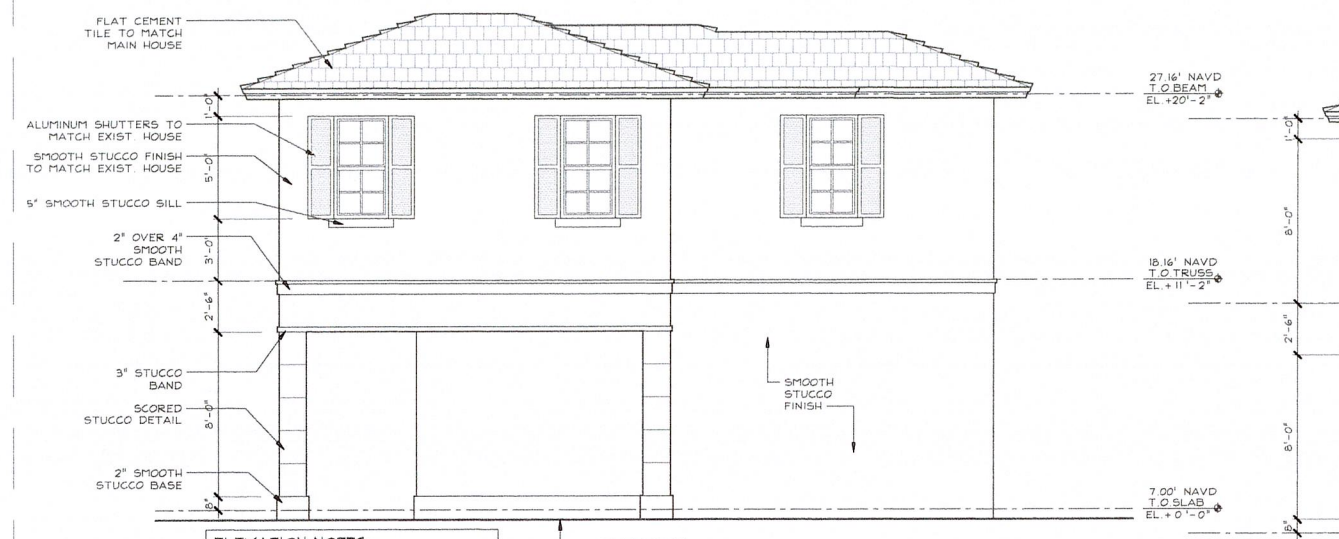
REVISIONS:
1. BLDG. DEPT. 03.14.24
COMMENTS:

SUBMITTALS:
ISSUED FOR PERMIT: 11.09.23

PROJECT #: 22-1054
DESIGNER: RB
DRAWN BY: KR/RB
PLAN REVIEW: RB

NORTH EAST ELEVATIONS

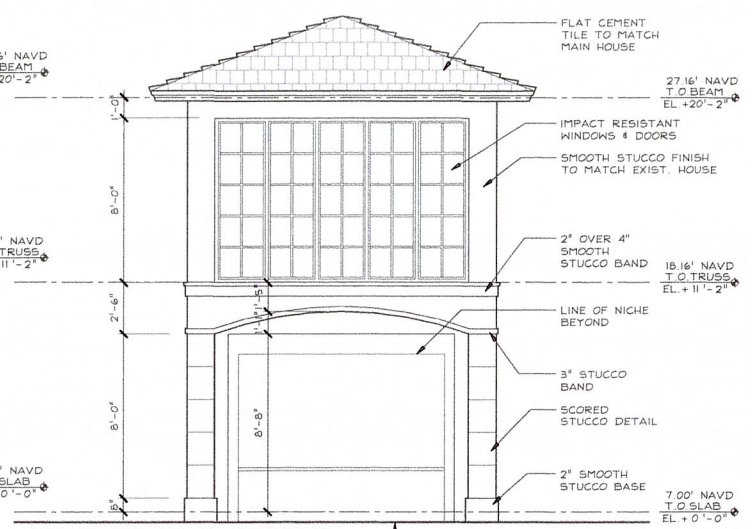
P-4



ELEVATION NOTES:
 • BUILDER TO COORDINATE ROOF SLOPE TO MATCH EXISTING BUILDING.
 • BUILDER TO COORDINATE ALL FINISHES TO MATCH EXISTING BUILDING.
 • ADVISE A/E IF GUTTERS & DOWNSPOUTS WILL BE ADDED TO THE PAVILION FOR LOCATION AND STYLE.

East Elevation

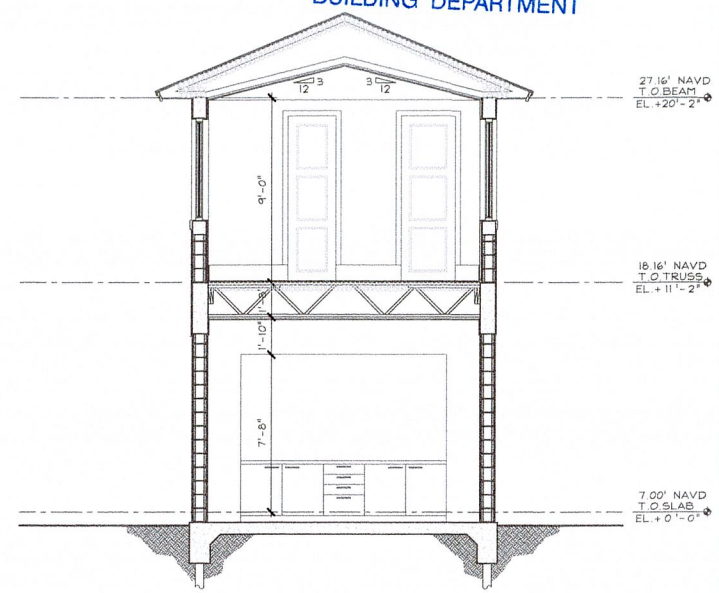
Scale: 1/4"=1'-0"



ELEVATION NOTES:
 • BUILDER TO COORDINATE ROOF SLOPE TO MATCH EXISTING BUILDING.
 • BUILDER TO COORDINATE ALL FINISHES TO MATCH EXISTING BUILDING.
 • ADVISE A/E IF GUTTERS & DOWNSPOUTS WILL BE ADDED TO THE PAVILION FOR LOCATION AND STYLE.

South Elevation

Scale: 1/4"=1'-0"



Section A

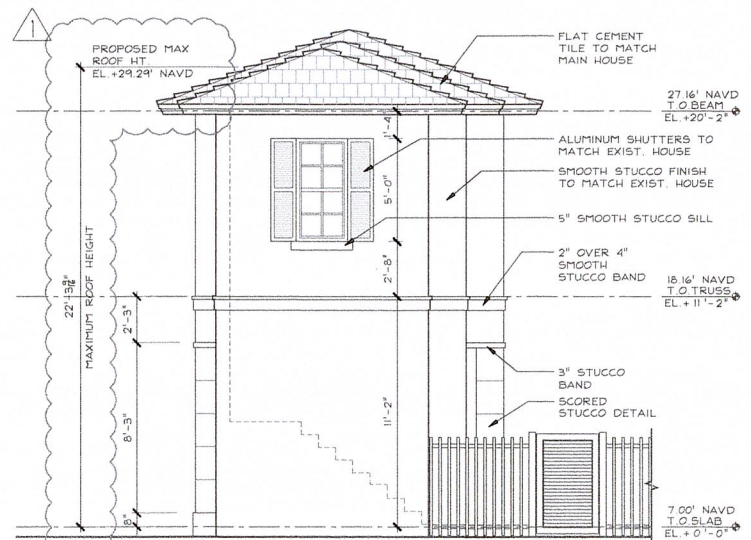
Scale: 1/4"=1'-0"



ELEVATION NOTES:
 • BUILDER TO COORDINATE ROOF SLOPE TO MATCH EXISTING BUILDING.
 • BUILDER TO COORDINATE ALL FINISHES TO MATCH EXISTING BUILDING.
 • ADVISE A/E IF GUTTERS & DOWNSPOUTS WILL BE ADDED TO THE PAVILION FOR LOCATION AND STYLE.

West Elevation

Scale: 1/4"=1'-0"



ELEVATION NOTES:
 • BUILDER TO COORDINATE ROOF SLOPE TO MATCH EXISTING BUILDING.
 • BUILDER TO COORDINATE ALL FINISHES TO MATCH EXISTING BUILDING.
 • ADVISE A/E IF GUTTERS & DOWNSPOUTS WILL BE ADDED TO THE PAVILION FOR LOCATION AND STYLE.

North Elevation

Scale: 1/4"=1'-0"

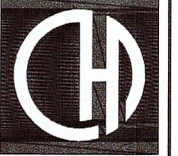
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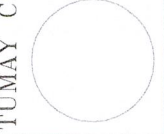
HIGHLAND BEACH
BUILDING DEPARTMENT



OPUS HOMES
design + engineering
Richard G. Tomer, P.E.
Tel: 561.977.9996

TUMAY CONSULTING ENGINEERS INC.

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Florida Reg. # 50109
BOKKATON FL 3341
TEL: (561) 391-6227 FAX: (561) 391-2151
Email: TUMAYCE@aol.com



NEW PAVILION
NESSEN RESIDENCE
109% BEL LIDO DRIVE
HIGHLAND BEACH, FLORIDA

REVISIONS:
1 BLDG. DEPT. 03.14.24
COMMENTS:

SUBMITTALS:
ISSUED 11.09.23
FOR PERMIT.

PROJECT #: 22-1054
DESIGNER: RB
DRAWN BY: KR/RB
PLAN REVIEW: RB

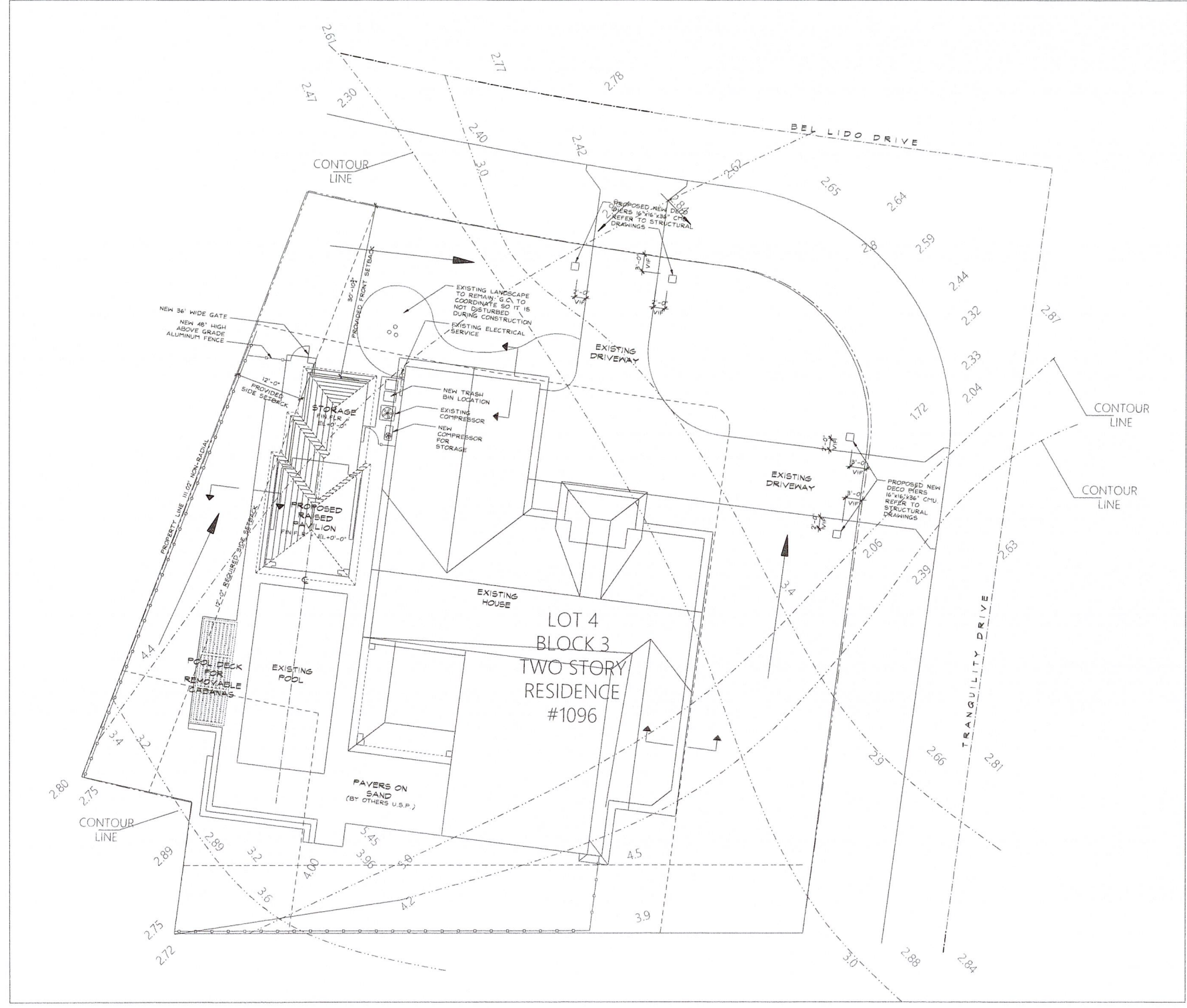
PROPOSED
STREET
RENDERING

Proposed Street Rendering

Scale: N.T.S.

P-6

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1 SITE PLAN
SCALE: 3/32" = 1' - 0"

- LEGEND**
- PROPOSED GRADE (REQUIRED)
 - EXISTING GRADE (REQUIRED)
 - PROPERTY LINE
 - RIDGE LINE
 - DIRECTION OF DRAINAGE FLOW
 - SWALE



COROSAL CONSULTING LLC
1020 WILLA SPRINGS DR.
WINTER SPRINGS, FL 32706
ENGINEERING BUSINESS
REGISTRY #37842
JOHN D GOOLCHARAN
CHIEF ENGINEER
PE#98425

NO.	DATE	DESCRIPTION

ADDRESS:
1096 Bel Lido Dr,
Highland Beach, FL 33487

DRAINAGE DRAWING

DRAWN: A.T. DATE: 04-17-24

CHKD: J.G. DATE: 04-17-24

SIGN & SEAL

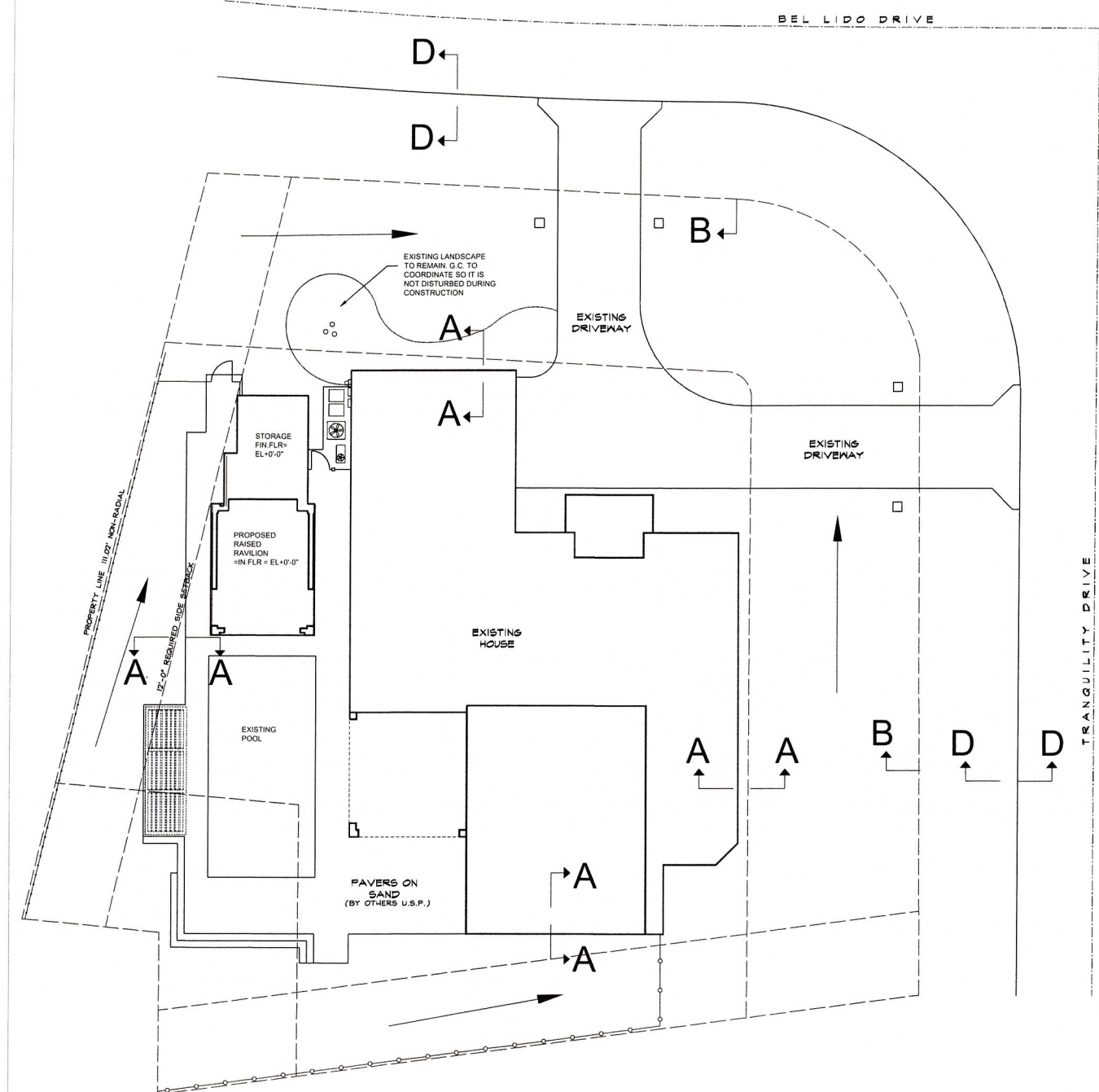
HIGHLAND BEACH
BUILDING DEPARTMENT

ACAD DWG SERVER... PROJ NO.

SHEET
A-01

RECEIVED

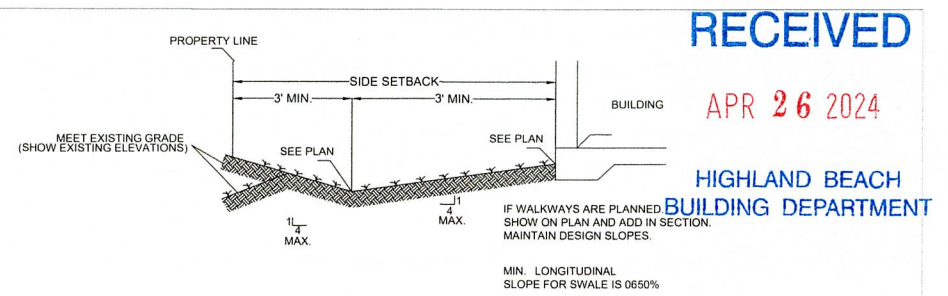
APR 26 2024



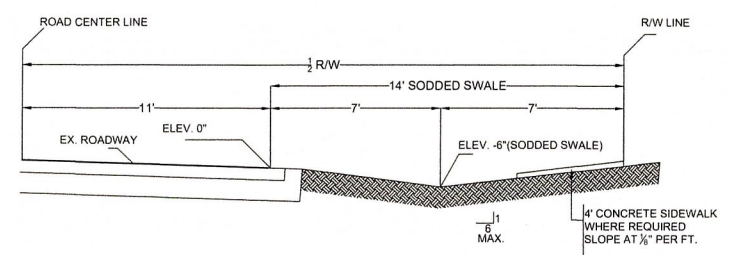
1 SITE PLAN
SCALE: 3/32" = 1' - 0"

LEGEND

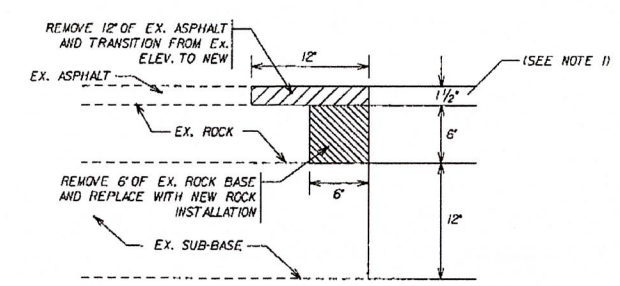
	PROPOSED GRADE (REQUIRED)
	EXISTING GRADE (REQUIRED)
	PROPERTY LINE
	RIDGE LINE
	DIRECTION OF DRAINAGE FLOW
	SWALE



SECTION: A-A



SECTION: B-B



ASPHALT CONNECTION DETAIL
SECTION D-D

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LIGHT HOUSE POINT ENGINEERING.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA
 - THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
 - ALL SIDEWALKS AND PATIOS SHALL BE SLOPED AWAY FROM HOUSE.
 - MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4.1.
 - CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
 - REMOVE ALL ORGANIC AND DELETERIOUS MATERIAL BETWEEN THE EDGE OF PAVEMENT AND RIGHT OF WAY LINE (14' SODDED SWALE), NO MATERIAL OF F.D.O.T. CLASS A-5, A-7 OR A-B SHALL BE ALLOWED IN THE RIGHT OF WAY,

PROPERTY DETAIL:
 Location Address : 1096 BEL LIDO DR
 Municipality : HIGHLAND BEACH
 Parcel Control Number : 24-43-47-04-02-003-0040
 Subdivision : BEL LIDO IN
 Official Records Book/Page : 23415 / 1811
 Sale Date : JUL-2009
 Legal Description : BEL LIDO LT 4 BLK 3

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 HIGHLAND BEACH
 BUILDING DEPARTMENT

COROSAL CONSULTING LLC
 1020 WILLA SPRINGS DR,
 WINTER SPRINGS, FL 32708
 ENGINEERING BUSINESS
 REGISTRY #37842
 JOHN D GOOLCHARAN
 CHIEF ENGINEER
 PE#98425

NO.	DATE	DESCRIPTION

ADDRESS:
 1096 Bel Lido Dr,
 Highland Beach, FL 33487

DRAINAGE DRAWING
 NESSEN RESIDENCE

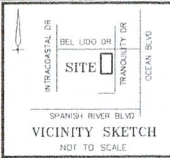
DRAWN: **A.T.** DATE: 03-14-24

CHKD: **J.G.** DATE: 03-14-24

SIGN & SEAL

ACAD DWG SERVER... PROJ NO.

SHEET
A-02

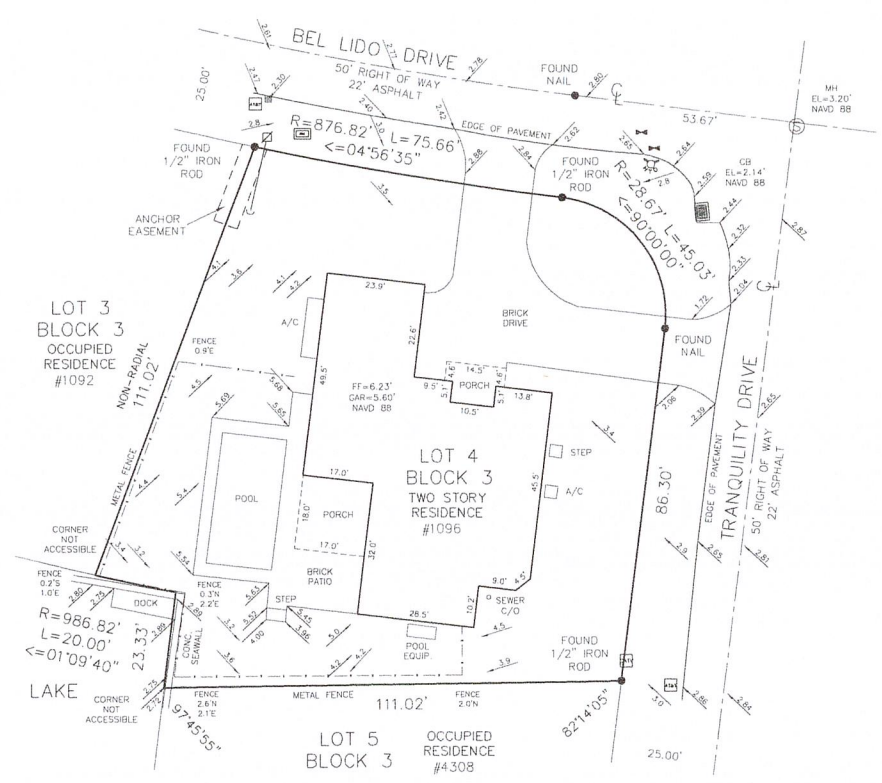
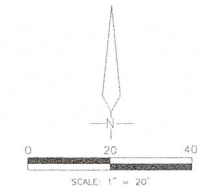


**Boundary Survey
for
CHRISTINE NESSEN**

RECEIVED

APR 26 2024

HIGHLAND BEACH
BUILDING DEPARTMENT



- LEGEND:**
- = IRON ROD AS NOTED
 - = CONCRETE
 - ASPH = ASPHALT
 - U.E. = UTILITY EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - ☒ = CONCRETE UTILITY POLE
 - ⊠ = WATER METER
 - ⊕ = FIRE HYDRANT
 - ⊞ = GATE VALVE
 - ⊞ = CATCH BASIN
 - ⊞ = SEWER MANHOLE
 - ⊞ = CABLE TV UTILITY
 - ⊞ = AT&T UTILITY
 - ⊞ = SPOT ELEVATION
 - ⊞ = YARD DRAIN

PROPERTY ADDRESS

1096 BEL LIDO DRIVE
HIGHLAND BEACH, FL 33487

FLOOD ZONE

FLOOD ZONE: AE
ELEVATION: 6'
TOWN OF HIGHLAND BEACH 12511
PANEL NUMBER: 1209SC 0989F
EFFECTIVE DATE: 10-05-17

LEGAL DESCRIPTION

LOT 4, BLOCK 3, BEL LIDO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23, PAGE 97 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CONTAINING 14,179 SQ FT MORE OR LESS.

SURVEYOR'S NOTES

EXISTING IMPROVEMENTS NOT LOCATED EXCEPT AS SHOWN.
LEGAL DESCRIPTION PROVIDED BY CLIENT.
SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR EASEMENTS AND RIGHTS OF WAYS OF RECORD.
SURVEY IS NOT VALID WITHOUT A RAISED SEAL.
BEARINGS, IF SHOWN, ARE BASED ON THE RECORD PLAT.
ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, USING FEET.
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
ELEVATIONS ARE REFERENCED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION HIGH ACCURACY NETWORK, NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) 1988.

CERTIFICATION

I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: *Robert A. Buggee*
ROBERT A. BUGGEE, FLORIDA LAND SURVEYOR #3302
233 E. GATEWAY BLVD., BOYNTON BEACH, FLORIDA
DATE OF FIELD SURVEY: 02/05/24
DWG # 0605522 (REF: 0604909)

Robert A. Buggee, Inc.
Buggee, Inc.

PREPARED BY:
Bob Buggee, Inc.
the "SURVEYOR"
P.O. BOX 243887
BOYNTON BEACH, FLORIDA, 33424
SURVEY & MAPPING BUSINESS #7890
561-732-7877