



HIGHLAND BEACH BUILDING DEPARTMENT

3614 S. Ocean Boulevard
Highland Beach, FL 33487
Ph: (561) 278-4540

PLANNING BOARD STAFF REPORT

MEETING OF: **JANUARY 11, 2024**

TO: **PLANNING BOARD**

FROM: **INGRID ALLEN, TOWN PLANNER**

SUBJECT: **APPLICATION BY B&M MARINE CONSTRUCTION, INC. FOR AN AMENDMENT TO A PREVIOUSLY APPROVED SPECIAL EXCEPTION REQUEST (DEVELOPMENT ORDER NO. 21-0008) TO INSTALL A 465 SQUARE FOOT MARGINAL DOCK, AND A 257 LINEAR FOOT SEAWALL AND CAP, FOR THE PROPERTY LOCATED AT 4801 SOUTH OCEAN BOULEVARD (APPLICATION NO. 23-0010)**

I. GENERAL INFORMATION:

Applicant (Property Owner): Boca Highland Center, Inc.
4801 South Ocean Boulevard
Highland Beach, FL 33487

Applicant's Agent: David Nutter
B & M Marine Construction, Inc.
1211 South Military Trail, #220
Deerfield Beach, FL 33442

Property Characteristics:

Comprehensive Plan Land Use: Multi Family Low Density

Zoning District: Residential Multiple Family Low Density (RML)

Parcel PCN#: 24-43-47-09-00-001-0100

Property Background:

On November 10, 2021, the Planning Board approved a Special Exception request to install a 1,315 square foot marginal dock, a 271 linear foot seawall and cap, a 120 square foot finger pier, and a 16,000 pound capacity boat lift for the property (Development Order No. No. 21-0008) motion carried 6-0).

Request and Analysis:

The Applicant is requesting an amendment to a previously approved special exception request (Development Order No. 21-0008) to install a 465 square foot marginal dock, and a 257 linear foot seawall and cap for the property located at 4801 South Ocean Boulevard within the Boca Highlands development. As indicated above, the Applicant received a special exception approval from the Planning Board on November 10, 2021; however, the Applicant wishes to amend the square footage of the marginal dock and the linear footage of the seawall and cap as follows:

STRUCTURE TYPE	ORIGINAL APPROVAL	AMENDMENT
DOCK	1,315 square feet (includes 3.8' x 2.5' extension).	465 square feet
SEAWALL/CAP	271 linear feet	257 linear feet

The previously approved 120 square foot finger pier, and 16,000 pound capacity boat lift are to remain unchanged. The Applicant also proposes to backfill an 830 square foot area between the existing and new seawall. Pursuant to Section 14.1 of the Town Code, the following provisions pertaining to “land filling” apply:

*Any person desiring to add to or extend any lands, areas, including submerged lands, to remove sand, rock or earth from any submerged lands, to construct a finger canal, lagoon or yacht basin within the territorial limits of the town by any means, including, but not limited to, hydraulic dredging, pumping, dragline, dynamiting or shovel, shall first **make application to the town commission for permission to do so.** Such written application shall be accompanied by a plan or drawing showing the area to be filled and also showing the area from which any fill material is to be dredged or removed by other means. Specifications sufficient in detail as to clearly outline how the dredging or filling procedure will take place must also accompany the application.*

As noted above, a land fill request will be reviewed and considered by the Town Commission.

The Applicant has obtained both Florida Department of Environmental Protection (FDEP) and US Army Corps of Engineers (ACOE) approval for the above-referenced items. The corresponding file/permit numbers for each agency are provided in the table below. Note that the FDEP and ACOE approvals reference the proposed marginal dock at 476 square feet rather than 465 square feet as proposed on the Applicant’s request to the Town (see Applicant’s narrative table provided as part of the Application). The Applicant indicates that the area used for the FDEP and ACOE approvals was calculated using total length and width without regard to the dock corners (see “square footage note” on sheet 2 of 9 of Applicant plans).

FDEP (PERMIT NO.)	ACOE (FILE NO.)
50-196034-008-EM	SAJ-2007-01043 (NWP/GP-KMM)

Pursuant to Section 6-128(b) of the Town Code, all seawalls west of State Road A1A shall be at Base Flood Elevation (BFE) or higher as provided by the FEMA FIRM maps. The BFE for the property is currently at 6 feet. The Applicant's proposed seawall is 6.0 feet NAVD.

Section 30-67(b) of the Town Code indicates that docks, seawalls, and boat lifts in the Residential Multiple Family Low Density (RML) zoning district require special exception approval by the Planning Board. Section 30-36(a) of the Town code states that the Planning Board may approve, approve with conditions, or deny a request for special exception relating to seawalls, bulkheads, retaining walls and accessory marine facilities.

If the Planning Board approves the request, the Applicant will be required to obtain a building permit from the Town of Highland Beach Building Department following such approval and prior to initiation of construction. Pursuant to Section 30-21(g) of the Town Code, commencement of construction shall be initiated within two (2) years following the date of approval by the Planning Board.

Staff reviewed the Applicant's proposed request and finds that it is consistent with the special exception provisions of Section 30-36 of the Town Code, were applicable, and consistent with the Town Comprehensive Plan and Code of Ordinances. If the Planning Board should grant approval of the request, staff recommends the following condition of approval which is based on the Applicant's plan set, date stamped received by the Building Department on December 14, 2023:

1. Contingent upon Town Commission approval of a land fill permit pursuant to Chapter 14 of the Town Code of Ordinances.

Should you have any questions, please feel free to contact me at (561) 637-2012 or iallen@highlandbeach.us

**Attachments: Application
Aerials
FDEP approval
ACOE approval
HOA approval
Applicant Plans (11X17)**



TOWN OF HIGHLAND BEACH DEVELOPMENT APPROVAL APPLICATION

Application # _____

I request a hearing regarding the terms of the Zoning Ordinances of the Town of Highland Beach. This request relates to the property and zoning requirements set forth in this application.

PROPERTY INFORMATION ASSOCIATED WITH THIS APPLICATION	
Address: 4801 S Ocean Blvd, Highland Beach, FL 33487	PCN: 24-43-47-09-00-001-0100
Full Legal Description of the Property [as described in the deed] or reference to an attachment: 9-47-43, PT OF N 1/2 OF GOV LTS 1 & 2 & PT BET F/K/A LAGOON IN TRS DEEDS 20336, 20335 & 20334 AS IN OR3861P457 (LESS OR3763PGS1106 & 1108) K/A ENTRANCEWAY, SOUTH MARINA, BEACH CLUB PAR & RDWYS 1 2 & 4 & MARINA PARKING OR669P867	
Zoning District: RML	What is the location of the installation? <input type="checkbox"/> Intracoastal Waterway (ICW) <input checked="" type="checkbox"/> Interior Canal/Basin <input type="checkbox"/> N/A

PROPERTY OWNER (APPLICANT) INFORMATION		
Name: Boca Highland Center, Inc.	Phone: 561-391-2461	Fax: 561-416-2134
Mailing Address: 4801 S Ocean Blvd, Highland Beach, FL 33487		
Email Address: kande@bocahighland.com		

APPLICANT'S AGENT INFORMATION		
Name: David Nutter	Phone: 954-421-1700	Fax:
Company Name: B & M Marine Construction, Inc		
Mailing Address: 1211 S Military Trail #200, Deerfield Beach, FL 33442		
Email Address: permits@bm-marine.com		

Provide a detailed description of the project application (use additional pages if necessary):

- Repair seawall with new concrete panel & piling seawall in front of existing -
176' of new seawall to be placed 19" to 22" in front of existing (measured wetface to wetface)
- 81' of new seawall to be placed up to 29' in front of existing (measured wetface to wetface)
- Removal of 103' of existing seawall (after installation of new seawall)

- Replace mooring structures -
- Replace existing pier with new 30' x 4' wood pier in same location on new wood piles
- Existing lift and piles to be removed and reinstalled after new dock and pier are constructed
- Removal of six existing mooring piles

- Approx. 104' of existing 3' wide dock and piles removed during initial commencement of project (Approx. 312sf)
- Removal of 151' of existing 4' wide dock (636sf) and piles
- Reconstruction of 93' of new 5' wide dock (476sf) on new wood piles

I give permission to the members of the Town Commission, Planning Board and staff to inspect the property for the purpose of this application. I declare that all statements made herein are true, based upon the best available information. Willful false statements may jeopardize the validity of my application or any decision issued thereon. I have fully read the information outlining the application requirements. With this application, I am submitting the necessary supporting materials listed.

Applicant's Signature: Keith Newfield Date: 8/3/23
Applicant's Printed Name Keith Newfield

Received by the Town Clerk's Office:

Received By: _____ Date: _____

Date Public Notices Mailed: _____

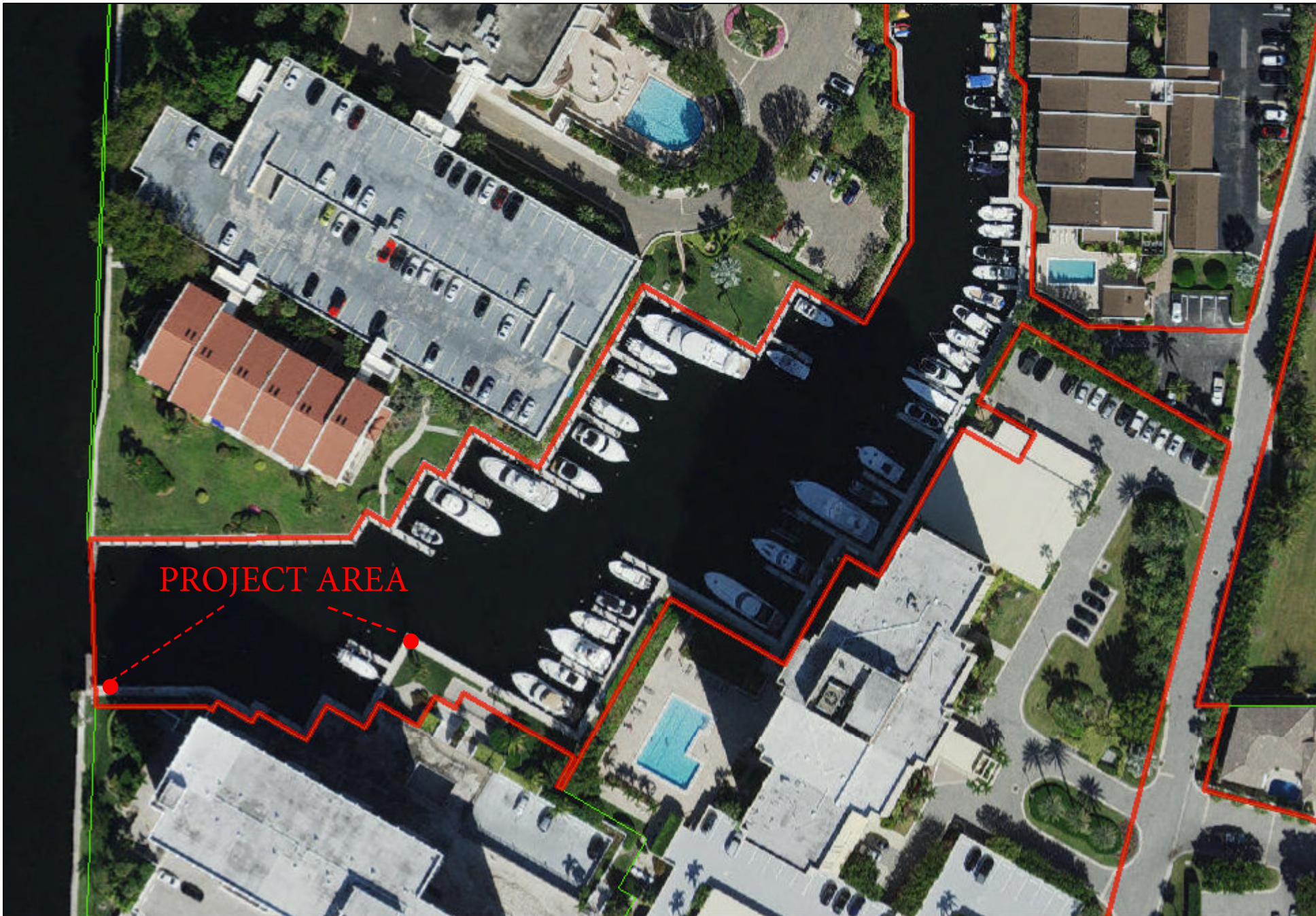
Date Legal Advertisement Published: _____

STRUCTURE	ORIGINALLY APPROVED	REQUESTED	CHANGE	REASON FOR CHANGE
EXISTING SEAWALL	275LF OF EXISTING SEAWALL TO REMAIN	172LF OF EXISTING SEAWALL TO REMAIN; 103LF OF EXISTING SEAWALL TO BE REMOVED	103LF	PORTION OF EXISTING SEAWALL TO BE REMOVED WHERE NEW SEAWALL WILL BE STRAIGHTENING THE CANAL
NEW SEAWALL	271LF OF NEW SEAWALL IN FRONT OF EXISTING	257LF OF NEW SEAWALL IN FRONT OF EXISTING	14LF	NEW SEAWALL WILL STRAIGHTEN THE CANAL REDUCING THE TOTAL LENGTH OF NEW WALL
EXISTING DOCK TO BE REMOVED	263LF OF EXISTING DOCK TO BE REMOVED	158LF OF EXISTING DOCK TO BE REMOVED; 104LF OF EXISTING DOCK REMOVED DURING INITIAL JOB COMMENCEMENT	104LF	PORTION OF EXISTING DOCK WAS REMOVED PRIOR TO THIS MODIFICATION REQUEST DURING THE INITIAL JOB COMMENCEMENT
NEW DOCK	262' x 5'	93' x 5'	169LF	NO NEW DOCK WILL BE INSTALLED ALONG THE BEGINNING OF THE NEW SEAWALL REDUCING THE LENGTH OF THE NEW DOCK
PIER	REMOVED & REBUILT AS 30' x 4'	REMOVED & REBUILT AS 30' x 4'	NONE	N/A
LIFT	TO BE REMOVED AND REINSTALLED	TO BE REMOVED AND REINSTALLED	NONE	N/A

NOTE REGARDING DOCK SQUARE FOOTAGE:

THE PLANS INDICATE A DOCK SQUARE FOOTAGE OF 476SF, HOWEVER THE ABOVE DOCK DIMENSIONS CALCULATE TO 465SF. THE DIFFERENCE IS DUE TO THE SHAPE OF THE DOCK THAT INCLUDES CORNERS.

A SIMPLE MULTIPLICATION OF THE TOTAL LENGTH AND WIDTH WILL NOT RESULT IN THE TOTAL AREA STATED, DUE TO THE CORNERS ALONG THE LENGTH OF THE DOCK. SIMPLE MULTIPLICATION OF THE LENGTH AND WIDTH WILL CAUSE SOME CORNERS TO BE DUPLICATED AND SOME CORNERS TO BE MISSED. THE TOTAL AREA WAS CALCULATED ELECTRONICALLY USING THE CAD PROGRAM THAT WAS USED TO DRAW THE PLANS.

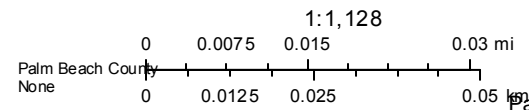


PROJECT AREA

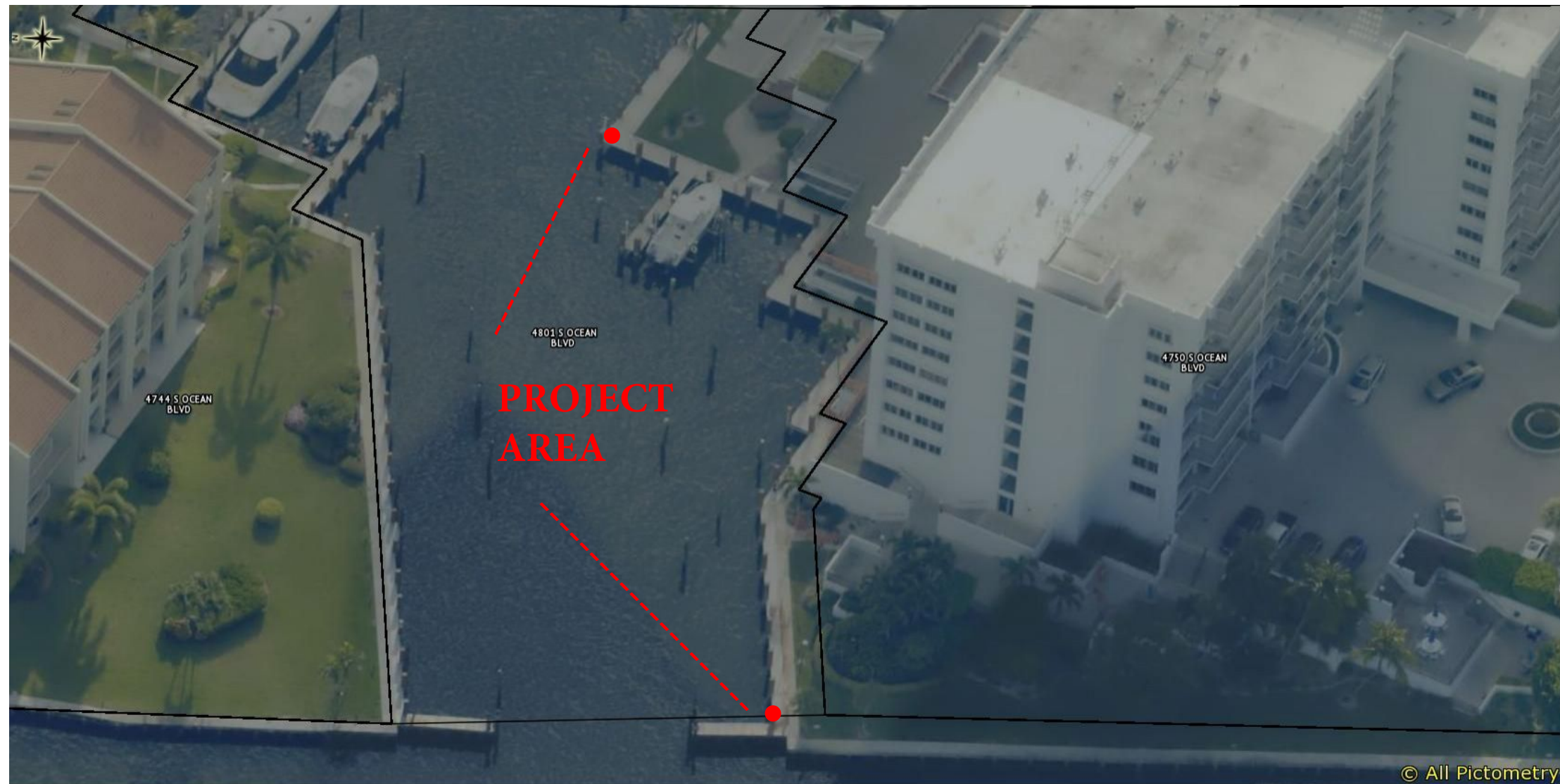


Created by: Palm Beach County

4801 South Ocean Boulevard



4801 South Ocean Boulevard



RE: DEP 50-196034-008-EM SAJ-2007-01043

From: Sattelberger, Danielle (danielle.sattelberger@floridadep.gov)

To: nutt3839@bellsouth.net

Date: Wednesday, November 8, 2023 at 08:13 AM EST

Dave,

The position of the lift will not impact the validity of DEP's permit.

For any future ERP related matters, please contact William Lange. He is the new ERP manager and can be reached at William.Lange@FloridaDEP.gov. I now oversee the State 404 Program.

Thank you,



Danielle C. Sattelberger

Environmental Administrator

Florida Department of Environmental Protection

Southeast District – West Palm Beach

3301 Gun Club Road, MSC 7210-1

West Palm Beach, FL 33406

Danielle.Sattelberger@FloridaDEP.gov

Office: (561) 681-6783



From: david nutter <nutt3839@bellsouth.net>

Sent: Monday, October 16, 2023 2:06 PM

To: Munoz, Gabriela <Gabriela.Munoz@FloridaDEP.gov>; Sattelberger, Danielle <Danielle.Sattelberger@FloridaDEP.gov>; Mallett Kaitlyn M CIV USARMY CESAJ (USA) <kaitlyn.m.mallett@usace.army.mil>

Cc: Kande bocahighland.com <kande@bocahighland.com>

Subject: Re: DEP 50-196034-008-EM SAJ-2007-01043

EXTERNAL MESSAGE

This email originated outside of DEP. Please use caution when opening attachments, clicking links, or responding to this email.

Danielle and Kaitlyn,

Once again I need to reach out to you due to a slight discrepancy between the building plans I submitted to the Town of Highland Beach and the plans Isiminger submitted the DEP and ACOE. This one concerns the position of the lift to be re-installed.

Please see pages 1, 2 and 9 of our plans, pages 10, 11 and 13 of the Corps authorization, and pages 14, 15 and 17 of the DEP authorization (all attached here).

Referring to the aerial view sheets, the Existing and Proposed Conditions -

- The Existing Conditions in all three (Page 1 in our plans, page 10 in the Corps and page 14 in the DEP) all show the existing lift at a slight rotation to the existing pier.
- The Proposed Conditions in the environmental authorizations (Page 11 in the Corps and page 15 in the DEP) continue to show the lift at this slight rotation to the rebuilt pier, but that is not how a lift would be installed.
- The Proposed Conditions in our plans (Page 2) show the lift rotated to be parallel with the pier, as this would be the proper and professional way to position the lift.
- The first lift pile, closest to the end of the pier will be in the same footprint as its existing position, with the lift and the remaining three piles rotated around that first pile, so the other inside pile is adjacent to the pier as well. This rotation shifts the piles approximately 11 to 16 inches.
 - 2nd lift pile (the 2nd one along the pier)- 11 inch shift
 - 3rd lift pile (the 1st outside pile) - 11.625 inch shift
 - 4th lift pile (the 2nd outside pile) - 16 inch shift - this shift is greater because it is the farthest one from the first pile

Referring to the cross sections -

- Page 13 in the Corps and page 17 in the DEP show the lift piles closer to the second and third pier piles and shows the lift piles 12 feet apart.
- Page 9 in our plans show the lift farther out along the pier and show the lift piles 11 feet, 6.75 inches apart.
- The cross section for the lift in our plans is based on the position of the first lift pile and the distance between the lift piles and shown in the Proposed Conditions.
- The position of the first lift pile from the end of the pier and the distance between the lift piles as shown in the our cross section is exactly matches that shown in all three of the Proposed Conditions pages.

The Town is requesting that the DEP and ACOE both respond as to whether the discrepancies described above are sufficient enough to invalidate your respective authorizations or are minor enough to be not be of a concern or to be handled with an as-built survey/plan/explanation at the close of the project.

Please let me know what your responses are. And feel free to call or contact me if you need any additional information.

David Nutter

B & M Marine Construction

nutt3839@bellsouth.net

On Tuesday, October 10, 2023 at 06:16:01 PM EDT, Sattelberger, Danielle <danielle.sattelberger@floridadep.gov> wrote:

Hi David,

The elevation of the grade landward of the cap will not impact the validity of DEP's permit.

Thank you,



Danielle C. Sattelberger

Environmental Administrator

Florida Department of Environmental Protection

Southeast District – West Palm Beach

3301 Gun Club Road, MSC 7210-1

West Palm Beach, FL 33406

Danielle.Sattelberger@FloridaDEP.gov

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From: david nutter <nutt3839@bellsouth.net>

Sent: Tuesday, October 10, 2023 5:25 PM

To: Munoz, Gabriela <Gabriela.Munoz@FloridaDEP.gov>; Sattelberger, Danielle <Danielle.Sattelberger@FloridaDEP.gov>; Kaitlyn Mallett <kaitlyn.mallett@floridadep.gov>

Cc: Kande bocahighland.com <kande@bocahighland.com>

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Kaitlyn, Gabriela, and Danielle,

Please see the attached comments from the Town of Highland Beach regarding the seawall and dock at Boca Highlands. Also attached are the DEP and ACOE modifications and the latest signed plans.

Please see Comment #5 regarding the grade behind the new cap and respond at to whether the elevation of the grade landward of the cap will impact the validity of your authorizations for the seawall and dock work.

Feel free to call me on my cell (954-868-8476) if you have any questions or concerns.

David Nutter

B & M Marine Construction

nutt3839@bellsouth.net



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David Nutter

B & M Marine Construction

nutt3839@bellsouth.net





FLORIDA DEPARTMENT OF Environmental Protection

Southeast District Office
3301 Gun Club Road, MSC 7210-1
West Palm Beach, FL 33406
561-681-6600

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Shawn Hamilton
Secretary

Project Name: Boca Highland Dock and Seawall

Permittee/Authorized Entity:

Boca Highland Beach Club
c/o Douglas Hillman
4801 South Ocean Blvd
Highland Beach, FL 33487
Email: kande@bocahighland.com

Authorized Agent:

Isiminger & Stubbs Engineering, Inc.
c/o Matt Butler
Email: mbutler@coastal-engineers.com

Environmental Resource Permit - Granted

State-owned Submerged Lands Authorization – Not Applicable

**U.S. Army Corps of Engineers / Section 404 Authorization – Separate Authorization
Required**

Permit No.: 50-196034-008-EM

Modification of Permit No.: 50-196034-007-EI

Permit Issuance Date: March 6, 2023

Permit Construction Phase Expiration Date: March 6, 2028

Environmental Resource Permit

Permit No.: 50-196034-008-EM

PROJECT LOCATION

The activities authorized by this Permit are located within a canal located off the Intracoastal Waterway, Class III Waters, adjacent to 4801 South Ocean Boulevard, Highland Beach (Section 09, Township 47 South, Range 43 East), in Palm Beach County (Latitude N 26°23'28.0634", Longitude W -80°3'59.6422").

PROJECT DESCRIPTION

This permit authorizes the following activities: removal of an existing finger pier, mooring pile, 636 sq. ft. portion of existing marginal dock, and a 103 ln. ft. portion of existing seawall; installation of a 4 ft. by 30 ft. (120 sq. ft.) finger pier, a 476 sq. ft. marginal dock, and a new boatlift; installation of a new 257 ln. ft. seawall, a new seawall cap and backfill approximately 310 cubic yards to level land.

This permit authorizes 1,426 ft² of work in surface waters. Submerged resources are not located within the project boundaries; therefore, there will be no adverse impacts to these resources. Mitigation is not required.

The attached standard manatee conditions (version 2011) shall be adhered to during all in-water work. Prior to construction commencement, weighted floating turbidity curtains, extending to within one-foot from the submerged bottom shall be utilized around the project area to ensure that any turbidity resulting from construction activities will be contained within the project boundaries. All water bodies, including any adjacent submerged aquatic vegetation outside the specific limits of construction authorized by this permit shall be protected from erosion, siltation, sedimentation, and/or scouring.

AUTHORIZATIONS

Environmental Resource Permit

The Department has determined that the activity qualifies for an Environmental Resource Permit. Therefore, the Environmental Resource Permit is hereby granted, pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Chapter 62-330, Florida Administrative Code (F.A.C.).

Sovereignty Submerged Lands Authorization

As staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees), the Department has determined the activity is not subject to the requirements of Chapter 253, F.S., or Rule 18-21, F.A.C.

Federal Authorization

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at:

<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification

This permit also constitutes a water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

Other Authorizations

You are advised that authorizations or permits for this activity may be required by other federal, state, regional, or local entities including but not limited to local governments or municipalities. This permit does not relieve you from the requirements to obtain all other required permits or authorizations.

The activity described may be conducted only in accordance with the terms, conditions and attachments contained in this document. Issuance and granting of the permit and authorizations herein do not infer, nor guarantee, nor imply that future permits, authorizations, or modifications will be granted by the Department.

PERMIT

The activities described must be conducted in accordance with:

- **The Specific Conditions**
- **The General Conditions**
- **The limits, conditions and locations of work shown in the attached drawings**
- **The term limits of this authorization**

You are advised to read and understand these conditions and drawings prior to beginning the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings herein. If you are using a contractor, the contractor also should read and understand these conditions and drawings prior to beginning any activity. Failure to comply with these conditions, including any mitigation requirements, shall be grounds for the Department to revoke the permit and authorization and to take appropriate enforcement action.

Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and this permit authorization, as described.

SPECIFIC CONDITIONS- PROJECT FORMS & ATTACHMENTS

(1) The attached project drawings (sheets 1 through 5); the Standard Manatee Conditions for In-Water Work, 2011; <http://www.fleppc.org/list/2015FLEPPCLIST-LARGEFORMAT-FINAL.pdf>; and DEP forms, 62-330.310(1); 62-330.310(2); 62-330.340(1); and 62-330.350(1), which may be downloaded at <http://www.dep.state.fl.us/water/wetlands/erp/forms.htm> become part of this permit.

Project Name: Boca Highland Dock and Seawall

Permit No.: 50-196034-008-EM

Page 3 of 12

If the permittee does not have access to the Internet, please contact the Department at (561) 681-6600 to request the aforementioned forms and/or document(s).

(2) If the attached permit drawings conflict with the specific conditions, then the specific conditions shall prevail.

SPECIFIC CONDITIONS - PRIOR TO CONSTRUCTION

(3) After selection of the contractor to perform the authorized activities and prior to the initiation of any work authorized by this permit, the permittee (or authorized agent) and the contractor shall attend a pre-construction conference with a representative of the Department. It shall be the responsibility of the permittee to contact the Department's Compliance Assistance Program, by email SED_Compliance@FloridaDEP.gov, or by phone (561) 681-6600, to schedule the pre-construction conference.

(4) The permittee shall ensure that the permit conditions are explained to all construction personnel working on the project and for providing each contractor and subcontractor with a copy of this permit before the authorized work begins.

(5) Prior to the initiation of any work authorized by this permit, floating turbidity curtains with weighted skirts that extend to within one foot of the bottom shall be placed around the project site, and shall be maintained and remain in place for the duration of the project construction to ensure that turbid discharges do not occur outside the boundaries of the floating turbidity screens. The permittee shall be responsible for ensuring that turbidity control devices are inspected daily and maintained in good working order during all phases of construction authorized by this permit until all areas that were disturbed during construction are sufficiently stabilized to prevent turbid discharges.

SPECIFIC CONDITIONS – CONSTRUCTION ACTIVITIES

(6) There shall be no storage or stockpiling of tools and materials (i.e., lumber, pilings, debris), along the shoreline adjacent to waters of the state. All excess lumber, scrap wood, trash, garbage, and any other type of debris shall be removed from wetlands/waters of the state within 14 days of completion of the work authorized in this permit. All construction equipment/tools and materials shall be transported to and from the site via upland roadways and barges and all equipment/tools and materials shall be stored on the uplands.

(7) All watercraft associated with the construction of the permitted structure shall operate within waters of sufficient depth to preclude bottom scouring, prop dredging or damage to submerged bottom or submerged resources. During all construction activities, there shall be a minimum of 1-foot clearance between the draft of the construction vessel/barge and the submerged bottom.

(8) The surrounding waterbody and marine resources located outside of the specific limits of construction, authorized by this permit, shall be protected from siltation, sedimentation, and/or scouring. Best management practices for turbidity and erosion control shall be implemented and maintained at all times during to prevent siltation and turbid discharges into the surface waters surrounding the project site.

(9) All wooden pilings used in construction of the dock shall be wrapped with an impervious membrane one-foot above the mean high-water line to one-foot below the substrate.

(10) No dredging or filling of submerged grass beds or live bottom communities are authorized by this permit.

SPECIFIC CONDITIONS – MONITORING/REPORTING REQUIREMENTS

(11) Turbidity levels outside the construction area shall not exceed 29 NTU's above background levels. The following measures shall be taken immediately by the permittee whenever turbidity levels within waters of the State surrounding the project site exceed 29 NTUs above background:

- a. Notify the Department at (561) 681-6600 at the time the violation is first detected.
- b. Immediately cease all work contributing to the water quality violation.
- c. Stabilize all exposed soils contributing to the violation. Modify the work procedures that were responsible for the violation, install more turbidity containment devices, and repair any non-functional turbidity containment devices.
- d. As required, perform turbidity monitoring per Specific Conditions.
- e. Resume construction activities once turbidity levels outside turbidity curtains fall below 29 NTUs.

(12) Turbidity Monitoring: Water turbidity levels shall be monitored if a turbidity plume is observed outside the limits of the required turbidity control devices. Samples shall be taken every four hours until turbidity subsides at one foot above the bottom, mid-depth, and one-foot below the surface at monitoring stations located as follows:

- a. Approximately 100 feet up-current of the work sites and clearly outside the influence of construction activities. (This shall serve as the natural background sample against which other turbidity readings shall be compared.)
- b. Directly outside the turbidity curtains surrounding the work sites and within the densest portion of any visible turbidity plume. (This sample shall serve as the compliance sample.)

(13) Turbidity Monitoring Reports: During the construction activities, the permittee or permittee's contractor shall collect the following turbidity monitoring data at the frequency and water depths directed by the Specific Condition above:

- a. Date and time of sampling event
- b. Turbidity sampling results (background NTUs, compliance NTUs, and the difference between them)
- c. Description of data collection methods
- d. An aerial map indicating the sampling locations
- e. Depth of sample(s)
- f. Weather conditions at times of sampling
- g. Tidal stage and direction of flow

Data shall be collected in a turbidity log and shall include a statement by the individual responsible for implementation of the sampling program attesting to the authenticity, precision, limits of detection, and accuracy of the data. The turbidity log shall be scanned and sent on a weekly basis to the Department's ERP Compliance Assurance Program via email at SED_Compliance@FloridaDEP.gov. The subject line of the email shall include the project name, permit number, and the title "Turbidity Monitoring Reports."

SPECIFIC CONDITIONS – OPERATIONS

- (14) Vessels utilizing this structure shall maintain a minimum of one-foot clearance between the deepest draft of the vessel with the engine in the down position and the submerged bottom so as to preclude bottom scouring or prop dredging.

SPECIFIC CONDITIONS – MANATEE CONDITIONS

- (15) The permittee shall comply with the standard manatee protection construction conditions listed in the attached "2011 Standard Manatee Conditions for In-Water Work".
- (16) While performing backfilling, it is important to ensure that manatees or sea turtles do not become entrapped during sheet pile installation or gain access after the sheet pile has been installed and before filling work has been completed. If a manatee or sea turtle becomes entrapped, the area shall be opened to allow the manatee or turtle to leave of its own volition. It shall not be herded or harassed into leaving the area.
- (17) The Permittee shall install permanent manatee educational signs, which shall be maintained for the life of the facility, no later than 60 days after construction commencement. The number and types of signs, as well as the on-site locations shall be approved by FWC staff prior to installation. A proposal for FWC sign approval shall be submitted to ImperiledSpecies@MyFWC.com in accordance with information provided at <http://www.myfwc.com/wildlifehabitats/managed/manatee/education-for-marinas/>. Signs shall be replaced in accordance with FWC guidance by the Permittee if outdated, damaged or faded.

SPECIFIC CONDITIONS – LISTED SPECIES

- (18) This permit does not authorize the permittee to cause any adverse impact to or "take" of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or applicant associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of "take" and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a "take" permit cannot be issued. Requests for further information or review can be sent to FWCConservationPlanningServices@MyFWC.com.

GENERAL CONDITIONS FOR INDIVIDUAL PERMITS

The following general conditions are binding on all individual permits issued under chapter 62-330, F.A.C., except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate project-specific conditions.

(1) All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.

(2) A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.

(3) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.

(4) At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," [October 1, 2013], which is incorporated by reference in paragraph 62-330.350(1)(d), F.A.C., indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.

(5) Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.

(6) Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:

- a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex – "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
- b. For all other activities – "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
- c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.

- (7) If the final operation and maintenance entity is a third party:
- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as- built certification, the permittee shall submit “Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity” [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.

(8) The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

- (9) This permit does not:
- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.

(10) Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.

(11) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.

- (12) The permittee shall notify the Agency in writing:
- a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

(13) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.

(14) If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.

(15) Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.

(16) The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

(17) This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

(18) A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Norva Blandin, MSEM
Permitting Program Administrator
Southeast District

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this permit and all copies were sent on the filing date below to the following listed persons:

FDEP – Norva Blandin MSEM, Jeffrey Meyer, Gabriela Munoz, Abigail Davis
Matt Mitchell, Palm Beach County, Environmental Resources, mmitchell@pbcgov.org
Ashley La Vere, FFWCC, Ashley.LaVere@myfwc.com

FILING AND ACKNOWLEDGMENT

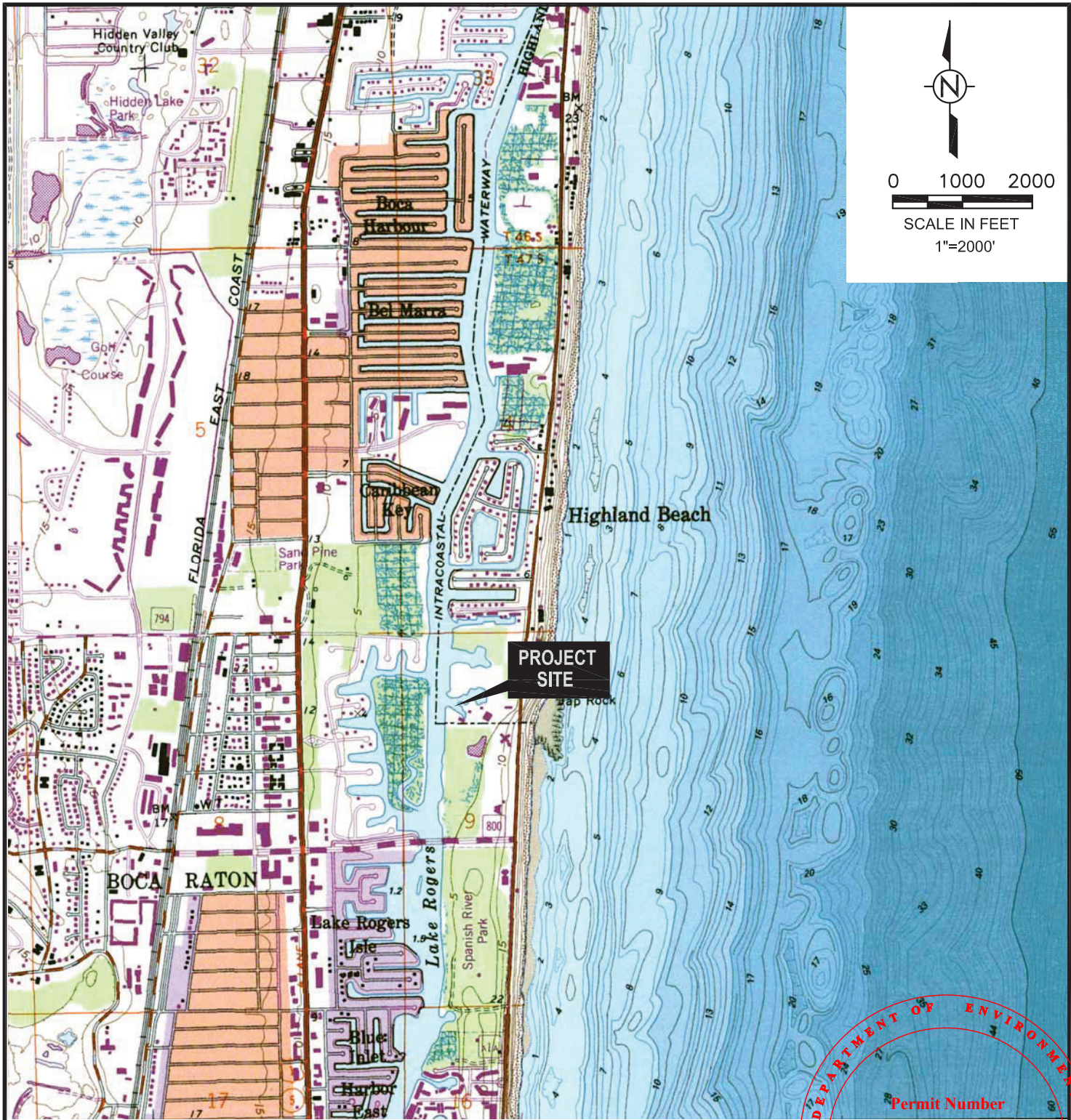
FILED, on this date, pursuant to Section 120.52, F. S., with the designated Department Clerk, receipt of which is hereby acknowledged.

Mandakini Patel March 6, 2023
Clerk Date

Attachments:

- Project Drawings and Design Specs., 5 pages
- Standard Manatee Conditions for In-Water Work, 2011
- Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit Form 62-330.310(3)*
- As-built Certification and Request for Conversion to Operational Phase Form 62-330.310(1)*
- Request for Transfer to the Perpetual Operation Entity Form 62-330.310(2)*
- Request to Transfer Permit Form 62-330.340(1)*
- Commencement Notice Form 62-330.350(1)*

*Can be downloaded at: <https://floridadep.gov/water/submerged-lands-environmental-resources-coordination/content/forms-environmental-resource>



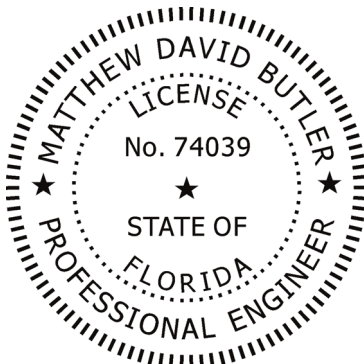
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SEC: 09 TWP: 47S RGE: 43E

LAT: 26° 23' 30" N

LONG: 080° 04' 11" W

This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 1/24/2023 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.



VICINITY MAP 50-196034-008-EM



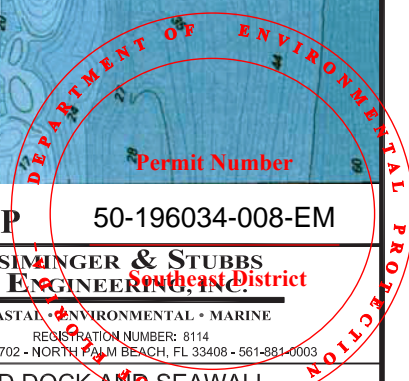
ISMINGER & STUBBS ENGINEERING, INC.

COASTAL • ENVIRONMENTAL • MARINE
 REGISTRATION NUMBER: 8114
 P.O. BOX 14702 • NORTH PALM BEACH, FL 33408 • 561-881-0003

**PROPOSED DOCK AND SEAWALL
 MAN-MADE BASIN**

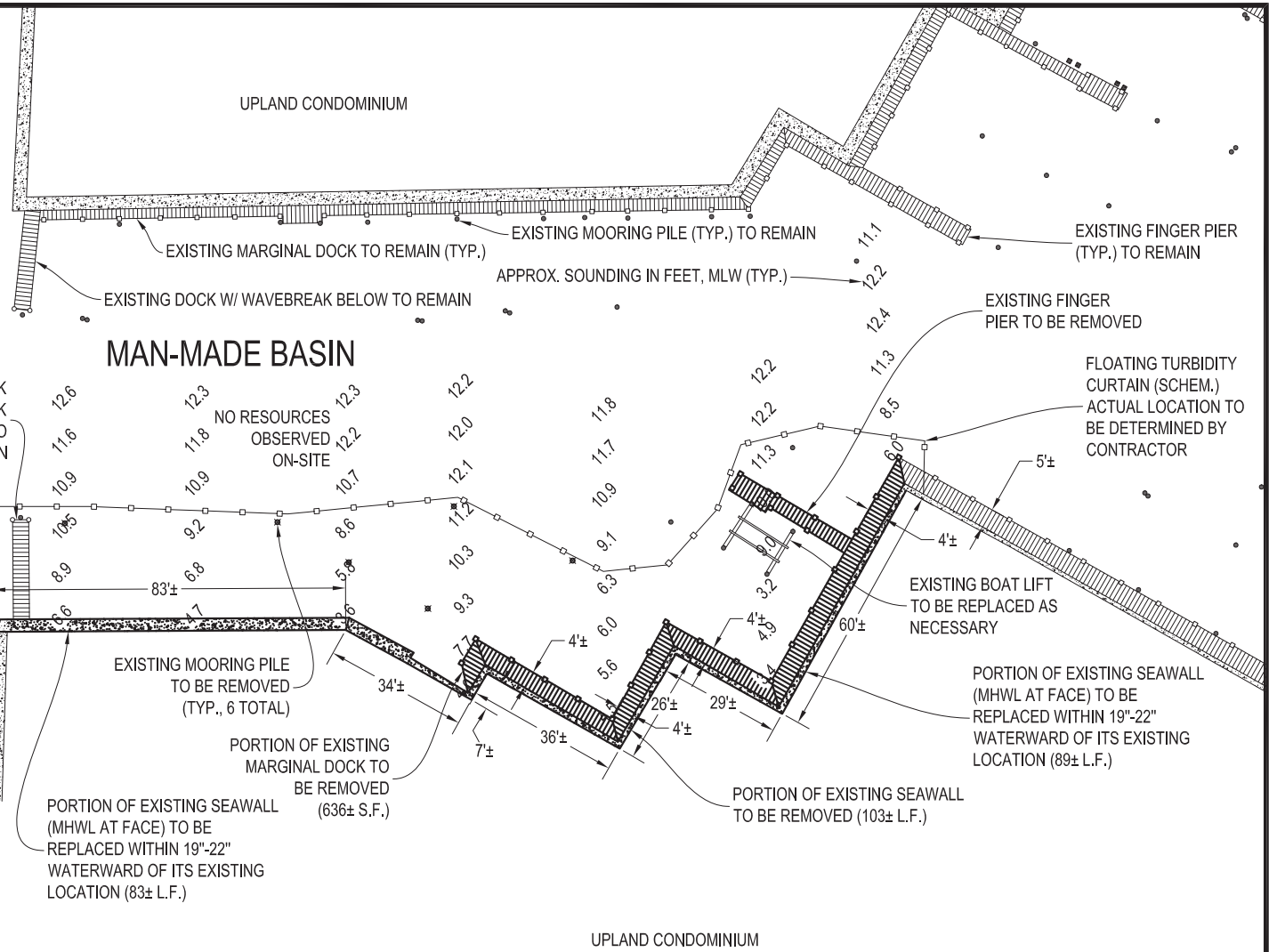
4801 SOUTH OCEAN BOULEVARD
 TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL
 APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA

DATE	12/22	DRAWN	MDB	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A1					SHEET	1
COMPUTER FILE NO.	22133A					OF	





0 20 40
SCALE IN FEET
1"=40'



INTRACOASTAL WATERWAY

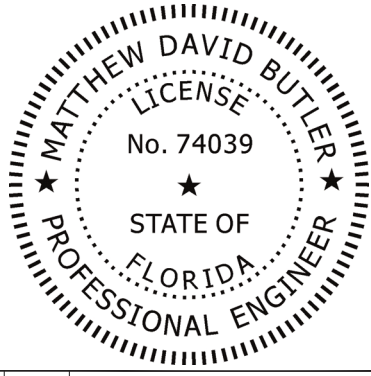
EAST EDGE OF ICW CHANNEL

EBB

FLOOD

- NOTES:
1. DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
 2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
 3. SOUNDINGS AND RESOURCE INFORMATION BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 8/5/22. SOUNDINGS REDUCED TO MLW BASED ON PREDICTED TIDES ONLY.

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EXISTING PLAN VIEW

ISIMINGER & STUBBS ENGINEERING, INC.
COASTAL • ENVIRONMENTAL • MARINE
REGISTRATION NUMBER: 8114
P.O. BOX 14702 • NORTH PALM BEACH, FL 33408 • 561-881-0003

**PROPOSED DOCK AND SEAWALL
MAN-MADE BASIN**
4801 SOUTH OCEAN BOULEVARD
TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL
APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA

DATE	12/22	DRAWN	TCR	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A2					SHEET	2
COMPUTER FILE NO.	22133Ar1					OF	

REV	1	1/23	ADDED TURBIDITY CURTAIN
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**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**



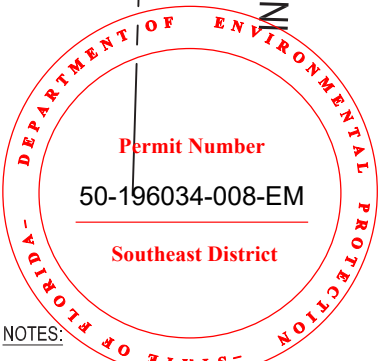
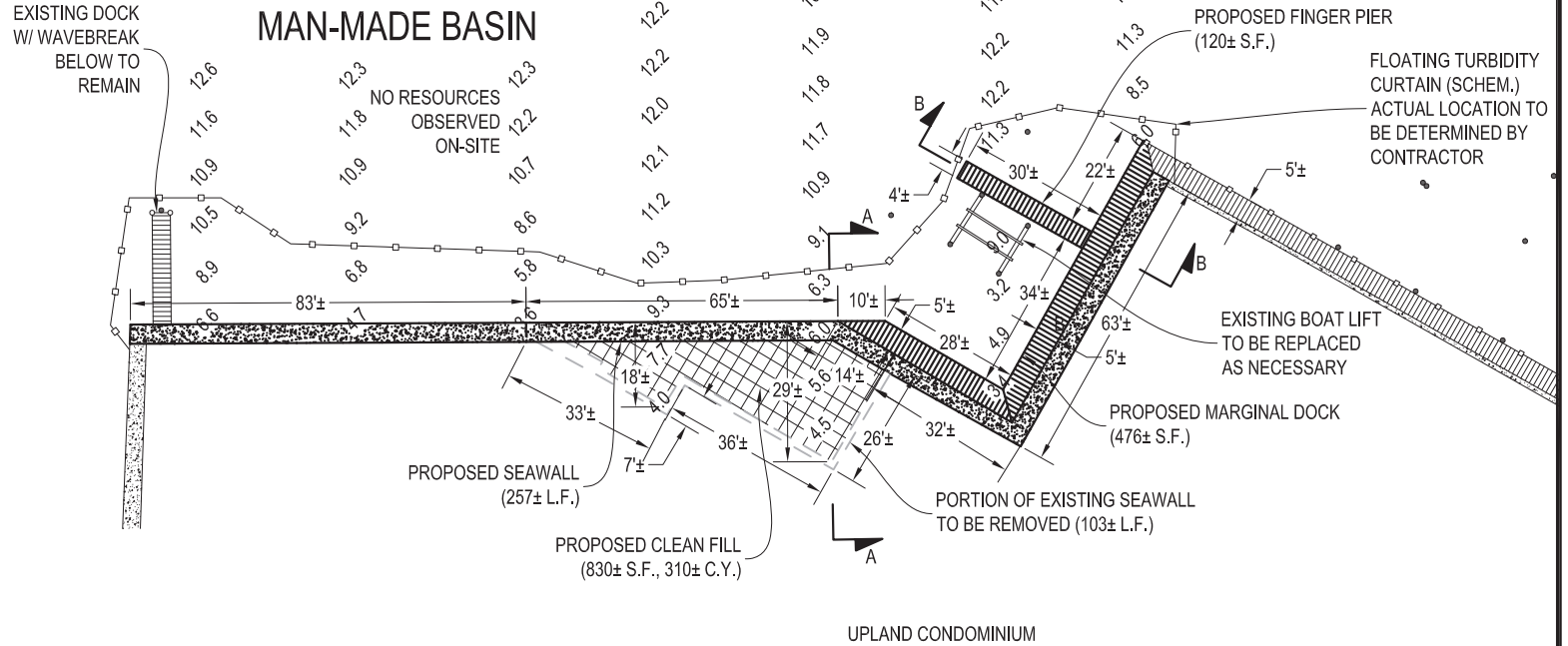
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SCALE IN FEET
1"=40'

EAST EDGE OF ICW CHANNEL

INTRACOASTAL WATERWAY



UPLAND CONDOMINIUM

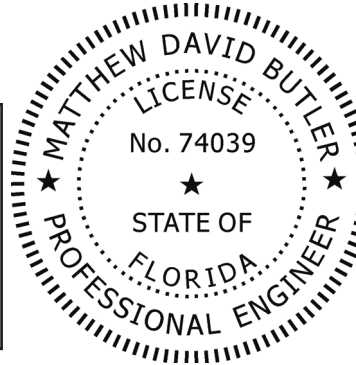


NOTES:

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- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
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SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

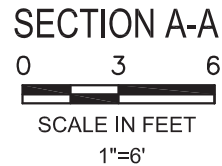
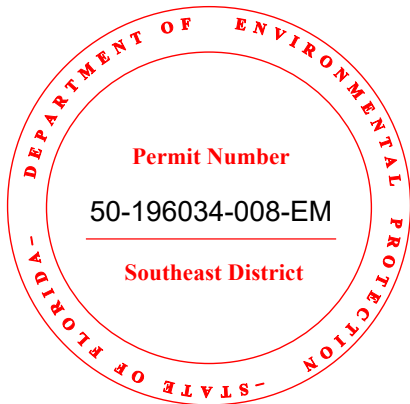
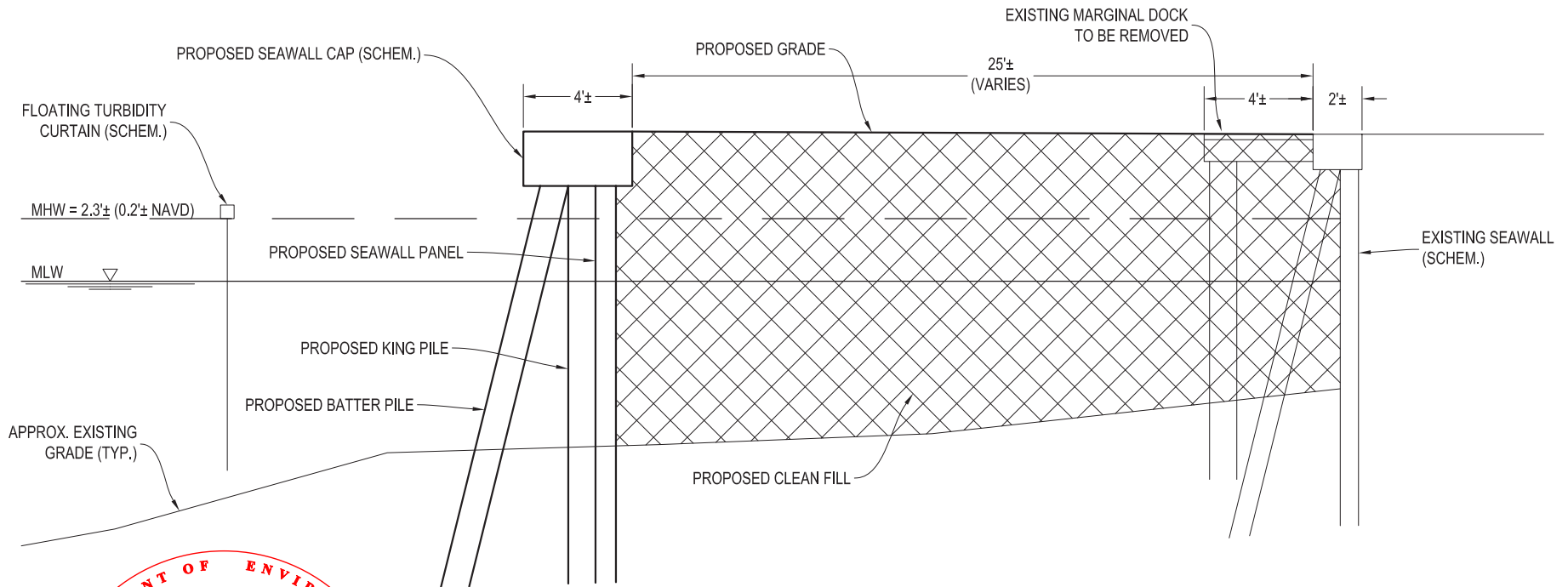
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PROPOSED PLAN VIEW

ISIMINGER & STUBBS ENGINEERING, INC.							
<small>COASTAL • ENVIRONMENTAL • MARINE REGISTRATION NUMBER: 8114 P.O. BOX 14702 • NORTH PALM BEACH, FL 33408 • 561-881-0003</small>							
PROPOSED DOCK AND SEAWALL MAN-MADE BASIN							
4801 SOUTH OCEAN BOULEVARD TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA							
DATE	12/22	DRAWN	TCR	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A3					SHEET	3
COMPUTER FILE NO.	22133Ar1					OF	

REV	1	1/23	ADDED TURBIDITY CURTAIN
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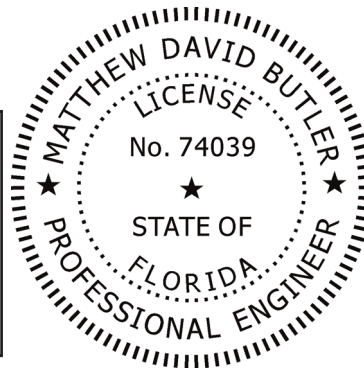


NOTES:

- DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
- SOUNDINGS BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 8/5/22. SOUNDINGS REDUCED TO MLW BASED ON PREDICTED TIDES ONLY.

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

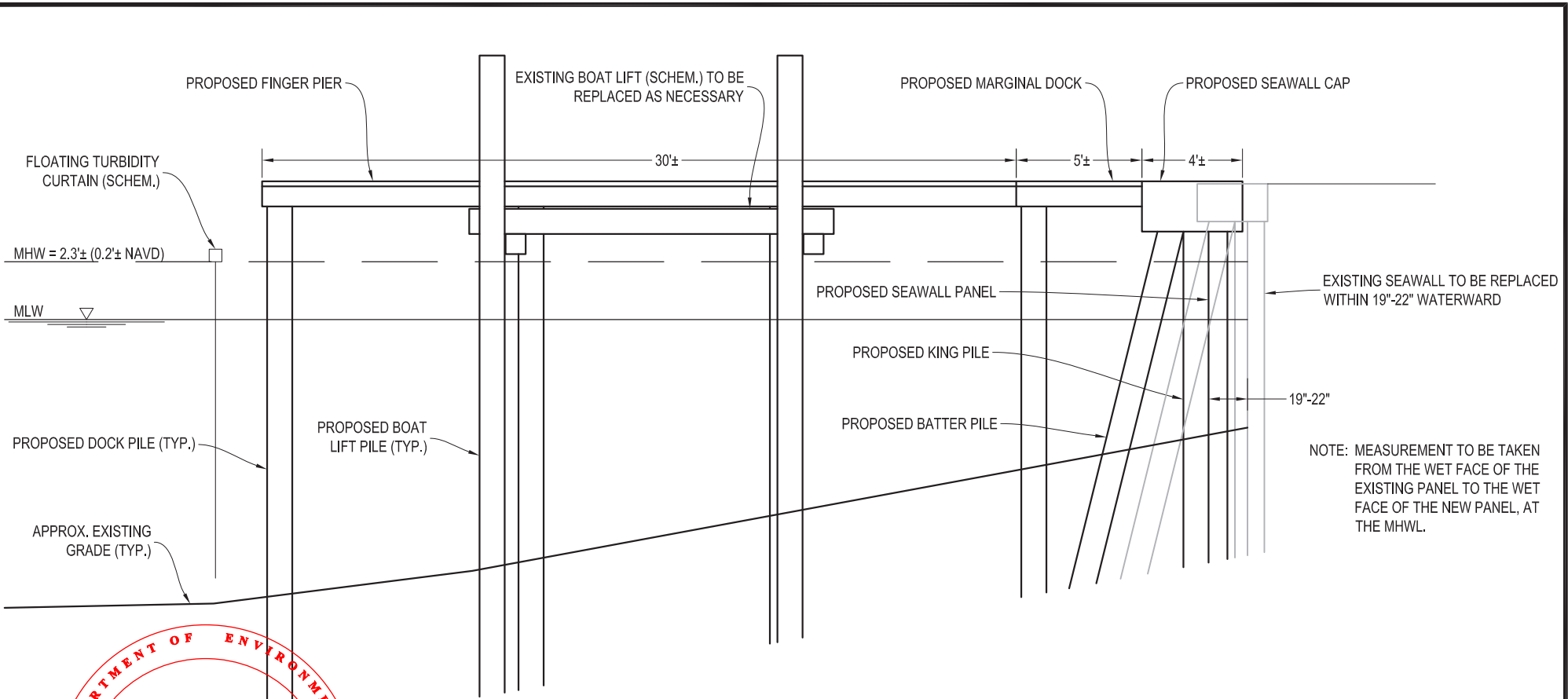
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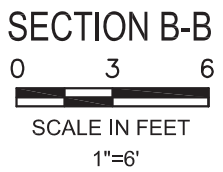
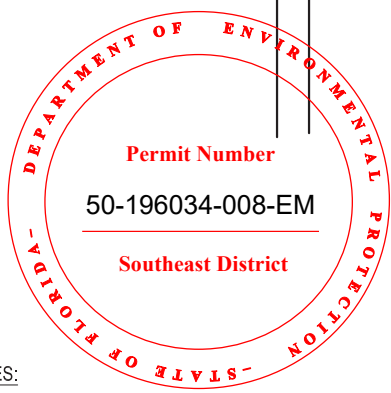
SECTION VIEW

 ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE REGISTRATION NUMBER: 8114 P.O. BOX 14702 • NORTH PALM BEACH, FL 33408 • 561-881-0003							
PROPOSED DOCK AND SEAWALL MAN-MADE BASIN 4801 SOUTH OCEAN BOULEVARD TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA							
DATE	12/22	DRAWN	MDB	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A4					SHEET	OF
COMPUTER FILE NO.	22133Ar1					Page	94

REV	1	1/23	ADDED TURBIDITY CURTAIN
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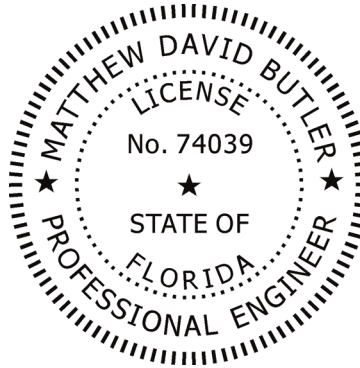
NOTE: MEASUREMENT TO BE TAKEN FROM THE WET FACE OF THE EXISTING PANEL TO THE WET FACE OF THE NEW PANEL, AT THE MHWL.



NOTES:

- DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
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SECTION VIEW

 ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE REGISTRATION NUMBER: 8114 P.O. BOX 14702 • NORTH PALM BEACH, FL 33408 • 561-881-0003							
PROPOSED DOCK AND SEAWALL MAN-MADE BASIN 4801 SOUTH OCEAN BOULEVARD TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA							
DATE	12/22	DRAWN	MDB	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A5					SHEET	5
COMPUTER FILE NO.	22133Ar1					OF 5	

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

REV	1	1/23	ADDED TURBIDITY CURTAIN
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STANDARD MANATEE CONDITIONS FOR IN-WATER WORK
2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the FWC Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com/manatee). One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

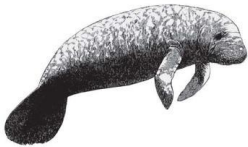
All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC

RE: [Non-DoD Source] Re: DEP 50-196034-008-EM SAJ-2007-01043

From: Mallett, Kaitlyn M CIV USARMY CESAJ (USA) (kaitlyn.m.mallett@usace.army.mil)

To: nutt3839@bellsouth.net; gabriela.munoz@floridadep.gov; Danielle.Sattelberger@FloridaDEP.gov

Cc: kande@bocahighland.com

Date: Thursday, October 19, 2023 at 08:04 AM EDT

David,

The slight shift for the piles can be shown in the self-cert survey at the close of the project. The shift does not invalidate the USACE Corps authorization. Please let me know if there is anything else I can help you with. Thank you again



Kaitlyn Mallett

Biologist, Regulatory Division
Palm Beach Gardens Section
Kaitlyn.M.Mallett@usace.army.mil
Phone: 561-545-4885
4400 PGA Blvd., Suite 500
Palm Beach Gardens, FL 33410

From: david nutter <nutt3839@bellsouth.net>
Sent: Monday, October 16, 2023 2:06 PM
To: Munoz, Gabriela <gabriela.munoz@floridadep.gov>; Sattelberger, Danielle <Danielle.Sattelberger@FloridaDEP.gov>; Mallett, Kaitlyn M CIV USARMY CESAJ (USA) <Kaitlyn.M.Mallett@usace.army.mil>
Cc: Kande bocahighland.com <kande@bocahighland.com>
Subject: [Non-DoD Source] Re: DEP 50-196034-008-EM SAJ-2007-01043

Danielle and Kaitlyn,

Once again I need to reach out to you due to a slight discrepancy between the building plans I submitted to the Town of Highland Beach and the plans Isiminger submitted the DEP and ACOE. This one concerns the position of the lift to be re-installed.

Please see pages 1, 2 and 9 of our plans, pages 10, 11 and 13 of the Corps authorization, and pages 14, 15 and 17 of the DEP authorization (all attached here).

Referring to the aerial view sheets, the Existing and Proposed Conditions -

- The Existing Conditions in all three (Page 1 in our plans, page 10 in the Corps and page 14 in the DEP) all show the existing lift at a slight rotation to the existing pier.

- The Proposed Conditions in the environmental authorizations (Page 11 in the Corps and page 15 in the DEP) continue to show the lift at this slight rotation to the rebuilt pier, but that is not how a lift would be installed.
- The Proposed Conditions in our plans (Page2) show the lift rotated to be parallel with the pier, as this would be the proper and professional way to position the lift.
- The first lift pile, closest to the end of the pier will be in the same footprint as its existing position, with the lift and the remaining three piles rotated around that first pile, so the other inside pile is adjacent to the pier as well. This rotation shifts the piles approximately 11 to 16 inches.
 - 2nd lift pile (the 2nd one along the pier)- 11 inch shift
 - 3rd lift pile (the 1st outside pile) - 11.625 inch shift
 - 4th lift pile (the 2nd outside pile) - 16 inch shift - this shift is greater because it is the farthest one from the first pile

Referring to the cross sections -

- Page 13 in the Corps and page 17 in the DEP show the lift piles closer to the second and third pier piles and shows the lift piles 12 feet apart.
- Page 9 in our plans show the lift farther out along the pier and show the lift piles 11 feet, 6.75 inches apart.
- The cross section for the lift in our plans is based on the position of the first lift pile and the distance between the lift piles and shown in the Proposed Conditions.
- The position of the first lift pile from the end of the pier and the distance between the lift piles as shown in the our cross section is exactly matches that shown in all three of the Proposed Conditions pages.

The Town is requesting that the DEP and ACOE both respond as to whether the discrepancies described above are sufficient enough to invalidate your respective authorizations or are minor enough to be not be of a concern or to be handled with an as-built survey/plan/explanation at the close of the project.

Please let me know what your responses are. And feel free to call or contact me if you need any additional information.

David Nutter

B & M Marine Construction

nutt3839@bellsouth.net

On Tuesday, October 10, 2023 at 06:16:01 PM EDT, Sattelberger, Danielle <danielle.sattelberger@floridadep.gov> wrote:

Hi David,

The elevation of the grade landward of the cap will not impact the validity of DEP's permit.

Thank you,



Danielle C. Sattelberger

Environmental Administrator

Florida Department of Environmental Protection

Southeast District – West Palm Beach

3301 Gun Club Road, MSC 7210-1

West Palm Beach, FL 33406

Danielle.Sattelberger@FloridaDEP.gov

Office: (561) 681-6783



From: david nutter <nutt3839@bellsouth.net>
Sent: Tuesday, October 10, 2023 5:25 PM
To: Munoz, Gabriela <Gabriela.Munoz@FloridaDEP.gov>; Sattelberger, Danielle <Danielle.Sattelberger@FloridaDEP.gov>; Kaitlyn Mallett <kaitlyn.mallett@floridadep.gov>
Cc: Kande bocahighland.com <kande@bocahighland.com>
Subject: DEP 50-196034-008-EM SAJ-2007-01043

EXTERNAL MESSAGE

This email originated outside of DEP. Please use caution when opening attachments, clicking links, or responding to this email.

Kaitlyn, Gabriela, and Danielle,

Please see the attached comments from the Town of Highland Beach regarding the seawall and dock at Boca Highlands. Also attached are the DEP and ACOE modifications and the latest signed plans.

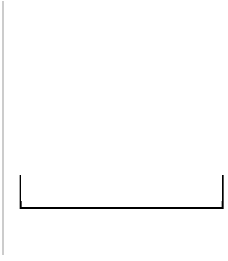
Please see Comment #5 regarding the grade behind the new cap and respond at to whether the elevation of the grade landward of the cap will impact the validity of your authorizations for the seawall and dock work.

Feel free to call me on my cell (954-868-8476) if you have any questions or concerns.

David Nutter

B & M Marine Construction

nutt3839@bellsouth.net



RE: [Non-DoD Source] Fw: DEP 50-196034-008-EM SAJ-2007-01043

From: Mallett, Kaitlyn M CIV USARMY CESAJ (USA) (kaitlyn.m.mallett@usace.army.mil)

To: nutt3839@bellsouth.net

Date: Wednesday, October 11, 2023 at 08:15 AM EDT

David,

If you are asking if changing the graded fill landward of the seawall is still valid with the Corps permit, the answer is yes. However if you are asking something else I believe I may be misunderstanding. Please let me know if I missed the question. Thank you



**US Army Corps
of Engineers**
Jacksonville District

Kaitlyn Mallett

Biologist, Regulatory Division
Palm Beach Gardens Section
Kaitlyn.M.Mallett@usace.army.mil
Phone: 561-545-4885
4400 PGA Blvd., Suite 500
Palm Beach Gardens, FL 33410

From: david nutter <nutt3839@bellsouth.net>
Sent: Tuesday, October 10, 2023 5:55 PM
To: Mallett, Kaitlyn M CIV USARMY CESAJ (USA) <Kaitlyn.M.Mallett@usace.army.mil>
Subject: [Non-DoD Source] Fw: DEP 50-196034-008-EM SAJ-2007-01043

David Nutter

B & M Marine Construction

nutt3839@bellsouth.net

----- Forwarded Message -----

From: david nutter <nutt3839@bellsouth.net>

To: Gabriela Munoz <gabriela.munoz@floridadep.gov>; Danielle Sattelberger <danielle.sattelberger@floridadep.gov>; Kaitlyn Mallett <kaitlyn.mallett@floridadep.gov>

Cc: Kande bocahighland.com <kande@bocahighland.com>

Sent: Tuesday, October 10, 2023 at 05:24:45 PM EDT

Subject: DEP 50-196034-008-EM SAJ-2007-01043

Kaitlyn, Gabriela, and Danielle,

Please see the attached comments from the Town of Highland Beach regarding the seawall and dock at Boca Highlands. Also attached are the DEP and ACOE modifications and the latest signed plans.

Please see Comment #5 regarding the grade behind the new cap and respond at to whether the elevation of the grade landward of the cap will impact the validity of your authorizations for the seawall and dock work.

Feel free to call me on my cell (954-868-8476) if you have any questions or concerns.

David Nutter

B & M Marine Construction

nutt3839@bellsouth.net



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
4400 PGA BOULEVARD, SUITE 500
PALM BEACH GARDENS, FLORIDA 33410

July 24, 2023

Regulatory Division
South Branch
Palm Beach Gardens Section
SAJ-2007-01043 (NWP/GP-KMM)

Boca Highland Beach Club & Marina
c/o Douglas Hillman
4801 South Ocean Boulevard
Highland Beach, Florida 33487
Sent via email: kande@bocahighland.com and nutt3839@bellsouth.net

Dear Douglas Hillman:

The U.S. Army Corps of Engineers (Corps) has completed the review of your application for a Department of the Army permit, which the Corps received on December 6, 2022. Your application was assigned file number SAJ-2007-01043(NWP/GP-KMM). A review of the information and drawings provided indicates that the proposed work would improve water access and shoreline stabilization for an existing 6-slip multi-family docking facility by conducting the following activities:

1. Removal of a 636 square foot portion of existing marginal dock, removal of an existing mooring pile, and removal of an existing finger pier;
2. Installation of 257 linear feet of seawall 19-22" waterward of the existing wetface to adjoin and uniformly align the seawall with a seawall cap and installation of king and batter piles;
3. After installation of 257 linear feet of seawall, removal of a portion of 103 linear feet of seawall resulting in a reconfiguration of existing slips within the marina;
4. Proposed 310 cubic yards (830 square feet) of backfill landward of the seawall after seawall installation;
5. Installation of a 476 marginal dock, installation of a 30-foot by 4-foot finger pier;
6. Replace existing boatlift

The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403), and Section 404 of the Clean Water Act (33 U.S.C. § 1344). The project is located in the man-made basin directly connected to the Intracoastal Waterway, at 4801 S Ocean Blvd, in Section 09, Township 47 South, Range 43 East, Highland Beach, Palm Beach County, Florida.

The aspect of your project involving the installation of 257 linear feet seawall and cap, installation of king and batter piles and proposed 310 cubic yards of backfill as depicted

on the attached drawings, is authorized by Nationwide Permit 13 (NWP-13), Bank Stabilization. The aspect of your project involving the removal of 103 linear feet resulting in a reconfiguration of the existing marina basin and slips as depicted on the attached drawings, is authorized by Nationwide Permit 28 (NWP-28), Modification of Existing Marinas. **These verifications are valid until March 14, 2026.** In order for these NWPs authorizations to be valid, you must ensure that the work is performed in accordance with the Nationwide Permit General Conditions, the Jacksonville District Regional Conditions, and the General and Project-Specific Special Conditions listed below. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant NWP is modified or revoked, you will have 12 months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this NWP. Alternatively, you can access the U.S. Army Corps of Engineers' (Corps) Jacksonville District's Regulatory Source Book web page for links to view NWP information at:

<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book/>. Please be aware this Internet address is case sensitive and should be entered as it appears above. Once there you will need to select "Source Book" and then select "Nationwide Permits." These files contain the description of the NWP authorization, the NWP general conditions, and the regional conditions, which apply specifically to this NWP verification.

The aspect of your project involving the removal of the existing dock and piles, construction of the new marginal dock, installation of new docking structure and replacement of boatlift, as depicted on the attached drawings, is authorized by Regional General Permit (RGP) SAJ-20 and its subsequent modifications, if applicable. **This RGP authorization is valid until March 28, 2028.** Please access the Corps' Jacksonville District Regulatory Division Source Book webpage to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Please be aware this Internet address is case sensitive and you will need to enter it exactly as it appears above. Once there select "Source Book" and then select "General Permits." Then you will need to select the specific SAJ permit noted above.

You must comply with ALL the RGP general and special, attached and/or incorporated by reference, and the Project Specific Special Conditions and General Conditions, listed below, or you may be subject to enforcement action.

General Conditions (33 CFR PART 320-330):

1. The time limit for completing the work authorized by NWP-13 and NWP-28 ends on **March 14, 2026**. The time limit for completing the work authorized by RGP SAJ-20 ends on **March 28, 2028**.

2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.

3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

4. If you sell the property associated with this permit you must obtain the signature of the new owner on the transfer form attached to this letter and forward a copy to this office to validate the transfer of this authorization.

5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.

6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Project Specific Special Conditions:

The following project specific special conditions are included with this verification:

1. **Reporting Address:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:
 - a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).
 - b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, Florida 32232-0019.

The Permittee shall reference this permit number, SAJ-2007-01043 (NW/GP-KMM), on all submittals.

2. **Commencement Notification:** Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed “Commencement Notification” Form (Attachment 2).
3. **Self-Certification:** Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached “Self-Certification Statement of Compliance” form (Attachment 3) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the “Self-Certification Statement of Compliance” form. The description of any deviations on the “Self-Certification Statement of Compliance” form does not constitute approval of any deviations by the Corps.
4. **Assurance of Navigation and Maintenance:** The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.
5. **Manatee Conditions:** The Permittee shall comply with the “Standard Manatee Conditions for In-Water Work – 2011” (Attachment 4). The most recent version of the Manatee Conditions must be utilized.
6. **Jacksonville District Programmatic Biological Opinion (JAXBO):** Structures and activities authorized under this permit will be constructed and operated in accordance with all applicable PDCs contained in the JAXBO, based on the permitted activity. Johnson’s seagrass and its critical habitat were delisted from the Endangered Species Act on May 16, 2022. Therefore, JAXBO PDCs required to minimize adverse effects to Johnson’s seagrass and its critical habitat are no longer applicable to any project. Failure to comply with applicable PDCs will constitute noncompliance with this permit. In addition, failure to comply with the applicable PDCs, where a take of listed species occurs, would constitute an unauthorized take. The NMFS is the appropriate authority to determine compliance with the Endangered Species Act. The most current version of JAXBO can be accessed at the Jacksonville District Regulatory Division website in the Endangered Species section of the Sourcebook located at:
<http://www.saj.usace.army.mil/Missions/Regulatory/SourceBook.aspx>

JAXBO may be subject to revision at any time. The most recent version of the JAXBO must be utilized during the design and construction of the permitted work.

7. **Turbidity Barriers:** Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend within 1 foot of the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained daily until the authorized work has been completed and turbidity within the construction area has returned to ambient levels. Turbidity barriers shall be removed upon stabilization of the work area.

8. **Cultural Resources/Historic Properties:**
 - a. No structure or work shall adversely affect impact or disturb properties listed in the National Register of Historic Places (NRHP) or those eligible for inclusion in the NRHP.

 - b. If, during permitted activities, items that may have historic or archaeological origin are observed the Permittee shall immediately cease all activities adjacent to the discovery that may result in the destruction of these resources and shall prevent his/her employees from further removing, or otherwise damaging, such resources. The applicant shall notify both the Florida Department of State, Division of Historical Resources, Compliance Review Section at (850)-245-6333 and the Corps, of the observations within the same business day (8 hours). Examples of submerged historical, archaeological or cultural resources include shipwrecks, shipwreck debris fields (such as steam engine parts, or wood planks and beams), anchors, ballast rock, concreted iron objects, concentrations of coal, prehistoric watercraft (such as log "dugouts"), and other evidence of human activity. The materials may be deeply buried in sediment, resting in shallow sediments or above them, or protruding into water. The Corps shall coordinate with the Florida State Historic Preservation Officer (SHPO) to assess the significance of the discovery and devise appropriate actions. Project activities shall not resume without verbal and/or written authorization from the Corps.

 - c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition and, if deemed necessary by the SHPO or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based on the circumstances of the discovery, equity to all parties, and

considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

- d. In the unlikely event that unmarked human remains are identified on non-federal lands; they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archaeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the SHPO and from the Corps.

9. **Fill Material:** The Permittee shall use only clean fill material for this project. The fill material shall be free from items such as trash, debris, automotive parts, asphalt, construction materials, concrete block with exposed reinforcement bars, and soils contaminated with any toxic substance in toxic amounts, in accordance with Section 307 of the Clean Water Act.

Jurisdictional Determination:

A jurisdiction determination was not completed with this request. Therefore, this is not an appealable action. However, you may request an approved JD, which is an appealable action, by contacting the Corps for further instruction.

This letter of authorization does not include conditions that would prevent the 'take' of a state-listed fish or wildlife species. These species are protected under sec. 379.411, Florida Statutes, and listed under Rule 68A-27, Florida Administrative Code. With regard to fish and wildlife species designated as species of special concern or threatened by the State of Florida, you are responsible for coordinating directly with the Florida Fish and Wildlife Conservation Commission (FWC). You can visit the FWC license and permitting webpage (<http://www.myfwc.com/license/wildlife/>) for more information, including a list of those fish and wildlife species designated as species of special concern or threatened. The Florida Natural Areas Inventory (<http://www.fnai.org/>) also maintains updated lists, by county, of documented occurrences of those species.

This letter of authorization does not give absolute Federal authority to perform the work

as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

This letter of authorization does not preclude the necessity to obtain any other Federal, State, or local permits, which may be required.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at <https://regulatory.ops.usace.army.mil/customer-service-survey/>. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Should you have any questions related to this NWP/RGP verification or have issues accessing the documents referenced in this letter, please contact Kaitlyn Mallett at the letterhead address above, via telephone at 561-545-4885, or via e-mail at Kaitlyn.M.Mallett@usace.army.mil.

Sincerely,

Kaitlyn Mallett

Kaitlyn Mallett
Project Manager

Enclosures
Project Drawings
Commencement Notification form
Self-Certification Statement of Compliance form
Standard Manatee Conditions for In-Water Work—2011

Cc:
Matthew Butler, Isiminger & Stubbs Engineering mbutler@coastal-engineers.com

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

DA PERMIT NUMBER: SAJ-2007-01043(NW/GP-KMM)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019 or submit via electronic mail to: SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

(TRANSFEREE-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

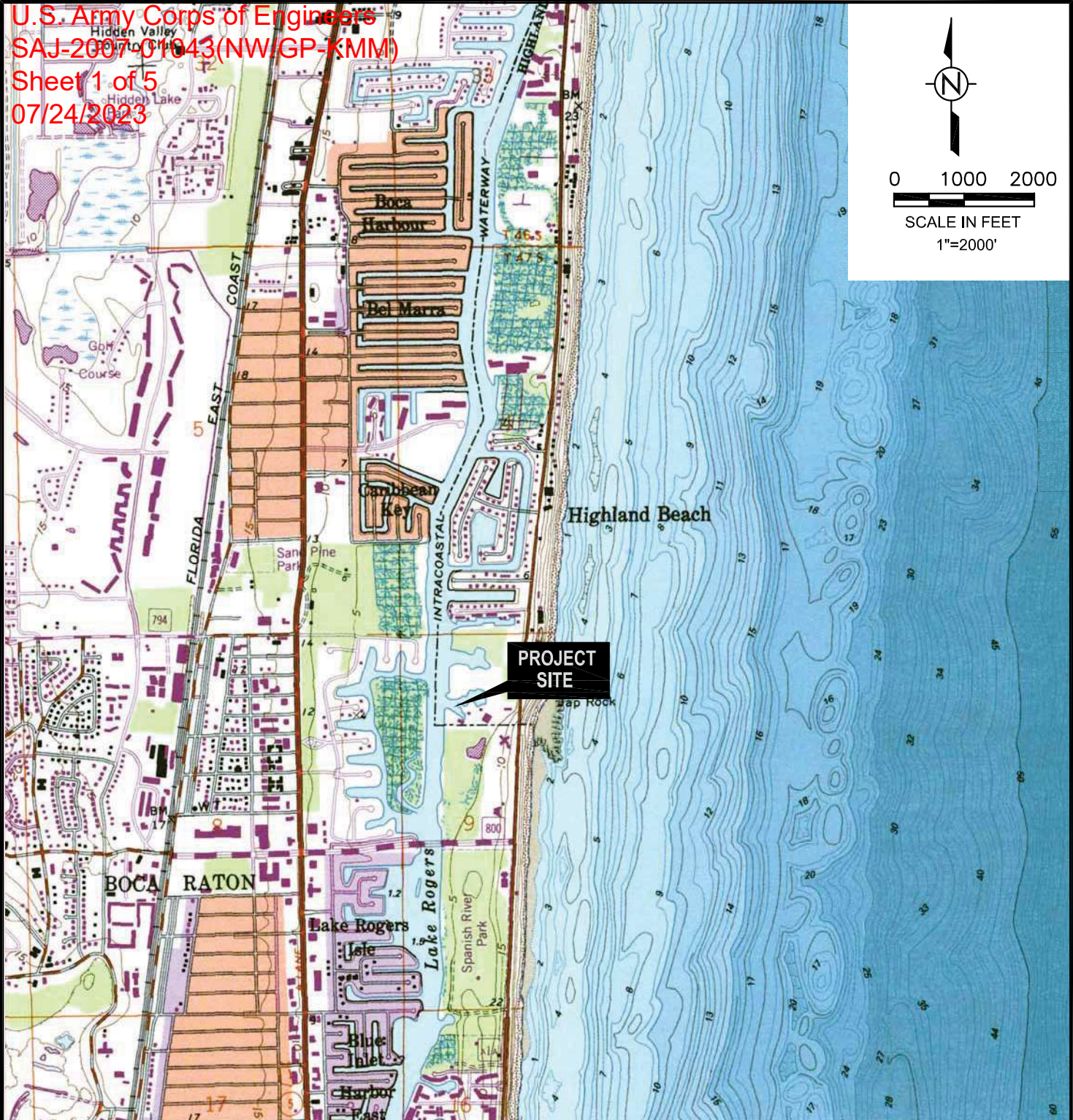
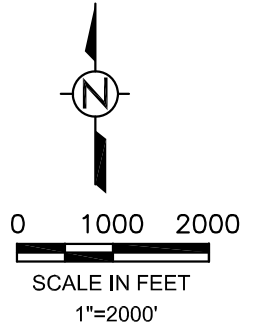
(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)

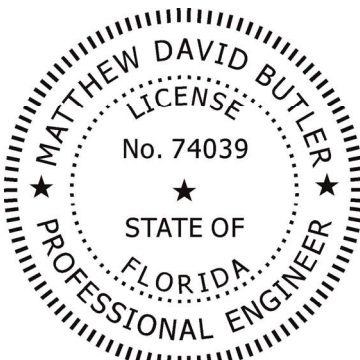
U.S. Army Corps of Engineers
 SAJ-2007-01043(NW/GP-KMM)
 Sheet 1 of 5
 07/24/2023




TAKEN FROM U.S.G.S. DELRAY BEACH, FLORIDA QUADRANGLE
 SEC: 09 TWP: 47S RGE: 43E

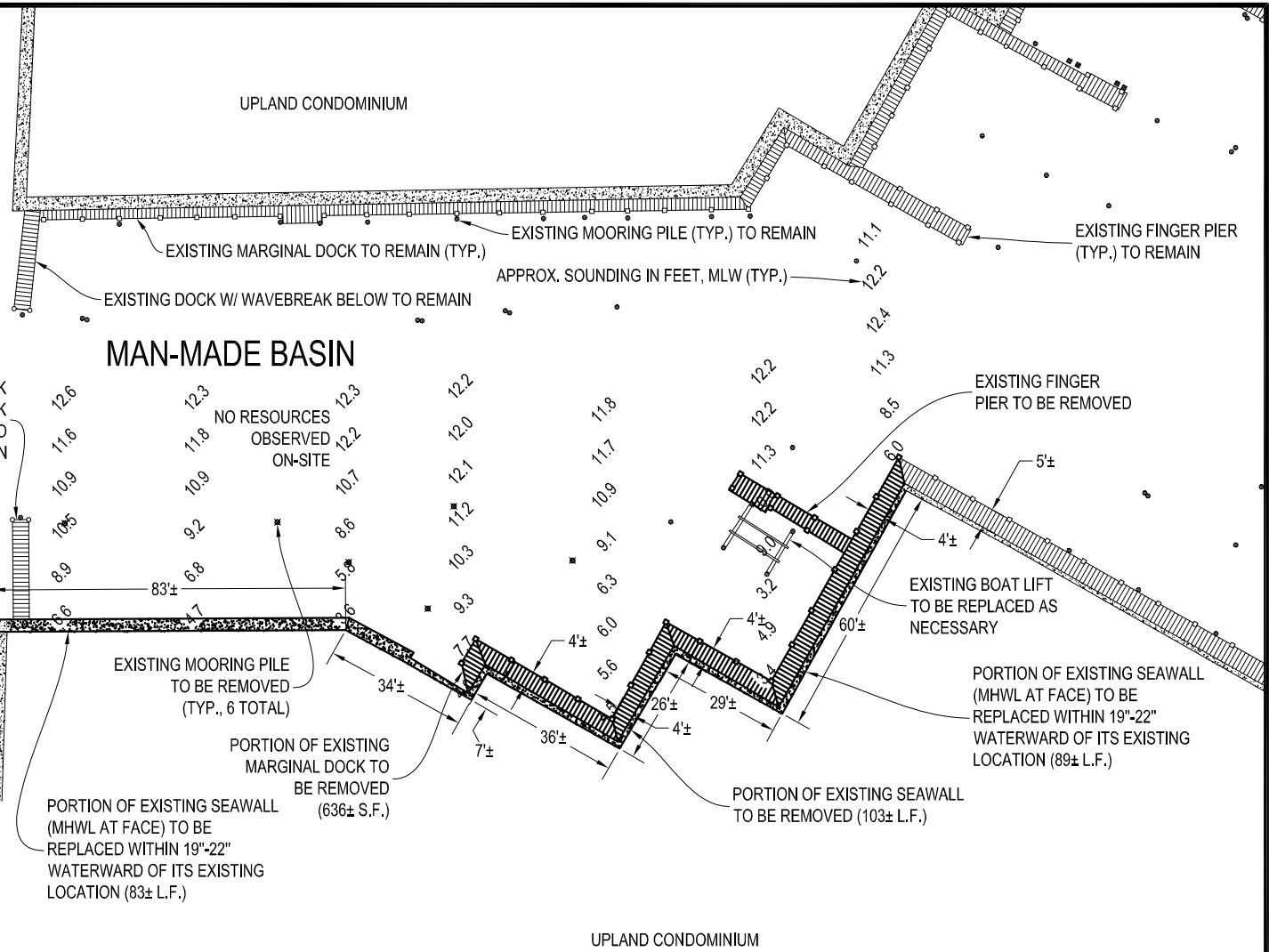
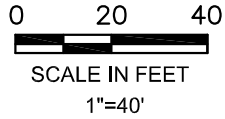
LAT: 26° 23' 30" N
 LONG: 080° 04' 11" W

This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 12/6/2022 using a Digital Signature. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.



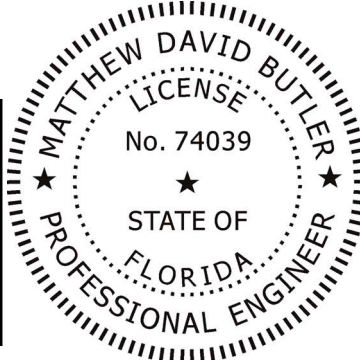
VICINITY MAP

 ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE REGISTRATION NUMBER: 8114 P.O. BOX 14702 - NORTH PALM BEACH, FL 33408 - 561-881-0003							
PROPOSED DOCK AND SEAWALL MAN-MADE BASIN 4801 SOUTH OCEAN BOULEVARD TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA							
DATE	12/22	DRAWN	MDB	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A1					SHEET	
COMPUTER FILE NO.	22133A					OF 5	
							1



- NOTES:
- DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
 - EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
 - SOUNDINGS AND RESOURCE INFORMATION BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 8/5/22. SOUNDINGS REDUCED TO MLW BASED ON PREDICTED TIDES ONLY.

This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 12/6/2022 using a Digital Signature.
 Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.



EXISTING PLAN VIEW

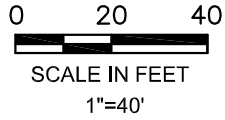
ISIMINGER & STUBBS ENGINEERING, INC.
 COASTAL • ENVIRONMENTAL • MARINE
 REGISTRATION NUMBER: 8114
 P.O. BOX 14702 - NORTH PALM BEACH, FL 33408 - 561-881-0003

**PROPOSED DOCK AND SEAWALL
 MAN-MADE BASIN
 4801 SOUTH OCEAN BOULEVARD
 TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL
 APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA**

DATE	12/22	DRAWN	TCR	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A2					SHEET	
COMPUTER FILE NO.	22133A					OF 5	

2

SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
 NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.



EAST EDGE OF ICW CHANNEL

INTRACOASTAL WATERWAY

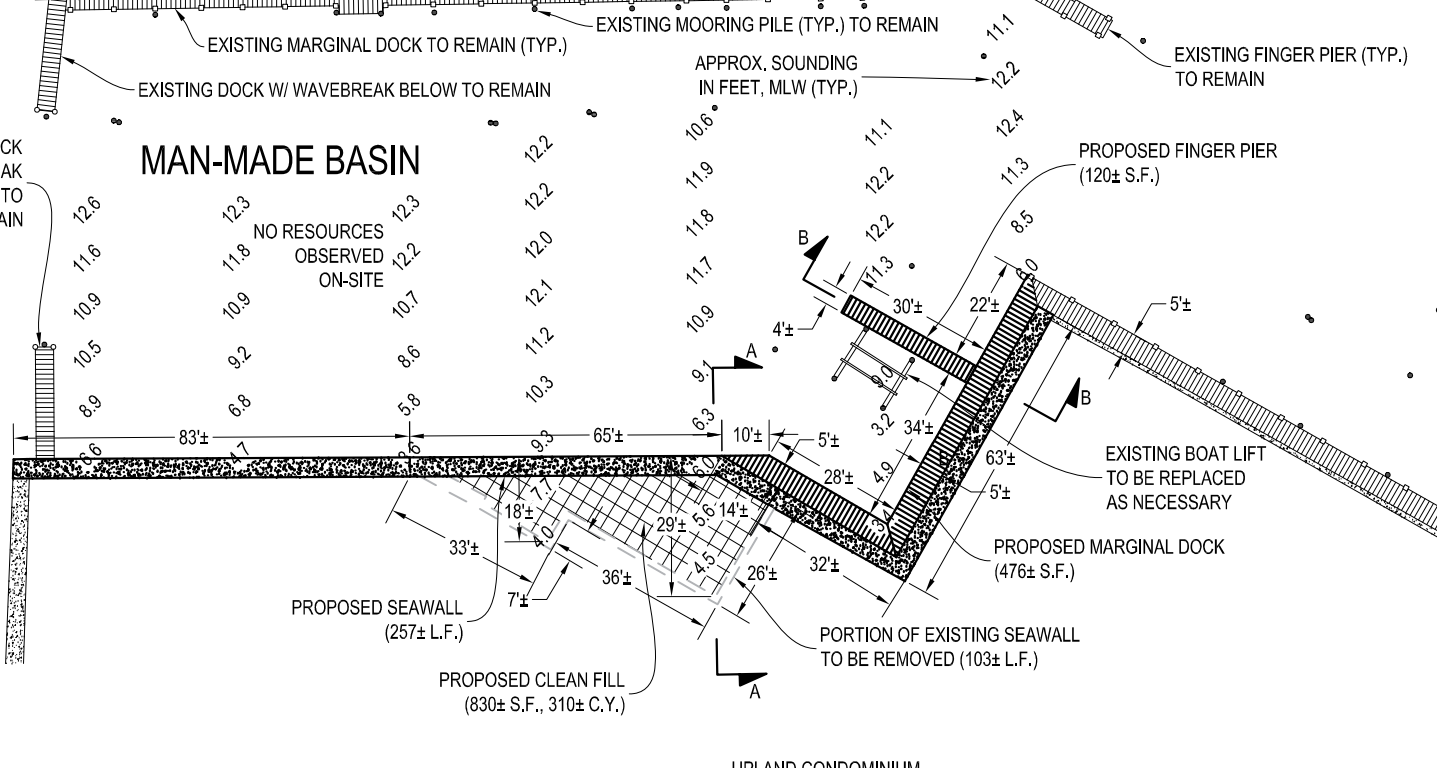


EXISTING DOCK W/ WAVEBREAK BELOW TO REMAIN

EXISTING MARGINAL DOCK TO REMAIN (TYP.)
 EXISTING DOCK W/ WAVEBREAK BELOW TO REMAIN

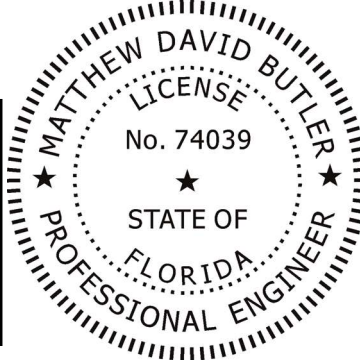
MAN-MADE BASIN

NO RESOURCES OBSERVED ON-SITE



- NOTES:
1. DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
 2. EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
 3. SOUNDINGS AND RESOURCE INFORMATION BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 8/5/22. SOUNDINGS REDUCED TO MLW BASED ON PREDICTED TIDES ONLY.

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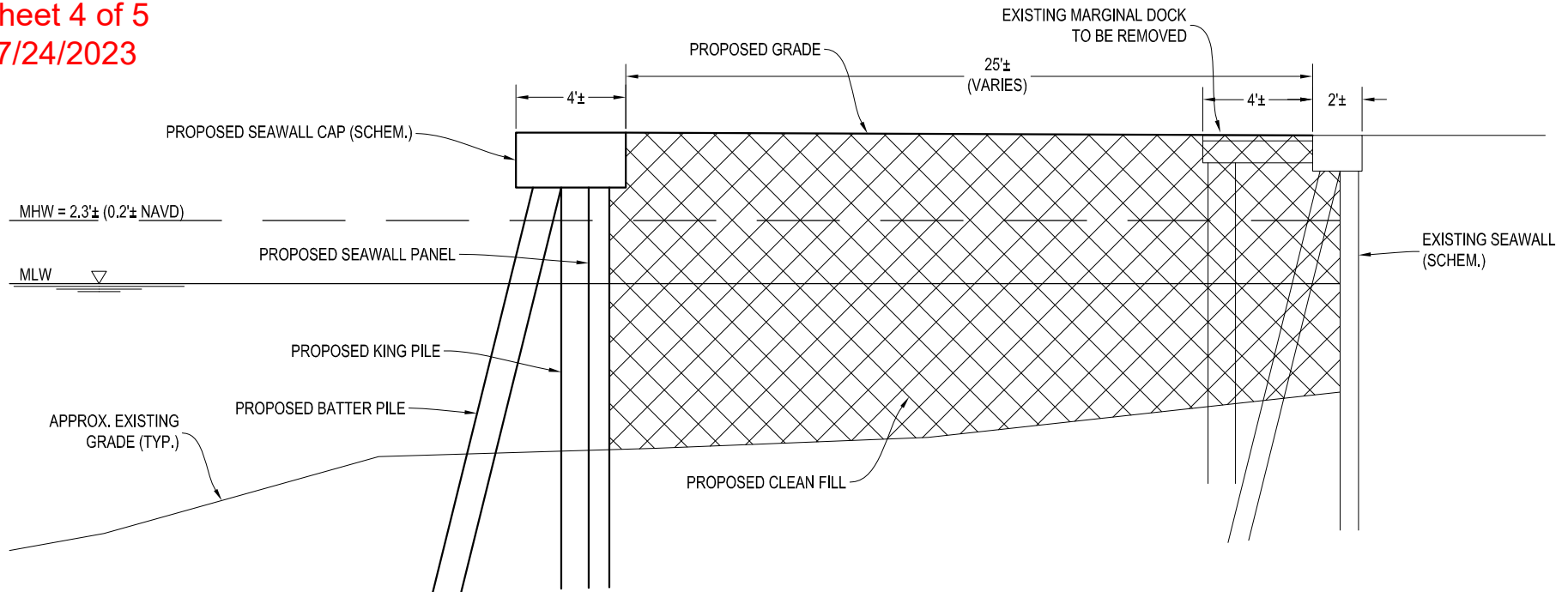
PROPOSED PLAN VIEW

**ISIMINGER & STUBBS
ENGINEERING, INC.**
COASTAL • ENVIRONMENTAL • MARINE
 REGISTRATION NUMBER: 8114
 P.O. BOX 14702 - NORTH PALM BEACH, FL 33408 - 561-881-0003

**PROPOSED DOCK AND SEAWALL
 MAN-MADE BASIN
 4801 SOUTH OCEAN BOULEVARD
 TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL
 APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA**

DATE	12/22	DRAWN	TCR	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A3				SHEET		3
COMPUTER FILE NO.	22133A				OF 5		

**SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
 NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.**

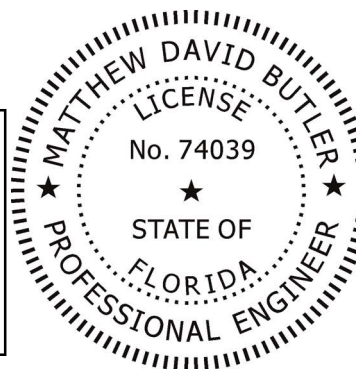


SECTION A-A
 0 3 6
 SCALE IN FEET
 1"=6'

NOTES:

- DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
- SOUNDINGS BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 8/5/22. SOUNDINGS REDUCED TO MLW BASED ON PREDICTED TIDES ONLY.

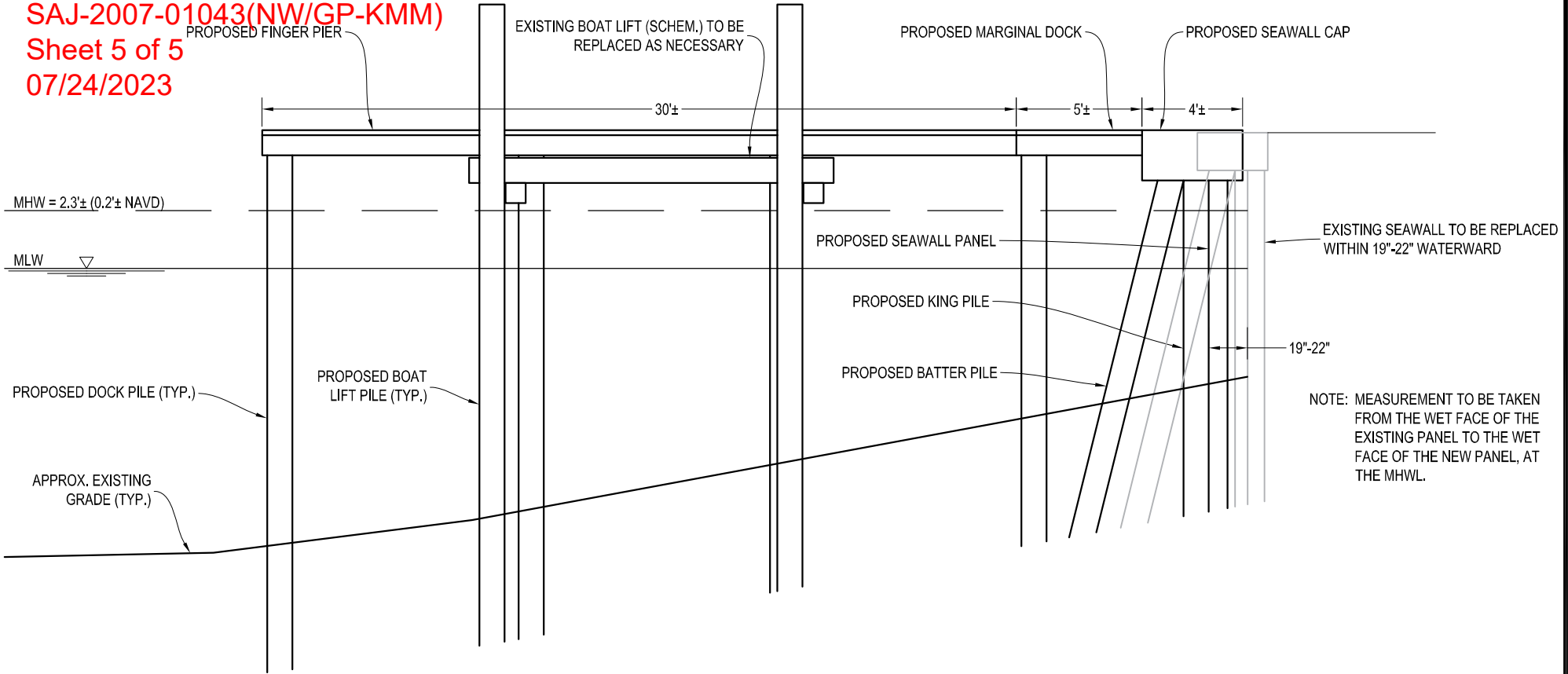
This item has been digitally signed and sealed by Matthew D. Butler, P.E. on 12/6/2022 using a Digital Signature.
 Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.



SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
 NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

SECTION VIEW

 ISIMINGER & STUBBS ENGINEERING, INC. COASTAL • ENVIRONMENTAL • MARINE REGISTRATION NUMBER: 8114 P.O. BOX 14702 - NORTH PALM BEACH, FL 33408 - 561-881-0003							
PROPOSED DOCK AND SEAWALL MAN-MADE BASIN 4801 SOUTH OCEAN BOULEVARD TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA							
DATE	12/22	DRAWN	MDB	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A4					SHEET	
COMPUTER FILE NO.	22133A					OF 5	
							4



SECTION B-B



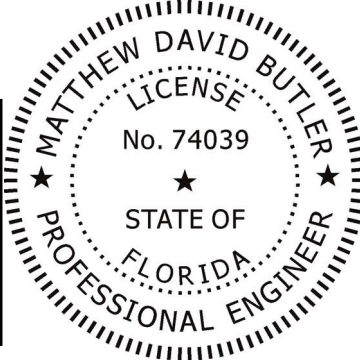
SCALE IN FEET

1"=6'

NOTES:

- DATUM IS MLW. MLW = -2.1± NAVD FROM LABINS DATABASE.
- EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TERRAQUATIC SURVEYING AND MAPPING, DATED 12/8/20, AND ON-SITE OBSERVATIONS.
- SOUNDINGS BY ISIMINGER & STUBBS ENGINEERING, INC. FIELD WORK PERFORMED 8/5/22. SOUNDINGS REDUCED TO MLW BASED ON PREDICTED TIDES ONLY.

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SKETCH SUBMITTED FOR ENVIRONMENTAL PERMIT REVIEW.
 NOT INTENDED FOR CONSTRUCTION OR BUILDING PERMIT REVIEW.

SECTION VIEW

 COASTAL • ENVIRONMENTAL • MARINE REGISTRATION NUMBER: 8114 P.O. BOX 14702 - NORTH PALM BEACH, FL 33408 - 561-881-0003							
PROPOSED DOCK AND SEAWALL MAN-MADE BASIN 4801 SOUTH OCEAN BOULEVARD TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FL APPLICANT: BOCA HIGHLAND BEACH CLUB & MARINA							
DATE	12/22	DRAWN	MDB	CHKD	TCR	APPRVD	MDB
DWG NO.	22133A5					SHEET	
COMPUTER FILE NO.	22133A					OF 5	

COMMENCEMENT NOTIFICATION

*Within ten (10) days of initiating the authorized work, submit this form to via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. **Department of the Army Permit Number:** SAJ- - (-)

2. **Permittee Information:**

Name: _____

Email: _____

Address: _____

Phone: _____

3. **Construction Start Date:** _____

4. **Contact to Schedule Inspection:**

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

SELF-CERTIFICATION STATEMENT OF COMPLIANCE

Within sixty (60) days of completion of the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred) or by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

1. **Department of the Army Permit Number:** SAJ- - (-)

2. **Permittee Information:** Name: _____

Email: _____

Address: _____

Phone: _____

3. **Date Authorized Work Started:** _____ **Completed:** _____

4. **Contact to Schedule Inspection:** Name: _____

Email: _____

Phone: _____

5. **Description of Authorized Work (e.g. bank stabilization, fill placed within wetlands, docks, dredging, etc.):** _____

6. **Acreage or Square Feet of Impacts to Waters of the United States:** _____

7. **Describe Mitigation completed (if applicable):** _____

8. **Describe any Deviations from Permit (attach drawing(s) depicting the deviations):**

I certify that all work, and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Printed Name of Permittee

Date

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

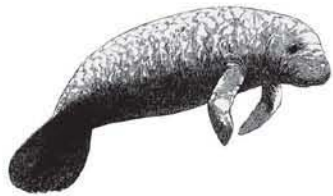
All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC

August 28, 2023

Town of Highland Beach Building Department
Attn: Ingrid Allen
3616 S. Ocean Blvd.
Highland Beach, FL 33487

Re: Permit Application DO23-0010
Modification Request to DO21-0008
Boca Highland Beach Club and Marina
4801 S. Ocean Blvd

To whom it may concern,

At a properly noticed meeting held on April 21, 2021, the board of the Boca Highland Beach Club and Marina voted to contract with B & M Marine Construction to complete seawall and dock work at the above location. The board has authorized that the work scope be amended as follows –

- Install 176' of new seawall to be placed 19 to 22 inches in front of the existing seawall;
- Install 81' of new seawall to be placed up to 29 feet in front of the existing seawall;
- Removal of 255' of existing marginal dock (104' has already been removed during initial commencement of project; 151' still needs to be removed);
- Installation of 93' of new wood dock on new wood piles;
- Replacement of existing 30' x 4' wood pier on new wood piles in same location;
- Removal and reinstallation of existing boat lift on existing wood piles;
- Removal of six wood mooring piles;

We expect this repair work to commence once the appropriate permits are secured. Please contact Kande Lewandowski at 561-391-2461 or kande@bocahighland.com with any questions or concerns on behalf of the association.

Sincerely,

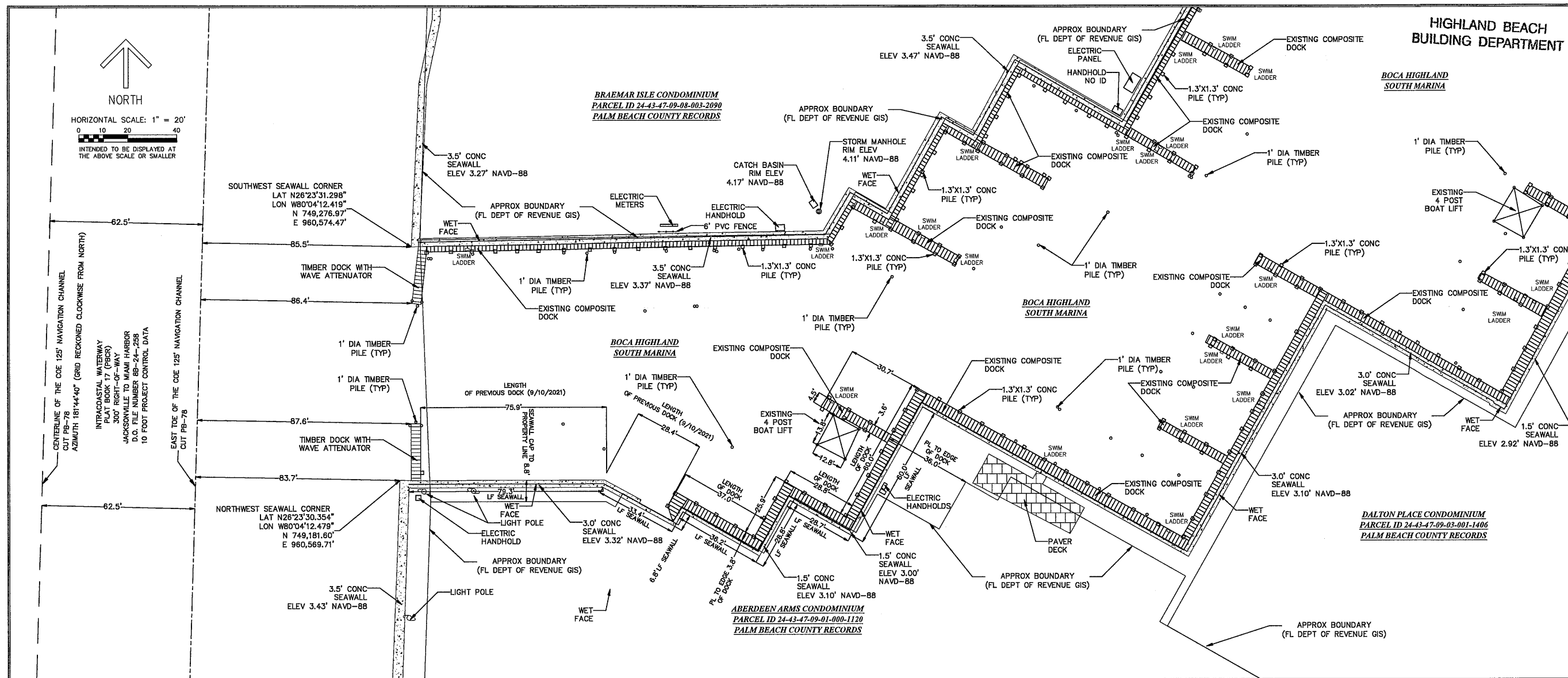

Keith Newfield

Treasurer for Boca Highland Beach Club & Marina, Inc.

RECEIVED

DEC 14 2023

LOCATION AND SPECIFIC PURPOSE SURVEY, 4801 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FLORIDA, 33487
A PORTION OF SECTION SECTION 9, TOWNSHIP 47 SOUTH, RANGE 43 EAST



HIGHLAND BEACH BUILDING DEPARTMENT

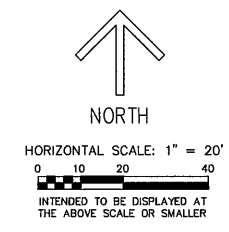
BOCA HIGHLAND SOUTH MARINA

BOCA HIGHLAND SOUTH MARINA

DALTON PLACE CONDOMINIUM
PARCEL ID 24-43-47-09-03-001-1406
PALM BEACH COUNTY RECORDS

ABERDEEN ARMS CONDOMINIUM
PARCEL ID 24-43-47-09-01-000-1120
PALM BEACH COUNTY RECORDS

BRAEMAR ISLE CONDOMINIUM
PARCEL ID 24-43-47-09-08-003-2090
PALM BEACH COUNTY RECORDS



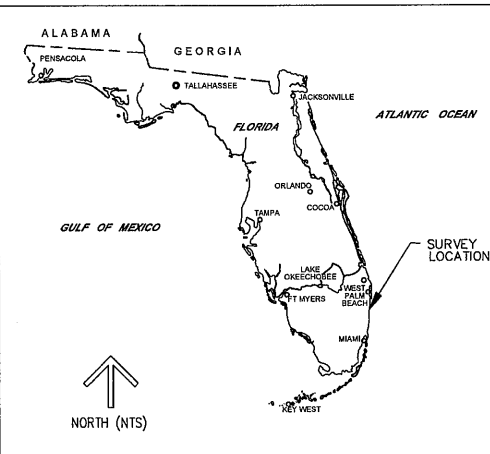
SOUTHWEST SEAWALL CORNER
LAT N26°23'31.298"
LON W80°04'12.419"
N 749,276.97'
E 960,574.47'

NORTHWEST SEAWALL CORNER
LAT N26°23'30.354"
LON W80°04'12.479"
N 749,181.60'
E 960,569.71'

CENTERLINE OF THE COE 125' NAVIGATION CHANNEL CUT PB-78
AZIMUTH 181°44'40" (GRID RECKONED CLOCKWISE FROM NORTH)

EAST TOE OF THE COE 125' NAVIGATION CHANNEL CUT PB-78

INTRACOASTAL WATERWAY PLAT BOOK 17 (PBCR)
300' RIGHT-OF-WAY
JACKSONVILLE TO MIAMI HARBOR
D.O. FILE NUMBER 88-24-258
10 FOOT PROJECT CONTROL DATA



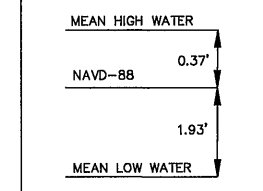
VICINITY MAP



LOCATION MAP
HIGHLAND BEACH, FL 33487

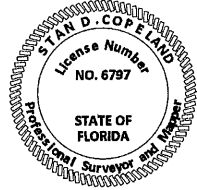
ABBREVIATIONS/LEGEND table with columns for symbol, description, and found status.

VERTICAL DATUM DIAGRAM
BASED ON FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION TIDAL POINT NUMBER 65



SURVEY NOTES:

- 1. THIS IS NOT A BOUNDARY SURVEY.
2. THIS SURVEY REPRESENTS A SPECIFIC PURPOSE SURVEY AS DEFINED BY THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE.
3. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
4. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL OR SECURE ELECTRONIC SIGNATURE OF THE UNDERSIGNED.
5. NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED FOR EASEMENTS, ENCUMBRANCES OR OTHER INSTRUMENTS OF RECORD OTHER THAN THOSE SHOWN HEREON WHICH MAY AFFECT THIS PARCEL OF LAND.
6. THIS SURVEY IS INTENDED TO BE DISPLAYED AT SCALE OF 1 INCH EQUALS 20 FEET OR SMALLER.
7. UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
8. GEOGRAPHIC AND PLANE COORDINATES SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICA DATUM OF 1983, FLORIDA STATE PLANE, ZONE 901, TRANSVERSE MERCATOR PROJECTION IN THE U.S. SURVEY FOOT UNIT OF MEASUREMENT.
9. AZIMUTHS SHOWN HEREON ARE GRID ALONG THE CENTERLINE OF THE INTRACOASTAL WATERWAY NAVIGATION CHANNEL AS PROVIDED BY THE US ARMY CORPS OF ENGINEERS.
10. LOCATIONS OF ALL IMPROVEMENTS WERE OBTAINED USING REAL TIME KINEMATIC GPS METHODOLOGIES WITH BROADCAST CORRECTIONS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION REFERENCE NETWORK AND ARE ACCURATE TO THIRD ORDER, CLASS II.
11. THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW THE LOCATION OF THE EXISTING SEAWALL AND ADJACENT IMPROVEMENTS WITHIN THE DEPICTED MARINA.
12. ANY ELEVATIONS SHOWN HEREON ARE IN FEET AND RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88).



Digitally signed by Stanley Copeland
DN: c=US,
serialNumber=AATL2023040629317
0, cn=Stanley Copeland,
email=stan@tdisurvey.com
Date: 2023.07.27 18:27:07 -04'00'

STAN D. COPELAND, PSM - FLORIDA REGISTRATION NUMBER 6797
JULY 27TH, 2023

Table with columns for REVISIONS, FILE NAME, and DATE.

PREPARED BY: TECHNICAL DISCIPLINES, INC.
PROFESSIONAL SURVEYING AND MAPPING
6335 STATE STREET, SUITE 3344I
DEERFIELD BEACH, FLORIDA 33441
954-850-2008 - LICENSED BUSINESS NO 8123

PREPARED FOR: BOCA HIGHLAND BEACH CLUB & MARINA, INC.
4801 S. OCEAN BLVD.
HIGHLAND BEACH, FL 33487

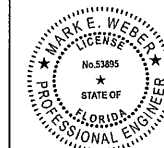
DATE 07/27/23
DRAWN BY SDC
F.B./PG. ELEC
SCALE AS-SHOWN

JOB # TDI-928
SHT. NO. 1
OF 1 SHEETS

RECEIVED

DEC 14 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



Digitally signed by
Mark E
Weber
Date:
2023.10.16
18:51:25
-04'00'

Mark E. Weber, P.E.
LICENSE #53885 | CA 30702
MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, Florida 33060
Ofc: 754-333-0877
WWW.MwEngineering.net

PREPARED FOR:
B & M MARINE
CONSTRUCTION, INC.
1211 South Military Trail, Suite 200
Deerfield Beach, FL 33442
954-421-1700 CGC052820

SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

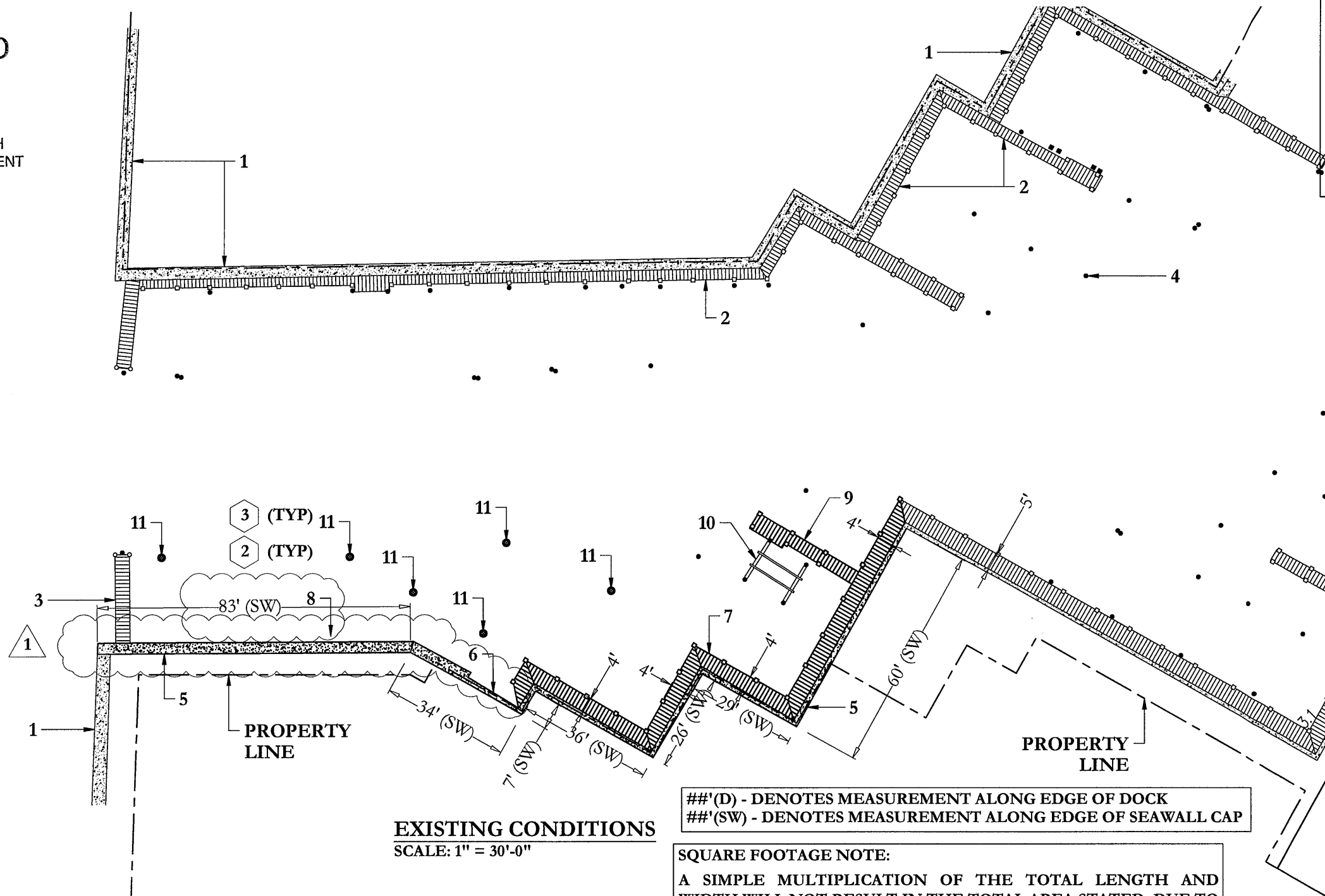
DATE	NOTES/REVISIONS
7/28/2023	REVISION 1
8/25/2023	Corrections per Town
10/16/2023	Corrections per Town

SCALE: AS NOTED
DATE: 8/04/2021

JOB No: 20-2515

SHT 1

1 of 11



EXISTING CONDITIONS
SCALE: 1" = 30'-0"

##'(D) - DENOTES MEASUREMENT ALONG EDGE OF DOCK
##'(SW) - DENOTES MEASUREMENT ALONG EDGE OF SEAWALL CAP

SQUARE FOOTAGE NOTE:

A SIMPLE MULTIPLICATION OF THE TOTAL LENGTH AND WIDTH WILL NOT RESULT IN THE TOTAL AREA STATED, DUE TO THE CORNERS ALONG THE LENGTH OF THE DOCK. A SIMPLE MULTIPLICATION WILL CAUSE SOME CORNERS TO BE DUPLICATED IN THE TOTAL AREA AND SOME CORNERS TO BE MISSED IN THE TOTAL AREA. THE TOTAL AREA WAS CALCULATED ELECTRONICALLY USING THE CAD PROGRAM THAT WAS USED TO DRAW THE PLANS.

EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEY BY TECHNICAL DISCIPLINES INC. SURVEYING AND MAPPING DATED 7/27/23

EXISTING CONDITIONS IDENTIFICATION:

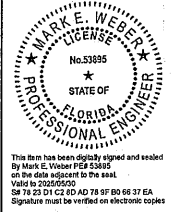
- EXISTING CONCRETE SEAWALL, CAP AND PILES TO REMAIN
- EXISTING WOOD DOCK AND PIERS TO REMAIN
- EXISTING FINGER PIER AND WAVEBREAK TO REMAIN
- EXISTING MOORING PILES TO REMAIN (EXCEPT AS NOTED IN ITEM #11)
- EXISTING CONCRETE SEAWALL, CAP AND PILES TO BE REPLACED 19" TO 22" IN FRONT (APPROX. 172')
- EXISTING CONCRETE SEAWALL, CAP AND PILES TO BE REMOVED AND REPLACED UP TO 29' IN FRONT (APPROX. 103')
- EXISTING WOOD DOCK TO BE REMOVED (APPROX. 158', 636SF)
- EXISTING WOOD DOCK REMOVED DURING INITIAL COMMENCEMENT OF PROJECT (APPROX. 104', 312SF)
- EXISTING WOOD FINGER PIER (30' x 4', 120SF) AND PILES TO BE REMOVED
- EXISTING LIFT AND PILES TO BE REMOVED
- EXISTING MOORING PILES TO BE REMOVED (TYP OF 6)

- 3 Corrections 3 - Removed bold highlight from dimensions on Sheets 1, 2, 3 of 11
- 2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger
- 1 Revision 1 - Denoted removal of portion of existing dock; Change to layout design of new seawall and dock

RECEIVED

DEC 14 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



Digitally signed by
Mark E Weber
Date:
2023.10.16
18:52:24
-04'00'

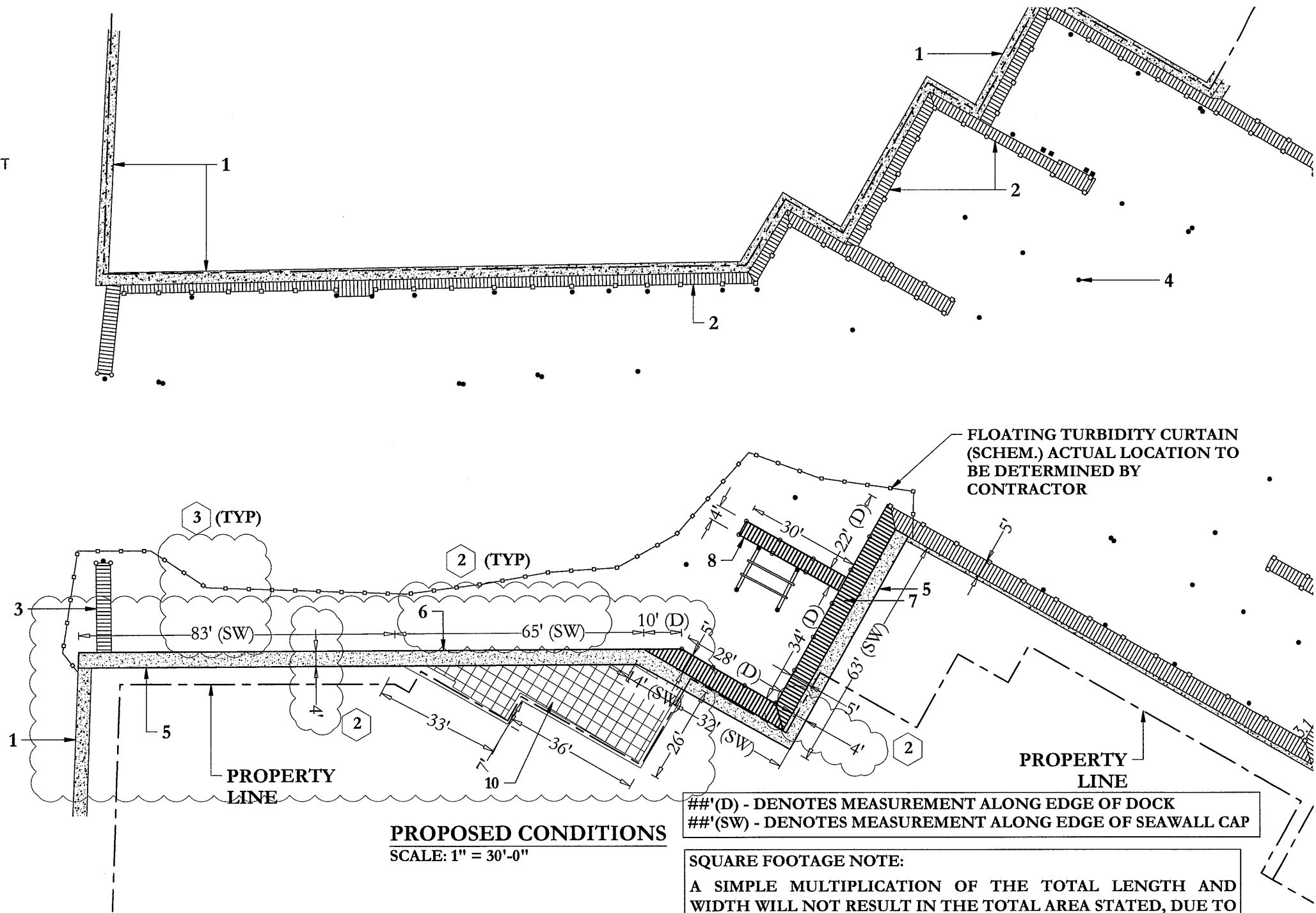
Mark E. Weber, P.E.
LICENSE #53895 | CA 30702
MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, Florida 33060
Ofc: 754-333-0877
WWW.MWEngineering.net

PREPARED FOR:
B & M MARINE
CONSTRUCTION, INC.
1211 South Military Trail, Suite 200
Deerfield Beach, FL 33442
954-421-1700 CGC052820

SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS
7/28/2023	REVISION 1
8/25/2023	Corrections per Town
10/16/2023	Corrections per Town

SCALE: AS NOTED
DATE: 8/04/2021
JOB No: 20-2515
SHT 2
2 of 11



PROPOSED CONDITIONS
SCALE: 1" = 30'-0"

##'(D) - DENOTES MEASUREMENT ALONG EDGE OF DOCK
##'(SW) - DENOTES MEASUREMENT ALONG EDGE OF SEAWALL CAP

SQUARE FOOTAGE NOTE:
A SIMPLE MULTIPLICATION OF THE TOTAL LENGTH AND WIDTH WILL NOT RESULT IN THE TOTAL AREA STATED, DUE TO THE CORNERS ALONG THE LENGTH OF THE DOCK. A SIMPLE MULTIPLICATION WILL CAUSE SOME CORNERS TO BE MISSED IN THE TOTAL AREA. THE TOTAL AREA WAS CALCULATED ELECTRONICALLY USING THE CAD PROGRAM THAT WAS USED TO DRAW THE PLANS.

EXISTING LOCATIONS ARE APPROXIMATE BASED ON SURVEYS BY
TECHNICAL DISCIPLINES INC. SURVEYING AND MAPPING DATED 7/27/23

PROPOSED CONDITIONS IDENTIFICATION:

- EXISTING CONCRETE SEAWALL, CAP AND PILES TO REMAIN
- EXISTING WOOD DOCK AND PIERS TO REMAIN
- EXISTING FINGER PIER AND WAVEBREAK TO REMAIN
- EXISTING MOORING PILES TO REMAIN
- NEW CONCRETE SEAWALL, CAP AND PILES INSTALLED 19" TO 22" IN FRONT OF EXISTING (APPROX. 176')
- NEW CONCRETE SEAWALL, CAP AND PILES INSTALLED UP TO 29' IN FRONT OF EXISTING (APPROX. 81')
- NEW 93' x 5' WOOD DOCK ON (9) NEW WOOD PILES (476SF)
- NEW WOOD FINGER PIER (30' x 4', 120SF) ON (6) NEW WOOD PILES TO BE RECONSTRUCTED IN SAME LOCATION AS EXISTING ON NEW WOOD PILES
- EXISTING LIFT AND PILES TO BE REINSTALLED IN SAME LOCATION
- CLEAN BACKFILL BETWEEN NEW AND EXISTING SEAWALLS; 830SF, 310CY

- 3 Corrections 3 - Removed bold highlight from dimensions on Sheets 1, 2, 3 of 11
- 2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger
- 1 Revision 1 - Denoted removal of portion of existing dock; Change to layout design of new seawall and dock

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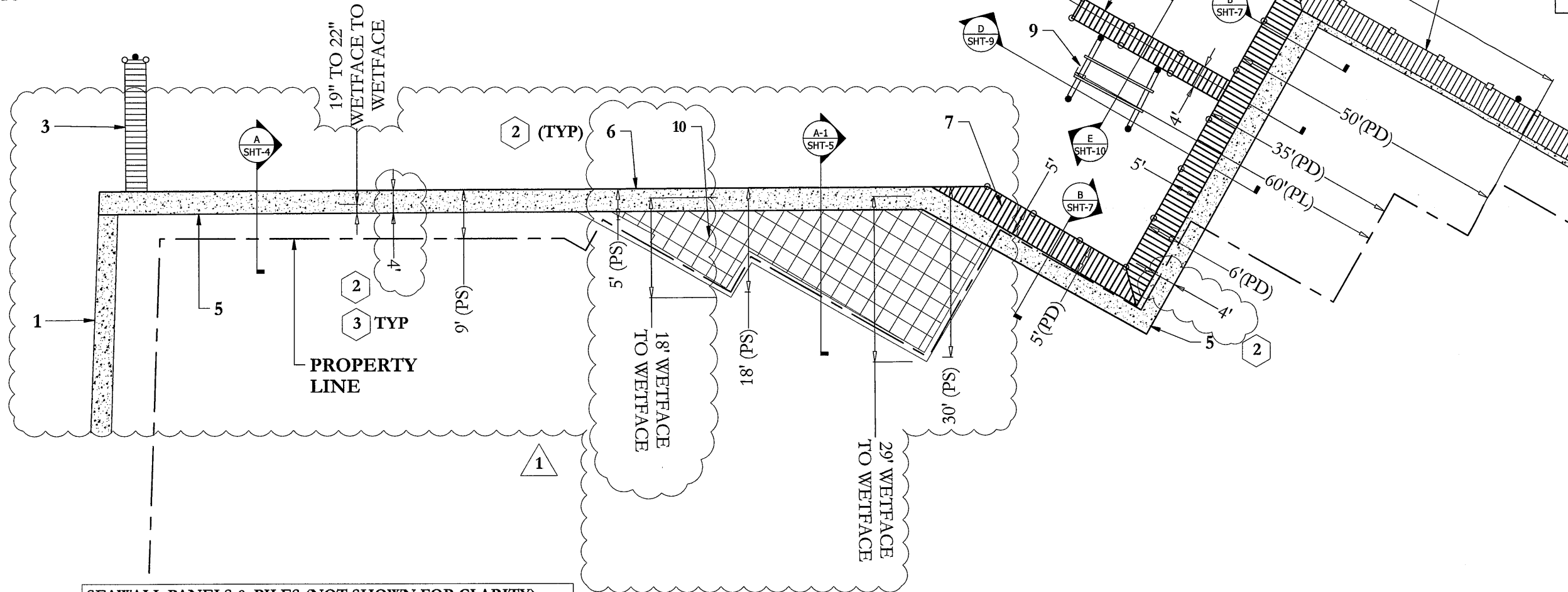
HIGHLAND BEACH
BUILDING DEPARTMENT

##'(PD) - DENOTES MEASUREMENT FROM PROPERTY LINE TO EDGE OF DOCK
##'(PS) - DENOTES MEASUREMENT FROM PROPERTY LINE TO EDGE OF CAP
##'(PP) - DENOTES MEASUREMENT FROM PROPERTY LINE TO END OF PIER
##'(PL) - DENOTES MEASUREMENT FROM PROPERTY LINE TO END OF LIFT



Digitally signed
by Mark E
Weber
Date:
2023.10.16
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SEAWALL PANELS & PILES (NOT SHOWN FOR CLARITY) -
PANELS - 28 VERTICAL PILES - 30 BATTER PILES - 28
(ALL QUANTITIES ARE APPROXIMATE; ACTUAL
QUANTITIES MAY DIFFER DUE TO FINAL LAYOUT
DETERMINED IN FIELD)

SECTION DETAIL LAYOUT
(w/ DIMENSIONS FROM PROPERTY LINE)

SCALE: 1" = 20'-0"

PROPOSED CONDITIONS IDENTIFICATION:

- EXISTING CONCRETE SEAWALL, CAP AND PILES TO REMAIN
- EXISTING WOOD DOCK AND PIERS TO REMAIN
- EXISTING FINGER PIER AND WAVEBREAK TO REMAIN
- EXISTING MOORING PILES TO REMAIN (EXCEPT AS NOTED)
- NEW CONCRETE SEAWALL, CAP AND PILES INSTALLED 19" TO 22" IN FRONT OF EXISTING (APPROX. 176')
- NEW CONCRETE SEAWALL, CAP AND PILES INSTALLED UP TO 29' IN FRONT OF EXISTING (APPROX. 81')
- NEW 93' x 5' WOOD DOCK ON (9) NEW WOOD PILES (476SF)
- NEW WOOD FINGER PIER (30' x 4', 120SF) ON (6) NEW WOOD PILES TO BE RECONSTRUCTED IN SAME LOCATION AS EXISTING ON NEW WOOD PILES
- EXISTING LIFT AND PILES TO BE REINSTALLED IN SAME LOCATION
- CLEAN BACKFILL BETWEEN NEW AND EXISTING SEAWALLS; 830SF, 310CY

PREPARED FOR:
B & M MARINE
CONSTRUCTION, INC.
1211 South Military Trail, Suite 200
Deerfield Beach, FL 33442
954-421-1700 CGC052820

SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS
7/28/2023	REVISION 1
8/25/2023	Corrections per Town
10/16/2023	Corrections per Town

SCALE: AS NOTED

DATE: 8/04/2021

JOB No: 20-2515

SHT 3

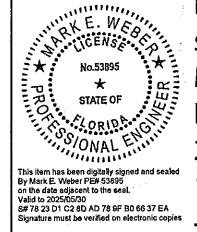
3 of 11

- 3 Corrections 3 - Removed bold highlight from dimensions on Sheets 1, 2, 3 of 11
- 2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger
- 1 Revision 1 - Denoted removal of portion of existing dock; Change to layout design of new seawall and dock

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BUILDING DEPARTMENT



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SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

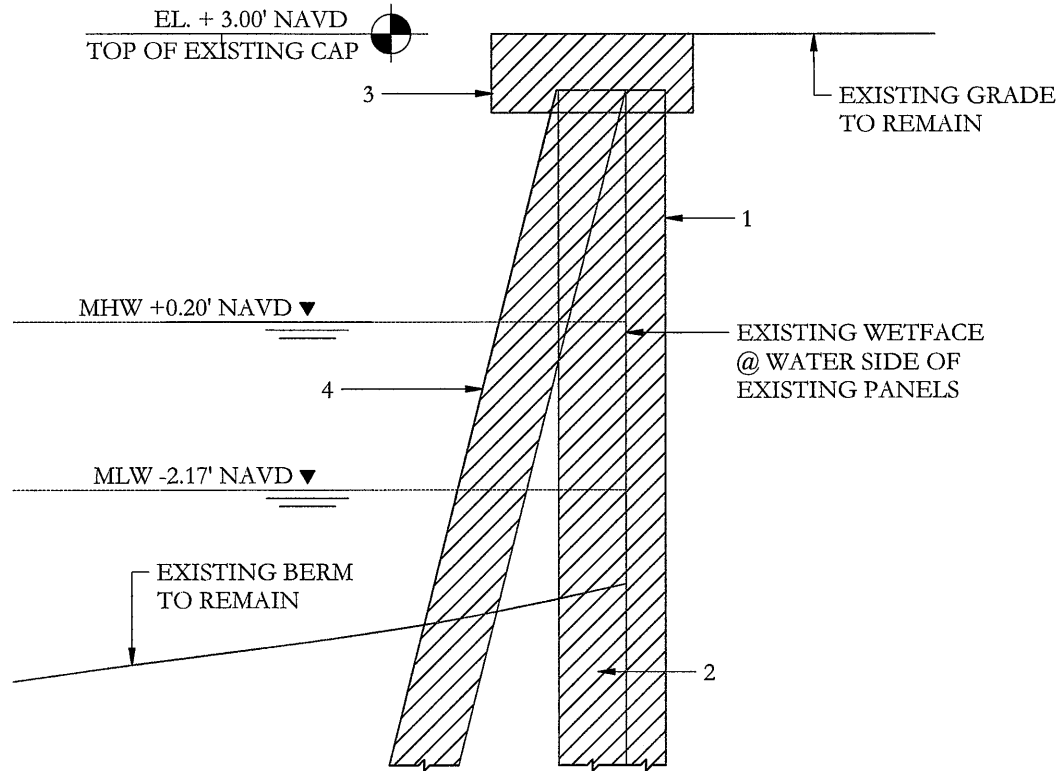
DATE	NOTES/REVISIONS
8/25/2023	Corrections per Town

SCALE: AS NOTED
DATE: 8/04/2021

JOB No: 20-2515

SHT 4

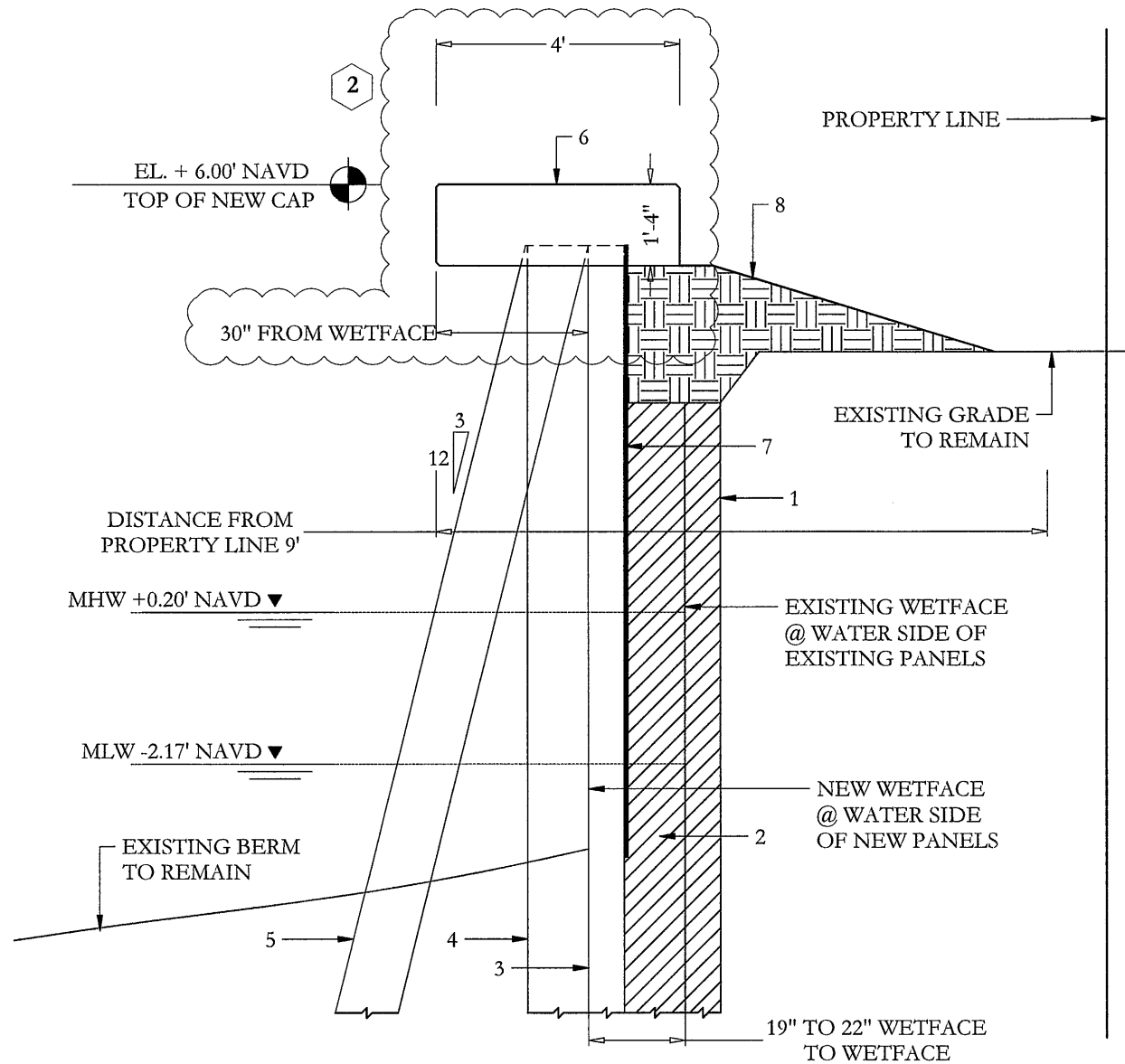
4 of 11



EXISTING SEAWALL DETAIL
SCALE: 3/8" = 1'-0"

EXISTING SEAWALL IDENTIFICATION:

1. EXISTING SEAWALL PANELS TO REMAIN
2. EXISTING VERTICAL PILES TO REMAIN TO MAINTAIN WALL INTEGRITY DURING INSTALLATION OF NEW WALL; SOME EXISTING VERTICALS PILINGS TO BE REMOVED AS NECESSARY;
3. EXISTING CAP TO BE REMOVED
4. EXISTING BATTER PILES TO BE REMOVED

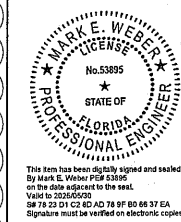


A SECTION A
SHT 4 SCALE: 3/8" = 1'-0"

PROPOSED SEAWALL IDENTIFICATION:

1. EXISTING SEAWALL PANELS TO REMAIN
2. EXISTING VERTICAL PILES TO REMAIN TO MAINTAIN WALL INTEGRITY DURING INSTALLATION OF NEW WALL; SOME EXISTING VERTICALS PILINGS TO BE REMOVED AS NECESSARY;
3. PROPOSED 8'-10" x 7.5" x 12' PRE-CAST CONCRETE PANEL (SEE SHEET 6 FOR DETAILS)
4. PROPOSED 12" x 12" CONCRETE KING PILE
5. PROPOSED 12" x 12" CONCRETE BATTER PILE
6. PROPOSED 48" x 16" CONCRETE SEAWALL CAP
7. PROPOSED GEOTEXTILE FABRIC AT CONCRETE PANEL GAP
8. MINIMAL BACKFILL WITH CLEAN MATERIAL OVER EXISTING SEAWALL COMPONENTS TO REMAIN

2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger



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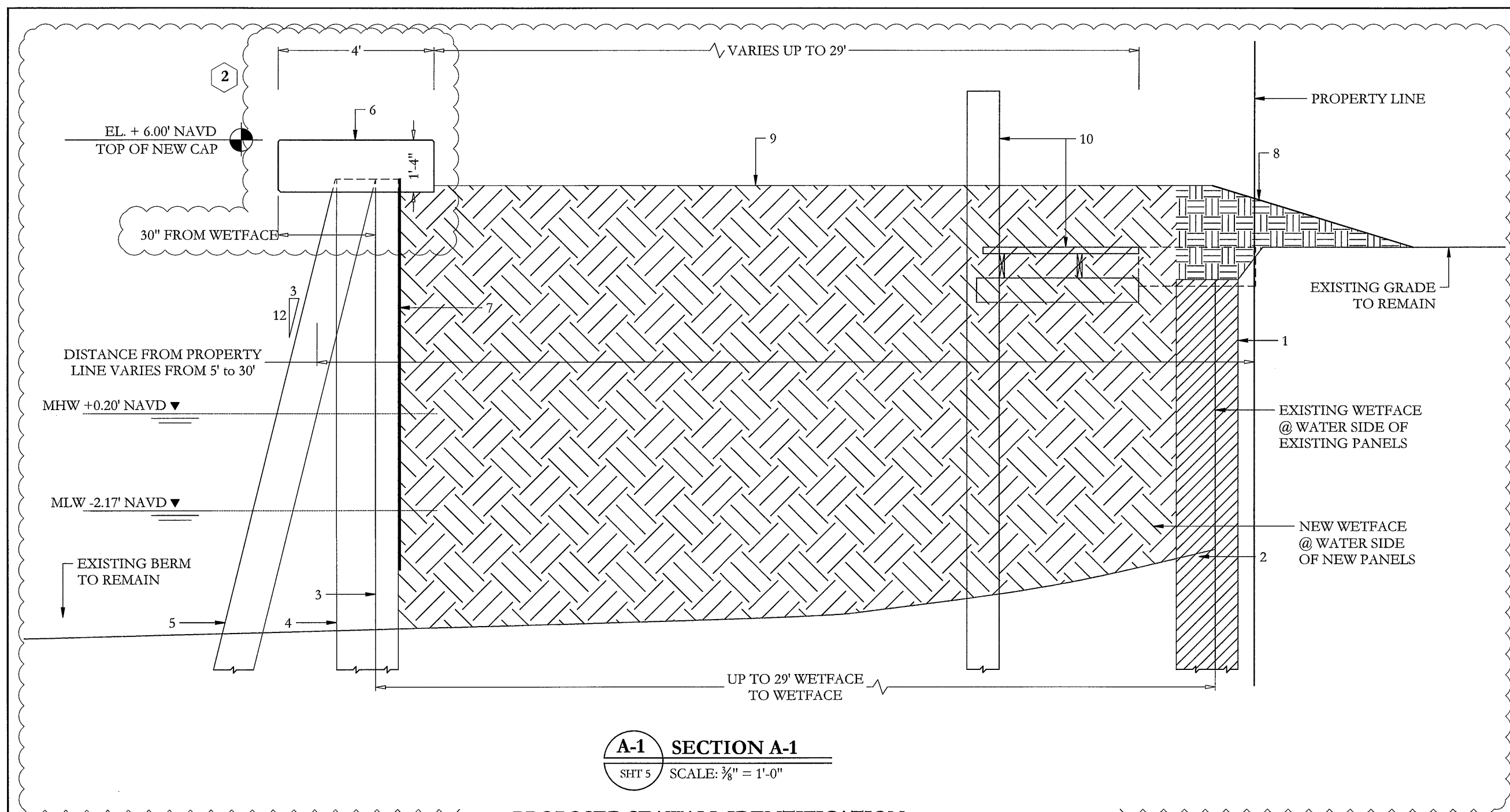
Mark E. Weber, P.E.
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 954-421-1700 CGC052820

SEAWALL REPLACEMENT FOR:
 BOCA HIGHLANDS
 4801 S OCEAN BLVD
 HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS
7/28/2023	REVISION 1
8/25/2023	Corrections per Town

SCALE: AS NOTED
 DATE: 8/04/2021
 JOB No: 20-2515
SHT 5
 5 of 11



A-1 SECTION A-1
 SHT 5 SCALE: 3/8" = 1'-0"

PROPOSED SEAWALL IDENTIFICATION:

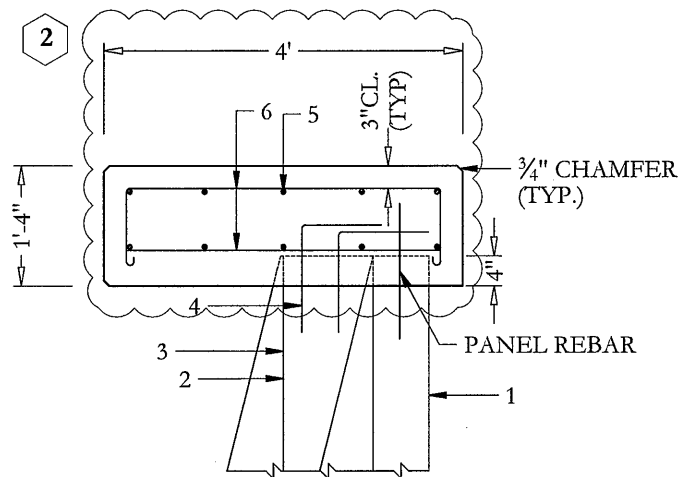
1. EXISTING SEAWALL PANELS TO REMAIN
2. EXISTING VERTICAL PILES TO REMAIN TO MAINTAIN WALL INTEGRITY DURING INSTALLATION OF NEW WALL; SOME EXISTING VERTICALS PILINGS TO BE REMOVED AS NECESSARY;
3. PROPOSED 8'-10" x 7.5" x 12' PRE-CAST CONCRETE PANEL (SEE SHT 6 FOR DETAILS)
4. PROPOSED 12" x 12" CONCRETE KING PILE
5. PROPOSED 12" x 12" CONCRETE BATTER PILE
6. PROPOSED 48" x 16" CONCRETE SEAWALL CAP
7. PROPOSED GEOTEXTILE FABRIC AT CONCRETE PANEL GAP
8. MINIMAL BACKFILL WITH CLEAN MATERIAL OVER EXISTING SEAWALL COMPONENTS TO REMAIN
9. BACKFILL WITH CLEAN MATERIAL BETWEEN NEW AND EXISTING SEAWALLS
10. EXISTING DOCK AND PILES TO BE REMOVED

1

2

Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger
 Revision 1 - Denoted removal of portion of existing dock; Change to layout design of new seawall and dock

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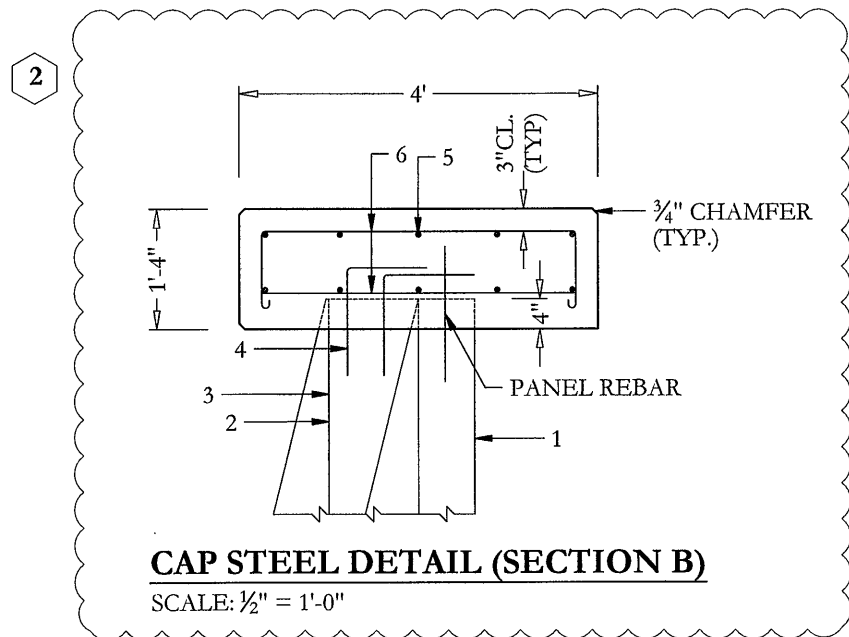


CAP STEEL DETAIL (SECTIONS A & A-1)

SCALE: 1/2" = 1'-0"

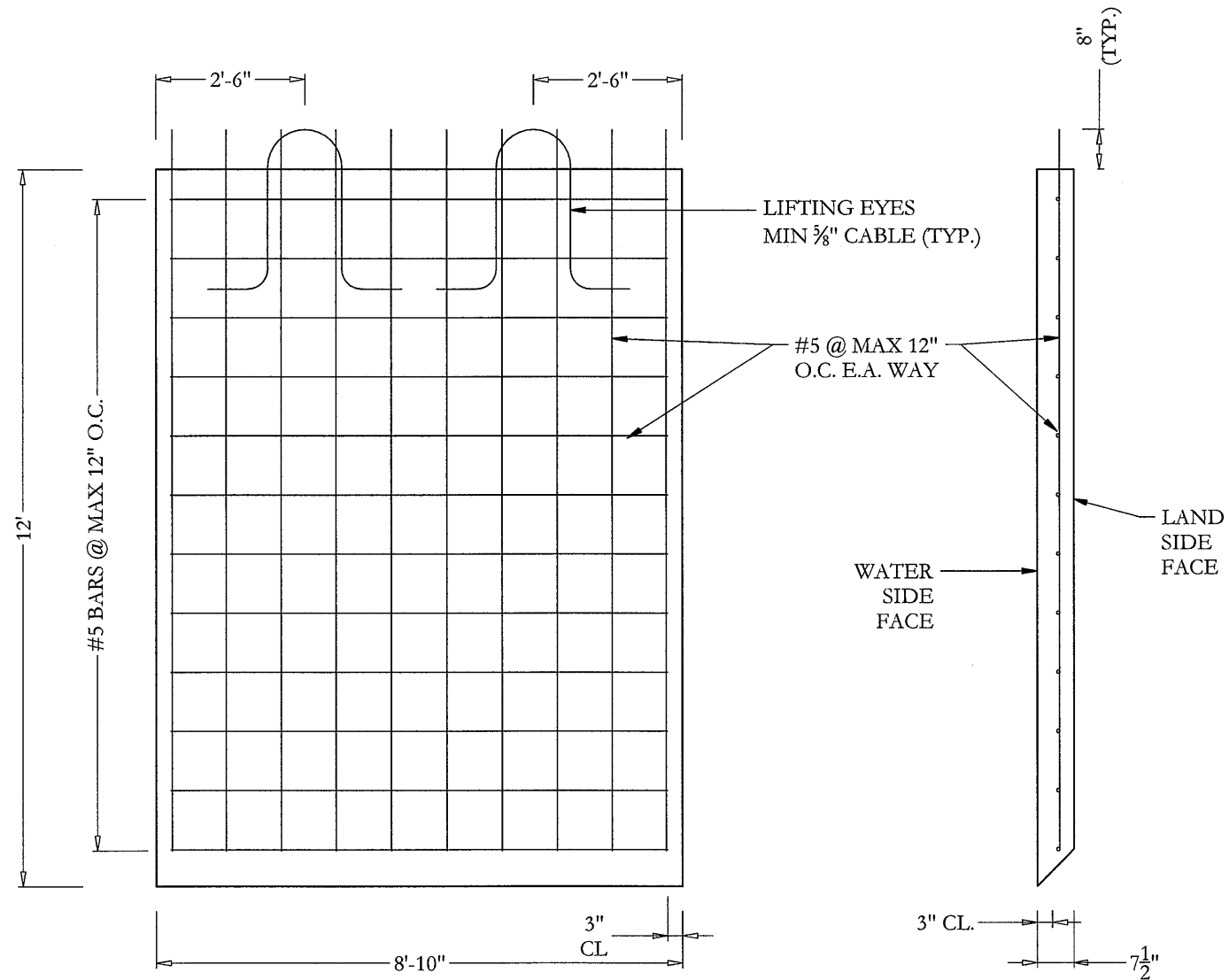
CAP STEEL IDENTIFICATION:

1. PROPOSED 8'-10" x 7.5" x 12' PRE-CAST CONCRETE PANEL (SEE SHEET 6 FOR DETAILS)
2. PROPOSED 12" x 12" CONCRETE VERTICAL PILE
3. PROPOSED 12" x 12" CONCRETE BATTER PILE
4. EXTEND PILE STRANDS A MIN. OF 18" INTO CAP/DOCK SLAB STEEL OR CUT STRANDS EVEN W/ TOP OF PILINGS & DOWEL & EPOXY (2) #5 L-BARS, 12" LONG W/ 12" BEND, INTO TOP OF PILINGS, W/ A MIN. OF 4" EMBEDMENT.
5. (10) #5 BARS CONTINUOUS
6. #3 STIRRUPS WITH #3 CROSS TIES @ 18" O.C.



CAP STEEL DETAIL (SECTION B)

SCALE: 1/2" = 1'-0"



CONCRETE PANEL DETAIL

SCALE: 3/8" = 1'-0"

SIDE VIEW

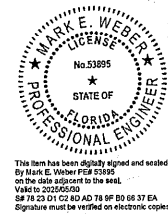
SCALE: 3/8" = 1'-0"

NOTE:
PANEL HEIGHT TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE CONSTRUCTION, TO PROVIDE A MINIMUM OF 2' EMBEDMENT INTO EXISTING GRADE.

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954-421-1700 CGC052820

SEA WALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS
8/25/2023	Corrections per Town

SCALE: AS NOTED

DATE: 8/04/2021

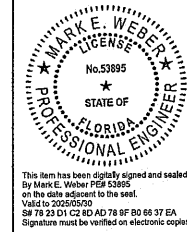
JOB No: 20-2515

SHT 6

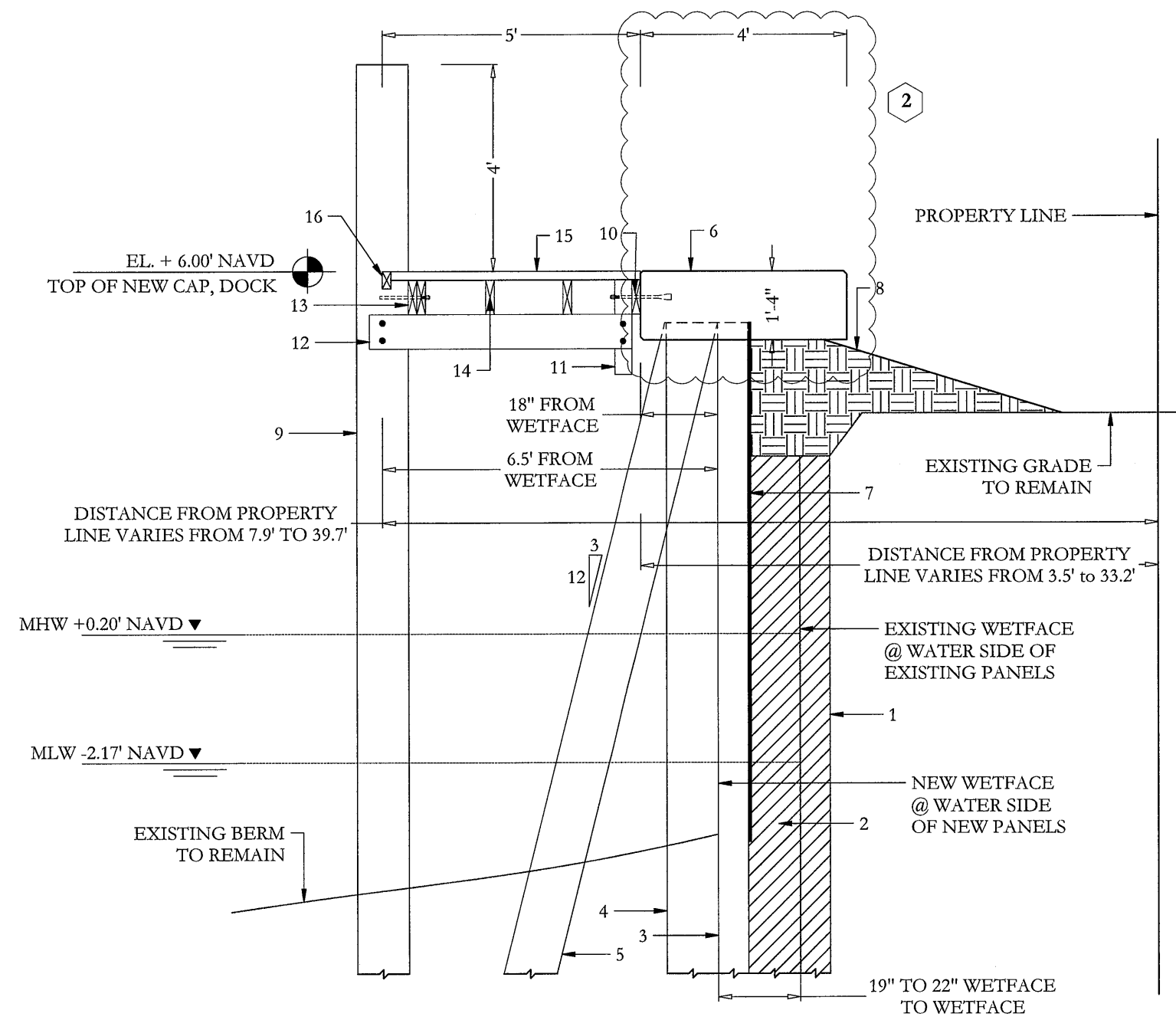
6 of 11

2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger

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B SECTION B
 SHT 7 SCALE: 3/8" = 1'-0"

PROPOSED SEAWALL & DOCK IDENTIFICATION:

1. EXISTING SEAWALL PANELS TO REMAIN
2. EXISTING VERTICAL PILES TO REMAIN TO MAINTAIN WALL INTEGRITY DURING INSTALLATION OF NEW WALL; SOME EXISTING VERTICALS PILINGS TO BE REMOVED AS NECESSARY;
3. PROPOSED 8'-10" x 7.5" x 12' PRE-CAST CONCRETE PANEL (SEE SHEET 6 FOR DETAILS)
4. PROPOSED 12" x 12" CONCRETE KING PILE
5. PROPOSED 12" x 12" CONCRETE BATTER PILE
6. PROPOSED 48" x 16" CONCRETE SEAWALL CAP
7. PROPOSED GEOTEXTILE FABRIC AT CONCRETE PANEL GAP
8. MINIMAL BACKFILL WITH CLEAN MATERIAL OVER EXISTING SEAWALL COMPONENTS TO REMAIN

9. NEW 12" DIA. WOOD PILING
10. 2" x 8" LEDGER TO CAP WITH (2) 5/8" WEDGE ANCHORS @ 36" O.C, MIN. 4" EMBEDMENT
11. 4" x 12" HANGER TO CAP WITH (2) 5/8" WEDGE ANCHOR, MIN. 4" EMBEDMENT
12. 2" x 8" SUBSTRINGER WITH (2) 5/8" THRU BOLT OR LAG BOLT @ PILING AND HANGERS
13. (2) 2" x 8" STRINGERS @ PILING WITH (1) 5/8" THRU BOLT OR LAG BOLT TO PILING
14. 2" x 8" STRINGERS W/ (2) 16D NAILS TO EACH SUBSTRINGER; @ 16" O.C. FOR AZEK DECKBOARDS OR 24" O.C.. FOR PRESSURE TREATED WOOD DECKBOARDS OR 3/4" IPE DECKBOARDS
15. 2" x 6" DECKING WITH (2) #8 x 3" DECK SCREWS PER STRINGER
16. 2" x 4" WOOD TRIM

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 954-421-1700 CGC052820

SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
 4801 S OCEAN BLVD
 HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS
8/25/2023	Corrections per Town

SCALE: AS NOTED
 DATE: 8/04/2021

JOB No: 20-2515

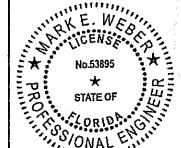
SHT 7
 7 of 11

2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger

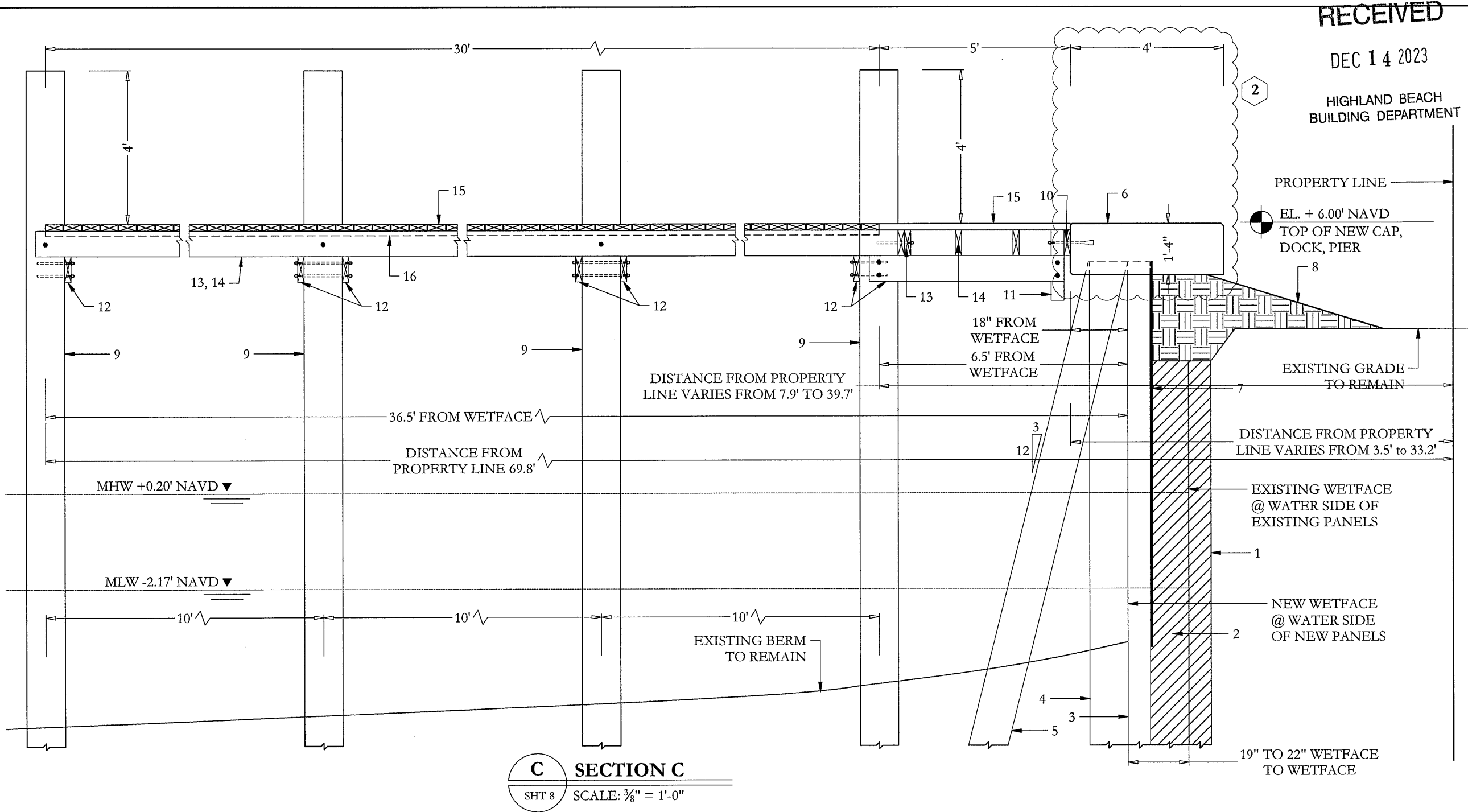
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C SECTION C
SHT 8 SCALE: 3/8" = 1'-0"

PROPOSED SEAWALL, DOCK & PIER IDENTIFICATION:

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. EXISTING SEAWALL PANELS TO REMAIN 2. EXISTING VERTICAL PILES TO REMAIN TO MAINTAIN WALL INTEGRITY DURING INSTALLATION OF NEW WALL; SOME EXISTING VERTICALS PILINGS TO BE REMOVED AS NECESSARY; 3. PROPOSED 8'-10" x 7.5" x 12' PRE-CAST CONCRETE PANEL (SEE SHEET 6 FOR DETAILS) 4. PROPOSED 12" x 12" CONCRETE KING PILE 5. PROPOSED 12" x 12" CONCRETE BATTER PILE 6. PROPOSED 48" x 16" CONCRETE SEAWALL CAP 7. PROPOSED GEOTEXTILE FABRIC AT CONCRETE PANEL GAP 8. MINIMAL BACKFILL WITH CLEAN MATERIAL OVER EXISTING SEAWALL COMPONENTS TO REMAIN | <ol style="list-style-type: none"> 9. NEW 12" DIA. WOOD PILING 10. 2" x 8" LEDGER TO CAP WITH 5/8" WEDGE ANCHORS @ 36" O.C., MIN. 4" EMBEDMENT 11. 4" x 12" HANGER TO CAP WITH (2) 5/8" WEDGE ANCHOR, MIN. 4" EMBEDMENT 12. 2" x 8" SUBSTRINGER WITH (2) 5/8" THRU BOLT OR LAG BOLT @ PILINGS AND HANGERS 13. (2) 2" x 8" STRINGERS @ PILINGS WITH (1) 5/8" THRU BOLT OR LAG BOLT TO PILINGS 14. 2" x 8" STRINGERS W/ (2) 16D NAILS TO EACH SUBSTRINGER; @ 16" O.C. FOR AZEK DECKBOARDS OR 24" O.C.. FOR PRESSURE TREATED WOOD DECKBOARDS OR 1/4" IPE DECKBOARDS 15. 2" x 6" DECKING WITH (2) #8 x 3" DECK SCREWS PER STRINGER 16. 2" x 4" WOOD TRIM |
|--|--|

2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger

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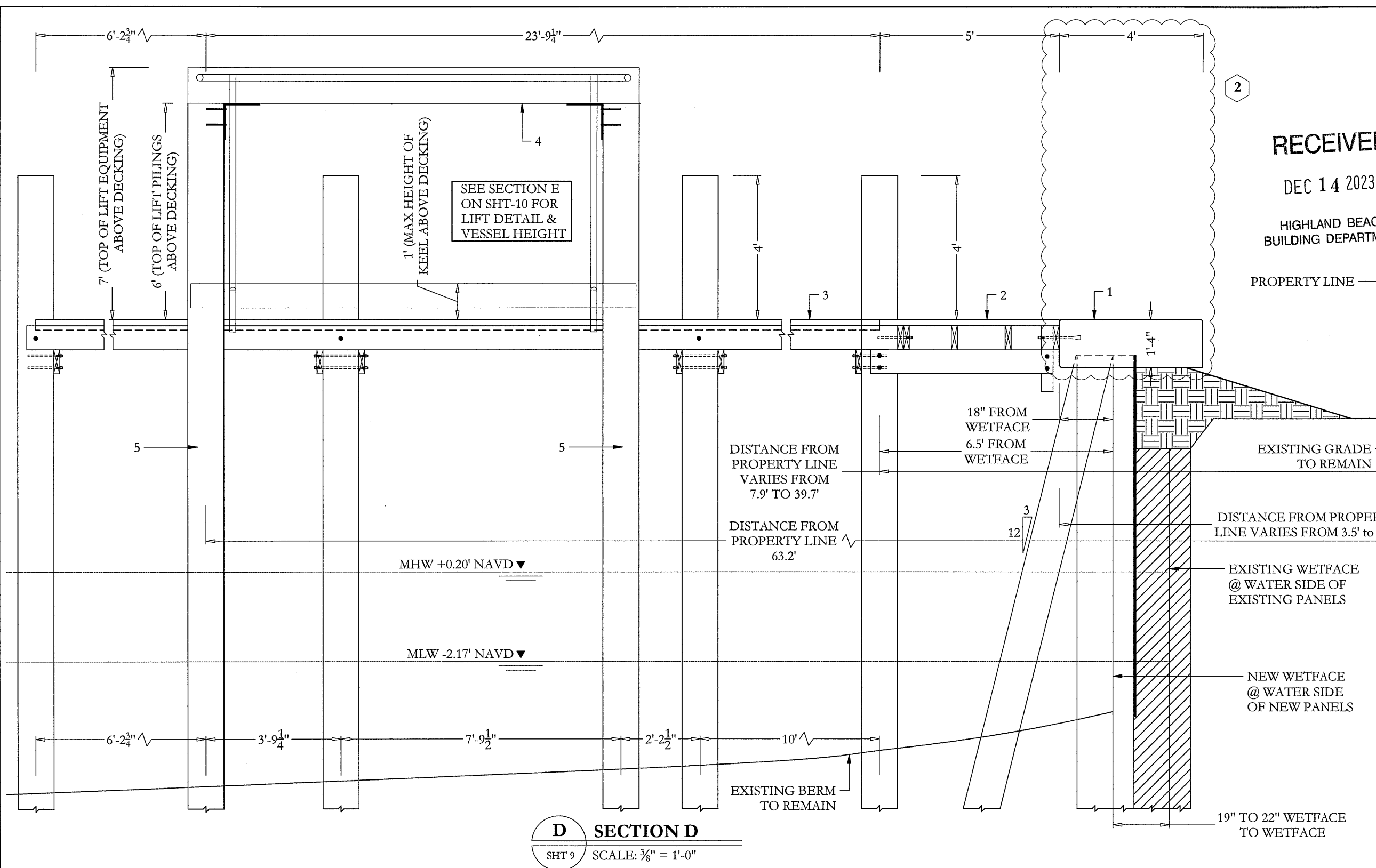
SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS
8/25/2023	Corrections per Town

SCALE: AS NOTED
DATE: 8/04/2021

JOB No: 20-2515

SHT 8
8 of 11



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SCALE: AS NOTED	
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JOB No: 20-2515	
SHT 9	

D SECTION D
 SHT 9 SCALE: 3/8" = 1'-0"

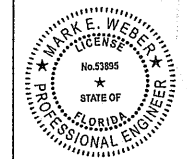
REINSTALLED LIFT IDENTIFICATION:

1. SEE SECTION A ON SHT-4 FOR PROPOSED SEAWALL DETAILS
2. SEE SECTION B ON SHT-5 FOR PROPOSED DOCK DETAILS
3. SEE SECTION C ON SHT-7 FOR PROPOSED PIER DETAILS
4. EXISTING LIFT TO BE REMOVED AND REPLACED IN SAME LOCATION ALONG REBUILT PIER
5. EXISTING 12" DIA WOOD LIFT PILES TO BE REMOVED AND REINSTALLED

2 Corrections 2 - Changed cap width to 4' to match FDEP/ACOE; Made dimensions/leaders bold and larger

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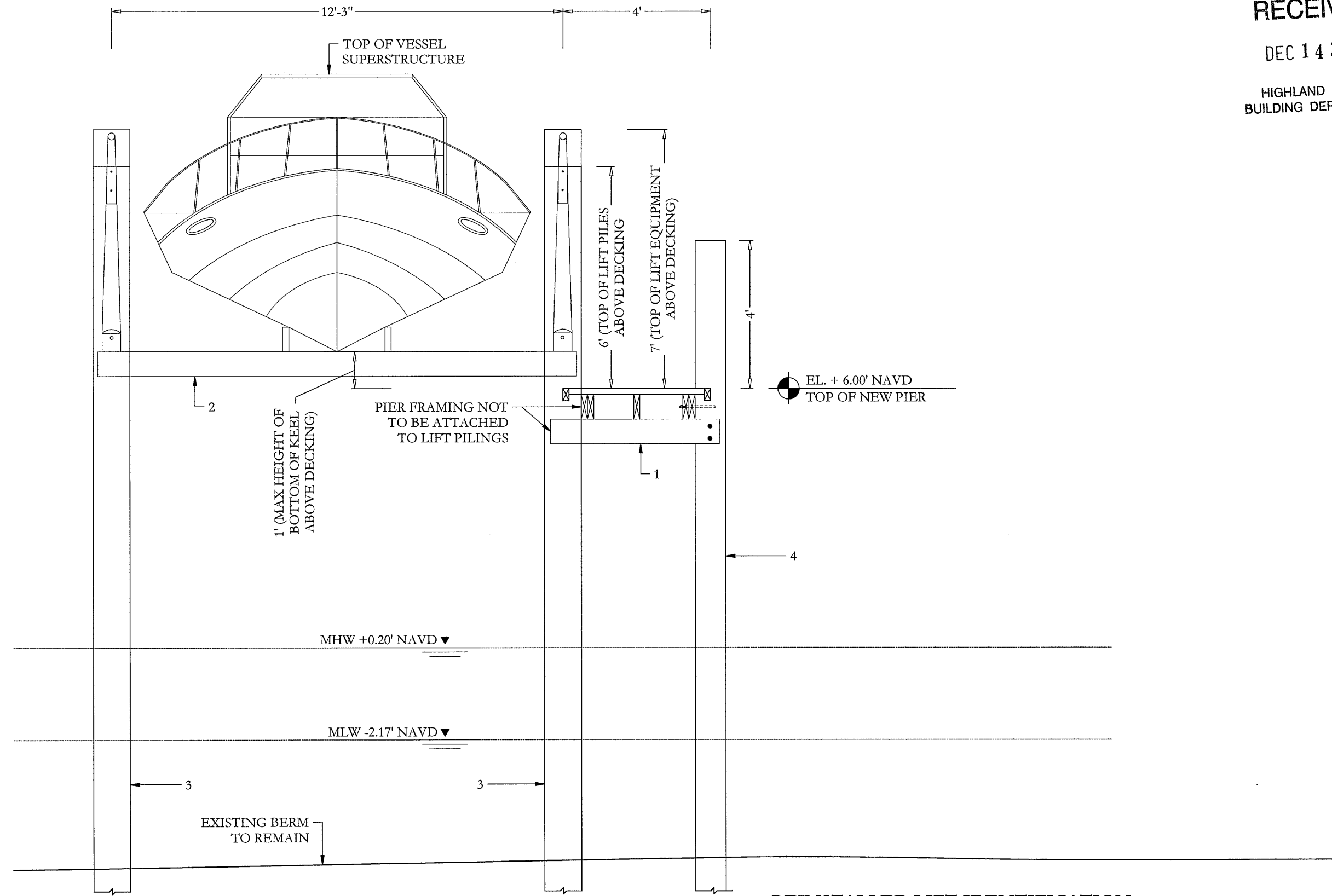
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 Deerfield Beach, FL 33442
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SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
 4801 S OCEAN BLVD
 HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS

SCALE: AS NOTED
 DATE: 8/04/2021
 JOB No: 20-2515

SHT 10
 10 of 11



E SECTION E
 SHT 10 SCALE: 3/8" = 1'-0"

REINSTALLED LIFT IDENTIFICATION:

1. SEE SECTION C ON SHT-7 FOR PROPOSED PIER DETAILS
2. EXISTING LIFT TO BE REMOVED AND REPLACED IN SAME LOCATION ALONG REBUILT PIER
3. EXISTING 12" DIA WOOD LIFT PILES TO BE REMOVED AND REINSTALLED
4. NEW 12" DIA. WOOD PIER PILES

GENERAL NOTES:

1. Construction to follow the Florida Building Code 7th Edition (2020) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each appertaining circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

CONCRETE NOTES: (IF CONCRETE STRUCTURES ARE INSTALLED)

1. Concrete shall conform to ACI 318-14 and shall be regular weight, sulfate resistant, with a design strength of 5000 psi at 28 days with a maximum water-cementitious materials ratio, by weight aggregate concrete of 0.40.
2. Owner shall employ and pay for testing services from an independent testing laboratory for concrete sampling and testing in accordance with ASTM.
3. Licensed contractor is responsible for the adequacy of forms and shoring and for safe practice in their use and removal.
4. Concrete cover shall be 3" unless otherwise noted on the approved drawings.
5. Reinforcing steel shall be in conformance with the latest version of ASTM A615 Grade 60 specifications. All reinforcement shall be placed in accordance with ACI 315 and ACI Manual of Standard Practice.
6. Splices in reinforcing bars shall be not be less than 48 bar diameters and reinforcing shall be continuous around all corners and changes in direction. Continuity shall be provided at corners or changes in direction by bending the longitudinal steel around the corner 48 bar diameters.
7. Defective, cracked or loose concrete areas must be cut out, the rebar must be cleaned, coated with zinc and repaired with at least 3" of epoxy-concrete mix or gunnite concrete with sulfate-resistant cement.
8. For cap overpours, dowel and epoxy #5 bars or L-bars into top and/or front of existing cap, staggered @ 24" o.c., min. 4" embedment.

SHORING NOTE: (IF EXISTING SEAWALL IS TO BE REMOVED AND REPLACED)

1. Contractor of record and permit holder responsible for all shoring. Until provisions for permanent support have been made, all excavations shall be properly guarded and protected so as to prevent them from becoming dangerous to life and property and shall be sheet piled, braced and/or shored, where necessary, to prevent the adjoining earth from caving in; such protection to be provided by the person causing the excavation to be made. All excavations shall comply with the minimum requirements of the Florida Building Code, and Florida Statute 553.60, "Trench Safety Act," and 29-cfr1926-650 (p) "Occupational Safety and Health Administration Excavation Safety Act."

PILE DRIVING: (IF PILES NEW ARE INSTALLED)

1. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
2. Piles shall be driven to a minimum allowable bearing capacity of 10 tons for wood, and 25 tons for concrete, and 5 tons for pin piles, a minimum of 8' into berm or refusal.
3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
4. Piles shall be driven with a variation of not more than ¼ inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

CONCRETE PILE NOTES: (IF CONCRETE PILES ARE INSTALLED)

1. Concrete piles shall attain 5000 psi compressive strength in 28 days.
2. Concrete piles shall be reinforced with four - 7/16"Ø lo-lax strands, 270 kips, and 5 ga. spiral ties.
3. Concrete piles shall be 12"x12" square, minimum length of 20'.
4. Concrete piles shall be cut to leave strands exposed a min. of 18" and tied to dock or cap steel.
5. For all prestressed pilings, extend pilings strands a min. of 18" into cap/dock slab steel or cut strands even w/ top of pilings & dowel & epoxy (2) #5 L-bars, 12" long w/ 12" bend, into top of pilings, w/ a min. of 4" embedment.
6. New batter and vertical pilings and panels to have a minimum 4" penetration into the new cap form. New dock pilings to have a minimum 3" penetration into the new dock slab form.

WOOD PILES NOTES: (IF WOOD PILES ARE INSTALLED)

1. Wood piles to be 2.5lb CCA treated in accordance with AWPA Standard C18.
2. Wood piles shall be a minimum diameter of 10"; Miami Dade County requires minimum diameter of 12".

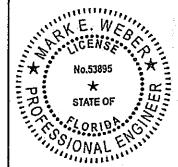
WOOD DOCK/PIER NOTES: (IF WOOD STRUCTURES ARE INSTALLED)

1. All materials to be pressure treated pine unless otherwise noted.
2. All frame work materials to be Southern Yellow Pine Grade #1, Fb=1200 PSI and Fv=175 PSI.
3. All decking materials to be grade #1 unless otherwise noted.
4. All hardware to be Stainless Steel or Galvanized unless otherwise noted.

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DEC 14 2023

HIGHLAND BEACH BUILDING DEPARTMENT



Digitally signed by Mark E Weber
Date: 2023.10.16 18:55:21 -04'00'

This form has been digitally signed and sealed by Mark E. Weber PE# 53895 on this form adjacent to the seal. Valid to 2025/05/29. All PE 78 23 01 C2 80 42 78 99 02 08 37 EA. Signature must be verified on electronic copies.

Mark E. Weber, P.E.
LICENSE #53895 | CA 30702
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PREPARED FOR:
B & M MARINE CONSTRUCTION, INC.
1211 South Military Trail, Suite 200
Deerfield Beach, FL 33442
954-421-1700 CGC052820

SEAWALL REPLACEMENT FOR:
BOCA HIGHLANDS
4801 S OCEAN BLVD
HIGHLAND BEACH, FL

DATE	NOTES/REVISIONS

SCALE: AS NOTED

DATE: 8/04/2021

JOB No: 20-2515

SHT 11