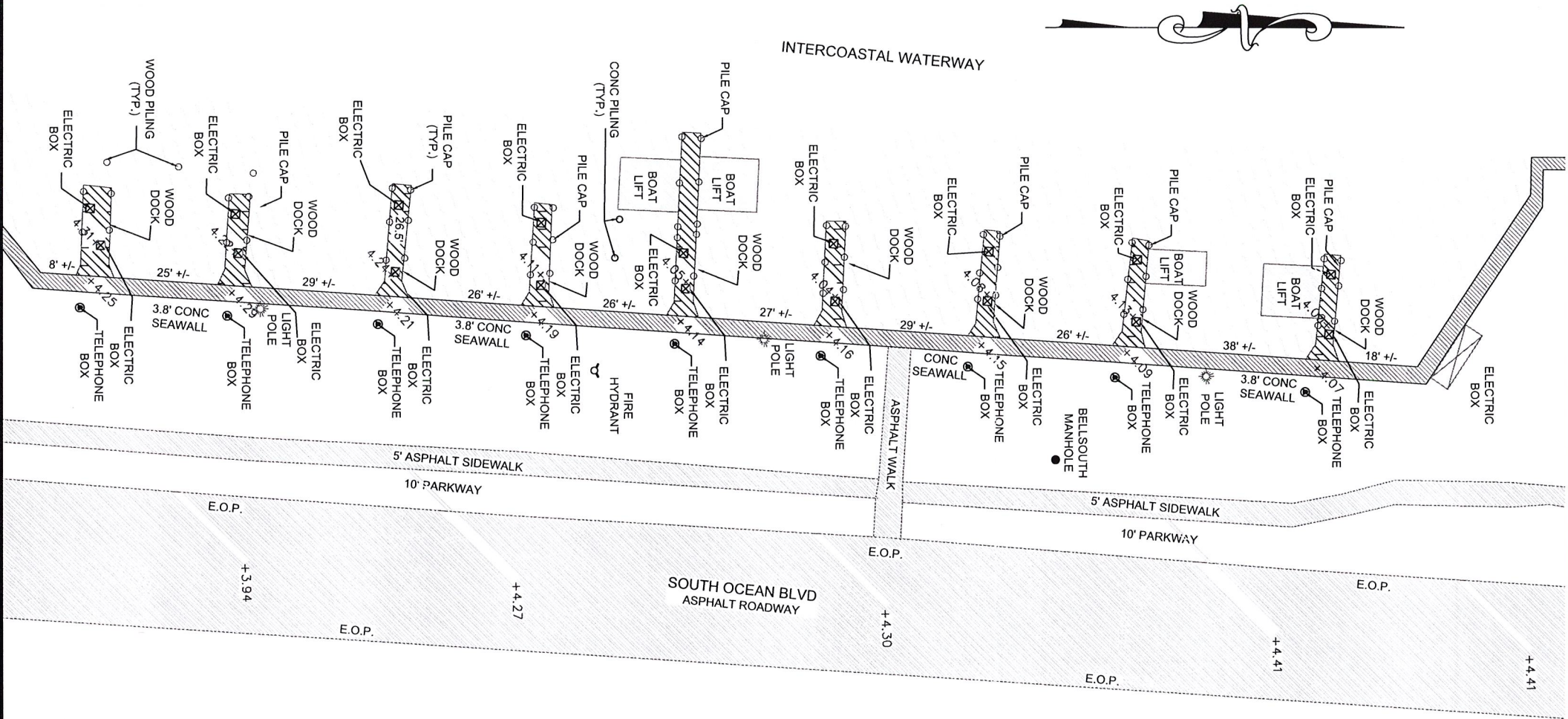


SPECIFIC PURPOSE SURVEY
for Seawall & Dock improvements



LEGAL DESCRIPTION:
A PORTION OF LOTS 25, 25-A, 26, 26-A, 27, 27-A, 28 AND 28-A OF "BYRD BEACH" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE 1 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFICATIONS:
VILLA MAGNA CONDOMINIUM

SURVEYORS NOTES:
(1.) ANGLES IF SHOWN ARE REFERENCED TO THE RECORD PLAT AND ARE AS MEASURED.
(2.) LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
(3.) NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
(4.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
(5.) THIS SURVEY IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
(6.) THERE MAY BE EXISTING RECORDED EASEMENTS CONTAINED IN THE PUBLIC RECORDS NOT DEPICTED HEREON THAT ONLY A THOROUGH TITLE SEARCH WOULD UNCOVER.
(7.) SURVEY PURPOSE FOR NEW SEAWALL.
(9.) ELEVATIONS (IF SHOWN) ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) UNLESS OTHERWISE NOTES.

GENERAL LEGEND:

A/C = AIR CONDITIONER	EB = ELECTRIC BOX	LME = LAKE MAINTENANCE EASEMENT	PP = POOL PUMP	OH = OVERHEAD CABLES (OH)
AF = ALUMINUM FENCE	ELE = ELEVATION	N = NORTH	P&M = PLAT AND MEASURED	CH = CHAIN LINK FENCE (CLF)
BCR = BROWARD COUNTY RECORDS	ELE = ELEVATION	N&D = NAIL & DISC	PVCF = POLYVINYL CHLORIDE FENCE	WF = WOOD FENCE (WF)
BM = BENCHMARK	EOP = EDGE OF PAVEMENT	MF = METAL FENCE	R = RADIUS	MF = METAL FENCE (MF)
CB = CATCH BASIN	EOW = EDGE OF WATER	MH = MAN HOLE	R/W = RIGHT OF WAY	LP = LIGHT POLE
CME = CANAL MAINTENANCE EASEMENT	FF = FINISHED FLOOR	OH = OVERHEAD CABLES	S = SOUTH	UT = UTILITY POLE
CL = CENTERLINE	FDH = FOUND DRILLHOLE	OR = OFFICIAL RECORD BOOK	S/W = SIDEWALK	WM = WATER METER
CLF = CHAIN LINK FENCE	FN = FOUND NAIL	O/S = OFFSET	SIR = SET 1/2" IRON ROD #6677	AT&B = AT&B BOX
CBS = CONCRETE BLOCK STRUCTURE	FIP = FOUND 1/2" IRON PIPE	PB = PLAT BOOK	SND = SET NAIL & DISC	
CHATT = CHATTAHOOCHEE	FIR = FOUND 1/2" IRON ROD	PBCR = PALM BEACH COUNTY RECORDS	TYP = TYPICAL	
CONC = CONCRETE	FND = FOUND NAIL & DISC	PC = POINT OF CURVATURE	UE = UTILITY EASEMENT	
CO = CLEAN OUT	INV = INVERT	PG = PAGE	W = WEST	
D = DELTA (CENTRAL ANGLE)	L = ARC LENGTH	PL = PLANTER	WF = WOOD FENCE	
DE = DRAINAGE EASEMENT	LP = LIGHT POLE	POB = POINT OF BEGINNING	WM = WATER METER	
E = EAST		POC = POINT OF COMMENCEMENT	WV = WATER VALVE	



BOUNDARY SURVEY

PROPERTY ADDRESS:
2727 S. OCEAN BOULEVARD,
HIGHLAND BEACH, FL. 33487

FLOOD ZONE DATA:

ZONE: X N/A
COMMUNITY #: 120192
PANEL & SUFFIX: 0221 B
DATE OF FIRM: 10/15/1982

DATE OF SURVEY:

FIELD LOCATION OF IMPROVEMENTS
03/04/2017
UPDATED SURVEY
11/11/2020

SCALE: 1" = 20'

CADD: LJ
CHECKED BY: EWD
INVOICE #: 20- 53511
SHEET # 1 OF 1

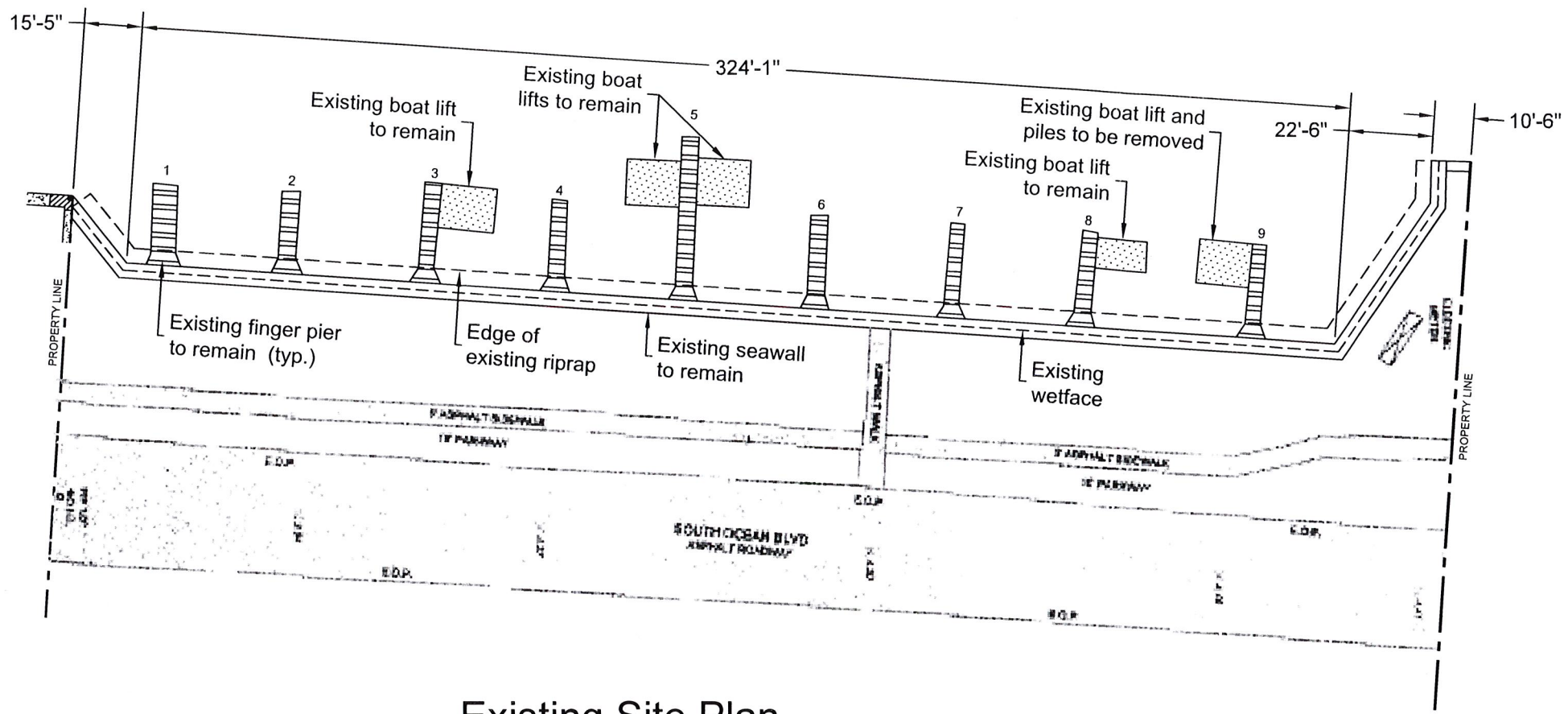
THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

ERNEST W. DUNCAN PSM., STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER LS 5182
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

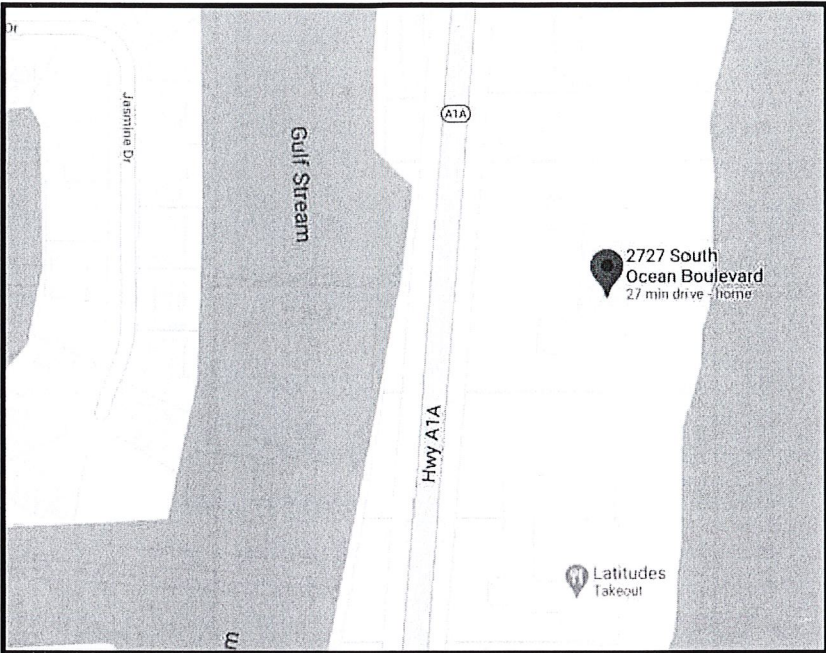
ALL COUNTY SURVEYORS



GULF STREAM / ICW
(330' R/W)



Existing Site Plan
Scale: 1" = 40'



Location Map

Legal Description

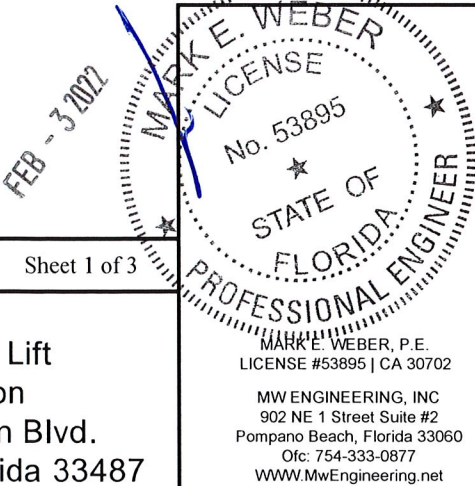
VILLA MAGNA COND
UNIT 701
Palm Beach County
Florida

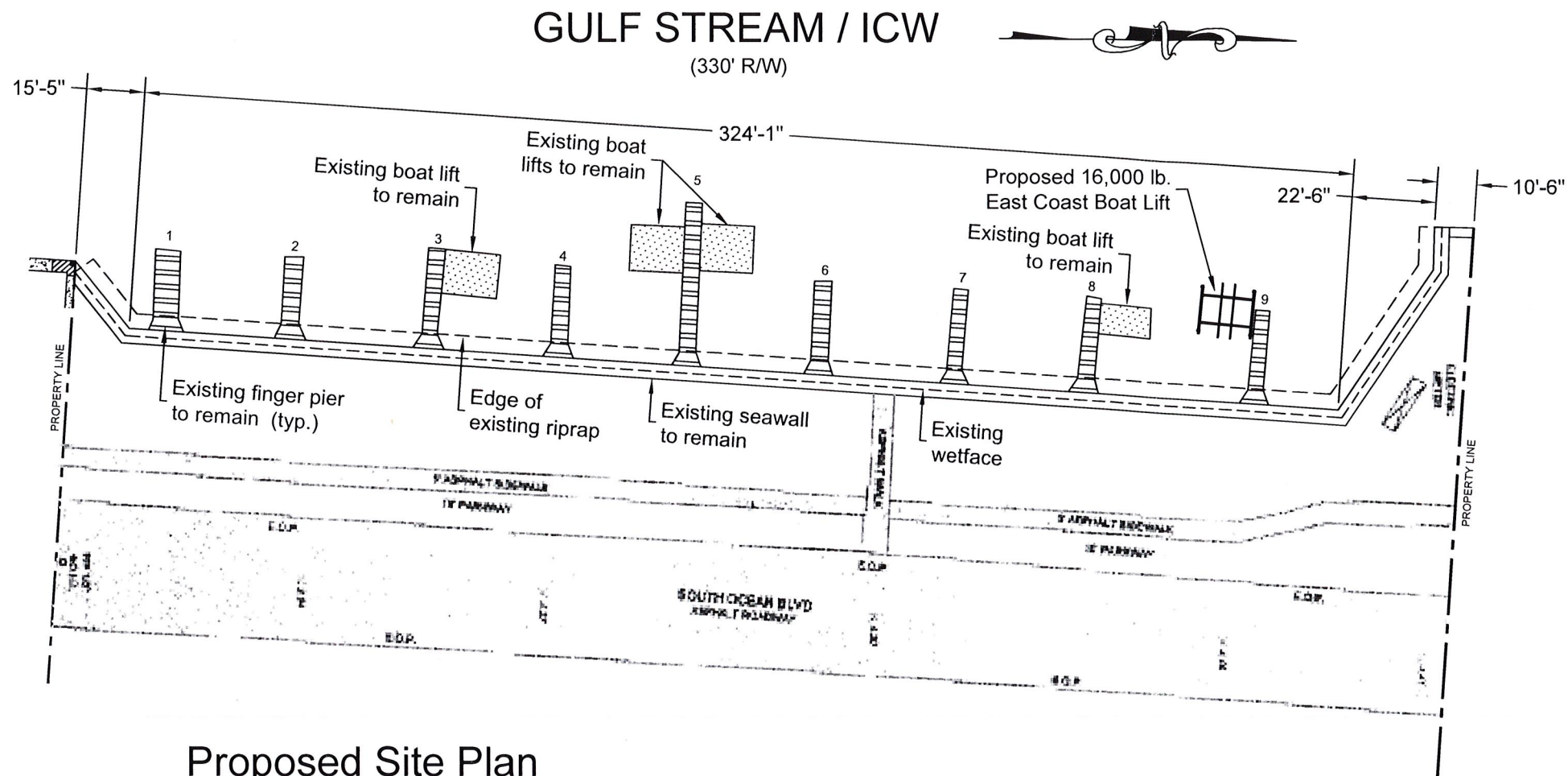
See attached survey supplied by
owner for exact property information.



PREPARED FOR:
EAST COAST BOATLIFT, INC
1040 NE 44 Court Suite C
Oakland Park, FL 33334
(954) 772-6810

Project:
Proposed Boat Lift
Richard Colton
2727 South Ocean Blvd.
Highland Beach, Florida 33487





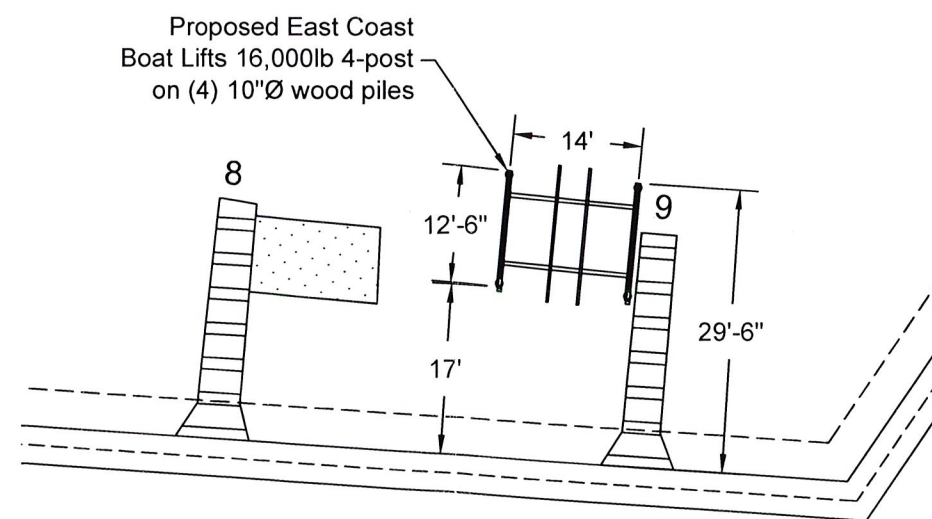
Proposed Site Plan

Scale: 1" = 40'

Legal Description

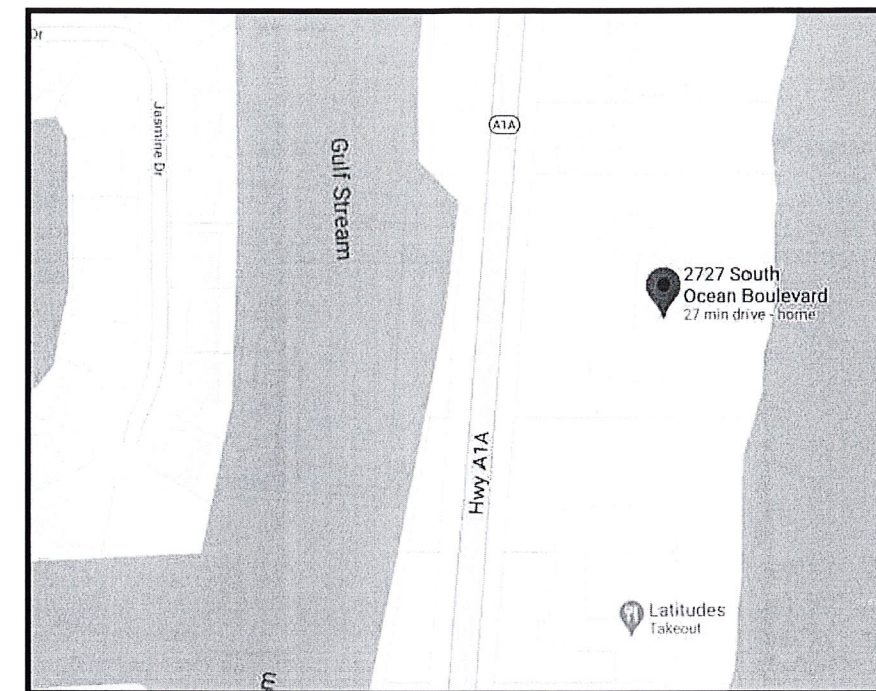
VILLA MAGNA COND

UNIT 701
Palm Beach County
Florida



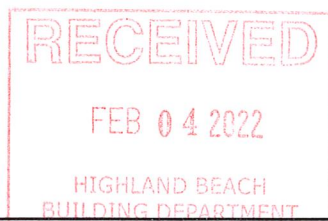
Plan View

Scale: 1" = 20'



Location Map

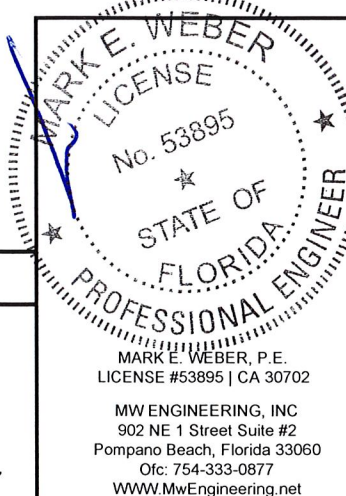
See attached survey supplied by owner for exact property information.



PREPARED FOR:
EAST COAST BOATLIFT, INC
1040 NE 44 Court Suite C
Oakland Park, FL 33334
(954) 772-6810

Project:
Proposed Boat Lift
Richard Colton
2727 South Ocean Blvd.
Highland Beach, Florida 33487

Sheet 2 of 3



GENERAL NOTES:

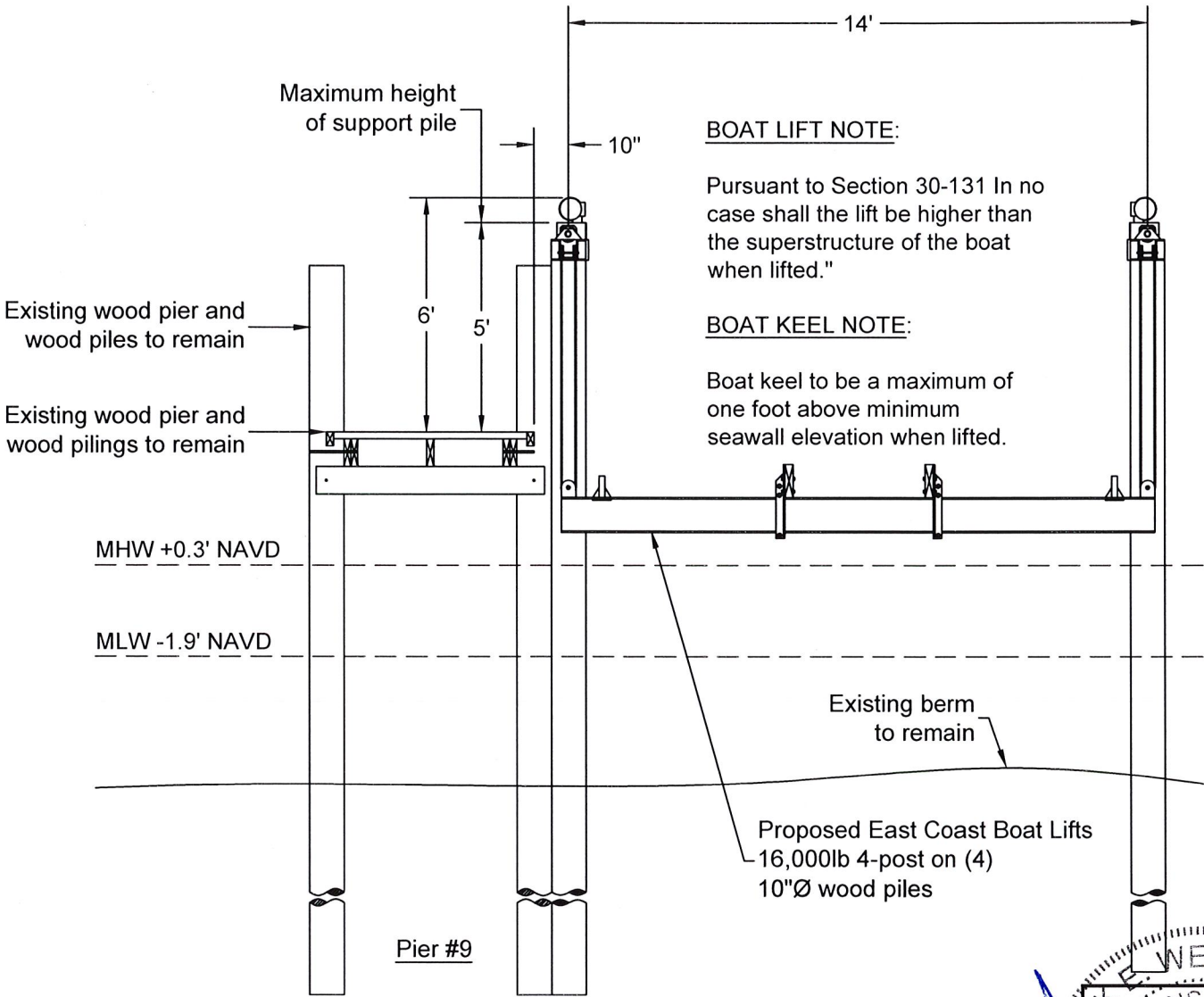
1. Construction to follow the Florida Building Code 7th Edition (2020) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each appertaining circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

PILE DRIVING:

1. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
2. Piles shall be driven to required capacity (min. 10 tons) a minimum of 8' into berm or refusal.
3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
4. Piles shall be driven with a variation of not more than $\frac{1}{4}$ inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

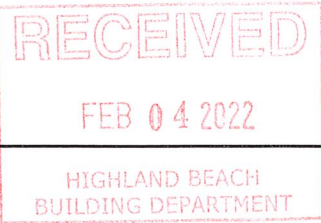
PILE NOTES:

1. Wood piles to be 2.5 lb. CCA treated in accordance with AWPA standard C18.
2. Wood piles shall be a minimum diameter of 10", Miami Dade County requires minimum diameter of 12".



Boat Lift Section

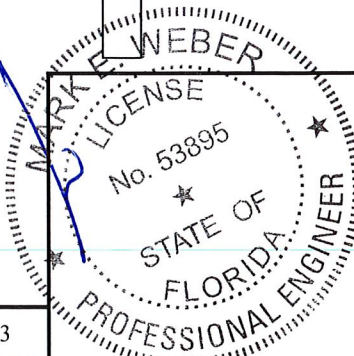
Scale 1/4"= 1'-0"



PREPARED FOR:
EAST COAST BOATLIFT, INC
1040 NE 44 Court Suite C
Oakland Park, FL 33334
(954) 772-6810

Project:
Proposed Boat Lift
Richard Colton
2727 South Ocean Blvd.
Highland Beach, Florida 33487

Sheet 3 of 3



MARK E. WEBER, P.E.
LICENSE #53895 | CA 30702
MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, Florida 33060
Ofc: 754-333-0877
WWW.MwEngineering.net