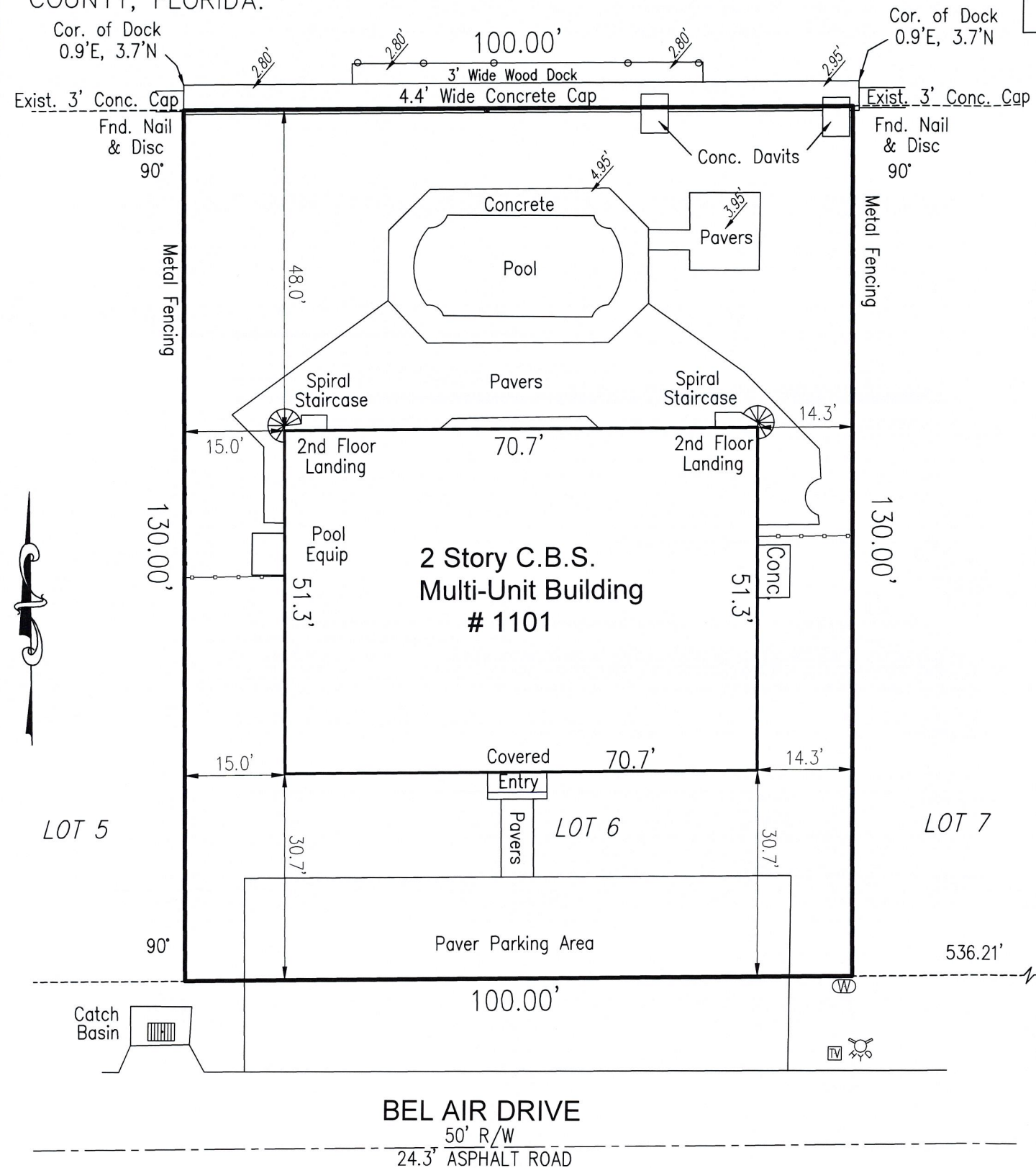


LEGAL DESCRIPTION:

LOT 6, BLOCK 1 OF "BEL LIDO, HIGHLAND BEACH, PALM BEACH COUNTY, FLORIDA". ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 97, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



ERNEST W. DUNCAN P.S.M. 5182

521 SE 5TH COURT
POMPANO BEACH, FL. 33060

BOUNDARY SURVEY

PHONE: (754) 264-2166
FAX: (954) 827-0535

JOB NO.
02-455-25

PROPERTY ADDRESS: 1101 BEL AIR DRIVE
HIGHLAND BEACH, FL

Scale: 1" = 20'

LEGEND:

F.I.R. DENOTES FOUND IRON ROD
NO ID. DENOTES NO IDENTIFICATION
CONC. DENOTES CONCRETE
R DENOTES RADIUS
D DENOTES DELTA ANGLE
L DENOTES ARC LENGTH
D.H. DENOTES DRILL HOLE
R/W DENOTES RIGHT OF WAY
CO DENOTES CLEANOUT
LS DENOTES LICENSED LAND SURVEYOR
P.S.M. DENOTES PROFESSIONAL LAND SURVEYOR
N/A DENOTES NOT APPLICABLE
A/C DENOTES AIR CONDITIONER
NAVD88 DENOTES NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD29 DENOTES NATIONAL GEODETIC VERTICAL DATUM OF 1929
U.E. DENOTES UTILITY EASEMENT
P.E. DENOTES POOL EQUIPMENT
CBS DENOTES CONCRETE BLOCK STRUCTURE

SYMBOL

⊕ WATER METER
⊙ UTILITY POLE
⊞ ELECTRIC BOX
⊞ WATER VALVE
⊞ FIRE HYDRANT
⊞ CABLE BOX
— x — CHAIN LINK FENCE (C.L.F.)
— // — WOOD FENCE (W.F.)
— □ — METAL FENCE (M.F.)
0.00' EXISTING ELEVATION

SURVEYORS NOTES:

1. ANGLES SHOWN HEREON ARE REFERENCED TO THE RECORD PLAT AND ARE AS MEASURED.
2. BENCHMARK REFERENCE: PALM BEACH COUNTY BENCHMARK A1A9303 B12, ELEVATION=20.167 NAVD88
ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
3. MINIMUM LINEAR ACCURACY OBTAINED:
1 FOOT IN 7,500 FEET AS REQUIRED FOR A SUBURBAN SURVEY
4. NO TITLE INFORMATION WAS SUPPLIED OR REVIEWED IN THE PREPARATION OF THIS SURVEY WITH THE EXCEPTION OF THE LEGAL DESCRIPTION.
5. NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND IMPROVEMENTS, OVERHEAD UTILITIES, (POWERLINES, ETC) FOUNDATIONS OR WETLANDS.
6. EASEMENTS SHOWN HEREON ARE PER THE PLAT.
7. SURVEYOR HAS MADE NO RESEARCH OF THE PUBLIC RECORDS. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN HEREON THAT MAY BE FOUND IN THE PUBLIC RECORDS.

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APR 28 2025

HIGHLAND BEACH
BUILDING DEPARTMENT

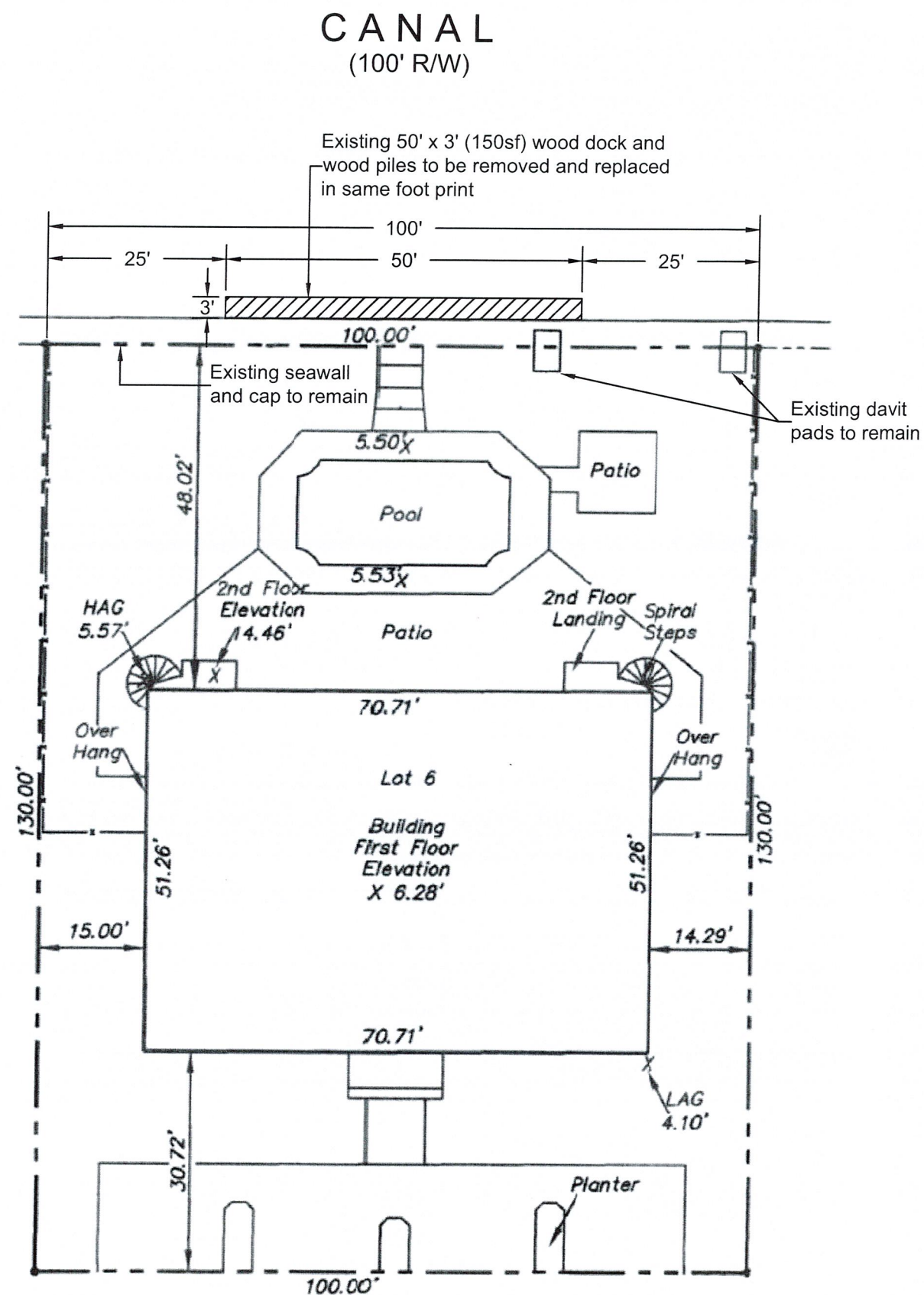
CERTIFIED TO:
BEL LIDO MANOR

Ernest W.
Duncan

Digitally signed
by Ernest W
Duncan
Date: 2025.03.05
08:18:57 -05'00'

DATE OF SURVEY 2/26/25

ERNEST W. DUNCAN, P.S.M. STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER No. LS 5182
NOT VALID WITHOUT THE SIGNATURE AND
THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.



Existing Site Plan

Scale: 1" = 20'

See attached survey supplied by owner for exact property information.
No tree will be removed or replanted as part of this permit

Consultant

UNLIMITED PERMIT SERVICES, INC
Marine Design & Consulting
902 NE 1st Street #2
Pompano Beach, FL 33060
(954) 532-0129
Office@unlimitedps.net

Project Engineer

MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, FL 33060
Ofc: 954-532-0129
WWW.MwEngineering.net

Contractor

RAY QUALMANN MARINE CONSTRUCTION, INC
2860 NE 16 Street
Pompano Beach, FL 33062
(954) 941-0132

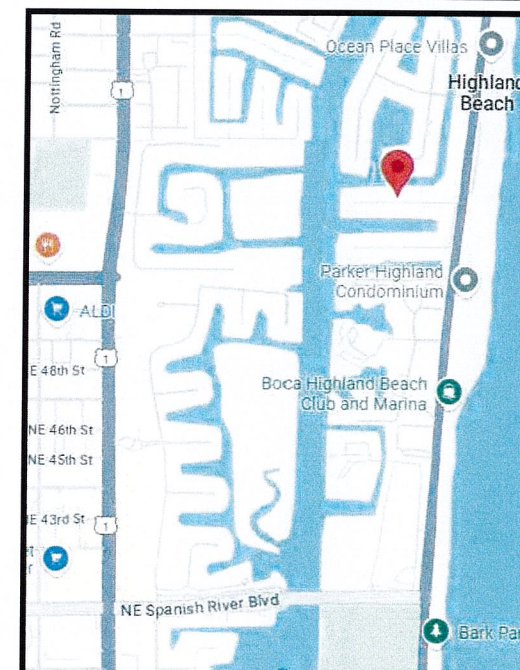
Project Information

New Dock
Bel Lido Manor Condo Association Inc
1101 Bel Air Drive
Highland Beach, FL 33487

DATE

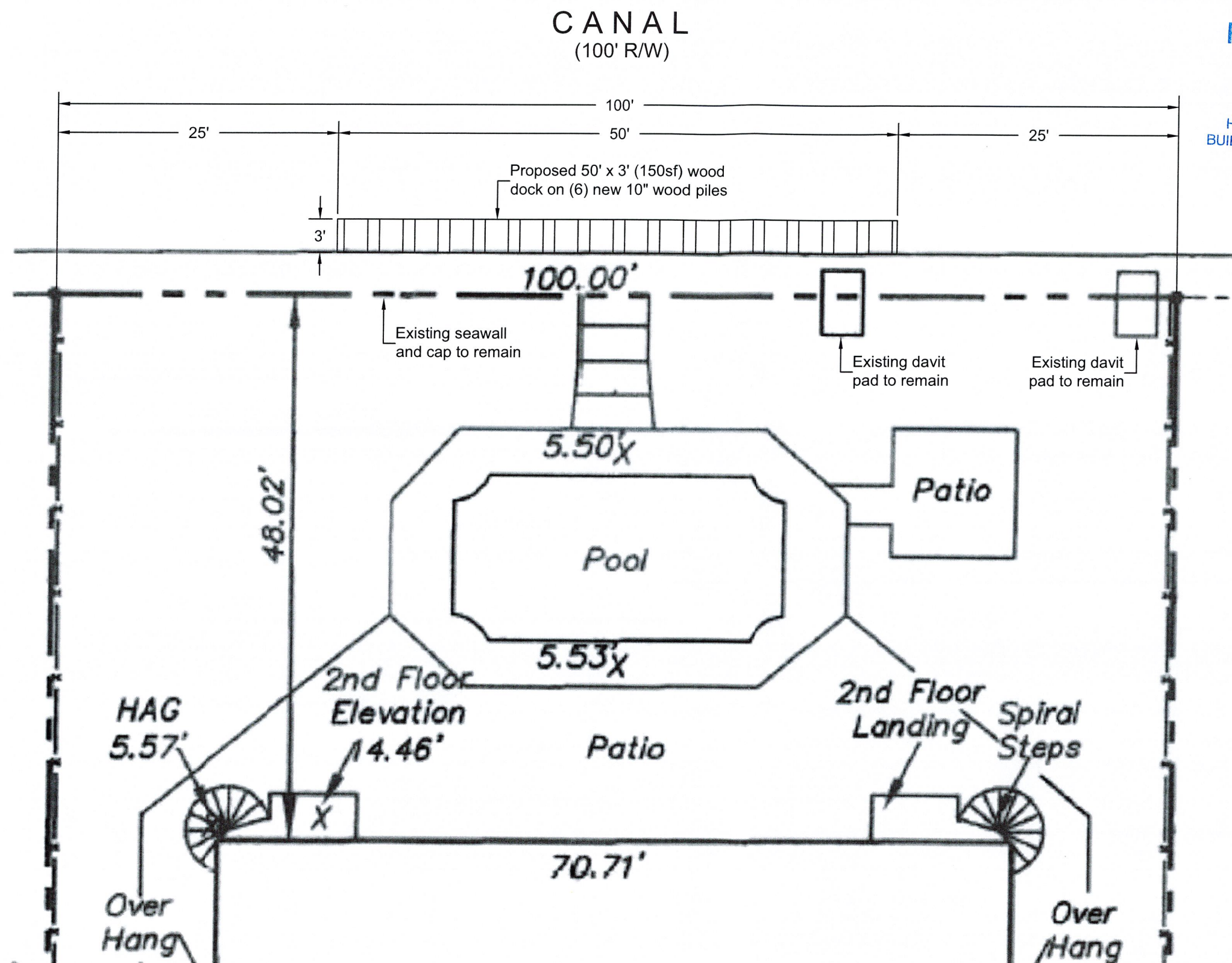
11-14-24

Location Map



Digitally signed by
Mark E Weber
Date: 2025.01.09
12:16:24 -05'00'

MARK E. WEBER, P.E.
LICENSE #53895 | CA 30702
MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, Florida 33060
Ofc: 954-532-0129
WWW.MwEngineering.net



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Date: 2025.01.09
12:23:09 -05'00'

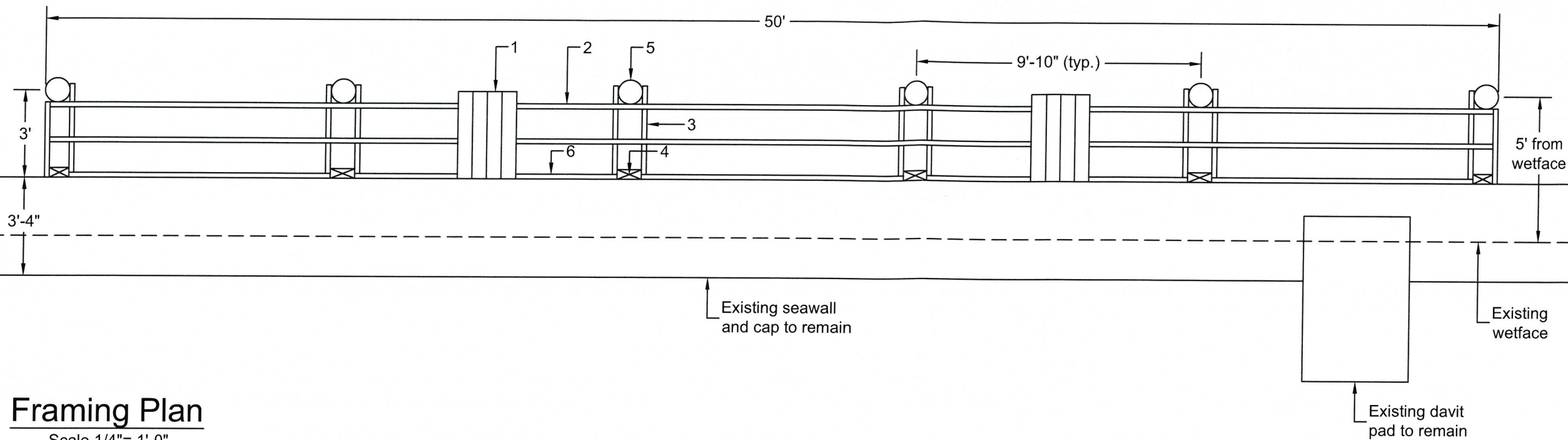
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Proposed Site Plan

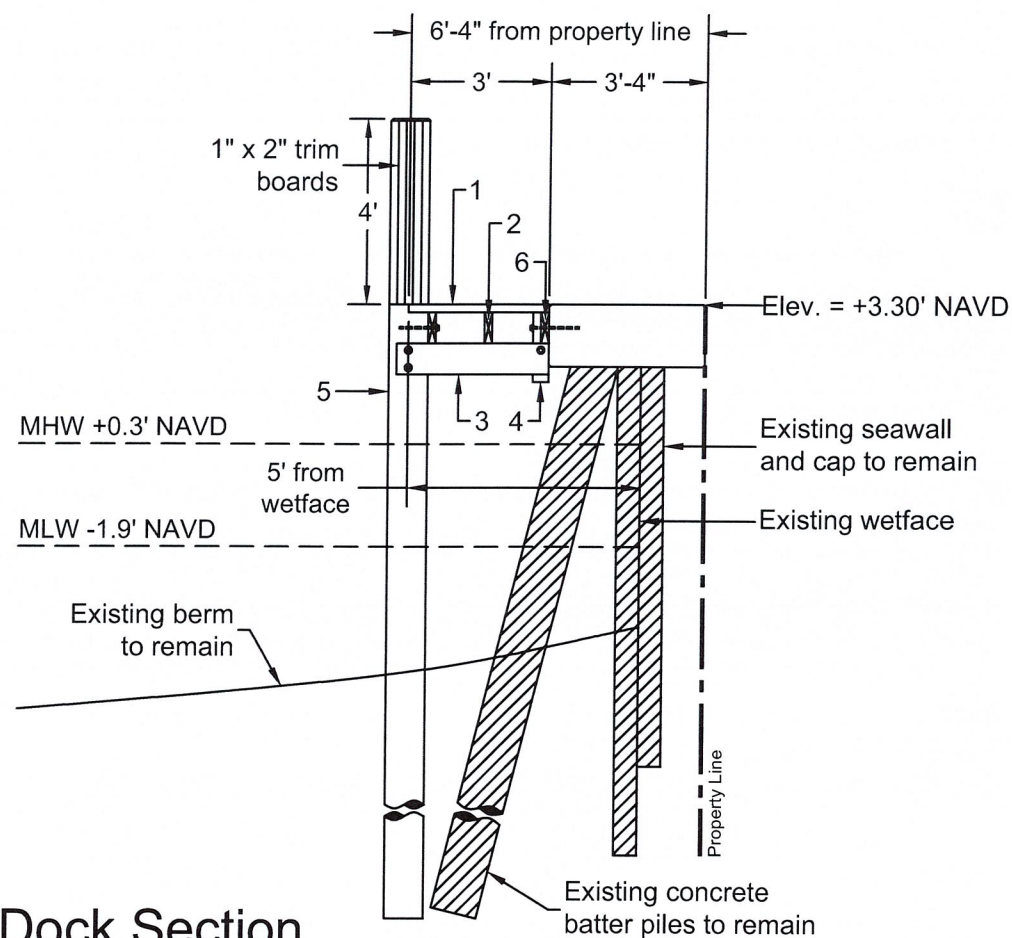
Scale: 1" = 10'

Sheet 2 of 4



Framing Plan

Scale 1/4" = 1'-0"



Dock Section

Scale 1/4" = 1'-0"

- 2x6 Decking with (2) #7x2 1/2" trim head deck screws per stringer
- 2x8 stringers @ 16" max. spacing with (2) #10 x 3" s.s. screws into substringers
- 2x8 substringers with (2) 1/2"Ø thru bolts @ piles and drop hanger
- 4x10 drop hanger with (2) 1/2"Ø wedge anchors into existing seawall cap, min. 4" embedment
- New 10"Ø wood piles
- 2x8 ledger with 1/2"Ø wedge anchor @ 24" o.c. into existing seawall cap, min. 4" embedment

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GENERAL NOTES:

- 1. Construction to follow the Florida Building Code 8th Edition (2023) and amendments as applicable and all Local, State and Federal Laws.
- 2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
- 3. Do not scale drawings for dimensions.
- 4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
- 5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
- 6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each appertaining circumstance.
- 7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
- 8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
- 9. Licensed Contractor to verify location of existing utilities prior to commencing work.
- 10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
- 11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
- 12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

PILE DRIVING:

- 1. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
- 2. Piles shall be driven to a minimum allowable bearing capacity of 10 tons for wood, 25 tons for concrete, and 5 tons for pin piles, a minimum of 8' into berm or refusal.
- 3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
- 4. Piles shall be driven with a variation of not more than 1/4 inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
- 5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

PILE NOTES:

- 1. Wood piles to be 2.5 lb. ACQ treated in accordance with the Florida Building Code.
- 2. Wood piles shall be a minimum diameter of 10", Miami Dade County requires minimum diameter of 12".

WOOD DOCK NOTES:

- 1. All materials to be pressure treated pine unless otherwise noted.
- 2. All frame work materials to be Southern Pine Grade #1
- 3. All Decking materials to be grade #1 unless otherwise noted.
- 4. All hardware to be Stainless Steel or Galvanized unless otherwise noted.

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