prepared by:
McLAUGHLIN ENGINEERING COMPANY (LB#285)
1700 N.W. 64th STREET, SUITE 400
FORT LAUDERDALE, FLORIDA 33309
WEB: www.MECO400.com, EMAIL: INFO@MECO400.COM
PHONE: (954) 763-7611

GRAPHIC SCALE

30 0 15 30 60

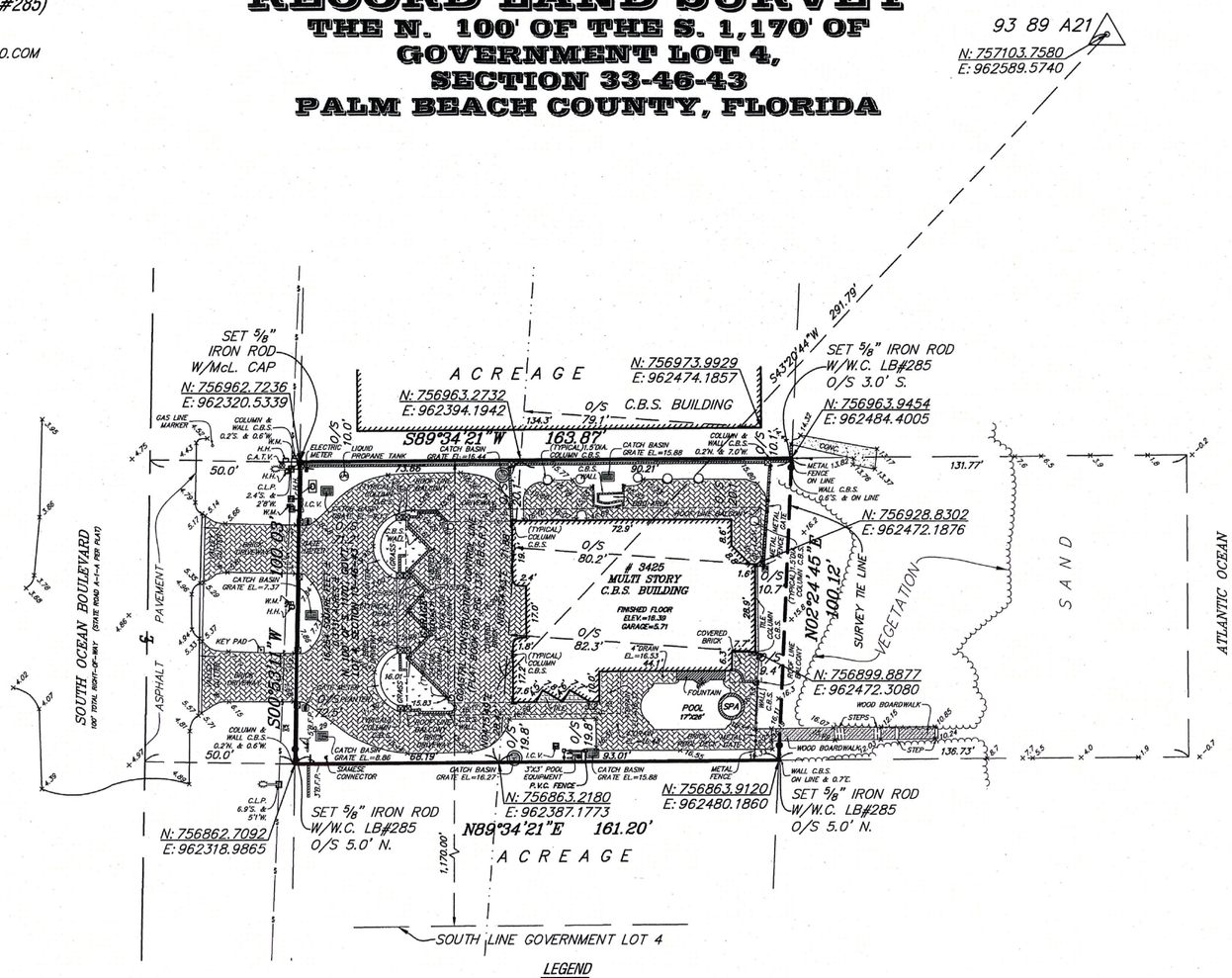
(IN FEET)
1 inch = 30 ft.

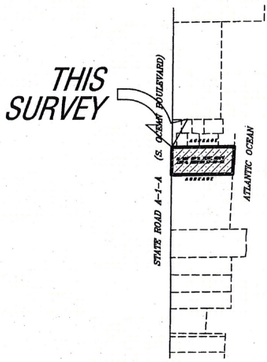
REDUCED COPY NOT TO SCALE

www.MECO400.com

RECORD LAND SURVEY

THE N. 100' OF THE S. 1,170' OF GOVERNMENT LOT 4, SECTION 33-46-43 PALM BEACH COUNTY, FLORIDA





Location Sketch
Not To Scale

RECEIVED
JUL 25 2023
HIGHLAND BEACH BUILDING DEPARTMENT

Legal Description

The North 100 feet of the South 1,170 feet of Government Lot 4, a portion of Section 33, Township 46 South, Range 43 East, Palm Beach County, Florida.

Said land situate, lying and being in the Town of Highland Beach, Palm Beach County, Florida and containing 16,254 square feet or 0.3731 acres, more or less.

NOTES:

1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.

2) Underground improvements if any not located.

3) This drawing is not valid unless sealed with an authorized surveyors seal.

4) Boundary survey information does not infer Title or Ownership.

5) All iron rods 5/8", unless otherwise noted.

6) Reference Bench Mark: Palm Beach County Engineering Department, Bench Mark # A-1-A 9303 B12 Elevation= 20.167 (NAVD88).

6) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: $\frac{+9.87}{9.87}$, Elev. = 9.87

8) This property lies in Flood Zones "VE", Elev.=10.0 and 13.0 Per Flood Insurance Rate Map No. 12099C0989 F, Community Panel No. 125111. Dated: September 11, 2009.

9) Underground Utility locations shown hereon, if any, are based upon paint marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.

10) Bearings shown hereon refer to an assumed datum and assume the East R/W line of S. Ocean Boulevard (State Road A-1_A) as South 00°53'11" West.

10) Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from http://www.tech.army.mil/

LEGEND

A = CENTRAL ANGLE (DELTA)
A/C = AIR CONDITIONING
A.K.A. = ALSO KNOWN AS
A.L.P. = ALUMINUM LIGHT POLE
ALTA = AMERICAN LAND TITLE ASSOCIATION
A OR L = ARC LENGTH
B.C.R. = BROWARD COUNTY RECORDS
B.F.P. = BACK FLOW PREVENTOR
BH. = BULKHEAD
℄ = BASE LINE
B.O.S. = BOTTOM OF STRUCTURE
C.A.T.V. = CABLE TV TERMINAL OR BOX
CALC. = CALCULATED
C.B.S. = CONCRETE, BLOCK AND STUCCO
℄ = CENTERLINE OF RIGHT-OF-WAY
CH. = CHORD
CH.BRG. = CHORD BEARING
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
C.L.F. = CHAIN LINK FENCE
C.L.P. = CONCRETE LIGHT POLE
C.P.L.P. = CONCRETE POWER LIGHT POLE
C.P.P. = CONCRETE POWER POLE
CO. = COMPANY
CONC. = CONCRETE
C/O = CLEAN OUT
D.B. = DEED BOOK
DESC. = DESCRIPTION FROM FORMER DESCRIPTION
DIA. = DIAMETER
D.B.H. = DIAMETER AT BREAST HEIGHT
ELEC. = ELECTRIC
ELEV. OR EL. = ELEVATION
ft. = FEET
F.H. = FIRE HYDRANT
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
F.I.N.D. = FLORIDA INLAND NAVIGATION DISTRICT
F.K./A. = FORMERLY KNOWN AS
F.P.L. = FLORIDA POWER AND LIGHT CO.
G.V. = GAS VALVE
G.T.M. = GREASE TRAP MANHOLE
H.H. = HAND HOLE
I.C.V. = IRRIGATION CONTROL VALVE
INV. = INVERT
L.P.G. = LIQUID PROPANE GAS
LB = LICENSED BUSINESS
MAG. = MAGNETIC
M.D.C.R. = MIAMI DADE COUNTY RECORDS
MEAS. = FIELD MEASURE
(8) = PARKING SPACES

MHW = MEAN HIGH WATER
MISC. = MISCELLANEOUS
M.L.P.(+) = METAL LIGHT POLE
± = MORE OR LESS
MW = MONITORING WELL
NGS = NATIONAL GEODETIC SURVEY
NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
NGVD29 = NATIONAL GEODETIC VERTICAL DATUM (1929)
NAVD88 = NORTH AMERICA VERTICAL DATUM (1988)
N.S.I.D. = NORTH SPRINGS IMPROVEMENT DISTRICT
NO. = NUMBER
O.R.B. = OFFICIAL RECORDS BOOK
O/S = OFFSET
O/W = OVERHEAD UTILITY LINES
PG. = PAGE
P.B. = PLAT BOOK
P.B.C.R. = PALM BEACH COUNTY RECORDS
P.C. = POINT OF CURVE
P.C.D. = POLLUTION CONTROL DEVICE
P.I. = POINT OF INTERSECTION
P.I.V. = POST INDICATOR VALVE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVE
P.R.M. = PERMANENT REFERENCE MONUMENT
R = RADIUS
R.C.P. = REINFORCED CONCRETE PIPE
R/W = RIGHT-OF-WAY
S.B.T. = SOUTHERN BELL TELEPHONE
S.V. = SEWER VALVE
S.H.W. = SEASONAL HIGH WATER LINE
S.P. = STATE PLANE
SQ./FT. = SQUARE FEET
S.T.L. = SURVEY TIE LINE
TAN. = TANGENT
TAN.BRG. = TANGENT BEARING
T.O.B. = TOP OF BAFFLE
W.M. = WATER METER
W.V. = WATER VALVE
W.B.H. = WET FACE OF BULKHEAD
W.F. = WET FACE OF CAP
W.L.P. = WOOD STREET LIGHT POLE
W.P.L.P. = WOOD POWER STREET LIGHT POLE
W.P.P. = WOOD POWER POLE
W/McL. CAP = WITH MCLAUGHLIN ENGINEERING CO. CAP
W/W.C. = WITH WITNESS CAP # 285
= HANDICAPPED PARKING SPACE
= NON-VEHICULAR ACCESS LINE

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 7th day of November, 2022.

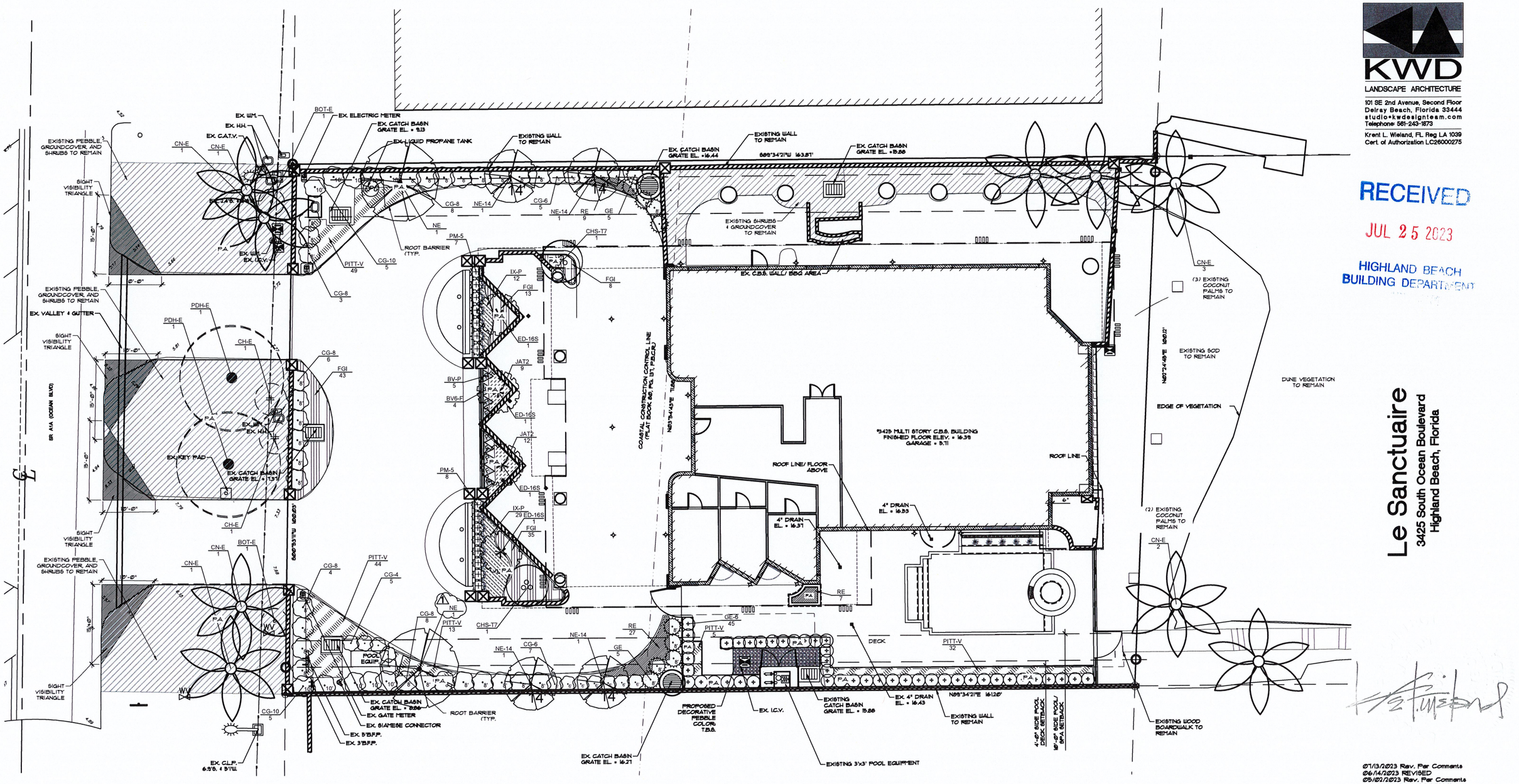
McLAUGHLIN ENGINEERING COMPANY

JERALD A. McLAUGHLIN
Registered Land Surveyor No. 5269
State of Florida.

FIELD BOOK NO. EFB, Print, GPS
JOB ORDER NO. V-7331
FILE NO.: 22 - 2 -
CHECKED BY:
DRAWN BY: KT

\\server2021\D\IDrive-Sync\V7000s\V7331\V7331.dwg, I, 12/12/2022 1:09:43 PM,
\PRINTED BY KTorcel\\

FILE NO: 22-2



EXISTING PAVING		PROPOSED PAVING	
DRIVEWAY PORTE COCHERE/PARKING	3,022 S.F. 2,092 S.F.	DRIVEWAY PORTE COCHERE/PARKING	3,022 S.F. 2,060 S.F.
POOL DECK	1,585 S.F.	POOL DECK	1,114 S.F.
NORTH TERRACE	1,038 S.F.	NORTH TERRACE	1,038 S.F.
TOTAL PAVING AREA	7.737 S.F.	TOTAL PAVING AREA	7,234 S.F.

PROPERTY INFO:	
SITE AREA	16,254 S.F.
LAND USE	MULTI-FAMILY MED. DENSITY
ZONING CLASSIFIC.	RMM

PROPOSED LANDSCAPE	
EXISTING PRESERVATION AREA	5,041 S.F.
EXISTING L/S TO REMAIN	2,827 S.F.
PROPOSED LANDSCAPE	1,749 S.F.
TOTAL LANDSCAPE AREA	8,886 S.F.
EXISTING SOD	2,012 S.F.
PERIMETER TREES REQUIRED	6
PERIMETER TREES PROVIDED	6
OTHER TREES PROVIDED	3
TOTAL TREES =	9
EXISTING PALMS TO REMAIN	15
PALMS PROVIDED	2
TOTAL PALMS =	17

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

KWD
LANDSCAPE ARCHITECTURE
101 SE 2nd Avenue, Second Floor
Delray Beach, Florida 33444
studio@kwdesignteam.com
Telephone: 561-243-1873
Krent L. Wieland, FL. Reg LA 1039
Cert. of Authorization LC26000275

RECEIVED
JUL 25 2023
HIGHLAND BEACH
BUILDING DEPARTMENT

Le Sanctuaire

3425 South Ocean Boulevard
Highland Beach, Florida

0 4 8 12 16 20
SCALE 1" = 8' 0"

NORTH

07/13/2023 Rev. Per Comments
06/14/2023 REVISED
05/02/2023 Rev. Per Comments
01/26/2023 FOR SUBMITTAL
01/11/2023 PROGRESS REVIEW

ISSUE HISTORY
COMM NO. 22031A
PROJ MGR: KDW
DRAWN BY: AMH, EL
CHECKED BY: KW

DRAWING TITLE:
PROPOSED LANDSCAPE PLAN

Sheet
L-1

NOTE: ALL TREES SHALL BE FLORIDA #1

PROPOSED LANDSCAPE SCHEDULE (EXCEPT WHERE INDICATED "EXISTING TO REMAIN)

PLANT SCHEDULE PLANT SCHEDULE

	TREES	BOTANICAL / COMMON NAME	CONT	CAL. IN.	SIZE	SPREAD	QTY
DT	ED-16S	Elaeocarpus decipiens / Japanese Blueberry-Standard Full Dense Heads, PROVIDE PHOTOS TO LANDSCAPE ARCHITECT FOR APPROVAL	B & B	3"	14'	5'-6'	4
DT	NE	Noronhia emarginata / Madagascar Olive Full Dense Heads, Straight Unscarred Trunks, MATCHING, PROVIDE PHOTOS TO LANDSCAPE ARCHITECT FOR APPROVAL	B & B	4"	16'-20' O.A.	10'-12'	2
DT	NE-14	Noronhia emarginata / Madagascar Olive Full Head, Intact Fronds, Undammaged, Clean Trunk	Containerized	3"	14' OA	6'	4
	EXISTING TO REMAIN	BOTANICAL / COMMON NAME	CONT	CAL. IN.	SIZE	SPREAD	QTY
DT	CH-E	Chamaerops humilis / Mediterranean Fan Palm EXISTING TO REMAIN	EXISTING TO REMAIN				2
DT	CN-E	Cocos nucifera / Coconut Palm EXISTING TO REMAIN	EXISTING TO REMAIN				9
DT	BOT-E	Hyophorbe lagenicaulis / Bottle Palm EXISTING TO REMAIN	EXISTING TO REMAIN				2
	PDH-E	Phoenix dactylifera `Medjool` / Medjool Date Palm EXISTING TO REMAIN	EXISTING TO REMAIN				2
	PALMS	BOTANICAL / COMMON NAME	CONT	CAL. IN.	SIZE	SPREAD	QTY
DT	CHS-T7	Chamaerops humilis cerifera / Silver Mediterranean Fan Palm - Triple Full, Dense Foliage, Silver, Staggered Heights, Triple	B & B		3` HT.	8'	2 ⚠1
	SHRUBS	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD	NATIVE	QTY
DT, N	CG-10	Clusia guttifera / Small Leaf Clusia Dense foliage, full to base	Containerized	10` OA	4`-5`		10
DT, N	CG-4	Clusia guttifera / Small Leaf Clusia Dense Foliage, Full To Base	Containerized	4`	3`		5
DT, N	CG-6	Clusia guttifera / Small Leaf Clusia Full, Dense Foliage To Base	Containerized	6`	36"		12
DT, N	CG-8	Clusia guttifera / Small Leaf Clusia Dense foliage, full to base	Containerized	7-8` OA	4`-5`		29
DT	GE	Garcinia spicata / Mangosteen Full, Dense Foliage To Base	45 Gal.	8`	3`-4`		10
DT	GE-6	Garcinia spicata / Mangosteen Full, Dense Foliage To Base, Multi	Containerized	5`-6` OA	2`-3`		45
DT	PM-5	Podocarpus macrophyllus maki / Shrubby Yew Full dense foliage to base, shear to 4` OA	Containerized	6`	2`-3`		15
	VINES	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD	NATIVE	QTY
DT	BV-P	Bougainvillea `Purple` / `Purple` Bougainvillea Vine Vine on Trellis, Min 4 Runners, Remove from Trellis and Drape over Railing	Containerized	5`-6`	24"		5
DT	BV6-F	Bougainvillea 'Fuschia' / `Fuschia` Bougainvillea Vine Full dense foliage to base, min. 5 runners, Remove from Trellis and Drape over Railing	Containerized	5`-6` OA	24"		4
	SHRUB AREAS	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD	NATIVE	SPACING	QTY
DT	FGI	Ficus microcarpa `Green Island` / Green Island Ficus Full, Dense Foliage To Base	Containerized	18"	18"		18" o.c.	99
	IX-P	Ixora taiwanensis `Dwarf Pink` / Dwarf Pink Ixora Full dense foliage to base, in bloom, available from Black Olive East	3 Gal.	24"	24"		18" o.c.	41
DT	JAT2	Liriope muscari / Lily turf Full, Dense Foliage To Base	Containerized	18"	18"		18" o.c.	21
DT	PITT-V	Pittosporum tobira `Variegata` / Variegated Pittosporum Full, Dense Foliage	3 gal	14"	16"		18" o.c.	143
	RE	Russelia equisetiformis 'Coral' / Coral Firecracker Plant Full, Dense Pots	3 gal	12"-14"	16-18"		16" o.c.	43

MULCH - 'B' GRADE CYPRESS MULCH - verify c.y. in field

ROOT BARRIER - 36" deep Bio Barrier or equal - as shown on plans

N = NATIVE
DT = DROUGHT TOLERANT

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

KWD
LANDSCAPE ARCHITECTURE
101 SE 2nd Avenue, Second Floor
Delray Beach, Florida 33444
studio@kwddesignteam.com
Telephone: 561-243-1873
Krent L. Wieland, FL. Reg LA 1039
Cert. of Authorization LC26000275

Le Sanctuaire
3425 South Ocean Boulevard
Highland Beach, Florida

⚠1 07/13/2023 Rev. Per Comments
06/14/2023 REVISED
05/02/2023 Rev. Per Comments
02/28/2023 FOR SUBMITTAL
02/17/2023 PROGRESS REVIEW

ISSUE HISTORY
COMM NO. 22031A
PROJ MGR: KDW
DRAWN BY: AMH, EL
CHECKED BY: KW

DRAWING TITLE:
PROPOSED LANDSCAPE SCHEDULE

Sheet
L-2

Specifications for Plant Installation

LANDSCAPE SPECIFICATIONS
Specifications for: ______________________
Job Location: ______________________
Revision May 18, 2005

1.0 GENERAL:

1.1 DESCRIPTION OF WORK:

A. Extent of landscape development work is shown on the Drawings and in the Schedules.

B. The work consists of furnishing all plants, materials, equipment, necessary specialties and labor required for the installation of plant and other materials as shown on the Drawings and/or in the Specifications.

C. Excavation, filling and grading required to establish elevations shown on the Drawings are not specified in this Section. Refer to earthwork Section.

1.2 REFERENCE PUBLICATIONS: The following standards form a part of the Specifications:

A. Florida Department of Agriculture "Grades and Standards for Nursery Plants", most recent edition.

B. American Joint Committee on Horticultural Nomenclature "Standardized Plant Names Dictionary"

C. "The Manual of Cultivated Plants" (L.H. Bailey 1949 edition).

D. The American Standard for Nursery Stock" (1973 edition).

1.3 INSTALLER QUALIFICATIONS:

A. The Contractor shall be regularly engaged in the installation of living plant material. Labor crews shall be controlled and directed by a landscape foreman well versed in landscape installation, plant materials, reading blueprints and coordination between the job and nursery and shall be able to communicate with the Owner and the Landscape Architect.

B. The Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workmen's Compensation Insurance.

1.4 SUBMITTALS:

A. Provide Certificate of Inspection of plant material as required by governing authorities. Comply with regulations applicable to landscape materials.

B. Before starting work, provide itemized price schedule of the work to be performed, availability issues and certificates of insurance to the Landscape Architect for transmittal to the Owner.

C. Label at least one tree and one shrub of each variety with a securely attached waterproof tag bearing legible identification of the botanical and common name.

D. Maintenance instructions: Prior to end of the maintenance period, furnish three copies of written maintenance instructions to the Landscape Architect for transmittal to the Owner for maintenance and care of installed plants through their full growing season.

1.5 COORDINATION:

A. Coordinate and cooperate with other trades and contractors to enable the work to proceed as rapidly and efficiently as possible.

B. Irrigation work shall normally precede plant installation. Install trees, large B&B material, shrubs and ground cover plants before lawns are installed.

B. Commencement of Work: Landscape Contractor shall notify Landscape Architect at least 7 days in advance of scheduled commencement of work. Landscape Contractor shall review plans and/or field layouts with Landscape Architect at least 2 days prior to installation or on the site as needed.

1.6 INSPECTION OF SITE:

A. Prior to the award of the contract, the Contractor shall acquaint himself with all site conditions. Should utilities or other improvements not shown on the Drawings be found during excavations, Contractor shall promptly notify the Landscape Architect or Owner for instructions as to further action. Failure to do so will make Contractor liable for any and all damage arising from his operations subsequent to discovery of such utilities not shown on Drawings.

1.7 PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS:

A. The Contractor shall provide, install and maintain the of necessary precautions to protect all persons and property, including the general public from harm or injury due to the work.

B. The Contractor shall take precautions to protect existing site conditions. Should damage be incurred, the Contractor shall repair the damage to its original condition at no additional charge.

1.8 CHANGES IN THE WORK:

A. The Owner reserves the right to substitute, add or delete any material or work as the work progresses. Adjustment to the Contract Sum shall be negotiated prior to execution. When unit prices have been established, they shall prevail.

1.9 OWNERS OBSERVATION:

A. The Landscape Architect or Owner assumes no responsibility in the supervision or inspection of the work involved in the execution of this contract beyond observation to insure, to the Owner's satisfaction, that the Drawings and Specifications are being properly interpreted. This observation and checking will not relieve the Contractor of any responsibility for the performance of his work in accordance with the Drawings and the Specifications (including planting depth or other deficiencies).

B. The Landscape Architect and Owner reserve the right to reject any portion of the work, material or workmanship which does not conform to the Contract Documents. Rejected work shall be removed and/or corrected at the earliest possible time and prior to final payment.

1.10 JOB CONDITIONS:

A. Obstructions: The Contractor shall exercise care in digging and other work so as not to damage existing work, including underground pipes, sprinklers, control cables and hydrants of watering systems. Should such overhead or underground obstruction be encountered which interferes with planting, the Landscape Architect shall be consulted and will adjust the location of plants to clear such obstructions. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

B. After notice to proceed the contractor shall complete landscape work as rapidly as portions of site become available. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice.

C. Coordinate landscape and planting work with the irrigation (sprinkler) system and sod installer: landscape installer shall insure that no plantings will interfere with the proper functioning of the sprinkler system. Where circumstances seem to justify his doing so, the landscape installer shall point out to the irrigation installer situations where minor adjustment or relocation or addition of sprinkler heads may be most beneficial for the planting as a whole.

D. Irrigation- the Landscape contractor shall verify the installation of an automatic sprinkler system to cover 100% of the specified landscape areas including all planting islands, isolated beds and sodded areas.

E. Sight triangles: Check an adhere to local codes as a minimum all plant material located within a triangle (15'(4.572 meters) on 2 sides) formed by traffic intersection points shall be trimmed and maintained to provide a visual opening between 3' (.9144m) and 6' (1.8288m).

1.11 ACCEPTANCE:

A Early acceptance of the work may be obtained for approved phases or when the time between commencement of the work and substantial completion exceeds 90 days (at no fault of the contractor). Early acceptance of work requiring an inspection of the completed landscape work by the Landscape Architect and/or the Owner. Maintenance and guarantee periods for the phase or area shall commence with such early acceptance

C. Substantial Completion of the Work is the point in construction is sufficiently complete, in accordance with the Contract Documents and the Landscape Architects certification that the Owner can utilize the work as intended.

D. Final Completion is the completion of all work included in the Contract Documents except the Contractors responsibility to correct the work to the satisfaction of the Owner and the Landscape Architect.

1.12 CORRECTION OF THE WORK:

A. For a period of twelve months from the date of acceptance, all new plant materials except grass shall be alive and healthy, upright and in satisfactory growth for each specific kind of plant. There shall be no signs of nutrient deficiency, disease or insect infestations.

B. Plants which are rejected shall be replaced or corrected within two weeks of rejection. Replacement material shall be the same species, size and quality as called for in the Contract. A new correction of the work period of twelve months shall begin upon replacement and acceptance by the Landscape Architect of all replacement plants, this includes plants which are discovered at any time to have been planted at an improper depth.

C. The installer shall repair damage to other plants or lawns during plant replacement at no cost to the Owner.

D. Plants which have been approved and subsequently die or are damaged by washout, wind storm, traffic, vandalism, or demonstrable failure of the Owner to maintain after Substantial Completion of the Work is not covered in this correction of the work provision

2.0 PRODUCTS

2.1 MATERIALS LIST:

A. Plant species and size shall conform with the Plant List and information noted on the Drawings.

B. The quantities given in the Plant List are intended for the convenience and as a guide for the bidder and does not relieve the bidder of his responsibility to do a comprehensive plant take off from the Drawings. Information on the drawings control.

2.2 PLANT MATERIALS:

A. All plant material shall be nursery grown unless otherwise noted. Plants shall be graded Florida No. 1 or better and shall be sized as outlined under Grades & Standards for Nursery Plants, State Plant Board of Florida. Coconut Palms shall be grown from certified seed

B. Collected material when specified or approved shall be in good health, free from disease, insect or weed infestation. Testing may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.

C. Plants materials must equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Those plants specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.

D. Height of plant materials shall be measured from the top of the ball to the top of the plant with branches (or fronds) in normal position. Their width shall be measured across the normal spread of the branches (or fronds). In cluster type palms the main trunk shall meet the height requirement and all other trunks shall be 3/4 or more of the required height unless otherwise noted on the drawings.

E. Plants that meet the height requirements, specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted.

F. Abbreviations on the Drawings are as follows:

B&B - indicates field grown plant "balled and burlapped".
Cal - indicates the caliper or diameter measured 6" (152.4 mm) above the soil line until 4" (88.4 mm) diameter then at 12" above the soil line.
CT - indicates clear trunk measurement from top of ball to first branching.
CW - indicates clear wood, in palms the distance from the soil line to the lowest living frond leafbase.
DBH - indicates the caliper or diameter measured 4 feet (1.22 meters) above the soil line
GW - Grey Wood, in palms, mature trunk from the ground to the base of the crown shaft.
OA - indicates overall height from top of ball to the top of current season's growth or the last open frond in normal position in palms.
Spr. - indicates spread or the average distance across the average diameter of the plant branching.

G. Plant materials in containers shall have a well established root system and shall not be root bound. All plant materials not in containers shall be balled and burlapped and dug with a firm natural ball of earth. Balls shall be firmly wrapped with burlap or similar biodegradable materials and bound with twine, cord or wire mesh. The minimum ball sizes will be in accordance with "Grades & Standards for Nursery Plants". No plant shall be accepted if the root ball has been cracked or broken. The balls of balled and burlapped plants which cannot be planted immediately on delivery shall be protected from drying winds and sun. Where symmetry is required, match plants used as nearly as possible to the satisfaction of the Landscape Architect.

F. Substitution: Plant substitution requests by the Contractor will be considered by the Landscape Architect only upon submission of proof that the plant is not obtainable in the type and size specified. Should the specified plant indeed not be available, the Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the Owner.

2.3 PLANTING SOIL:

A. Planting soil for trees and shrubs shall be sandy loam and shall contain a 25% minimum amount of decomposed organic matter. Planting soil shall be free of clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. It shall have a pH between 6.0 and 7.0. Soil shall be delivered in a loose friable condition and applied in accordance with the planting specifications.

B. Palm planting soil shall consist of clean sand and back fill.

2.4 PEAT:

A. Peat shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.

2.5 WATER:

A. Water for planting will be available at the site and shall be provided by the Owner.

2.6 COMMERCIAL FERTILIZER:

A. Commercial fertilizer shall be an organic (8-4-12) fertilizer containing nitrogen, phosphoric acid and potash. Nitrogen shall be not less than 50% water insoluble. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Iron shall be in the chelated form, not be less than 2% and magnesium shall not be less than 4%. Fertilizers shall be delivered to the site unopened in original containers, each bearing the manufacturer's guaranteed analysis. Submit a copy of the manufacturer's guaranteed analysis and proof of delivery. Any fertilizer that becomes caked or otherwise damaged is unacceptable.

2.7 MISCELLANEOUS LANDSCAPE MATERIALS:

A. Mulch: Except as otherwise specified, mulch shall be shredded cypress bark mulch -grade "A". It shall not contain sticks larger than 1 inch (25.4 mm) in diameter, stones or other foreign material that will prevent its eventual decay. This shall be applied to all planted areas where indicated so that, after installation, the mulch thickness will not be less than 3" (76.2 mm).

B. Gravel Mulch: Use only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard, durable gravel, washed free of loam, sand, clay and other foreign substances. It shall be a minimum of 2" (44.2 mm) deep and shall be contained with gravel stops. It shall be a maximum of 1-1/2" (38.1 mm), a minimum of 3/4" (19 mm) and of a readily-available natural gravel color range.

C. Braces, Stakes and Guys: Provide braces, stakes and deadman of sound new hardwood or treated softwood, free of knot holes and other defects. Provide wire ties and guys of two-strand, twisted, pliable galvanized iron wire not lighter than 12 gauge. Provide new hose cut to required lengths to protect tree trunks from damage by wires. Hose shall be not less than 1/2" (12.7 mm) dia. Rebar stakes shall not be used.

D. Microbial Additives: An approved inoculate blend containing a minimum of eight strains of endo and ecto mycorrhizae with a minimum of 100,000 and 110 million spores per pound respectively such as Mycostim by Organic Laboratories, Inc. and an approved inoculate blend containing a minimum of 45 beneficial soil bacteria including Trichoderm and Gliocladium with a minimum concentration of 100 billion CFU per pound such as PGA Plus by Organica, Inc. Apply at manufactures recommended rates. Material shall be delivered to the site unopened in original containers, each bearing the manufacturer's guaranteed analysis. Submit a copy of the manufacturer's guaranteed analysis and proof of delivery. Any inoculants that becomes caked or otherwise damaged is unacceptable and shall not be used.

3.0 EXECUTION

3.1 SITE PREPARATION:

A. Erosion Control. All erosion control measures are to be constructed to meet field conditions at the time of construction and prior to any grading or disturbances of existing surface material on site. All sediment will be prevented from entering any storm drainage system through the use of silt fences, straw bales, gravel, boards or other applicable methods. The Contractor shall be responsible for mitigating all sediment leaving the site and taking appropriate corrective measures. Sediment control measures shall be in working order after each day.

B. Rough Grading & Drainage. The Contractor shall verify all existing grades in the field and report any discrepancies immediately to the Landscape Architect. The Contractor shall be responsible for providing positive site drainage away from all structures including but not limited to planters, courtyard planting areas, hardscape surfaces and architectural elements. It shall be the General Contractors responsibility to provide drainage, proper swaling, downspouts and all water retention areas as required by applicable codes. Once grading operations are completed, all disturbed areas within or outside the limits of work shall be stabilized by fine grading and seeding or mulching as directed by the Landscape Architect.

C. Fine Grading & Drainage. It shall be the responsibility of the Contractor to finish grade (min. 6" below adjacent F.F.E.). Finish grades in planting areas shall be one inch lower than adjacent paving and are to include two inches of mulching and four inches of planting soil. New earthwork shall blend smoothly into existing earthwork, and grades shall pitch evenly between spot grades. All planted areas must pitch to drain at a minimum slope of 1/4" per foot. Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.

D. Berming. Berming shall not be placed within 10' of any existing tree nor will it be allowed to encroach upon any utility, drainage, or maintenance easement. Berming shall not impede or obstruct any necessary swales needed to drain other areas for the property.

E. Removal of Rubbish: Should any objectionable materials such as stones or construction debris be encountered during planting operations, they shall be promptly removed from the site by the landscape installer.

3.2 PROTECTION OF PLANTS:

A. Root Protection: Balled and burlapped plants: plants designated "B&B" (balled and burlapped) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system, necessary for full recovery of plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants other than Cabbage Palms (Sabal palmetto) shall be balled and burlapped.

B. Container Grown Plants: Plants grown in containers will be accepted as "B&B", providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the Drawings, and shall not be governed by container sizes. Minimum root balls of container grown material shall be no more than 25% less proportionately than that stated in "Grades & Standards" for nursery plants. These plants shall have been grown in the container for a maximum of two years prior to installation and shall exhibit a fully developed root system throughout when removed from the container. There shall be no circling roots.

C. Protection During Transporting: All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

D. Protection After Delivery: Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until planted. Storage period shall not exceed 72 hours.

E. Protection of Palms (If Applicable): Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. Cabbage Palms shall be "Hurricane Cut". Clear trunk shall be as specified after the minimum of fronds have been removed. Cabbage Palms shall be taken from moist, "black" growing areas. All burn marks on Cabbage Palm trunks shall be removed, however excessive grinding will not be accepted.

F. Protection During Planting: Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods.

G. Plants that show girdling or bark slippage or other damage are unacceptable.

3.3 PLANTING OPERATIONS:

A. Layout: Location for plants and outlines of areas to be planted are indicated on the Drawings. All plant locations shall be staked in the field by the Contractor, to the satisfaction of the Landscape Architect. Notify Landscape Architect and Owner for directions if installation requires the addition of soil over root balls or existing roots, or where construction or utilities below ground or overhead are encountered, or where changes have been made in the construction - DO NOT PROCEED - Necessary adjustments will be directed by the Landscape Architect.

B. All planting holes shall have straight, vertical sides and flat horizontal bottoms. The diameter of a hole shall not be less than twice the diameter of the root ball or 24 inches (609.6 mm) greater than the root ball: whichever is smaller. The depth of a hole shall not be deeper than the root ball. The space around the root ball, within the hole, shall be filled with the specified planting soil. Air pockets shall be eliminated and the soil compacted by watering. Insure that planting soil is thoroughly mixed with native soil.

C. All plants shall be installed in accordance with the best horticultural practice. Trees and shrubs, except as otherwise specified, shall be set in the proper amount of planting soil in the proper size of planting pit as specified above so that the top surface of the root ball will be flush with the final grade grade allowing for 2" (44.1 mm) of mulch. Insure adequate percolation. Set plants straight or plumb & faced, in locations shown on the Drawings. Do not distribute excess soil in the planting beds after bed plants have been installed.

D. Balled and burlapped plants are set with the bottom 1/3 of the planting pit backfilled with existing soil. Remove burlap, rope, wires, etc. from the top of the balls, but do not remove burlap from underneath. All material shall be biodegradable and no material shall encircle the trunk. Complete backfilling with planting soil, then thoroughly mix with native soil and water to remove voids. After planting has been completed, form a well around each plant extending to the limits of the pit.

E. Container Grown Plants: Container grown plants shall, when delivered, have sufficient growth to hold earth intact when removed from container and shall not be root bound. Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls and containers shall be removed carefully to prevent damage to plant or root system.

F. Backfilling: When the plant pit has been excavated as specified above and the plant has been set, the pit shall be backfilled with soil mix to which mycorrhizae and soil bacteria have been added at the manufactures recommended rates (see 2.7d). The following minimum rates of soil mix apply: one-half cubic yard per tree and one cubic yard per fifty shrubs or 200 sf. of planting bed area.

G. Setting Trees and Shrubs: Unless otherwise specified, all trees and shrubs shall be planted in pits, centered to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. Along slopes a soil terrace shall be formed so that the root ball is level. No burlap shall be pulled out from under the balls. Platform, wire and surplus binding from top and sides of the balls, shall be removed. All broken and frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly, avoiding injury and shall be settled by watering. No filling around trunks or on top of root balls will be permitted. After the ground settles, additional soil shall be filled in to the level of the finished grade allowing for 2" (44.1 mm) of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit. This ridge shall be 1" (22 mm) high for each 1" (22 mm) caliper of trunk to a maximum of 4" (88.2 mm). Specimen trees and Palms shall be equipped with temporary (supplemental) irrigation (bubblers) as required.

H. Setting Palms: All palms shall be planted in sand thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future watering. Saucer areas shall be top dressed 2" (44.1 mm) deep with topsoil raked and left in a neat clean manner.

I. Pruning: Remove dead and broken branches from all plant material, Prune to retain typical growth habit of individual species with as much height and spread as is practicable. Make all pruning cuts with a sharp instrument next to branch collar in such a manner as to ensure elimination of stubs. "Headback" or "Hat Rack" cuts, right angle to line of growth, will not be permitted and trees will not be poled or topped.

J. Guying and Staking: Guy and stake all trees, including palms, immediately after planting. Trees less than 1 1/2" (38.1 mm) in caliper shall be staked. Stakes shall be clearly marked. Guy all trees 1 1/2" (38.1 mm) in caliper and greater but less than 12' OA in 4 directions with double strands of No. 12 galvanized wire attached to approved anchors driven below grade. Trees over 12' OA shall be braced with new lumber stained walnut brown. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys and braces not less than 1/3 of the height of tree above finished grade and above substantial limbs 1 inch (25.4 mm) in diameter or more, if possible. All hoses shall be interlocked around tree trunk. Guy wires shall be placed in white PVC 5/8" OD sleeves 2/3's of their length. Place anchors so that guys are equally spaced and at 45 degree angles to horizontal. Keep guys tight until Substantial Completion. Guying, bracing, staking shall not interfere with use of paved areas.

K. In staking palms and broadleaf trees, no nails or other fasteners shall directly penetrate the trunks. Wood battens 12 inches (304.8 mm) long, separated from trunk by burlap -attached to the trunk of the trees with metal banding. Stakes and braces shall be clearly marked and can only be nailed to the wooden battens. Alternate methods of guying or staking may be employed with the prior approval of the Landscape Architect.

L. Mulching: All trees and shrub beds shall be mulched immediately after planting, to a 3 inch (76.2 mm) depth, with a mulch approved by the Landscape Architect. Prevent wind displacement of mulch by thoroughly wetting down.

M. Planters: Place filtration/separation fabric over 4" drain gravel and fill with a minimum of 16" deep planting soil mixture consisting of 5 parts course sand, 2 parts peat humus, and 3 parts pine bark with micro organisms, see 2.7D. Place soil in lightly compacted layers to an elevation 1 1/2 inches (38.1 mm) below top of planters allowing for natural settlement.

N. Annual or seasonal color beds: Remove 8" to 10" (254 mm) of soil and replace with planting soil mixture consisting of 2 parts top soil, 1 part pine bark mulch (1/2" (12.7 mm) pieces), 1 part course sand and 5 pounds (1.8662 kg) composted cow manure per cubic yard (.76455 cubic meters).

O. Excess Excavated Soil: Excess excavated soil generated by planting operations shall be removed from the site by the Contractor and off of the owner's property at no additional expense to the Owner.

P. Relocation of Existing Material: Landscape contractor shall root prune trees which are to be relocated in accordance with approved horticultural practices. The relocated plant shall have foliage reduced and be provided with supplemental irrigation to the remaining leaf surface. Coordinate and get Project Architects approval of exact new location

3.4. SOD (When Applicable)

A. Unless otherwise specified on the Drawings, sod shall be St. Augustine grass - Floritam. The sod area shall be all areas not otherwise identified and shall include the area beyond the property line to the edge of pavement and/or the edge of water.

C. Fine Grading & Drainage: It shall be the responsibility of the Contractor to finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Landscape Architect, prior to the application of sod.

D. Contractor shall be responsible for providing and maintaining positive drainage flows away from all building and pavements to the appropriate discharge or collection points. If supplemental topsoil is to be spread, no sod shall be laid until the depth of this soil has been approved. Grade shall be adjusted to create a smooth transition between new and existing sod areas.

E. Quantities: Any quantities shown on the Drawings or given in the Plant List are intended for the convenience and as a guide for the bidder and does not relieve the bidder of his responsibility to do a comprehensive plant take off (measurement) from the Drawings or in the field. Contractor shall be responsible for sodding all areas as noted on drawings. Contractor shall verify all final sod quantities in the field prior to ordering, including any necessary adjustments for shrinkage/coverage variables.

F. Quantity: Sod shall be graded #1 or better. Sod shall be loam or muck grown with a firm, full texture and good root development. Sod shall be thick, healthy and free from defects and debris including but not limited to dead thatch, insects, fungus, diseases and contamination by weeds, other grass varieties or objectionable plant material.

G. Sod pieces shall be 16" x 24" minimum size in unbroken, cohesive sections.

H. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than 7 days before the sod is cut.

I. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. If, in the opinion of the Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in without additional charge.

J. Sod along slopes shall be pegged to hold sod in place along slopes or banks a wood peg acceptable to the Landscape Architect shall be used at no additional cost to the Owner.

3.5 CLEAN UP:

A. Sweep and wash paved surfaces.

B. Remove planting debris from project site. Insure all plant material is free of damaged branches, flagging tape and other temporary materials.

C. Lawn areas damaged by planting operations shall be repaired at once by proper seed bed preparation, fertilizing and seeding or sodding in accordance with these specifications.

D. Walks, drainage pipes or other structures damaged by this Contractor shall be repaired with comparable materials and workmanship as the original.

3.6 MAINTENANCE:

A. Begin maintenance immediately after each item is planted and continue until final inspection and acceptance. Areas completed under "Early Acceptance" of the work or approved phases of the work shall be maintained for an additional 90 days or until final acceptance of the work which ever occurs first.

B. Maintain a healthy growing condition by watering, pruning, spraying, weeding, mowing, insect treatment, disease treatment, micro organisms applications and other necessary maintenance operations.

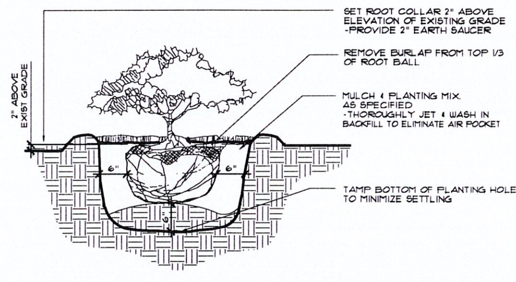
C. All trees shall be deep-watered for a period of ninety days after installation.

D. Replace impaired or dead plants promptly. Do not wait until near the end of the correction of the work period to make replacements of plants which have become unacceptable.

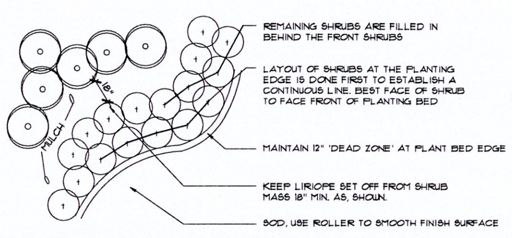
E. Inspect plants at least once a week and perform maintenance promptly with no additional cost to the owner.

F. Keep planting saucers and beds free of weeds, grass, and other undesirable vegetation growth.
G. Remove soil ridges from around watering basins prior to end of maintenance period, as directed by Lands

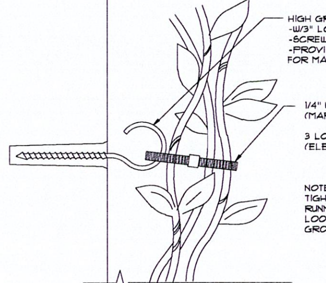
NOTE:
TEST AND AMEND ALL SOILS AS NEEDED FOR OPTIMUM PLANT HEALTH



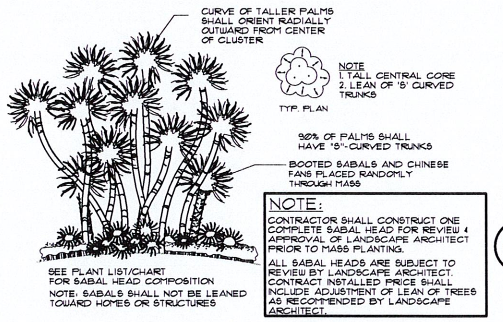
(A) Shrub Planting



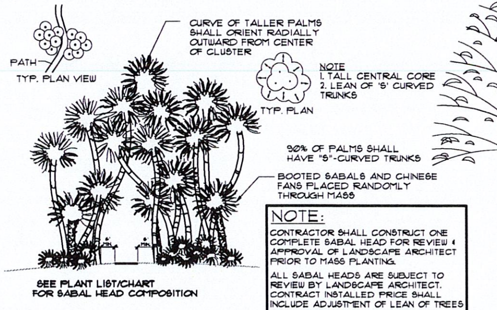
(B) Shrub / Groundcover Layout



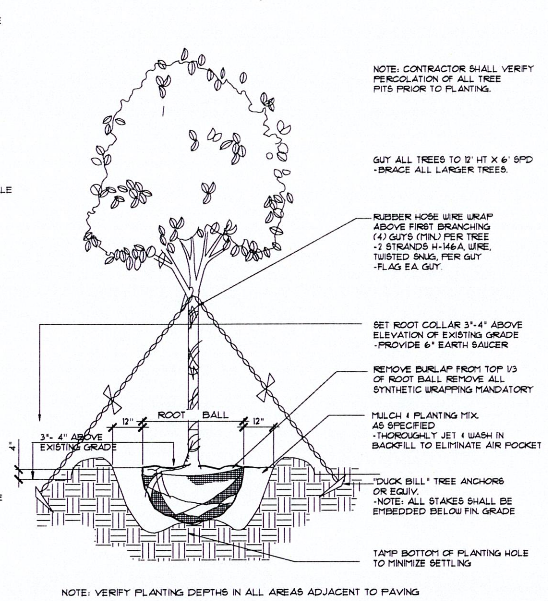
(C) Vine Attachment



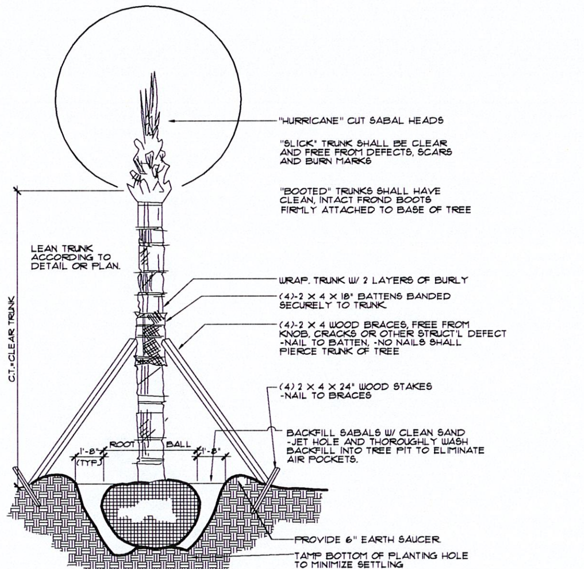
(D) Sabal Head



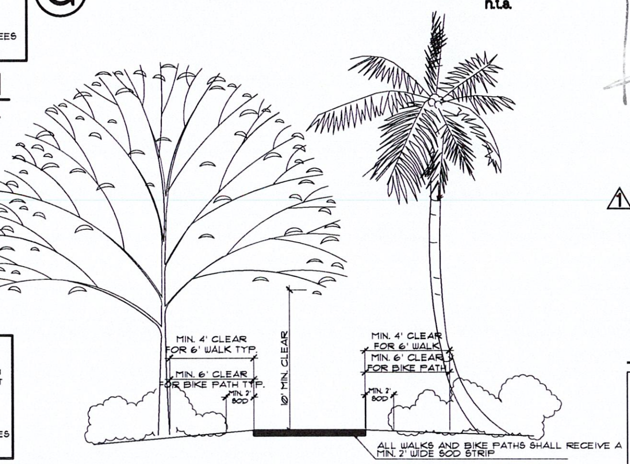
(E) Sabal Head w/ Path



(F) Tree Planting and Guying



(G) Palm Planting and Staking



(H) Path Planting

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

KWD
LANDSCAPE ARCHITECTURE
101 SE 2nd Avenue, Second Floor
Delray Beach, Florida 33444
studio@kwdesignteam.com
Telephone: 561-243-1873
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

RECEIVED
JUL 25 2023
HIGHLAND BEACH
BUILDING DEPARTMENT

Le Sanctuaire
3425 South Ocean Boulevard
Highland Beach, Florida

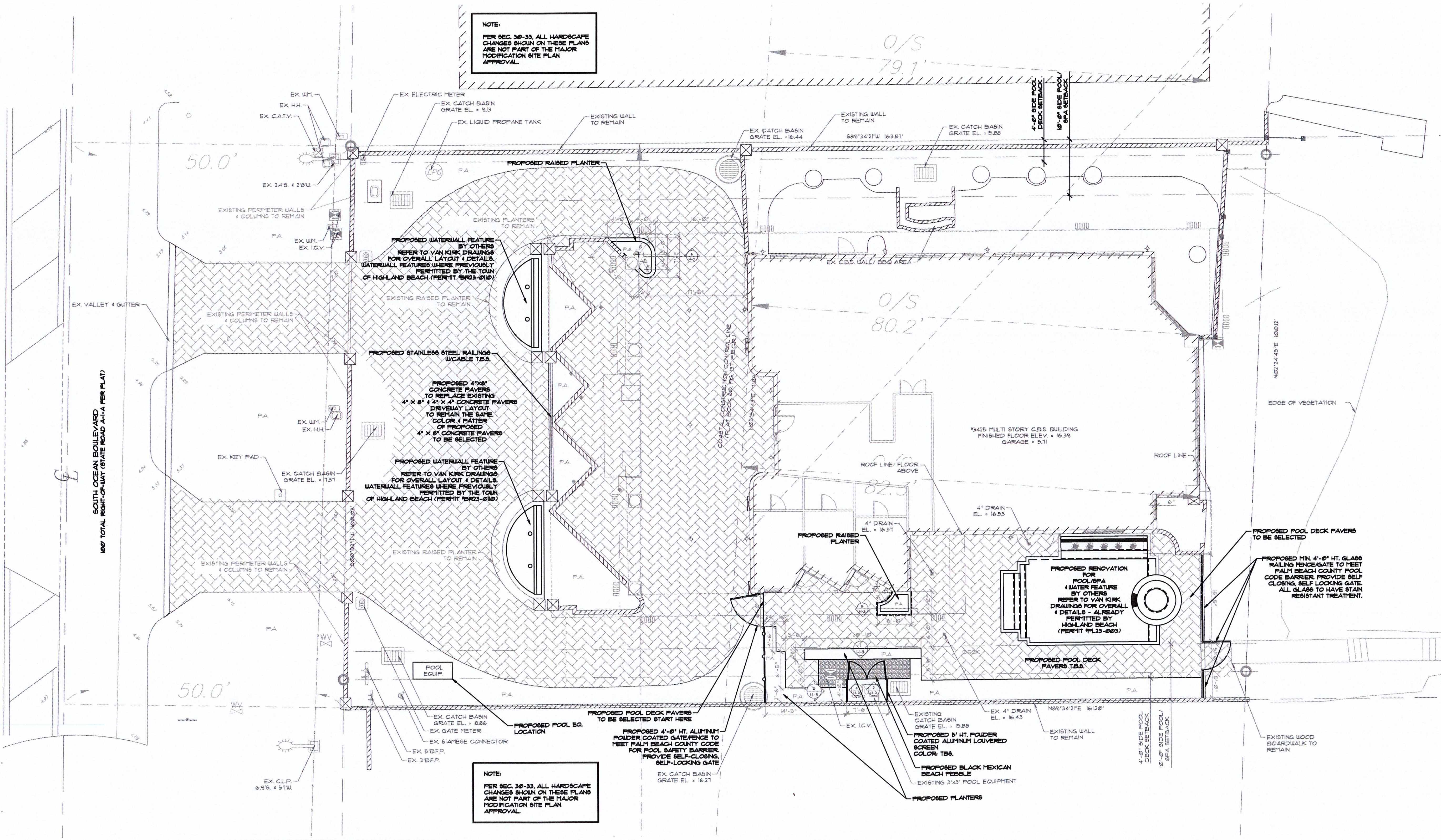
07/13/2023 Rev. Per Comments
06/14/2023 REVISED
05/02/2023 Rev. Per Comments
02/28/2023 FOR SUBMITTAL
02/17/2023 PROGRESS REVIEW
ISSUE HISTORY
PROJ NO:
PROJ MGR:
DRAWN BY:
CHECKED BY:

DRAWING TITLE:
LANDSCAPE SPECIFICATIONS

SHEET:
L-3

KWD
LANDSCAPE ARCHITECTURE
101 Southeast Second Avenue
Delray Beach, Florida 33444
T: 561-243-1873 F: 561-243-1874
E-MAIL: studio@kwdesignteam.com
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

RECEIVED
JUL 25 2023
HIGHLAND BEACH
BUILDING DEPARTMENT


NOTE:
PER SEC. 30-33, ALL HARDSCAPE CHANGES SHOWN ON THESE PLANS ARE NOT PART OF THE MAJOR MODIFICATION SITE PLAN APPROVAL.
O/S 79.1'
O/S 80.2'
50.0'
EX. W.M.
EX. H.H.
EX. C.A.T.V.
EX. ELECTRIC METER
EX. CATCH BASIN GRATE EL. = 9.13
EX. LIQUID PROPANE TANK
EXISTING WALL TO REMAIN
EX. CATCH BASIN GRATE EL. = 16.44
EXISTING WALL TO REMAIN
EX. CATCH BASIN GRATE EL. = 15.86
4'-0" SIDE POOL DECK SETBACK
10'-0" SIDE POOL SPA SETBACK
PROPOSED RAISED PLANTER
EX. 2.4'S. & 2.8'W.
EXISTING PERIMETER WALLS & COLUMNS TO REMAIN
EXISTING PLANTERS TO REMAIN
PROPOSED WATERWALL FEATURE BY OTHERS REFER TO VAN KIRK DRAWINGS FOR OVERALL LAYOUT & DETAILS. WATERWALL FEATURES WHERE PREVIOUSLY PERMITTED BY THE TOWN OF HIGHLAND BEACH (PERMIT #BR23-0110)
EX. W.M.
EX. I.C.V.
EX. C.B.S. WALL/ BBQ AREA
EX. VALLEY & GUTTER
EXISTING RAISED PLANTER TO REMAIN
PROPOSED STAINLESS STEEL RAILINGS W/CABLE T.B.S.
PROPOSED 4"X8" CONCRETE PAVERS TO REPLACE EXISTING 4" X 8" & 4" X 4" CONCRETE PAVERS DRIVEWAY LAYOUT TO REMAIN THE SAME. COLOR & PATTERN OF PROPOSED 4" X 8" CONCRETE PAVERS TO BE SELECTED
COASTAL CONSTRUCTION CONTROL LINE
SOUTH OCEAN BOULEVARD
100' TOTAL RIGHT-OF-WAY (STATE ROAD A1-A PER PLAT)
EX. W.M.
EX. H.H.
EX. KEY PAD
EX. CATCH BASIN GRATE EL. = 7.37
PROPOSED WATERWALL FEATURE BY OTHERS REFER TO VAN KIRK DRAWINGS FOR OVERALL LAYOUT & DETAILS. WATERWALL FEATURES WHERE PREVIOUSLY PERMITTED BY THE TOWN OF HIGHLAND BEACH (PERMIT #BR23-0110)
#3425 MULTI STORY C.B.S. BUILDING FINISHED FLOOR ELEV. = 16.38 GARAGE = 5.11
ROOF LINE/ FLOOR ABOVE
ROOF LINE
EDGE OF VEGETATION
4" DRAIN EL. = 16.53
4" DRAIN EL. = 16.37
PROPOSED RAISED PLANTER
EXISTING RAISED PLANTER TO REMAIN
PROPOSED POOL DECK PAVERS TO BE SELECTED
PROPOSED MIN. 4'-0" HT. GLASS RAILING FENCE/GATE TO MEET PALM BEACH COUNTY POOL CODE BARRIER. PROVIDE SELF CLOSING, SELF LOCKING GATE. ALL GLASS TO HAVE STAIN RESISTANT TREATMENT.
PROPOSED RENOVATION FOR POOL/SPA & WATER FEATURE BY OTHERS REFER TO VAN KIRK DRAWINGS FOR OVERALL & DETAILS - ALREADY PERMITTED BY HIGHLAND BEACH (PERMIT #PL23-003)
PROPOSED POOL DECK PAVERS T.B.S.
POOL EQUIP
EX. CATCH BASIN GRATE EL. = 8.86
EX. GATE METER
EX. SIAMESE CONNECTOR
EX. 5'B.F.P.
EX. 3'B.F.P.
PROPOSED POOL EQ. LOCATION
PROPOSED POOL DECK PAVERS TO BE SELECTED START HERE
PROPOSED 4'-0" HT. ALUMINUM POWDER COATED GATE/FENCE TO MEET PALM BEACH COUNTY CODE FOR POOL SAFETY BARRIER. PROVIDE SELF-CLOSING, SELF-LOCKING GATE
EX. CATCH BASIN GRATE EL. = 16.27
EX. I.C.V.
EXISTING CATCH BASIN GRATE EL. = 15.88
PROPOSED 5' HT. POWDER COATED ALUMINUM LOUVERED SCREEN COLOR: TBS.
PROPOSED BLACK MEXICAN BEACH PEBBLE
EXISTING 3'x3' POOL EQUIPMENT
PROPOSED PLANTERS
EX. 4" DRAIN EL. = 16.43
EXISTING WALL TO REMAIN
EXISTING WOOD BOARDWALK TO REMAIN
4'-0" SIDE POOL DECK SETBACK
10'-0" SIDE POOL/ SPA SETBACK
EX. C.L.P. 6.9'S. & 5.1'W.
NOTE:
PER SEC. 30-33, ALL HARDSCAPE CHANGES SHOWN ON THESE PLANS ARE NOT PART OF THE MAJOR MODIFICATION SITE PLAN APPROVAL.

REFER TO VENDORS FOR ALL INSTALLATION MATERIALS AND PROCEDURES/FOLLOW ALL MANUFACTURERS INSTALLATION INSTRUCTIONS

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

Le Sanctuaire

3425 South Ocean Boulevard
Highland Beach, Florida

0 4 8 12 16 20
SCALE 1" = 8' 0"

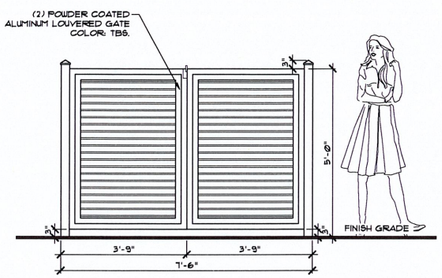
NORTH

06/09/2023 Rev. Per Comments
05/02/2023 Rev. Per Comments
02/28/2023 For Submittal
02/21/2023 FOR REVIEW
ISSUE HISTORY

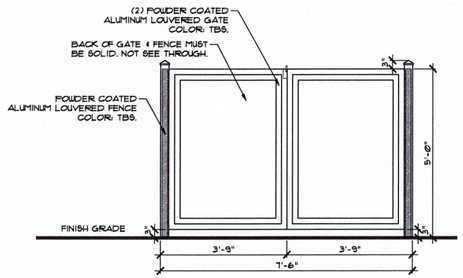
COMM NO.	22031A
PROJ MGR:	KDW
DRAWN BY:	AMH, EL
CHECKED BY:	KW

DRAWING TITLE:
PROPOSED HARDSCAPE LAYOUT

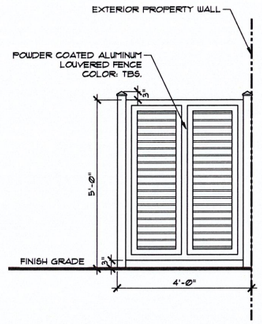
Sheet
H-1



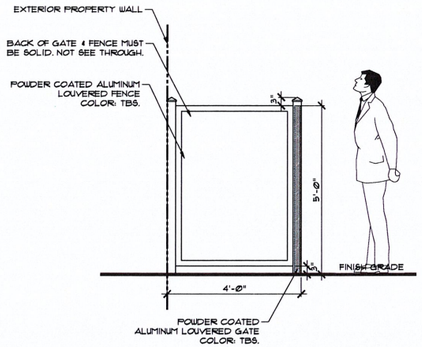
1 Decorative Gate Elevation
1/2"=1'



2 Decorative Gate Elevation
1/2"=1'



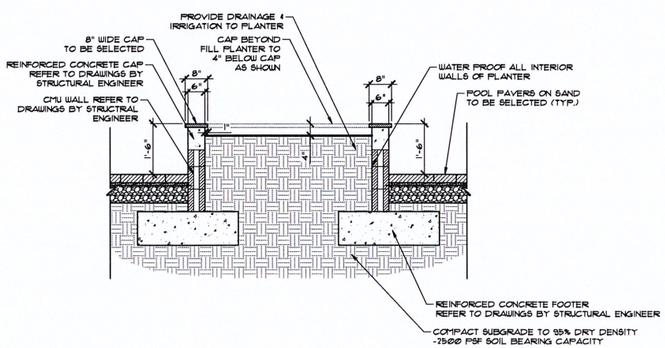
3 Decorative Fence Elevation
1/2"=1'



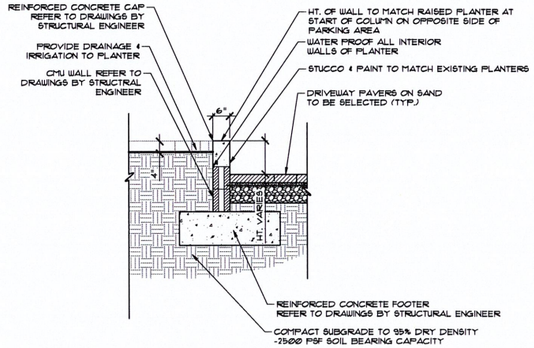
4 Decorative Fence Elevation
1/2"=1'

NOTE:

SECTIONS AND ELEVATIONS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY.



5 Pool Deck Raised Planter
1/2"=1'



6 Parking Area Raised Planter
1/2"=1'

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

REFER TO VENDORS FOR ALL INSTALLATION MATERIALS AND PROCEDURES/FOLLOW ALL MANUFACTURERS INSTALLATION INSTRUCTIONS

KWD
LANDSCAPE ARCHITECTURE
101 SE 2nd Avenue, Second Floor
Delray Beach, Florida 33444
studio@kwdesignteam.com
Telephone: 561-243-1873
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

Le Sanctuaire

3425 South Ocean Boulevard
Highland Beach, Florida

06/09/2023 Rev. Per Comments
05/02/2023 Rev. Per Comments
02/28/2023 For Submittal
02/21/2023 FOR REVIEW

ISSUE HISTORY

COMM NO. 22031A
PROJ MGR: KDW
DRAWN BY: EL
CHECKED BY: KW

DRAWING TITLE:
HARDSCAPE DETAILS

Sheet
H-2

0 2 4 6 8 10
SCALE 1" = 4' 0"

NORTH

1000 - GENERAL NOTES

1. The Contractor shall visit the site prior to bidding. All bids shall include any mobilization required to accommodate the site conditions. The Contractor shall notify the Landscape Architect of any additional work not outlined or allowed for in the Construction Documents prior to submission of bids. No change orders will be issued for existing conditions or the failure of the Contractor to observe them.
2. Commencement of Work: All Contractors shall notify the Landscape Architect at least seven (7) days in advance of the intended Commencement of Work.
3. Contractor shall review plans and/or field layouts with Landscape Architect at least 2 (two) days prior to installation or on site as needed.
4. Contractor shall coordinate with Landscape Architect, Owner, and other job contractors to smoothly implement the project. The Landscape Architect, as directed by the Owner, may facilitate coordination efforts on behalf of the Owner to minimize implementation conflicts.
5. The Landscape Architect reserves the right to visit the job site to review and observe all work and job progress at any time.
6. The Landscape Architect/Owner shall be notified of any additional work or change in implementation methods not allowed for in the Construction Documents, prior to implementation of such work. The Contractor shall submit Change Orders for all Work deemed as additional to Contract. Owner shall approve all changes to Scope of Work and adjustments to Contract Price prior to implementation of any changes to Scope of Work. At Owner's request, the Landscape Architect may review any invoices or Applications for payment. FINAL APPROVAL OF PAYMENT AND PAYMENT AMOUNT IS THE SOLE RESPONSIBILITY OF OWNER.
7. Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.
8. Contractor shall verify location of existing utilities and services and provide protection during construction. Any utilities damaged during site work operation shall be repaired at Contractor's expense.
9. The Contractor shall submit samples of materials and finishes to the Landscape Architect for approval prior to ordering and installation.
10. The term "Contractor" shall expressly apply to any "Sub-Contractor" directly involved with the work. Sub-Contractors shall bear responsibility to the General Contractor for compliance with the requirements, terms and conditions as specified in the Construction Documents.
11. These documents are intended to convey overall form and finish of the design intent only. Contractors and Sub-Contractors are responsible for installing all products and performing all work in accordance with manufacturers instructions and following all applicable sections of the CSI, ASTM, and/or other AIA/ASLA recognized trade agency. The Landscape Architect shall bear no responsibility for Contractor's or Sub-Contractors methods of work.

1105 - GENERAL DESIGN DATA

1. This project has been designed based on the 7th Edition Florida Building Code 2020
2. Concrete reinforcing steel- ASTM A615 grade 60 , Fy= 60 KSI.
   Ties and stirrups --grade 60.
3. Concrete Materials and Placement - ACI 318-11 Edition.
4. Structural steel -- ASTM A36 unless otherwise indicated.
5. Structural steel for tubes - ASTM A500, 46KSI.
6. Bolts - ASTM A325, thread rod - A307
7. Stainless Steel Bolts - 304 or 316 Alloy ASTM F-593-02.
8. Stainless Steel Wire for Concrete Reinforcement - 304 or 316 Alloy ASTM A1022-01.
9. Structural wood and timber --5 fb = 1200 PSI min.
10. Soil bearing pressures:
    Foundations are designed on the assumption of a minimum soil bearing value of 2500 PSF. It shall be the Owner's responsibility to assure that the actual soil bearing value equals or exceeds this minimum. If the soil bearing value is less than 2500 PSF, the Owner shall be responsible to notify the project Engineer and to provide suitable foundation soils, compacted to bearing values as prescribed.
11. Design Wind Loads: Must be in accordance with 7th Edition Florida Building Code 2020 and ASCE 7-16.

2805- GENERAL SITE UTILITIES AND SLEEVING

1. Contractor shall verify location of existing utilities and services and provide protection measures during construction. Any utilities damaged during site work operations shall be repaired at Contractor's expense.
2. Contractor shall verify location of proposed utilities and services with respect to proposed or existing landscaping. Proposed plant material locations shall take precedence when determining underground piping and utility routes. Avoid all areas expected to encounter encounter root balls of large plant materials and provide the clearances necessary to install all proposed materials.
3. Contractor, at his Own expense, shall relocate or adjust any utilities, piping etc. that interferes with the installation of plant materials in their designated location.
4. All sleeving shall be a 2"-4" dia. SCH 40 PVC pipe as needed. Where possible sleeving should be stacked or ganged to minimize space requirements.
5. Contractor shall be responsible to provide at least three (3) sleeves for irrigation electrical service and drainage to each planting area and/ or raised planter surrounded or isolated by paving.
6. Contractor shall be responsible to provide at least two (2) sleeves 1-1/2" dia irrigation and drainage to each pedestal or base to receive a planter pot.
7. Sleeves shall have a minimum depth of 36" unless otherwise determined by electrician or irrigation contractor. The end of the sleeve shall extend at least 12" beyond the pavement, footing or base rock.
8. Locate sleeves in accessible corners or along edges of pavements. Avoid directing sleeves toward or through the center of planting areas where large root balls are intended.
9. Irrigation pipe/ control wire sleeves shall not be shared with electrical or utility service sleeves. Verify irrigation sleeve location with Irrigation Designer/Contractor.
10. All sleeving under roadways shall be reviewed and approved by Owner's Civil Engineer.

2310 - GRADING NOTES

1. Contractor shall verify all existing grades in the field and report any discrepancies immediately to the Landscape Architect for decision.
2. All fill for berming and planting brought to the site shall be clean, friable sandy loam of slightly acid to neutral pH. All fill shall be free from sticks, rocks, marl, sod and other debris. Sod below all areas to be bermed shall be removed or killed with an approved herbicide prior to installation of fill.
3. Remove all road base, shell rock, marl, coral rock, and rubble 30" minimum below finish grade from all new planting areas and tree pits. Backfill with suitable soil as approved by Landscape Architect. Maintain existing grade at the 'drip line' of existing trees to remain.
4. Grade surfaces to assure positive drainage from all structures and to prevent ponding of surface drainage. All ponding shall be corrected prior to landscaping.
5. New earthwork shall blend smoothly into existing grades.
6. Pitch evenly between spot grades. All paved areas must pitch to drain at minimum of 1/8" per foot (1%). Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
7. Rough grade of site fill shall be provided 'in-place' by Owner to +/- 6" of finish grade.
8. Finish Grade = +/- one inch (0.08')
9. Fill shortfall shall be reported to Owner immediately. Owner shall provide fill within 7 days of written notice by Contractor.
10. Excess fill shall be reported to Owner. Contractor shall stock-pile excess fill in areas to be determined by Owner. Owner shall have stock piles removed.
11. Contractor shall be responsible to maintain finish grades and correct all erosion until area is accepted by Owner. Contractor shall remove all soil run-off from adjacent lakes, pavements, swales et as established by others.
12. No equipment shall be used within the canopy 'drip-line' of existing trees. Maintain existing grade at 'drip-line' of existing trees.

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/ or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

2630 - DRAINAGE AND PIPING NOTES

1. MATERIALS
   a. Drainage pipe specified as CPT N-12 shall be corrugated high density polyethylene tubing with smooth wall interior. Corrugated polyethylene tubing shall conform to ASTM F-405, ASTM F-667 and Manufacturer's recommendations. Pipe shall be by Advanced Drainage Systems (ADS) Inc. or approved equal.
   b. Drainage pipe specified as PVC shall be Schedule 40, Schedule 80 or C-900 polyvinyl chloride pipe as indicated on the drawings.
   c. Deck Drains- N.D.S. polyethylene grate
   d. Planter Drains - N.D.S. Atrium Grate
   e. In-line Drains - PVC body with cast iron grate manufactured by 'Advanced Drainage Systems (ADS) Inc. or approved equal.
   f. Catch Basins - PVC body with cast iron grate manufactured by 'Advanced Drainage Systems (ADS) Inc. or approved equal.
   g. Sub-surface strip drainage- "AdvantEDGE" corrugated high density polyethylene strip channel manufactured by "Advanced Drainage Systems" (ADS) Inc. or approved equal. Wrapped with geotextile.
   g. Sub-surface french drainage- slit perforated N-12 corrugated high density polyethylene pipe manufactured by "Advanced Drainage Systems" (ADS) Inc. or approved equal. Wrapped with geotextile.
2. All thermo-plastic pipe shall be installed in accordance with ASTM D-2321, Standard Practice for Underground Installation of Thermoplastic Pipe for Sewers and other Gravity Flow Applications.
3. All pipe shall be placed in a dry trench. Contractor shall provide adequate equipment for the removal of storm , surface or subsurface water which may accumulate in the trenches or excavated area so that it will be dry for Work required.
4. All bedding shall consist of clean granular material. Unsuitable material such as muck, rocks, and debris shall be removed and replaced with suitable material and compacted.
5. The pipe shall be supported for it's entire length with appropriate compacted granular material under the haunches.
6. The backfill shall consist of clean granular material. Unsuitable material such as muck, rocks, and debris shall not be placed in the trench.
7. All backfilling of storm drainage pipe shall be compacted in 12" lifts of clean granular material to a density of not less than 98% of the maximum density as determined by AASHTO T-99.
8. Location of drainage structures shall govern pipe runs. Pipe lengths may have to be adjusted to accomplish construction as shown.
9. All angular/ directional invert orientations are approximate. Contractor shall determine and verify all pipe, invert, and structure alignments in accordance with the Layout plan and Manufacturer's specifications.
10. All elevations shown refer to N.G.V.D. . Contractor shall verify all existing elevations and report any discrepancies to the Landscape Architect prior to installation of work.
11. Contractor shall verify all rim and invert elevations to provide positive drainage flow to the pipe outfall. All drain pipe shall have a 0.5% min. fall unless otherwise noted.
12. All pipe connections shall be made with manufacturer approved collars, couplings, or fittings. All connections shall be gasketed and/ or glued to be watertight, impenetrable by roots, and resistant to sediment infiltration. All corrugated pipe connections shall be gasketed and wrapped with three (3) layers of approved joint tape installed in accordance with manufacturers recommendations.
13. All in-line connections to main line shall be made with Y-fittings installed to facilitate downstream flow.
14. Contractor shall be responsible for sizing roof drain downspouts and connecting to overflow structure placed 6" min. below floor of building. Provide 2" min. overflow air-gap at downspout / drainpipe connection.
15. All connections to common utility structures shall be made in accordance to methods as approved by the Project Civil Engineer.
16. All piping routes shall be installed so as not to interfere with placement of structures, utilities, and trees with large root balls. Any deviation from the layout plan shall require written approval from the Landscape Architect before installation.

2830 - SEGMENTAL MASONRY RETAINING WALLS

1. General - The Work covered in this section includes furnishing of labor, materials equipment and incidentals for the construction and installation of segmental masonry retaining walls (SMRW) as shown on the Construction Drawings and described by the Contract Specifications.
   The Work included in this section consists of, but is not limited, to the following:
   a. Excavation and foundation preparation for the retaining wall.
   b. Placement of the footing (leveling pad) for the wall facing units.
   c. Placement of the modular block wall facing units.
   d. Placement of drainage materials.
   e. Placement and compaction of infill and retained soils.
   f. Finish Grading within 5' feet both above and below wall.
   g. Clean-up and removal of debris from job site.
2. Related Work
   a. Section - Drainage
   b. Section -Grid Reinforcement.
3. Reference Standards
   a. ASTM C140 - Sampling and Testing Concrete Masonry Units.
   b. ASTM C145 - Solid Load Bearing Concrete Masonry Units.
   c. ASTMC1372-97- Standard Specification for Segmental Retaining Wall Units.
   d. National Concrete Masonry Association (NCMA) Tek 2-4 - Specification for Segmental Retaining Wall Units.
   e. Manufacturer's Installation Guide -(most recent issue) and all technical references included therein.
4. Submittals
   a. Submit the following in accordance with General Conditions:
      1. Manufacturer's Literature , including installation manual.
      2. Shop Drawings showing soil report data, retaining wall design, wall heights, geosynthetic reinforcement layouts and drainage provisions. Shop drawings shall be signed and and sealed by a registered Engineer licensed in the state of the wall installation.
      3. Samples - Furnish (3) units in the color and face pattern as specified . Furnish a 12" x 12" sample of geosynthetic reinforcement as specified.
      4. Test Reports form an independent laboratory stating moisture absorption and compressive strength properties of the concrete wall units when tested in accordance with ASTM C140.
5. Foundation soil shall be excavated or filled and compacted to grades and dimensions as shown on the Construction Drawings or as directed by Landscape Architect. If elevations shown finished exposed surfaces only, Contractor shall provide excavation of adequate dimension accommodate all subgrade, foundation and leveling pad requirements to construct the finished design as shown in the Construction Documents.
6. The leveling pad material shall be placed and compacted crushed stone along the grades and dimensions as shown on the Construction Dwgs. The leveling pad shall be 6" min. thickness.
7. The bottom row of retaining wall modules shall be placed on the prepared leveling pad. Care shall be taken to ensure that the wall modules are properly aligned, level and in complete contact with the base materials.
8. Wall modules above the the bottom course shall be placed such that all bearing surfaces cleanly mate and provide the design batter of the wall face. Contractor shall check the level of wall modules with each lift to ensure that no gaps are formed between successive lifts that affect the alignment of the wall and the pullout of grid reinforcements. Check vertical face of installed units to verify design batter is maintained.
9. Drainage - Install drain tile at lowest elevation possible to maintain gravity flow of water to outside of reinforced zone. Drainage pipe shall daylight to an approved outfall area or structure.
10. Drainage aggregate shall consists of clean 3/4" angular rock. Fill all voids between, within and behind wall units with drainage aggregate. A minimum of 12" of drainage aggregate shall be placed behind wall units.
11. Drainage aggregate shall be separated from adjacent soils with an approved geo-fabric.
12. Install reinforcement grids in accordance with Engineer's drawings and Geosynthetic's Manufacturer's recommendations. Infill soils for reinforcement grids shall be as specified by Engineer. Infill soils shall be placed in 6" lifts and compacted to 95% Standard Proctor. Compact with hand operated equipment. No heavy equipment shall be allowed within 4' of wall or 1/2 of wall height, whichever is greater.
13. Retained soils shall be placed behind infill soils in 6-8" maximum lifts. Retained soils shall be compacted to a density of 95% min. of Std. Proctor.
14. Top two courses (including Capstone) shall be secured with an exterior rated concrete construction adhesive as recommended by manufacturer.
15. Fine grade all slopes away from wall faces at not more than 1:10 (10%) slope for a distance equal to height of wall unless design indicates otherwise.

3100 - CONCRETE NOTES

1. Materials - Normal weight concrete (145 PCF)
   a. 28-day compressive strength:
      Sidewalks 2500 PSI
      Foundations and Patio Slabs· 3000 PSI
      Columns, beams, and slabs 4000 PSI
      • All patio slabs shall have fiber reinforcement.
   b. Concrete slump (in inches) shall be as follows:

	Minimum	Maximum
Massive sections, pavements, and slabs	1-1/2"	4"
Heavy slabs, beams, walls	3"	5"
Thin walls, columns	3-1/2"	6"

2. Minimum concrete cover shall be:
   Slab- 3/4"
   Beams and columns- 1-1/2"Exposed unprotected concrete-1-1/2"
   Formed concrete below grade - 2"
   Unformed concrete below grade -3"
3. Placing drawings and bar lists shall conform to A.C.I.'s "Manual of Standard Practice" for Detailing Reinforced Concrete Structures." (A.C.I. 315-80)
4. Details of concrete reinforcement shall be in accordance with "The Manual of Standard Practice for Reinforced Concrete Construction" as published by the Concrete Reinforcing Steel Institute unless otherwise indicated.
5. Concrete construction techniques shall conform to the "Specifications for Structural Concrete for Buildings" (ACI 301-84).
6. Reinforcement shall be carefully placed, rigidly supported and well tied with bar supports and spacers.
7. Adequate vertical and horizontal shoring shall be provided to safely support all construction loads.
8. All openings in concrete slabs or walls over 12" square shall have one (1) #5 x 5'-0" diagonal bar in each corner in the center of the slab or wall.
9. Reinforcing steel in footings or pile caps shall be assembled as mats with bars equally spaced and wired together at each intersection before concrete is placed.
10. Dowel column and wall reinforcing to footing or pile cap with same size and number of dowels as vertical bars above.
11. Dowels shall be hooked "L" at bottom and shall be lapped 48 bar diameters with the column or wall reinforcing above.
12. Concrete columns shall be tied columns unless otherwise indicated.
13. Provide 66W 1. 4 W1.4 WWF in slabs on grade unless otherwise indicated.
14. Reinforcing in concrete walls shall be continuous-lap bars 48 diameters. Horizontal bar laps shall be staggered.
15. Slab Expansion Joints- Form isolation joints of pre-formed joint-filler strips abutting concrete curbs, catch basins, manholes, inlets, structures, walls and all other fixed objects and where indicated. Wall Expansion Joints - Refer to engineering drawings.
16. Control Joints - Form weakened plan contraction joints, sectioning concrete into areas as indicated. Construct contraction joints for a depth equal to at least one-fourth of the concrete thickness as follows:
    a. Grooved Joints: Form contraction joints after initial floating by grooving and finishing each edge with a groover tool to a radius of 3/8" and as indicated on the drawings. Repeat grooving of contraction joints after applying surface finish. Eliminate all groover marks in the concrete surface.
    b. Saw cut joints - not allowed
    c. Joints Spacing - as follows and as indicated on the drawings.
       4" thick slabs - 6' o.c. max
       6" thick slabs - 8' o.c. max
       Add two feet (2') to spacing, if fiber mix is used.
17. Edging - Tool edges of pavements, gutters, curbs and joints in concrete after initial floating with an edger tool to a radius of 1/2" min. or as indicated on the drawings. Repeat edge tooling after applying surface finish. Eliminate edger marks in the concrete surface.
18. Slab Surface Finish - verify finish with drawings. All slabs and walkways shall receive a non-skid light broom finish unless otherwise specified. Finish shall be uniform and consistent over entire surface. Finish surface shall be free of blemishes, tool marks and defects.
19. Fiber Reinforcement - Synthetic fibers shall be fibrillated or monofilament polypropylene fibers engineered and designed for use in concrete pavement complying with ASTM C1116, Type III, 1/2 to 1 inch (13-25mm) long. Admix at not less than 1 lb/ per cu yd and as recommended by Engineer or manufacturer.

4220 - CONCRETE UNIT MASONRY

1. Materials
   a. Concrete masonry 28-day compressive strength of individual units (net area) 1500PSI. Masonry units shall conform to ASTM C90.
   b. Mortar type M or S ASTM C270. Mortar test shall be taken twice weekly or more often as required by the architect-engineer.
   c. Masonry grout shall conform to ASTM C476.
2. Reinforced concrete masonry construction shall conform to the "Building Code Requirements for Concrete Masonry Structures" (ACI 531)
3. Vertical cells to be grouted shall have vertical alignment sufficient to maintain a clear, unobstructed continuous cell.
4. Clean out openings shall be provided at the bottom of grouted cells at each lift. Cleanouts shall be sealed after cleaning and inspection, and before grouting.
5. Reinforcing steel shall be lapped 48 bar diameter minimum where spliced and shall be either separated by one bar diameter or wired together.
6. Masonry walls shall cure at least twenty-four (24) hours before grouting.
7. When grouting is stopped for one (1) hour or longer, the grout shall be stopped 1-1/2" below the top of the uppermost unit.
8. Grout shall be placed in lifts not to exceed 8'-0" maximum.
9. Vertical wall reinforcing shall be doweled to footing below and to beam above.
10. Provide two (2) #9 Ga. reinforcing wires every second course in exterior walls.
11. Beams and lintels, unless otherwise shown, shall have 8" min. bearing at each end.
12. Masonry shall be anchored to supporting beams and columns unless otherwise noted. Masonry units laid to concrete shall be supported by dovetail anchors spaced at 16" or with an equivalent system.
13. Masonry walls shall be braced to resist lateral loads until adequate bracing is provided by the other components of the structure.
14. Masonry grout shall be mixed with sufficient water to give a fluid consistency without segregation of materials.

2100 - EROSION CONTROL

1. Once grading operations are completed, all disturbed areas within or outside of the limits of work shall be stabilized by fine grading and seeding or mulching.
2. All erosion control measures are to be installed prior to any site disturbance or construction activities.
3. All sediment will be prevented from entering any storm drainage system through the use of silt fences, straw bales, gravel, boards or other applicable methods.
4. The Contractor shall be responsible for mitigating all sediment leaving the site and taking appropriate corrective measures. Sediment control measures shall be in working order after each day.

4720- CAST STONE

1. General - This section includes all labor , equipment and materials to provide and install the Cast Stone shown on the Architectural drawings and as described in this specification.
   a. Architectural Cast stone - White Portland cement based (Type I or III) concrete. Texture and color shall be as specified by Architect. Refer to Finish schedule
   b. Contractor shall furnish shop drawings, colors and material samples of all profiles or alternates to Landscape Architect for approval prior to ordering stone.
   c. Related Sections - Refer to sections as applicable.
      1. Section Mortar and Grout
      2. Section Unit Masonry Assemblies.
      3. Section Reinforcing Unit Masonry Assemblies
      3. Section Joint Sealers
   d. References - Standards shall comply with the requirements and recommendations of the Cast Stone Institute (CSI) Technical Manual (Current Edition).
      ASTM C1364 Standard Specification for Cast Stone
2. Cast stone fabricator and installer shall use clean, uncontaminated sources of cement, aggregate, mixing equipment and water for all products, grouts, and installation practices. All cast stone shall be white Portland cement based and achieve a minimum compressive strength of 3000 psi upon delivery to job-site.
3. Cast stone shall have integral color pigments with additional soda color as specified.
4. Architectural cast stone members shall be suitably reinforced with synthetic fibers (ASTM C1116, Type 3), welded wire fabric (ASTM A82 where applicable wet-cast units) ferrous bars (ASTM A615/ A615M) or deformed stainless steel (type 302 or 304). Ferrous reinforcements shall not used be in wet or submerged conditions or within 3 miles of the ocean (salt atmosphere) climatic conditions. Epoxy coated steel shall be required when cover is lass than 1-1/2". Welded wire fabric shall not be used in dry cast products.
5. Ferrous reinforcements, where permitted, shall be oil and rust free and embedded with a minimum of 3" of concrete cover unless specified otherwise by engineer.
6. All copings, trim moulds, wall caps, brackets, cladding, etc (excluding horizontal flatwork) shall be anchored in place with corrosion-resistant building stone fasteners. All vertical cladding and columns shall be anchored in compliance with local building codes. Refer to windload and seismic standards in CSI Manual section C21,C25,C27,C35 and C41: and the ACI 318 and ACI 355.
7. All metal structural elements to be clad shall be primed with at least two coats of zinc-rich primer and sealed or protected from any water infiltration.
8. Cast stone products, grouts and thin-sets used in wet, submerged or salt conditions shall be latex or polymer modified to reduce porosity and moisture absorption.
9. Wet all stones prior to setting in full mortar bed unless otherwise detailed.
10. Set stones 1/8" or less within plan of adjacent units.
11. All finish pointing grouts shall match the cast stone color unless otherwise specified.
12. Grout joints shall be consistent and uniform: ¼" min or ⅜" maximum width. Joints shall be tooled flush or slightly concave as specified. Raked jointed shall be pointed and tooled as specified.
13. All borders, trims, and molding spans shall consist of equal, uniformly sized pieces. Slivers or unbalanced joint spacing is unacceptable. All corner stones shall be solid castings. Miter joints shall be permitted only where specified. All coping / trim shall terminate or return with appropriately cast pieces. Exposed, cut, or broken ends are unacceptable.
14. Finished surface shall be clean and free of defect, saw cuts, tool marks, chips, cracks, blemishes or stains. All grout stains shall be removed within 24 hours of application. Acids shall not be used to clean finished surfaces unless specified.
15. All horizontal walking surfaces shall have a skid resistant finish, wet or dry. Fill all pores and cavities of natural stone as specified.
16. Sand-set stones shall be a minimum of 2" thick and tightly butt jointed gaps not to exceed 1/16". Refer to Section 2780 - Unit pavers for sand-set applications.
17. All stone cutting shall be done in designated staging area. Protect all adjacent plant materials, soils and finish surfaces from dust, debris, and construction activity. Dispose of any waste materials in suitable containers away from planting areas. Contractor shall be responsible to remove all cement contaminated soil from the site and replace with clean, approved fill.
18. Stone shall be patched, cleaned and free of chips, blemishes and defects. All cleaners shall be used in accordance with manufacturers specification. Protect all adjacent plant materials, soils and finish surfaces from runoff /over spray of all cleaners.
19. All cast stone shall be finished with a clear, penetrating no-build sealer unless otherwise specified. Submit sealer manufacturers' literature to Architect for approval. No sealer shall be applied until repair, cleaning, inspection and acceptance are completed.

2700 - GENERAL PAVING NOTES

1. Verify all paving materials, patterns and finishes with Owner and Landscape Architect.
2. Concrete Unit Pavers - Contractor shall provide a minimum 5' x 5' sample of the specified color blend for each paver pattern specified prior to ordering materials for the job. The paver sample shall be reviewed by the Landscape Architect and Owner for final approval and possible re-proportioning of the color mix.
3. Cast Stone - Contractor shall verify all colors and finishes in writing prior to ordering material. Contractor shall furnish samples of the specified material, profiles and finishes whenever specific manufacturer's are NOT specified. Substitutions will not be allowed unless approved prior to ordering by the Owner and Landscape Architect.
4. Concrete - All concrete products (including cast stone) shall have a minimum compressive strength of 3000 psi or greater as specified. All cast in place concrete shall have
5. Subgrade - All pavement or foundation subgrade shall be compacted to meet the density requirements as determined by drawings in accordance with the A.A.S.H.T.O. T-180 Specification. Subgrade shall extend 12 inches beyond the proposed edge of pavement. All stumps, roots and other deleterious matter encountered in the preparation of the subgrade shall be removed to a depth of 3 feet below the finish pavement grade and from within 8 feet of edge of pavement. If the subgrade is required to be stabilized, the Contractor shall refer to plans prepared by a registered Civil Engineer.
6. Base - All pavement bases to receive vehicular traffic shall be designed by a Civil Engineer retained by Owner and/ or Contractor. All approved limerock base material shall be compacted to not less than 98% per A.A.S.H.T.O. T-180 specifications.

9500 - PAINT AND FINISHES

1. All paint finishes shall receive 100% coverage with a primer/ sealer base coat suitable for the substrate material and application. All Paint finishes shall extend a minimum of 2" below grade where applicable.
2. All surfaces or substrates shall be etched, scarified, pH neutralized and cleaned. Remove all loose or flaking material. Fill or repair all surface defects to match adjacent surface finish or specified texture. Prepare surface according to paint manufacturer's recommendation.
3. Masonry and concrete walls shall receive a coat of masonry primer paint Stucco / masonry shall cure for at least 28 dry days prior to
4. Finish paint shall consist of high-grade latex 100% acrylic paint unless otherwise specified (ie. Sherwin Williams or eq.) Finish paint application shall consist of a minimum of one coat of finish paint. Follow application instructions as recommended by the Manufacturer unless otherwise noted.
5. Each paint coat shall cure for at least one (1) full dry day prior to the application of the subsequent coat.
6. All paint shall have the maximum allowable recommended mildewcide additive.
7. Contractor shall provide 4'x 4' paint sample panels on site for review and approval by the Owner and / or Landscape Architect.
8. All metal shall receive a two coats of corrosion resistant primer appropriate for the material:
   Unexposed Steel , iron/ ferrous metals - red oxide oil-based primer or approved eq.
9. Final finish shall be subject to visual or other inspections. Entire surface shall be repainted if undercoat or primer is visible.

6050 - OUTDOOR CARPENTRY

1. Materials
   a. Pressure-treated (PT) lumber
      Piles - southern yellow pine (SYP) 250 CCA (min. retention)
      Framing and superstructure - #2 SYP, S4S, 080 CCA
      Decking, posts and railings - #1, SYP, S4S, 0.60 CCA
   b. Western red cedar (WRC) #1 rough sawn timbers and dimensional boards
   c. Exotic wood cladding - Plantation grown Teak, "Pau-lope"
      -other species to be determined.
   d. Recycled Plastic Board (RPB)- UV resistant, high density polyethylene (HDPE) dimensional boards.
      Manufactured by Cycle-Masters, Inc. OR EQ.
      P.O. Box 467, Sweetser, IN, 46987
      Ph : 317-384-4336
   d. Metal fasteners hot-dipped galvanized steel, stainless steel,
   e. Connection plates: 304 stainless steel plates, galvanized steel "Simpson" ties
2. Dimensional and structural products shall be uniform and free of cracks, splits, checks, loose knots or other defects degrading the weatherability, strength and appearance of the product.
3. Contractor shall verify all colors and finishes with Landscape Architect. Submit samples of each specified RPB for approval prior to ordering.
4. All structures shall be anchored plumb and square to base. Structures shall be designed in accordance with windloads and local codes.
5. Wood products shall not be embedded or restrained on masonry structures or enclosures without adequate clearances and drainage.
6. Pressure-treated (PT) wood sub-structures shall be thru-bolt connected with hot-dipped galvanized bolts or eq. Stainless steel bolts and fasteners shall be used as noted. All framing nails, connector plates, ties etc, shall be hot dipped galvanized steel unless otherwise specified. Refer to engineer's fastener schedule for size and spacing.
7. All bolted overhead connections shall be countersunk, sealed and plugged with similar wood plugs or approved filler material.
8. In overhead or exposed conditions, all wood shall be liberally bedded in silicone sealant or eq. bedding material to isolate wood contact from metal plates, anchor bolts, fasteners or masonry members. Externally caulked joints are not an acceptable substitute for proper bedding.
9. All decking, railings or finish surfaces shall be free of splits, checks, splinters, loose knots, pitch pockets, pith hearts or other defects. All joints and connections shall be tight and clean. Round-over or ease all edges unless otherwise specified.
10. All fasteners on decking, railings and finish surfaces shall be counter-sunk flush or slightly below finish surface.
11. All decorative wood assemblies shall receive at least one coat of primer, stain or seal prior to assembly. Finish coat or touch-up all final assemblies or structures according to finish schedule.
12. All wood steps shall have 3 min. 3/8" wide traction grooves routed into the outer 1/3 of the tread surface.

13100 - FOUNTAIN AND POOL NOTES

1. Fountain mechanical, electrical and hydraulic systems shall consist of commercial grade pool/ fountain equipment as specified by an approved fountain consultant (listed below) to provide a complete feature fountain system that operates to the performance standard as specified on the Plans. Fountain Consultant
2. The Equipment List shall include, but not necessarily limited to, the following items: pumps, piping and fittings, auto-fill, overflow, filters, skimmers, valves, manifolds, timers, controls and control boxes, light fixtures, etc. Fountain/ Pool equipment shall be specified on fountain consultant's drawings. Substituted equipment shall be approved only within written authorization by Owner and/or Landscape Architect prior to installation.
3. All pool / fountain shells, structures, basins, bowls, etc. shall be engineered and constructed in accordance with all applicable codes and standards by the installer, manufacturer, or supplier. The installer's engineer shall furnish a 'Wind load Certification Letter' as required by the building official and copy the Owner and Landscape Architect when applicable.
4. All Work shall be performed in a workman-like manner and shall conform with all applicable national, state and local regulations and codes.
5. The Contractor shall submit shop/ engineering drawings for all shells, structures and operating systems to the Landscape Architect for review and approval prior to construction. Contractor shall notify Landscape Architect to review all molds and casting patterns at a 75% completion level prior to receiving final approval.
6. All pool shells and water vessels shall be receive a water-proofing membrane, plaster finish or eq. suitable for underwater/ pool use. Water-proofing shall be installed behind all tiles, boulders, stones and other decorative items. Waterproof both sides of all walls subject to negative hydrostatic pressure. Waterproofing material shall be compatible with bonding qualities of substrate and applied decorative finishes.
7. All fastenings, pins, plumbing and reinforcing shall be of non-corrosive materials suitable for a chlorine environments.
8. Contractor shall verify that all fixtures, tiles, finishes and grouts are suitable for a pool and/ or chlorine environment. All water proof grouts shall be fortified with a non-rewettable acrylic additive or other waterproofing/ bonding admixture compatible with the intended use. Admix shall be 'Acrylbond' manufactured by the 'Lambert Corp' or eq. and used in accordance with manufacturer's directions.
9. Stone fabricator shall coordinate with Fountain Consultants and contractors to determine necessary clearances and allowances for fountain equipment and structural elements.
10. Contractor shall provide all structures, plumbing, equipment, hook-ups, services, and adjustments necessary to provide a complete and fully operational fountain system.
11. Fountain mechanical / equipment installer shall include a minimum 1 year warrantee for all equipment, including any necessary field service and/ or adjustments.
12. All spas shall have a 'Bather accessible' spa cutoff timer within 10' of Spa.
13. All electrical work shall conform to the most recent National Electric Code.
14. All reinforcing steel and metal within 5' of pool shall be grounded with a #8 insulated solid copper wire per code. Bonding shall be in accord with NEC 680-22.
15. Water supply tap and meter (if required) shall be furnished by Owner.

16500 - LANDSCAPE LIGHTING NOTES

1. All wiring, fixtures and installations shall conform to all applicable national, state and local codes and standards for electrical applications.
2. Contractor shall verify all panel sources, switching locations, and controls with the Project Architect/ Engineer. Contractor shall provide shop drawings for electrical circuits in conjunction with the Owner's Electrical Engineer as needed.
3. Typical outdoor electrical service shall consist of ground fault interrupted (GFI) circuits or outlets mounted in approved weather-proof bell boxes. Outlet heights shall be 12" above finish grades and at least 24" from the edge pavement in planted areas. All conduit/ direct burial wire shall be at least 18" below finish grade or deeper as required by code.
4. Where applicable, the Contractor shall allow for recessed or surface mounted applications with the approval of the Project Architect.
5. Contractor shall meet with landscape architect in field to review electrical and utility corridor routes. Electrical conduits and wires shall avoid areas with large feature palms and trees having large root masses. The Contractor shall be responsible for reviewing and understanding the Planting Plan and avoiding utility conflicts wherever possible.
6. Electrical service connection and meter (as needed) shall be provided by Owner.
7. All fixtures in road -rights -of- way shall have shields to conceal the light source from on-coming traffic. All lighting shall be aimed away from on-coming traffic.
8. All up-light fixtures shall be set-back a minimum of four (4') feet from the edge of all walks and pavements.
9. Contractor shall stake all fixture locations for review by Landscape Architect prior to setting conduit, j-boxes and/or perma-posts.
10. Contractor shall take into consideration the fixtures location with respect to existing plant material. If existing plant material will block the light path, the Landscape Architect shall be called for an alternate location.
11. Contractor shall make final adjustments to fixture location, lamping and aiming subject to review by Landscape Architect in night-time light test.
12. All fixtures within ten (10') feet of water shall connect to GFCI circuits in accordance with the electric code. Fixtures other than line voltage (120v) shall not be located within 10' feet of water. No electrical or lighting fixtures shall be within 5' feet of the water's edge.

LEGEND

F.F.E.	Finish Floor Elevation
AFF./ BFF.	Above Finish/ Below Fin. Floor
+17.00 (boxed)	Existing Spot Elevation
+17.00	Proposed Spot Elevation
1%	Slope Gradient/ Direction of Flow
17	Proposed Contours
17	Existing Contours
+ LP/HP	Low/High Point
+ T /FTG	Top of Footing (TOF)
+ TW	Top of Wall Elevation
+ BC/ TC	Bottom/ Top of Curb Elevation
+ BS/ TS	Bottom/ Top of Step Elevation
+ F.G.	Finish Grade
+ DI RIM EL	Drain Inlet Rim Elevation
+ CB RIM EL	Catch Basin Rim Elevation
+ INV EL.	Invert Elevations
DP/ PVC	Drain Pipe- PVC
DP/ HDPE	Drain Pipe- High Density Polyethylene
Perf DP	Perforated Drain Pipe
DS	Down Spout
CO	Clean Out
EXP.JT	Expansion Joint
CJ	Control Joint -saw cut
PA	Planting Area
	Natural Preserve To Remain Undisturbed
L.M.E.	Lake Maintenance Easement
D.E. / U. E.	Drainage / Utility Easement
IrrM.	Irrigation Main
WM.	Water Main
F.M.	Force Main
F.H.	Fire Hydrant
⋈	Valve
WMtr.	Water Meter
Pole	Decorative Street Light Pole - sgl or dbl
	Decorative Street Light Pole - quad
	Decorative Walk Light Pole
	ShoeBox Street Light Pole - sgl or dbl
JB /PB □	Junction Box / Pull Box
FPL-SC / FPL-TR	FPL Switch Cabinet or Transformer
PP./ Lt.P.	Power Pole/ Light Pole
45+32.29	Horizontal Station (hundreds of feet + feet .decimal feet) -Station graphic scale is approximate
P.O.B.	Point of Beginning
UNO	Unless noted otherwise

KWD
LANDSCAPE ARCHITECTURE
101 SE 2nd Avenue, Second Floor
Delray Beach, Florida 33444
studio•kwdesignteam.com
Telephone: 561-243-1873
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

RECEIVED
JUL 25 2023
HIGHLAND BEACH
BUILDING DEPARTMENT

Le Sanctuaire
3425 South Ocean Boulevard
Highland Beach, Florida

06/09/2023 Rev. Per Comments
05/02/2023 Rev. Per Comments
02/28/2023 For Submittal
02/21/2023 FOR REVIEW
ISSUE HISTORY

COMM NO. 22031A
PROJ MGR: KDW
DRAWN BY:
CHECKED BY: KW

DRAWING TITLE:
HARDSCAPE SPECIFICATIONS

Sheet
H-3

LEGAL DESCRIPTION:

THE NORTH 100 FEET OF THE SOUTH 1,170 FEET OF GOVERNMENT LOT 4, A PORTION OF SECTION 33, TOWNSHIP 46 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA.

SAID LAND SITUATE, LYING AND BEING IN THE TOWN OF HIGHLAND BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAINING 16,254 SQUARE FEET OR 0.3731 ACRES, MORE OR LESS.

4 SITE DATA:
ZONING: RMM
FUTURE LAND USE DESIGNATION: MULTIPLE-FAMILY MEDIUM DENSITY MFM
PROPOSED USE: MFM
LOT SIZE: 16,254 SF (0.3731 ACRES)

4 **PROJECT DATA**

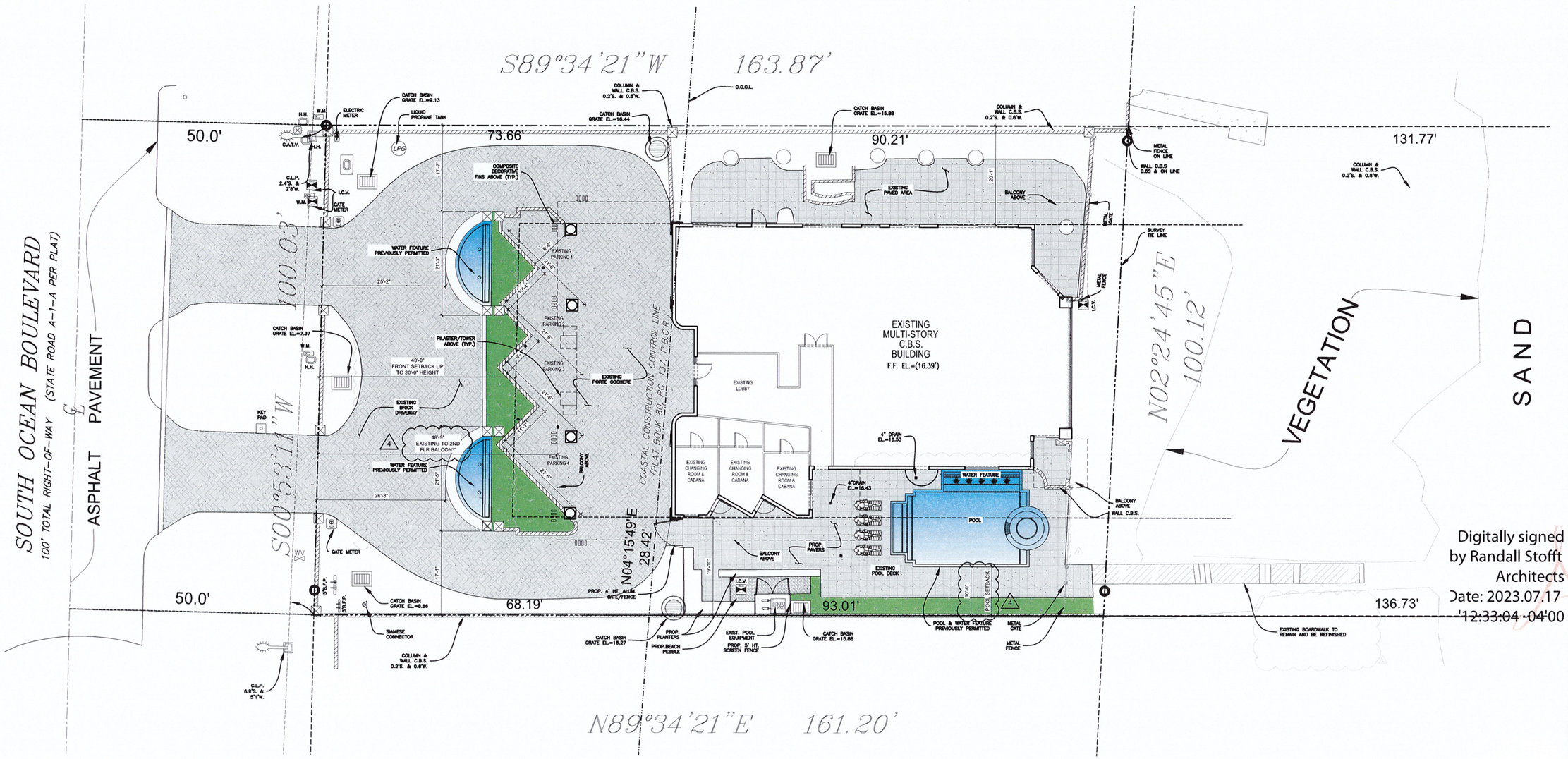
ZONING:	RMM		
FUTURE LAND USE:	MULTIPLE-FAMILY MEDIUM DENSITY (MFM)		
- SITE AREA		16,254 S.F.	100%
- BUILDING FOOTPRINT AREA		4,070 S.F.	25%
- HARDSCAPE			
-EXIST. DRIVEWAY	3,022 S.F.		
-EXIST. PORTE-COCHERE /PARKING	2,092 S.F.		
-EXIST. POOL DECK	1,585 S.F.		
-EXIST. NORTH TERR.	1,038 S.F.		
-PROP. FOUNTAINS	180 S.F.	7,917 S.F.	49%
- USABLE OPEN SPACE		3,950 S.F.	26%
- EXIST. HEIGHT		41'-5"	
- NO. OF DWELLING UNITS		4 UNITS	

SETBACKS	REQUIRED	EXISTING
FRONT	40' UP TO 30'H + 1' EA. 2'H INCREASE	40'-3"
LEFT-SIDE	20' UP TO 30'H + 1' EA. 2'H INCREASE	19'-10"
RIGHT-SIDE	20' UP TO 30'H + 1' EA. 2'H INCREASE	20'-1"
REAR (OCEAN)	DETERMINED BY FDEP	

RECEIVED
JUL 25 2023
HIGHLAND BEACH BUILDING DEPARTMENT

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMM.	KPR/CL	05.05.23
4	SITE PLAN REV. COMM.	KPR/CL	06.13.23
5	SITE PLAN REV. COMM.	KPR/CL	07.13.23



1 SITE PLAN
1"=10'-0"

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

Digitally signed by Randall Stofft Architects
Date: 2023.07.17 12:33:04 -04'00'

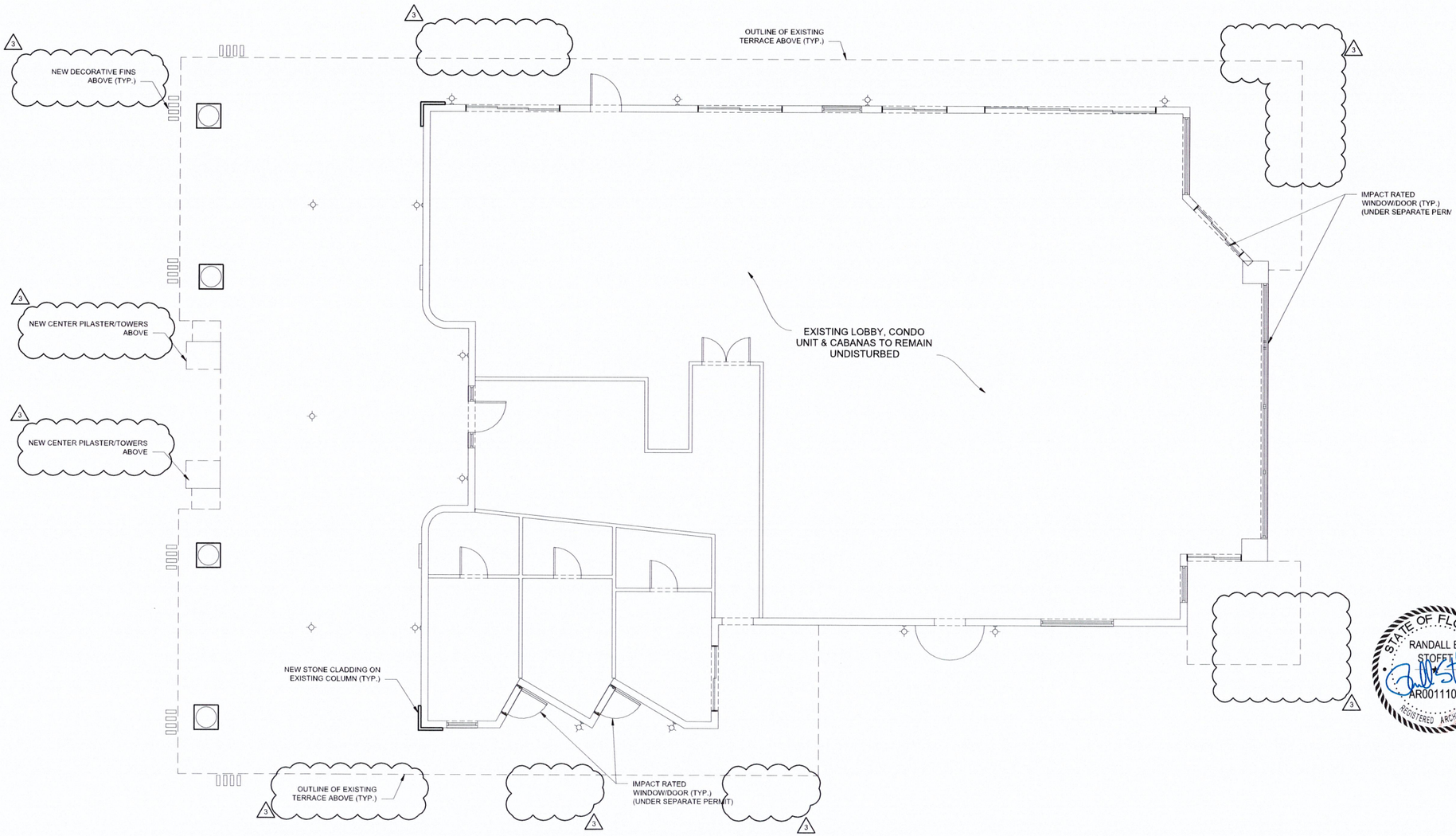
Job No. 2205045D
STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT
FL-00[illegible] FA0003379

A101

RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



1 PROPOSED FIRST FLOOR PLAN
3/16"=1'-0"

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMMT.	KPR/CL	05.05.23
4	SITE PLAN REV. COMMT.	KPR/CL	06.13.23

3425 S. OCEAN EXTERIOR

3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT

Job No. 2205045D
Digitally signed by Randall Stofft Architects
Date: 2023.06.19 13:27:43 -04'00'
FL-0011105 FIRM-AA003379

A211

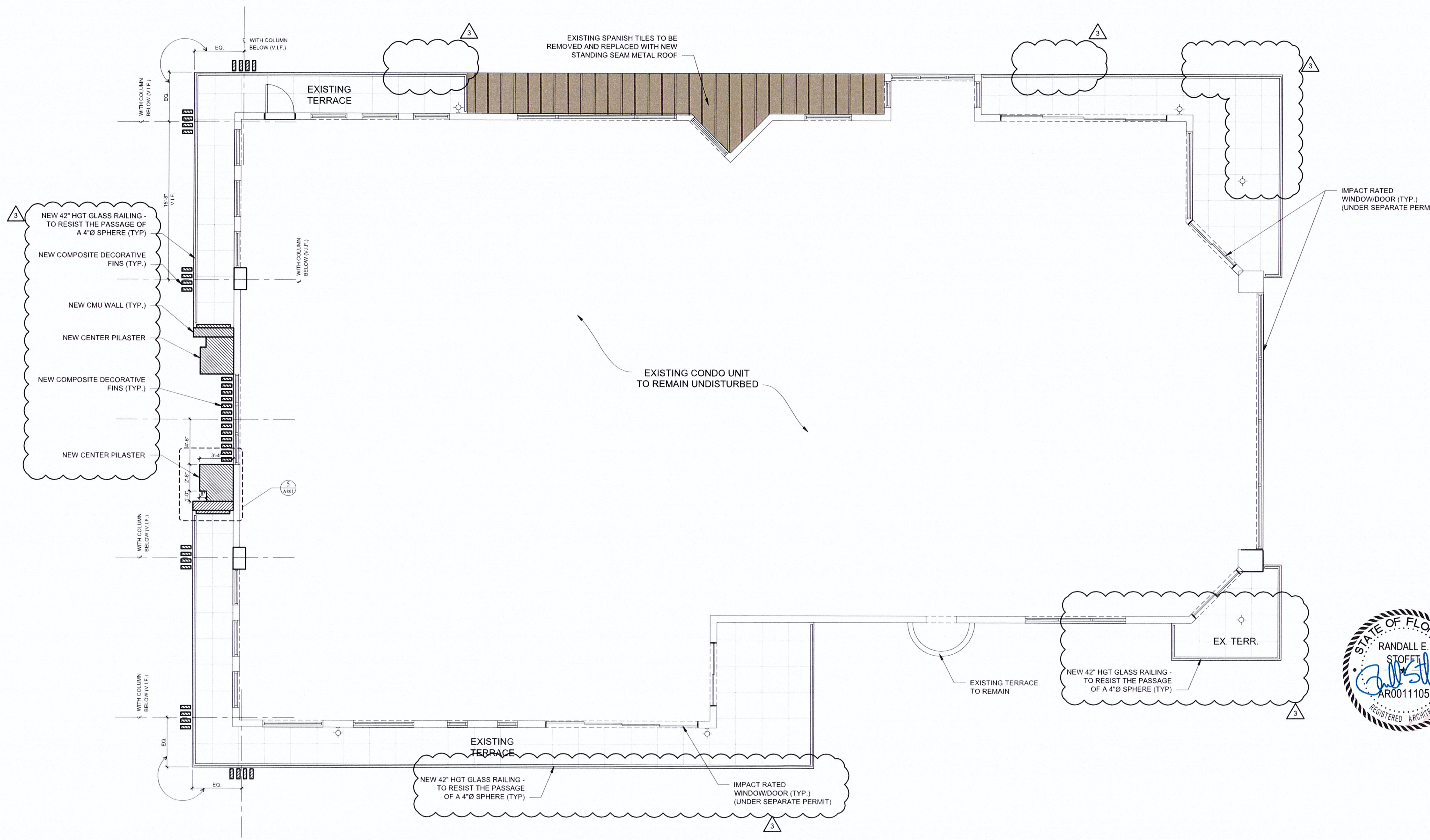
RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
△	PERMIT SET	KPR/CL	11.29.22
△1	SITE PLAN	KPR/CL	01.17.23
△2	SITE PLAN REV. COMMT.	KPR/CL	05.05.23
△3	SITE PLAN REV. COMMT.	KPR/CL	06.13.23



1 PROPOSED SECOND FLOOR PLAN
3/16"=1'-0"

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT

Job No. 2205045D

Digitally signed by Randall Stofft Architects
Date: 2023.06.19 13:30:38 -04'00'

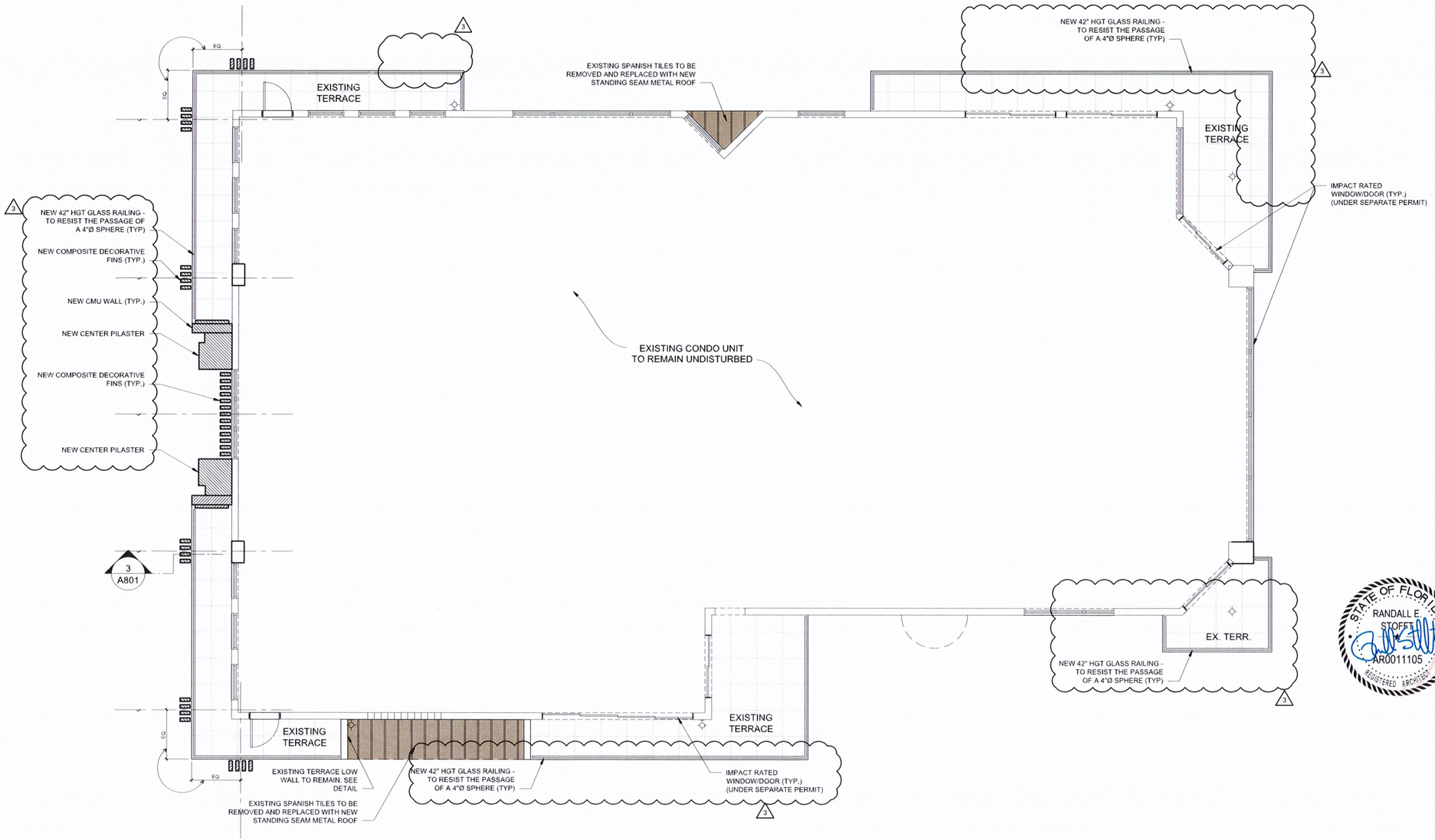
FL-0011105 FIRM-AA003379

A212

RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



1 PROPOSED THIRD FLOOR PLAN
3/16"=1'-0"

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMM'T.	KPR/CL	05.05.23
4	SITE PLAN REV. COMM'T.	KPR/CL	06.13.23

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E STOFFT
AR0011105
REGISTERED ARCHITECT

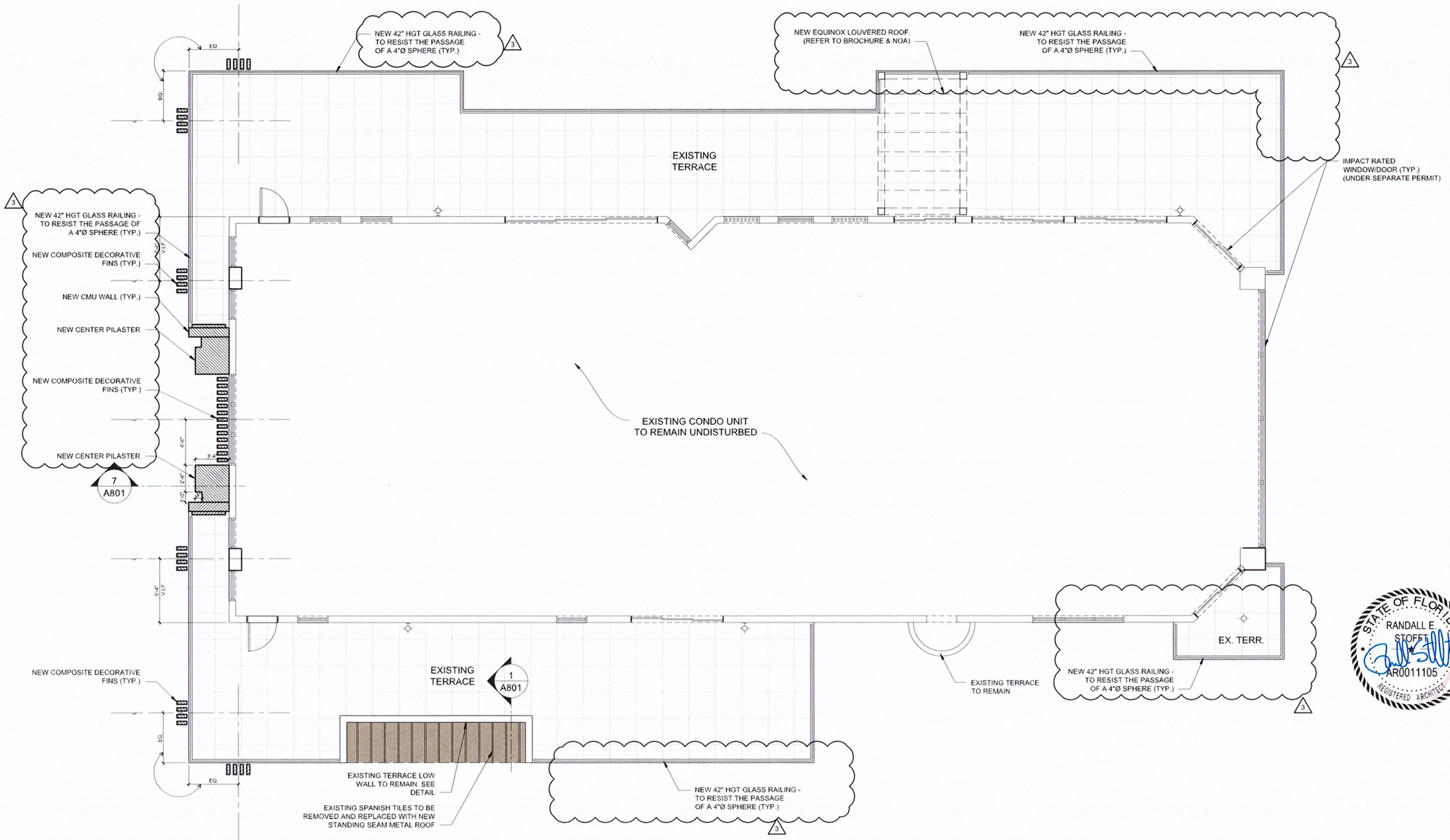
Job No. 2205045D
Digitally signed by Randall Stofft Architects
Date: 2023.06.19 13:31:06 -04'00'
FL-0011105 FIRM-AA003379

A213

RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



1 PROPOSED FOUTH FLOOR PLAN
3/16"=1'-0"

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMMT.	KPR/CL	05.05.23
4	SITE PLAN REV. COMMT.	KPR/CL	06.13.23

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT ARCHITECTS
distinctive. inspirational. architecture.
42 N. SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-1799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT

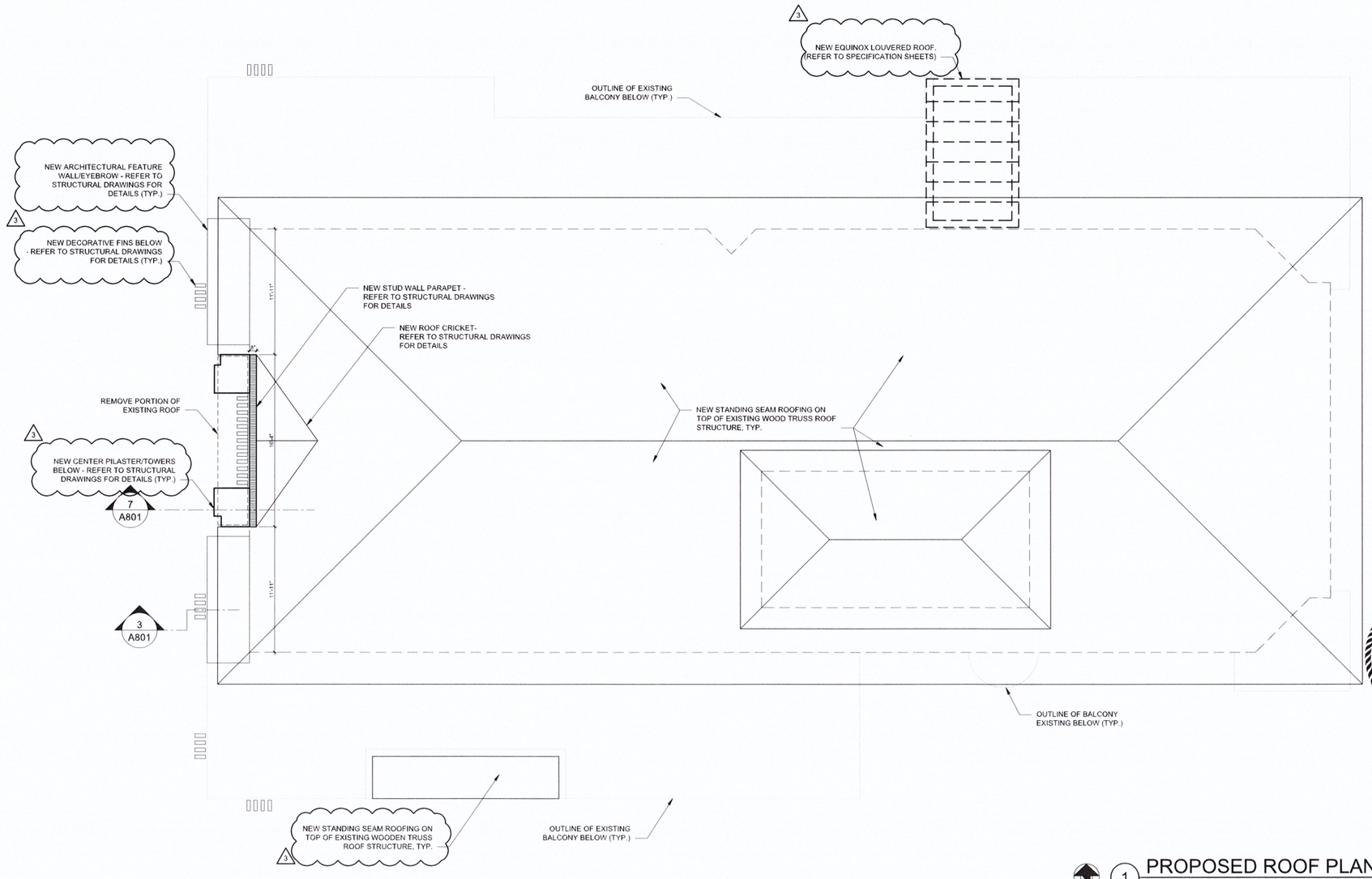
Job No. 2205045D
Digitally signed by Randall Stofft Architects
Date: 2023.06.19 13:31:30 -04'00'
FL-0011105 FIRM-AA003379

A214

RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT



1 PROPOSED ROOF PLAN
3/16"=1'-0"

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMM.	KPR/CL	05.05.23
4	SITE PLAN REV. COMM.	KPR/CL	06.13.23

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E STOFFT
AR0011105
REGISTERED ARCHITECT

Job No. 2205045D
Digitally signed by Randall Stofft Architects
Date: 2023.06.19 13:31:52 -04'00'
FL-001105 FIRM-AA003379

A220

MATERIALS & PROFILES	
010	CMU PARAPET
011	BUILT-UP ROOF CRICKET
012	COMPOSITE DECORATIVE FINS
013	CENTER PILASTER/TOWERS FINISHED W/ CALACATTA MARBLE
014	NEW STANDING SEAM METAL ROOFING
015	IMPACT RATED WINDOW/DOOR (UNDER SEPARATE PERMIT)
016	ARCHITECTURAL FEATURE WALL/EYEBROW
017	EQUINOX LOUVERED ROOF SYSTEM
018	42" HOT GLASS HANDRAIL- TO RESIST THE PASSAGE OF A 4"Ø SPHERE
019	CENTER PIERS FINISHED W/ CHISELED LIME STONE
020	MODERN OUTDOOR LINEAR WALL LAMP/SCONCE
021	WATER FEATURE/WATERFALL
022	VERTICAL LIVE WALL
023	CUSTOM MODERN ENTRANCE DOOR W/ SIDELITES
024	METAL GARAGE LIFT GATE
025	SQUARED OFF PORTE COCHERE OPENING
026	METAL GARAGE LIFT GATE
027	GLASS BLOCKS WINDOWS TO REMAIN
028	EXISTING BALCONY LOW WALL TO REMAIN. SEE DETAIL

1 PROPOSED FRONT ELEVATION (WEST)
3/16"=1'-0"

RECEIVED
JUL 25 2023
HIGHLAND BEACH
BUILDING DEPARTMENT

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMM'T.	KPR/CL	05.05.23
4	SITE PLAN REV. COMM'T.	KPR/CL	06.13.23

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E STOFFT
AR0011105
REGISTERED ARCHITECT

Job No. 2205045D
Digitally signed by Randall Stofft Architects
Date: 2023.06.19 13:32:17 -04'00'
FL-0011105 FIRM-AA003379

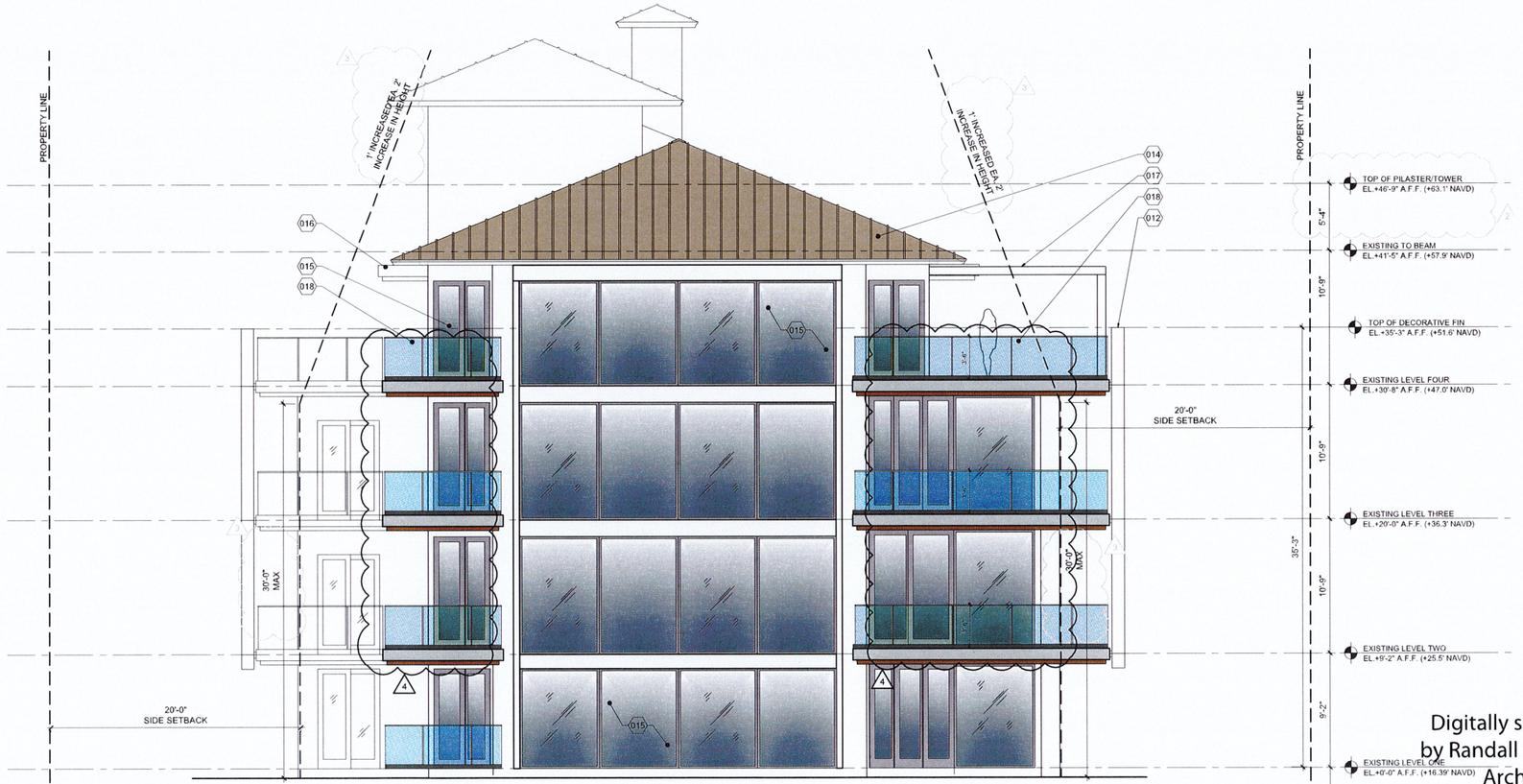
A301

RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT

MATERIALS & PROFILES	
010	CMU PARAPET
011	BUILT-UP ROOF CRICKET
012	COMPOSITE DECORATIVE FINS
013	CENTER PILASTER/TOWERS FINISHED W/ CALACATTA MARBLE
014	NEW STANDING SEAM METAL ROOFING
015	IMPACT RATED WINDOW/DOOR (UNDER SEPARATE PERMIT)
016	ARCHITECTURAL FEATURE WALL/EYEBROW
017	EQUINOX LOUVERED ROOF SYSTEM
018	42" HGT GLASS HANDRAIL- TO RESIST THE PASSAGE OF A 4"Ø SPHERE
019	CENTER PIERS FINISHED W/ CHISELED LIME STONE
020	MODERN OUTDOOR LINEAR WALL LAMP/SCONCE
021	WATER FEATURE/WATERFALL
022	VERTICAL LIVE WALL
023	CUSTOM MODERN ENTRANCE DOOR W/ SIDELITES
024	METAL GARAGE LIFT GATE
025	SQUARED OFF PORTE COCHERE OPENING
026	METAL GARAGE LIFT GATE
027	GLASS BLOCKS WINDOWS TO REMAIN
028	EXISTING BALCONY LOW WALL TO REMAIN. SEE DETAIL



2 PROPOSED REAR ELEVATION (EAST)
3/16"=1'-0"

Digitally signed by Randall Stofft Architects
Date: 2023.07.17 '12:33:30 -04'00

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMM.	KPR/CL	05.05.23
4	SITE PLAN REV. COMM.	KPR/CL	06.13.23
5	SITE PLAN REV. COMM.	KPR/CL	07.13.23

3425 S. OCEAN EXTERIOR

3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

Job No. XXXX45D

STATE OF FLORIDA
RANDALL E STOFFT
AR0011105
REGISTERED ARCHITECT

FL-00003379

A302

MATERIALS & PROFILES	
010	CMU PARAPET
011	BUILT-UP ROOF CRICKET
012	COMPOSITE DECORATIVE FINS
013	CENTER PILASTER/TOWERS FINISHED W/ CALACATTA MARBLE
014	NEW STANDING SEAM METAL ROOFING
015	IMPACT RATED WINDOW/DOOR (UNDER SEPARATE PERMIT)
016	ARCHITECTURAL FEATURE WALL/EYEBROW
017	EQUINOX LOUVERED ROOF SYSTEM
018	42" HGT GLASS HANDRAIL- TO RESIST THE PASSAGE OF A 4"Ø SPHERE
019	CENTER PIERS FINISHED W/ CHISELED LIME STONE
020	MODERN OUTDOOR LINEAR WALL LAMP/SCONCE
021	WATER FEATURE/WATERFALL
022	VERTICAL LIVE WALL
023	CUSTOM MODERN ENTRANCE DOOR W/ SIDELITES
024	METAL GARAGE LIFT GATE
025	SQUARED OFF PORTE COCHERE OPENING
026	METAL GARAGE LIFT GATE
027	GLASS BLOCKS WINDOWS TO REMAIN
028	EXISTING BALCONY LOW WALL TO REMAIN. SEE DETAIL

1 PROPOSED LEFT-SIDE ELEVATION (NORTH)
3/16"=1'-0"

RECEIVED
JUL 25 2023
HIGHLAND BEACH
BUILDING DEPARTMENT

SITE PLAN SUBMISSION 11-29-22

	REVISIONS	BY	DATE
1	PERMIT SET	KPR/CL	11.29.22
2	SITE PLAN	KPR/CL	01.17.23
3	SITE PLAN REV. COMM'T.	KPR/CL	05.05.23
4	SITE PLAN REV. COMM'T.	KPR/CL	06.13.23
5	SITE PLAN REV. COMM'T.	KPR/CL	07.13.23

3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE, DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

Digitally signed by Randall Stofft Architects
Date: 2023.07.17 12:33:48 -04'00'

STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT

FL-001105 FIRM AA003379

A303

RECEIVED

JUL 25 2023

HIGHLAND BEACH
BUILDING DEPARTMENT

REVISIONS		BY	DATE
△	PERMIT SET	KPR/CL	11.29.22
△1	SITE PLAN	KPR/CL	01.17.23
△2	SITE PLAN REV. COMMT.	KPR/CL	05.05.23
△3	SITE PLAN REV. COMMT.	KPR/CL	06.13.23
△4	SITE PLAN REV. COMMT.	KPR/CL	07.13.23

SITE PLAN SUBMISSION 11-29-22

MATERIALS & PROFILES	
010	CMU PARAPET
011	BUILT-UP ROOF CRICKET
012	COMPOSITE DECORATIVE FINS
013	CENTER PILASTER/TOWERS FINISHED W/ CALACATTA MARBLE
014	NEW STANDING SEAM METAL ROOFING
015	IMPACT RATED WINDOW/DOOR (UNDER SEPARATE PERMIT)
016	ARCHITECTURAL FEATURE WALL/EYEBROW
017	EQUINOX LOUVERED ROOF SYSTEM
018	42" HGT GLASS HANDRAIL- TO RESIST THE PASSAGE OF A 4"Ø SPHERE
019	CENTER PIERS FINISHED W/ CHISELED LIME STONE
020	MODERN OUTDOOR LINEAR WALL LAMP/SCONCE
021	WATER FEATURE/WATERFALL
022	VERTICAL LIVE WALL
023	CUSTOM MODERN ENTRANCE DOOR W/ SIDELITES
024	METAL GARAGE LIFT GATE
025	SQUARED OFF PORTE COCHERE OPENING
026	METAL GARAGE LIFT GATE
027	GLASS BLOCKS WINDOWS TO REMAIN
028	EXISTING BALCONY LOW WALL TO REMAIN. SEE DETAIL

1 PROPOSED RIGHT-SIDE ELEVATION (SOUTH)
3/16"=1'-0"

Digitally signed by Randall Stofft Architects
Date: 2023.07.17 '12:34:07 -04'00'

STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT

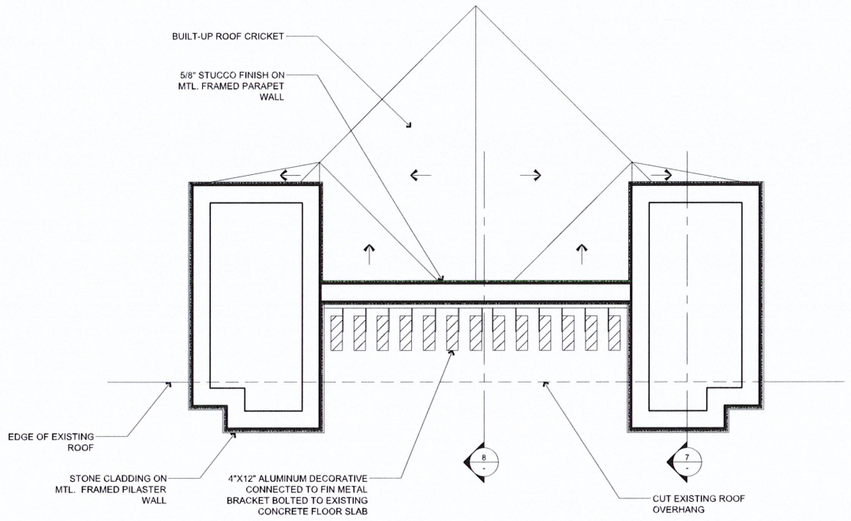
3425 S. OCEAN EXTERIOR
3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational architecture.

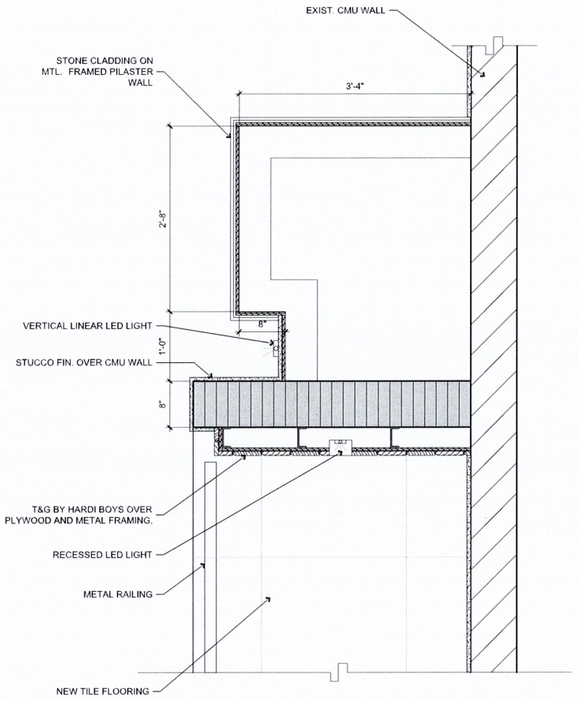
42 N SWINTON AVE, DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

Job No. 2205045D

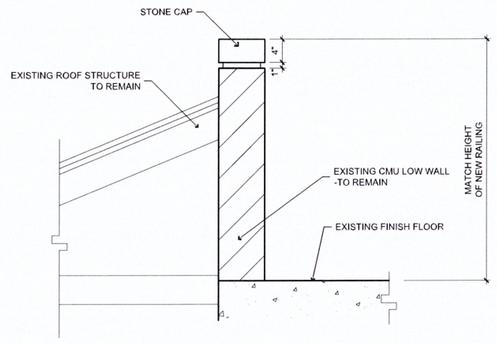
A304



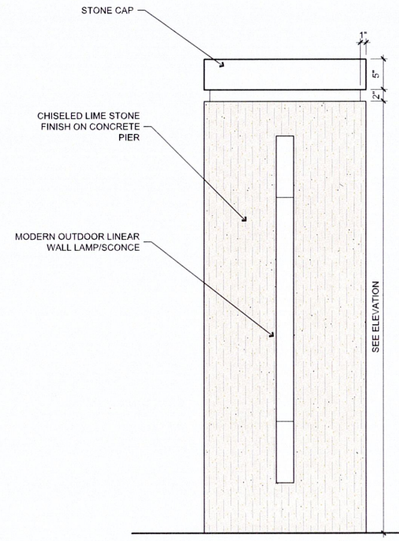
6 PILASTER @ ROOF ENLARGEMENT PLAN
1/2"=1'-0"



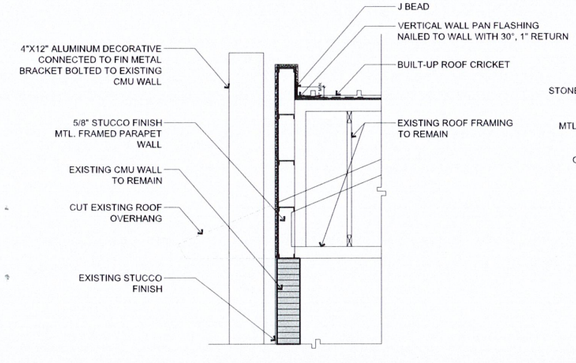
5 PILASTER ENLARGEMENT PLAN
1"=1'-0"



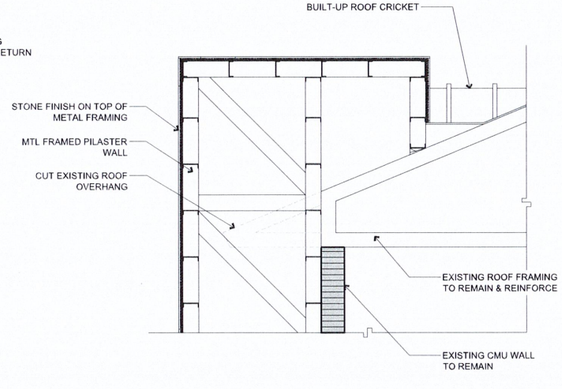
1 LOW WALL @ BALCONY DETAIL
1"=1'-0"



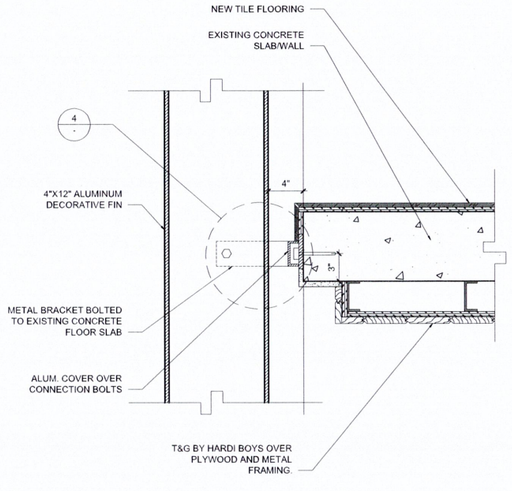
2 PIER DETAIL @ FOUNDATION & GATE
1"=1'-0"



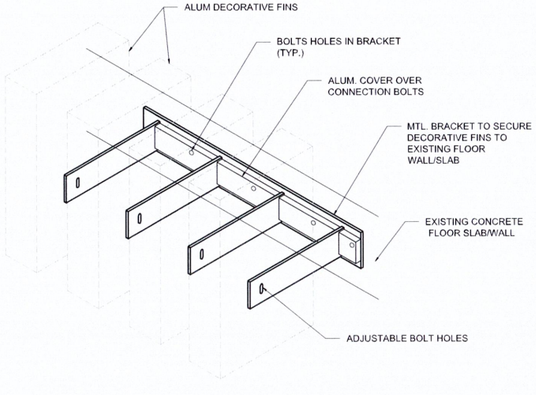
8 PARAPET SECTION
1/2"=1'-0"



7 PILASTER @ ROOF SECTION
1/2"=1'-0"



3 DECORATIVE FIN CONNECTION DETAIL
1-1/2"=1'-0"



4 CONNECTION BRACKET ISOMETRIC
N.T.S.

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION 07-01-22

	REVISIONS	BY	DATE
1	ELEVATION	KPR	06.29.22
2	ELEVATION	KPR	07.01.22

3425 S. OCEAN EXTERIOR

3425 S OCEAN BLVD UNIT
HIGHLAND BEACH, FL 33487

RANDALL STOFFT ARCHITECTS
distinctive. inspirational. architecture.
42 N SWINTON AVE., DELRAY BEACH, FL 33444 (561) 243-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

STATE OF FLORIDA
RANDALL E. STOFFT
AR0011105
REGISTERED ARCHITECT

A801