



# CAMMARATO RESIDENCE

3723 S. OCEAN BLVD. HIGHLAND BEACH, FLORIDA

ARCHITECT

The Benedict Bullock Group

1525 NW 3rd Street, Suite 1,  
Deerfield Beach, FL 33442  
Tel. No. 954-570-9500

CIVIL ENGINEER

EnviroDesign Associates

1855 Dr. Andrews Way  
Delray Beach, Florida 33445  
561-274-6500

LANDSCAPE ARCHITECT

Lynn Bender Landscape  
Architecture

5610 Adair Way  
Lake Worth, Florida 33467  
Tel. No. 561-644-3237

CONTRACTOR

Hanna Homes

928 Clint Moore Road,  
Boca Raton, FL 33487  
Tel No. 561-482-9999

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DATE	04-03-2024
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PROJECT NO.	9C2416

TITLE SHEET

T-1

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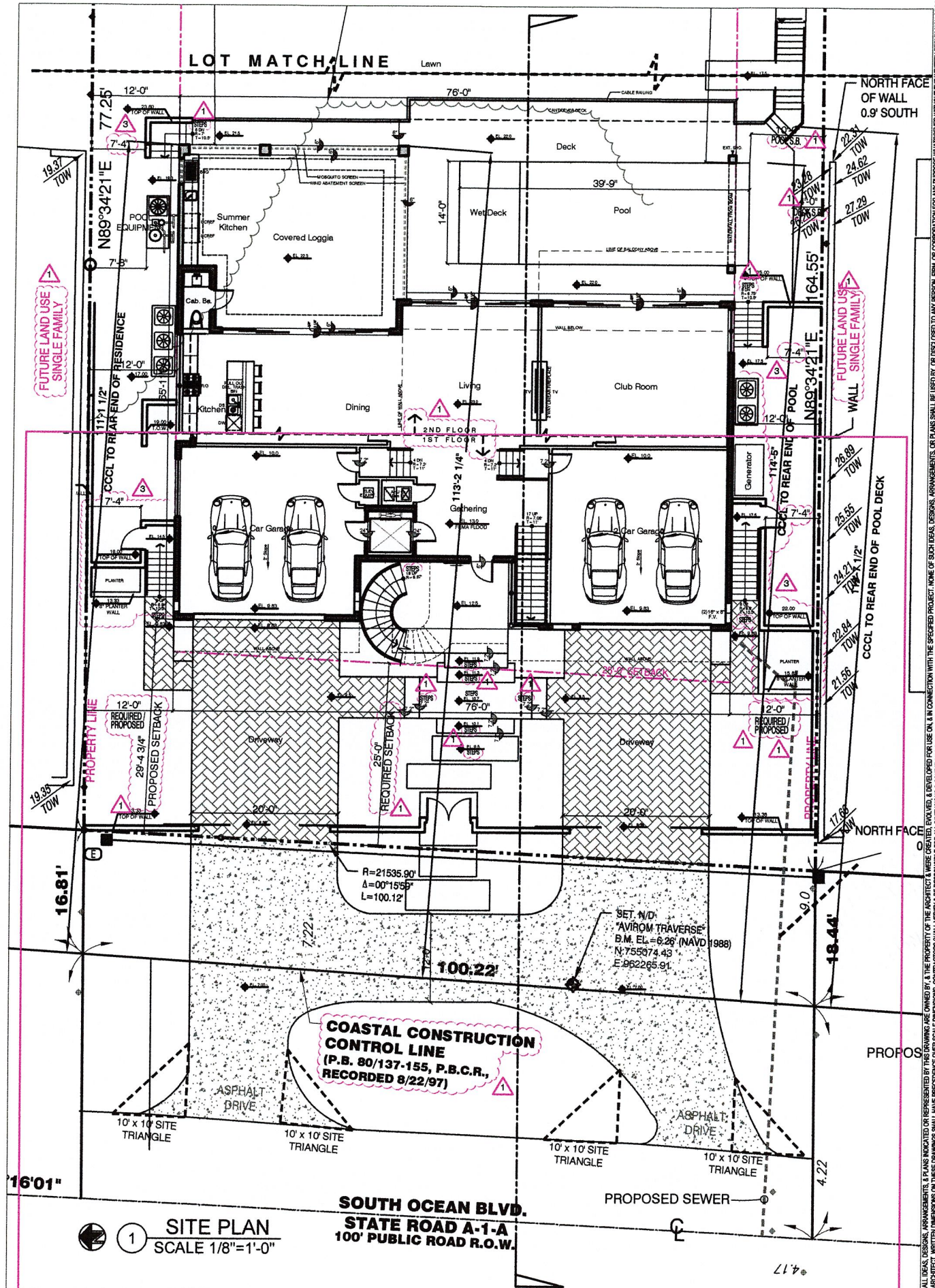
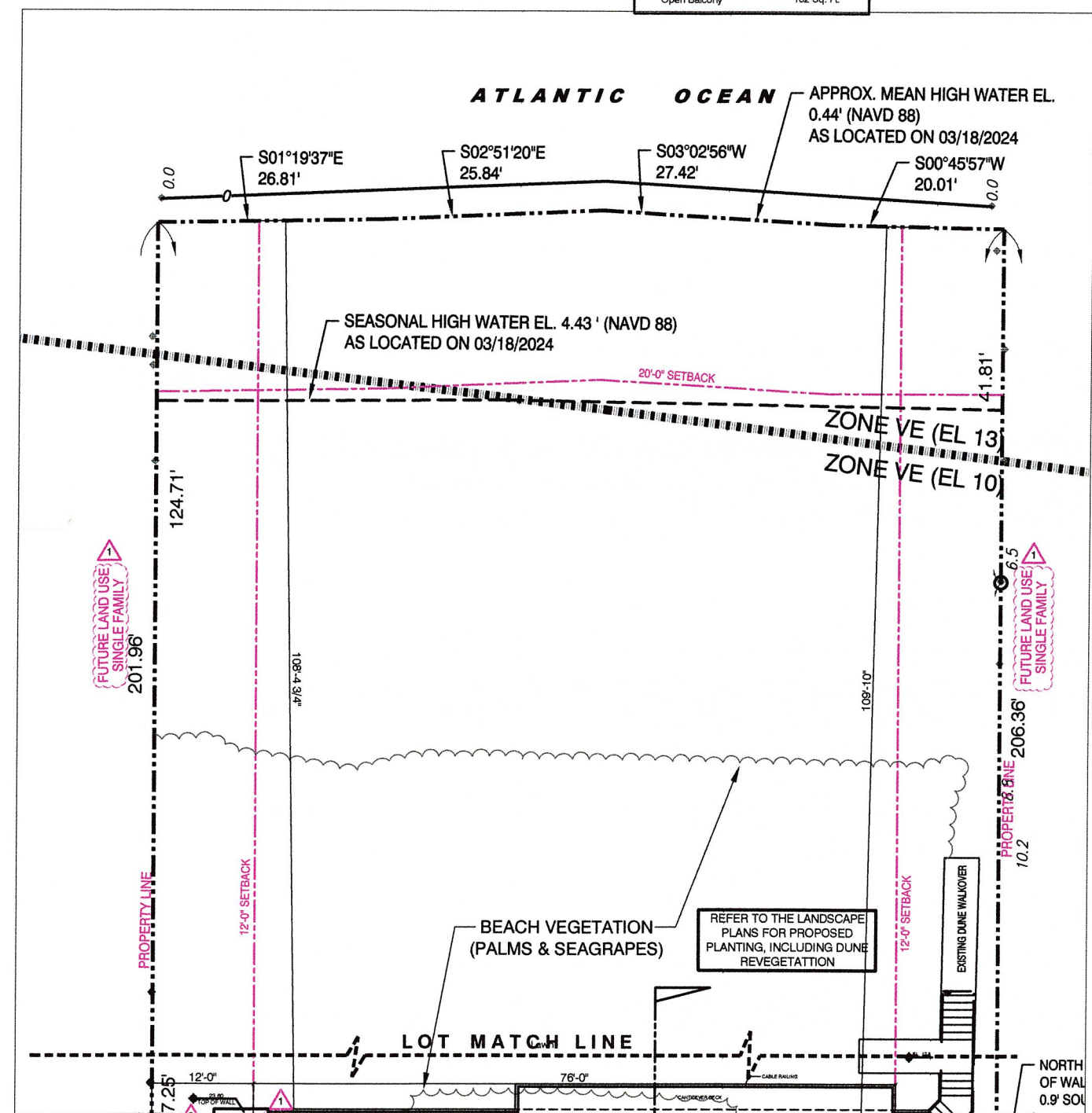
RS ZONING CRITERIA	REQUIRED	PROPOSED
Minimum Lot Area - SFD	10,000 sq. ft. per unit	20,483 sq. ft.
Minimum Lot Width - SFD	80 feet	100.1 feet
Minimum Front Setback	25'	29.4 feet
Minimum Side Setback	12'	12.0 feet
Minimum Rear Setback	20'	108.16 feet
Maximum Building Height	35 feet	35 feet
Maximum Lot Coverage	None	4,280 sq. ft.
Maximum Building Width	None	76 feet
Maximum Building Length	None	65'-11"

- SITE PLAN NOTES**
- See civil plans for drainage and grading.
  - Surveyor shall locate building on site prior to construction activities.
  - See landscape plans for landscape.
  - See irrigation plans for irrigation.

DATA TABULATION
• Proposed Single Family Residence
• Lot Size 100.1' x 201.96' (206.36')
• Lot Area 20,483 Sq. Ft. (0.47 Acres)
• Future Land Use Single Family
• Zone RS- Residential Single Family
• AC Area 8,154 Sq. Ft.
• Gross Area 10,656 Sq. Ft.
• Main Fin. Flr. El. 13.0 NAVD
• Min. Driveway Width 20' (2-2 Car Garage)

AREA CALCULATION
Garage Floor AC Space 1,665 Sq. Ft.
Main Floor AC Space 3,163 Sq. Ft.
Upper Floor AC Space 3,326 Sq. Ft.
Total AC Space 8,154 Sq. Ft.
Garages 1,218 Sq. Ft.
Garage Entry 253 Sq. Ft.
Main Floor Entry 129 Sq. Ft.
Covered Loggia 732 Sq. Ft.
Covered Balcony 170 Sq. Ft.
Total Under Roof 10,656 Sq. Ft.
Open Balcony 182 Sq. Ft.

SITE DATA
Area of Structure 4,280 Sq. Ft.
Paved Driveway & Walkway 1,337 Sq. Ft.
Front Steps to Main Gate 314 Sq. Ft.
Main Gate 220 Sq. Ft.
West Side Stairs 1,372 Sq. Ft.
Pool, Pool Deck and Side Stairs 104 Sq. Ft.
Exterior Equipment Pads and Generator
Total Impervious Area (37.3%) 7,627 Sq. Ft.
Lot Area 20,483 Sq. Ft.
Impervious Area (62.7%) 12,856 Sq. Ft.
Total Pervious Area (Landscape Area)
Parking 4 Enclosed 4 Open
Total Parking Provided 8 Parking Spaces



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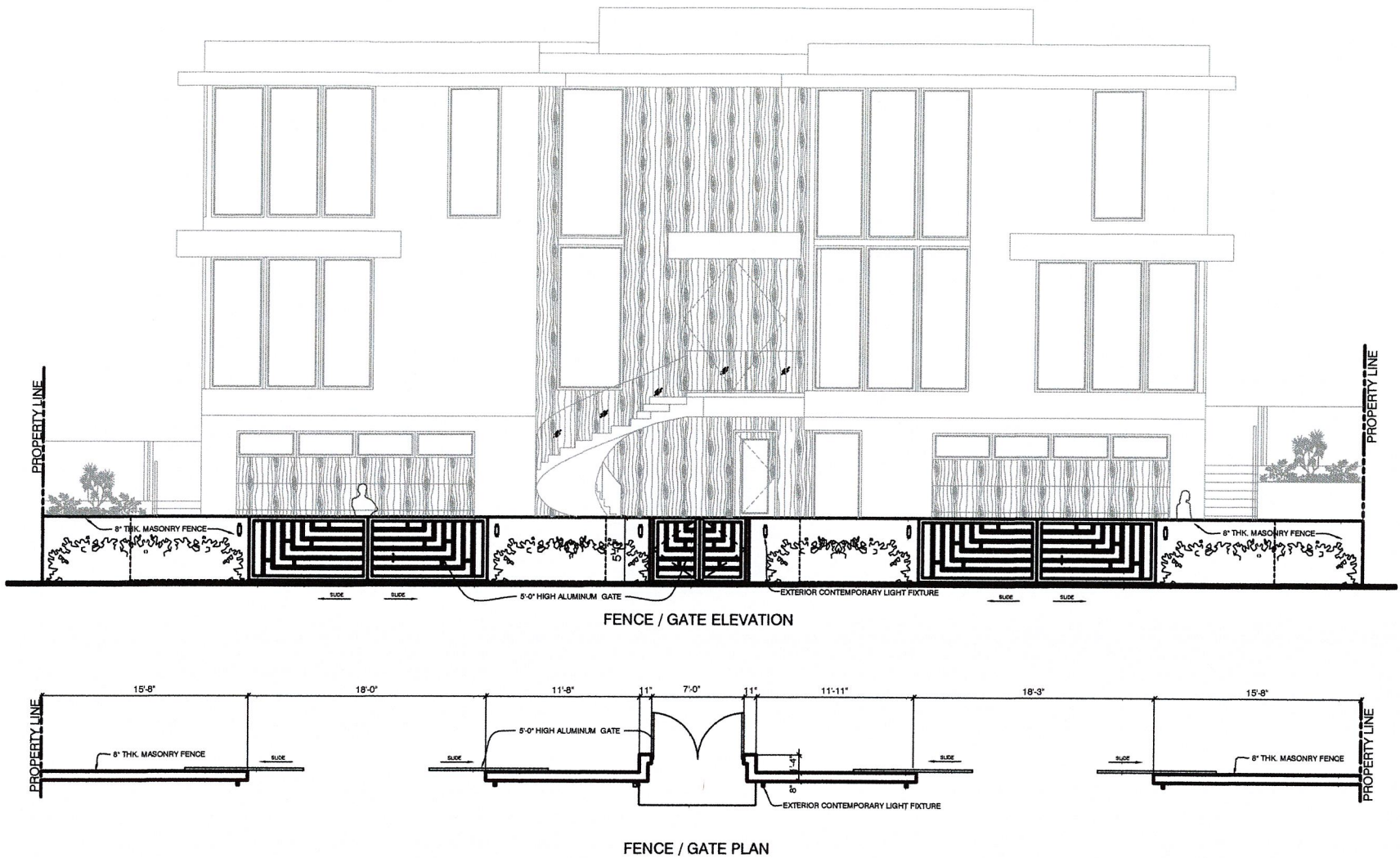
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SITE PLAN  
**SP-1**



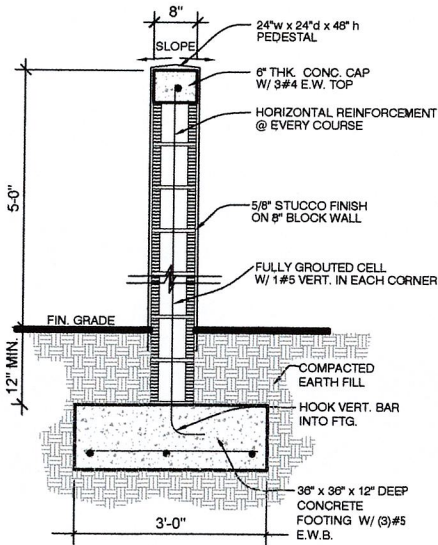
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3 FENCE / GATE DETAIL  
SCALE 3/16"=1'-0"



4 FENCE DETAIL  
SCALE 1/2"=1'-0"

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FENCE / GATE  
DETAIL

SP-2

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**A-1**

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OVER FLOOR PLAN

**A-1**

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10-22-2024

REV	REVISIONS	CITY PLAN CHECK COMMENTS	BY DATE
A			RST 09-07-2024
B			RST 10-25-2024
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OWN BY	RST
VECT NO	000416

### MAIN FLOOR PLAN

**A-2**



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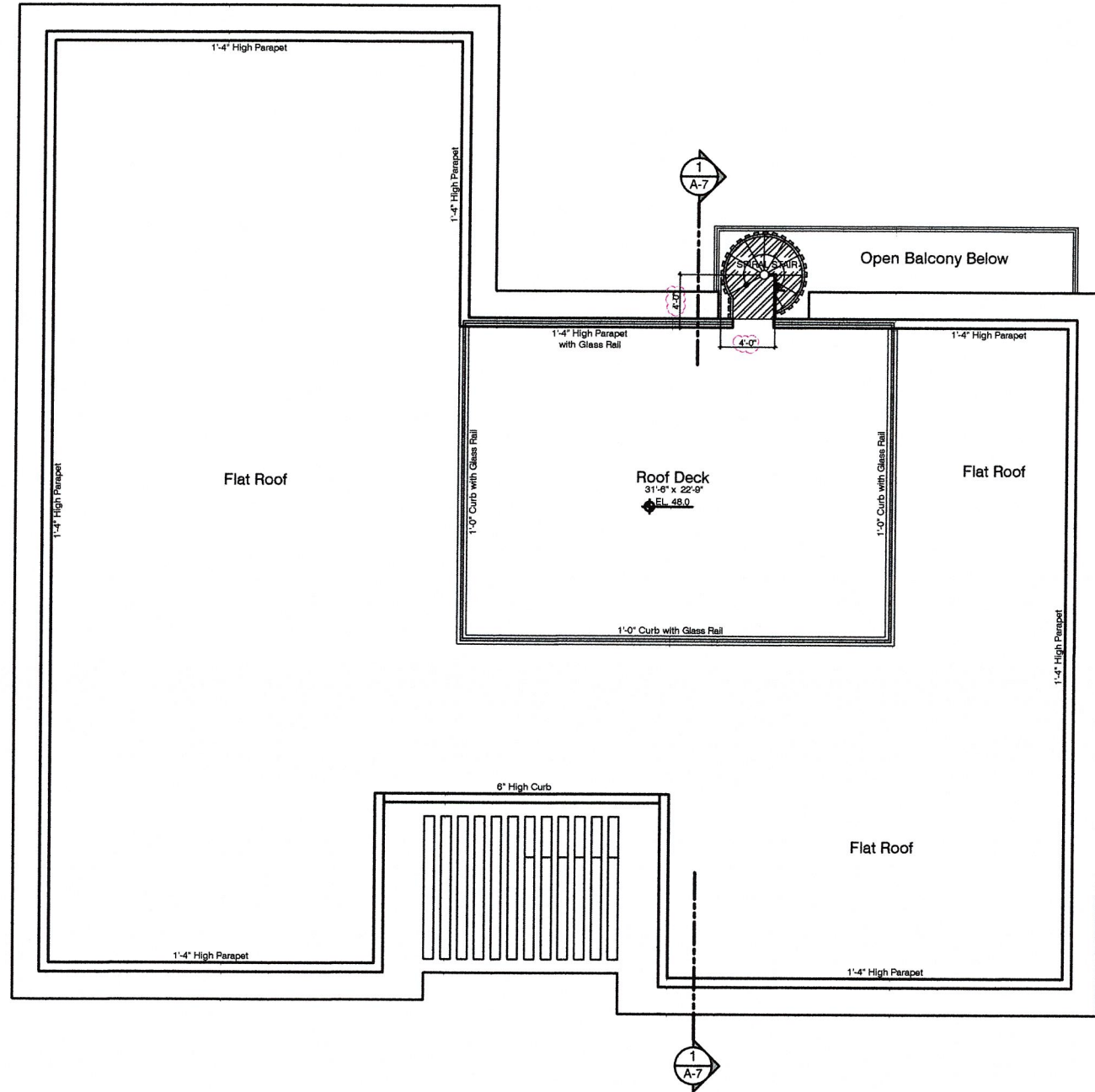
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1 ROOF PLAN  
SCALE 3/16"=1'-0"

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1	RST	10-25-2024	CITY PLAN CHECK COMMENTS

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ROOF PLAN

**A-4**

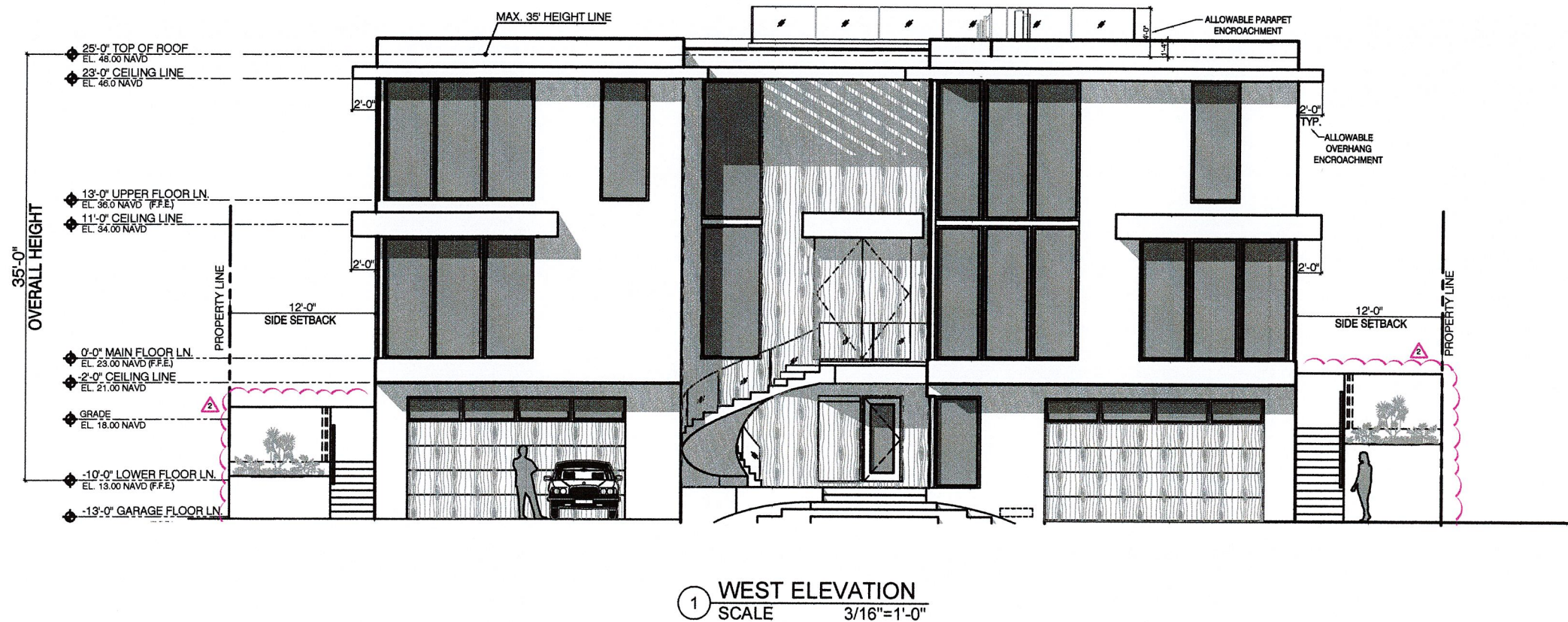
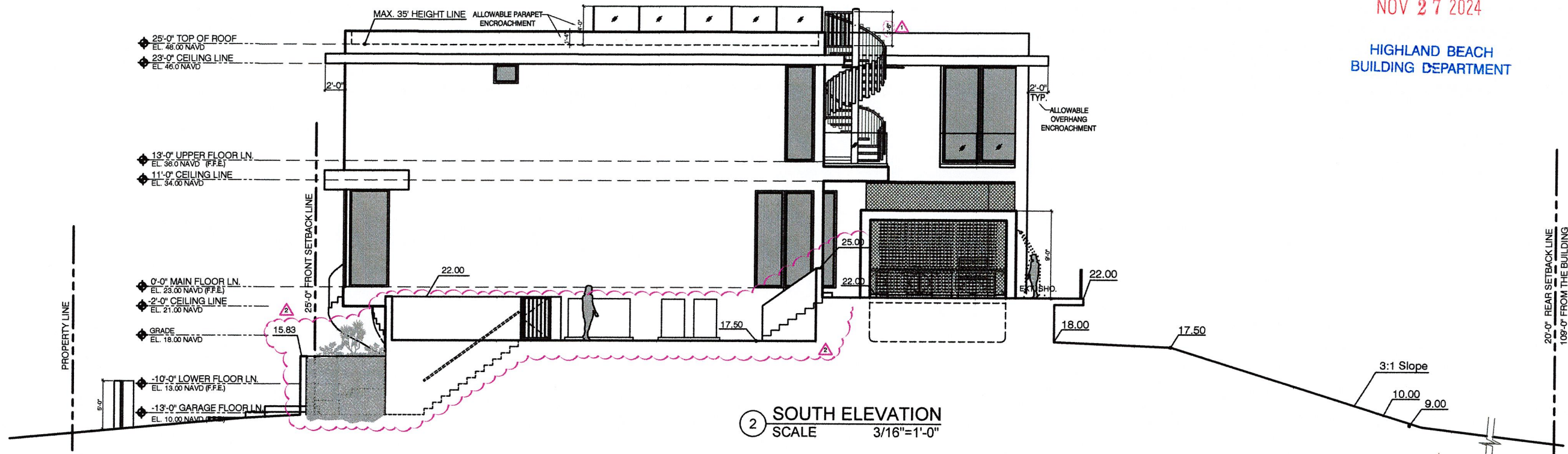
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FRONT & RIGHT  
SIDE ELEVATION

**A-5**

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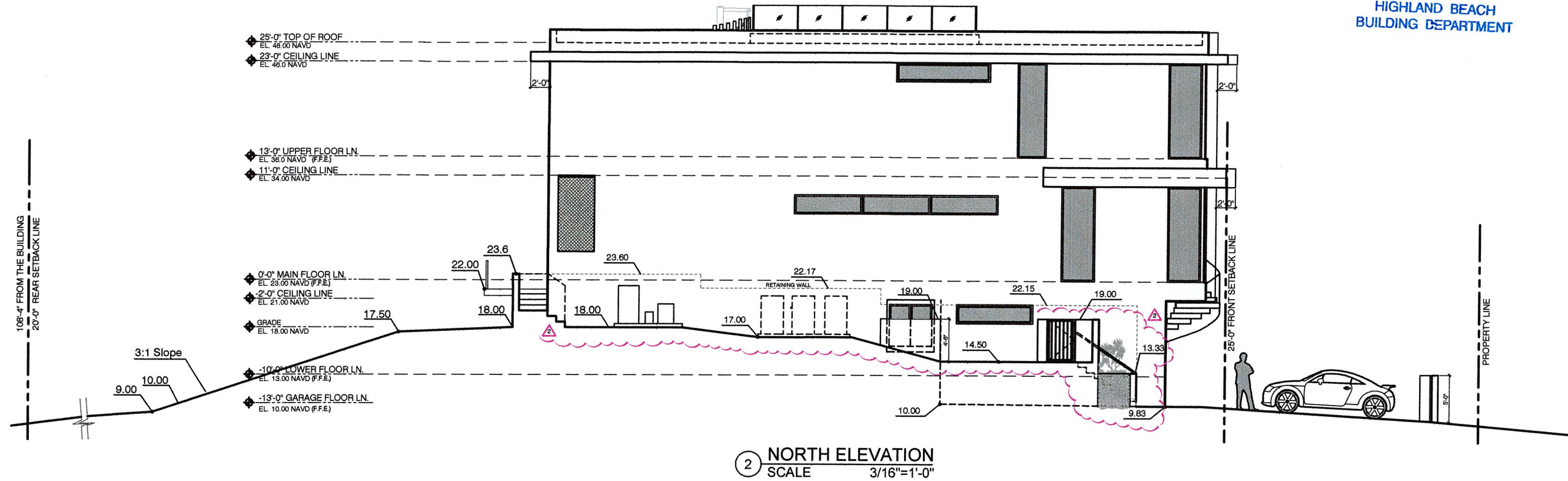
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REAR & LEFT SIDE  
ELEVATION

**A-6**

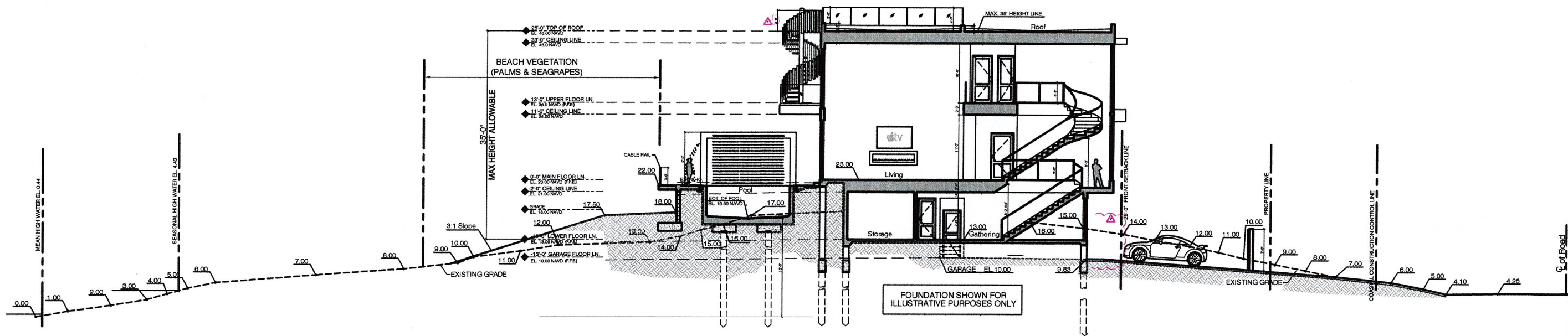
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1 SECTION  
SCALE 1/8"=1'-0"

REVISIONS		DATE
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AR 96754

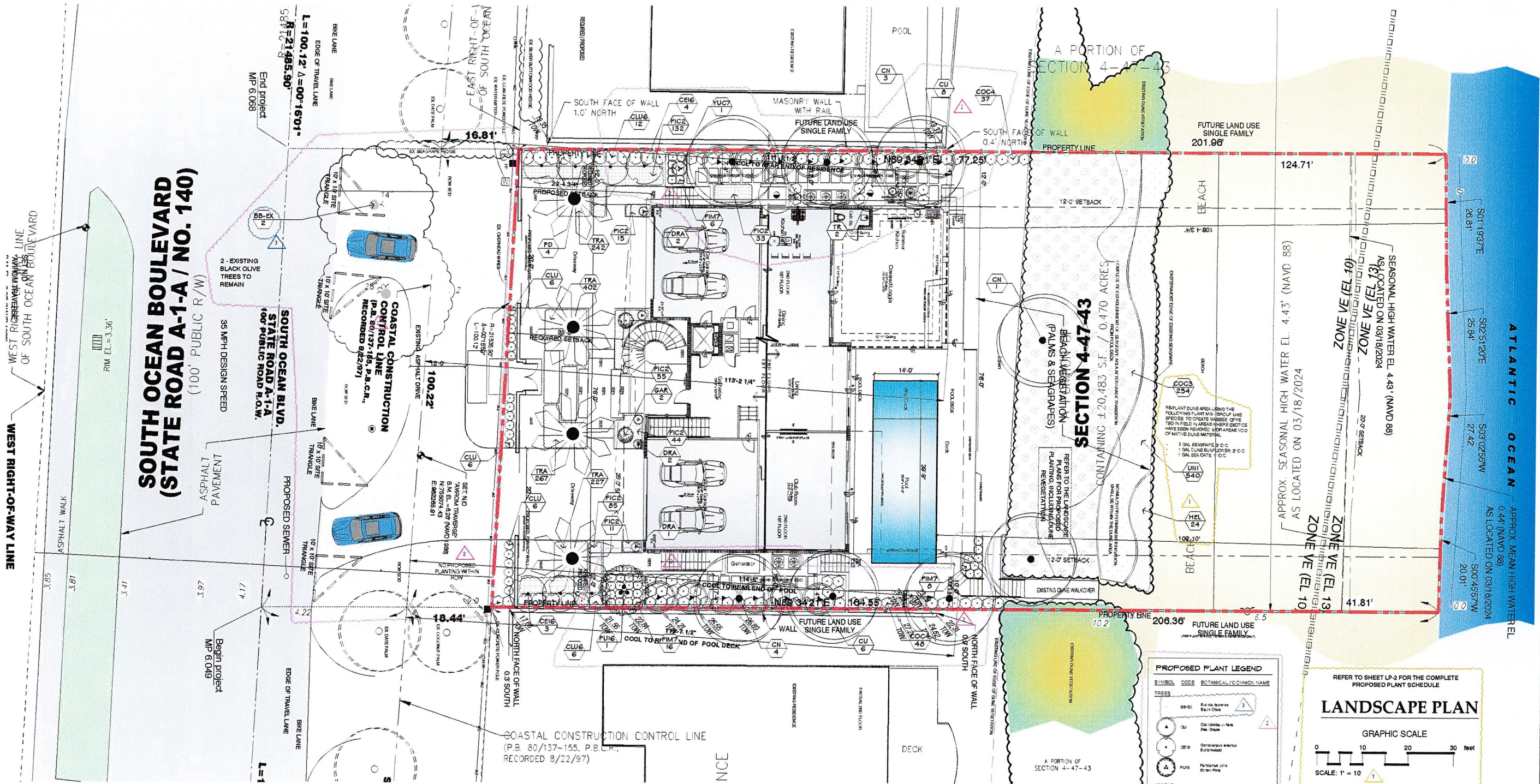
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SECTION-1  
**A-7**

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# General Notes

All Plants shall be Florida No. 1 or better.

All invasive exotics shall be removed and eradicated from site.

Landscape Contractor shall review plans and indicate any availability problems at time of bid.

Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid. In the event that a certain specification is not able to be met, then contractor shall contact landscape architect to discuss alternatives.

Contractor shall be familiar w/ the City of Ft. Lauderdale landscape code and shall comply with all of its applicable requirements.

All contractors working on the project shall be licensed and fully insured as required.

Mulch all plant beds as specified in details using hardwood, non-cypress to 3" depth.

All new planting areas shall be free from shell rock, debris, weeds, etc.

Tree and palm staking shall be removed between 6 and 12 months after planting.

IRRIGATION NOTE: (Water source - Town Water)

\* SYSTEM SHALL COMPLY WITH SECTION 24-8 OF TOWN CODE

An automatic property functioning underground irrigation system with a rain sensing cutoff device shall be in compliance with the SFVMD Florida Building Code and city Building Code requirements. The rain sensing cutoff device shall be located and installed in such a manner that the building eaves, balconies and similar overhangs do not interfere with the operation of the device. The irrigation system shall be rust free & properly maintained in good working order and provide a minimum coverage of 100% with 50% overlap.

Adequate irrigation of all newly proposed landscaped areas shall be provided for the first full growing season and continue thereafter only as necessary to maintain required vegetation in good and healthy condition. Irrigation systems shall conform to following standards:

- Irrigation systems shall be continuously maintained in working order and shall be designed so not to overlap water zones or to water impervious areas.
- No irrigation system shall be installed or maintained causing any public street, which causes water from the system to spurt onto the roadway or to strike passing vehicular traffic.

## LANDSCAPE REQUIREMENTS

ZONING RS - RESIDENTIAL SINGLE FAMILY

TOTAL LOT AREA 20,483 SQ. FT. (0.47 acres) (NIC ROW)

### IMPERVIOUS AREA

Total ground floor (Area of Coverage) 4,280 SQ. FT.

Driveways, walks & stairs, pool, pool deck, exterior equipment (A/C, p/e, gen pad, etc.) 3,347 SQ. FT.

TOTAL IMPERVIOUS 7,627 SQ. FT. (37.2% of lot area)

TOTAL PERVIOUS (landscape area) 12,856 SQ. FT. (62.7% of lot area) (INCLUDING DRIVE, BEACH AREA)

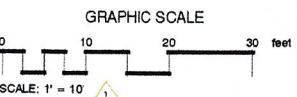
TREES 24 TREES (NIC ROW & 22 Proposed)

SHRUBS 1,326 SHRUBS (NIC ROW & 22 Proposed)

### PROPOSED PLANT LEGEND

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>TREES</b>		
BB-EX	BB-EX	Black Olive
CU	CU	Coccoloba
CE-16	CE-16	Coccoloba
PL-6	PL-6	Platanus
AC-1	AC-1	Acacia
PA-1	PA-1	Palm
TR	TR	Thymus
<b>SHRUBS</b>		
CU	CU	Coccoloba
CE-16	CE-16	Coccoloba
PL-6	PL-6	Platanus
AC-1	AC-1	Acacia
PA-1	PA-1	Palm
TR	TR	Thymus
<b>GROUND COVERS</b>		
HE	HE	Heather
TR	TR	Thymus

## LANDSCAPE PLAN



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LA CONSULTANT  
Lynn Bender  
Landscape Architecture  
5610 Adair Way  
Lake Worth, FL 33467  
Phone: 561-644-3237  
lbender.landscape@gmail.com  
FL-LA666715

DATE: 11/19/24  
BY: LMB  
CHECKED: LMB  
DESIGNED: LMB  
DRAWN: LMB  
PROJECT NO: 24-018 (LBA)

REVISIONS

NO.	DATE	DESCRIPTION
1	11/19/24	ISSUED FOR PERMIT

The Benedict Bullock Group PA  
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Lynn M Bender  
Digitally signed by  
Lynn M Bender  
Date: 2024.11.19  
11:44:22 -0500  
DIGITAL SIGNATURE

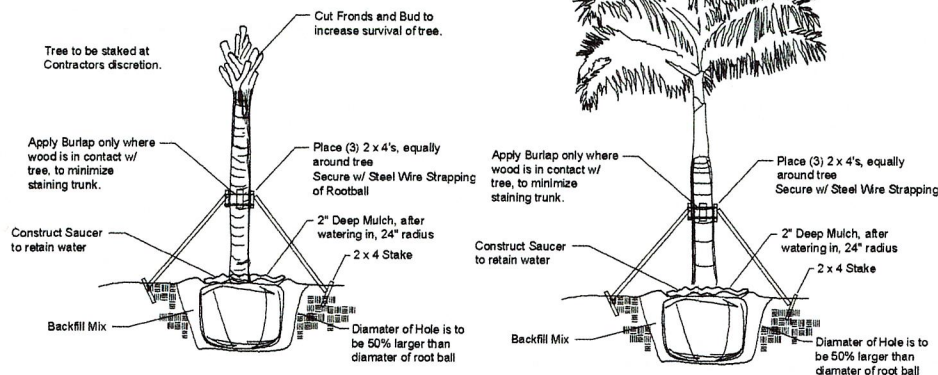
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**LP-1**



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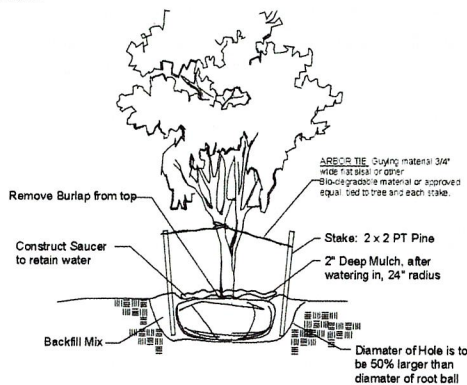
## Palm Tree Staking Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



## Tree Staking Detail

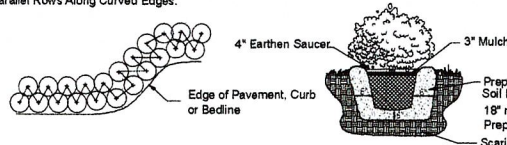
Tree Stakes are to be removed between 6-12 months by the Owner.



## Shrub & Groundcover Planting Detail

NTS

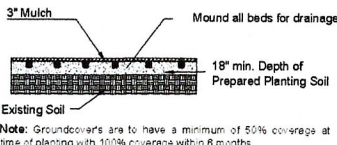
Note: All Shrubs And Groundcovers Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges.



## Groundcover & Annual Detail

NOTE: Annuals Are To Be Planted As Per Groundcover Detail Excluding Mulch.

NTS



## Notes

All Plants shall be Florida No.1 or better.

Contractor Shall be familiar w/ the Landscape code and shall comply with all of its applicable requirements.

Contractor shall verify all quantities indicated at time of bid. Contractor shall provide unit prices at time of bid.

All contractors working on the project shall be licensed and fully insured as required.

Tree and palm staking shall be removed between 6 and 12 months after planting.

## PROPOSED PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	CT	DROUGHT	NATIVE	SPECIFICATION
TREES									
BB-EX	2	Bucida buceras	Black Olive	Existing - Refer to TDP	refer to TDP		High	Non Native	EXISTING TO REMAIN
CU	14	Coccoloba uvifera	Sea Grape	14' ht x 6' spr	3"	6' -7' C.T.	High	Native	STANDARD, FULL
CE16	7	Conocarpus erectus	Buttonwood	16' ht x 7' spr.	3"	6' -7' C.T.	High	Native	Full Canopy
PU16	1	Pandanus utilis	Screw Pine	12' -14' ht x 7' -8' spr	HEAVY	3' -6' CT	High	Non Native	CHARACTER, MULTI. PROVIDE PHOTO
	24	SUBTOTAL:							
ACCENT									
GAR	2	Garcinia spicata	Garcinia	6' oa	1.5"	2' ct	High	Non Native	STANDARD, FULL
	2	SUBTOTAL:							
PALMS									
CN	8	Cocos nucifera	Coconut Palm	30' OA	12"	14' -15' CT	High	Non Native	Full, FL Fancy
PD	4	Phoenix dactylifera 'Medjool'	Date Palm	20' oa	heavy	8' gw	High	Non Native	FULL, FLA FANCY, MATCHED
TR	2	Thrinax radiata	Florida Thatch Palm	14' oa	3"	8' CT Min.	High	Native	B&B, FULL
	14	SUBTOTAL:							
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT	NATIVE	SPEC.
SHRUBS									
CLU	18	Clusia guttifera	Small Leaf Clusia	36" min @ install	7 Gallon	plant solid	High	Non Native	Full to base
CLU6	18	Clusia guttifera	Small Leaf Clusia	6' oa	25 Gallon	plant solid	High	Non Native	Full to base
COC4	85	Coccoloba uvifera	Sea Grape	4' ht @ install	25 Gallon	plant solid	High	Native	Full to base
DRA	5	Dracaena marginata	Dracaena	36" min ht @ install	3 gal min.	AS SHOWN	High	Non Native	full, 3 ppp
FIM7	30	Ficus microcarpa 'Green Island'	Green Island Ficus	24" min @ install	7 gallon	plant solid	High	Non Native	FULLY ROOTED POT
YUC7	1	Yucca elephantipes	Soft Tip Yucca	4' ht @ install	7 gallon	AS SHOWN	High	Non Native	Full
	157	SUBTOTAL:							
SHRUB AREAS									
COC3	254	Coccoloba uvifera	Sea Grape	18' ht X 18' spr	3 gal. min.	36" OC	High	Native	Full to base
FIC2	375	Ficus microcarpa 'Green Island'	Green Island Ficus	15' ht	3 gal. min.	plant solid	High	Non Native	FULLY ROOTED POT
UNI	540	Uniola paniculata	Sea Oats	6' HT	1 Gallon	12' oc	High	Native	FULLY ROOTED POT
	1,169	SUBTOTAL:							
GROUND COVERS									
HEL	24	Helianthus debilis	Dune Sunflower	10' X 10'	1 gal	24" oc	High	Native	Fully rooted
TRA	TBD	Trachelospermum asiaticum 'Minima'	Minima Jasmine	4' FULL	TRAYS	6"	High	Non Native	Fully rooted
		SUBTOTAL:							

## Planting Specifications

QUALITY: All plants shall be Florida No.1 or better as given in Grades & Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Consumer Services.

RESEARCH: Contractor shall research plans and site to determine present location of utilities and obstructions before commencing work. Contractor shall ensure that before he commences work that all necessary permits have been obtained.

The contractor shall personally examine the project site and fully acquaint himself with all of the existing conditions in order that no misunderstanding may occur.

No Additional compensation will be granted, after bid has been let for any hardships the contractor may encounter in the performance of his duty. Any discrepancies or errors not addressed at the time of bid.

DRAWINGS: Drawings are part of this contract. Any discrepancies between the drawings and specifications shall be brought to the attention of the owner at time of bid.

SCOPE: Under this contract, the work consists of furnishing all labor, material, equipment, transportation, etc., to complete all landscaping work as shown on the Drawings, as included in the Plant List and as herein specified. Work shall include all construction and maintenance/watering of all planting areas of this Contract until accepted by the Owner.

The contractor shall be responsible for all planting/ maintenance of plants until acceptance by Owner. Contractor shall protect all existing structure, plants etc., from damage during the construction process.

All damage shall be repaired at the contractors expense

WARRANTY: All trees shall be warranted for a period of 1 year. All shrubs and groundcovers shall be warranted for a period of 90 days, and sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance. All warranties shall be provided to the owner.

REPLACEMENT: All plant replacements shall be done with the same size and species of plant that was specified.

SAMPLES: Samples of any landscape material may be required for approval on the site or as otherwise determined by the Owner. Upon approval of samples (i.e. mulch, planting soil, plant varieties, etc.) by the Owner, delivery of material may begin. Approved samples shall be stored on the site and protected until furnishing of materials is completed. Plant samples be planted in permanent positions, but labeled as samples.

SUBSTITUTIONS: Any substitutions made for any reason must be approved by the owner.

WATER: It is the contractors responsibility to obtain and adequately water the plants during the duration of the installation phase. All plants shall be freshly dug, healthy and be well branched, free from disease and insects.

CONTAINER GROWN MATERIAL: All container grown materials shall be healthy vigorous, well rooted plants, and established in the container so that the root mass will retain its shape and hold together when removed from the container.

PALMS: Only a minimum number of fronds shall be removed from the crown of palm trees to facilitate moving and handling. Cabbage palm heads shall be tied with a burlap strip per the following procedure: The first (inside) row of fronds contiguous to bud shall be removed. The next 3-4 rows shall be tied to bud for support. The remaining (lower) fronds shall be removed. Tied fronds and bud tip shall not be clipped. Burlap strip shall be left in place until the tree is well established.

PALMS: Clear trunk (c.t.) shall be measured from the ground at time of installation to the point where the mature aged trunk joins the immature green portion of the tree. Caliper shall be measured at breast height. Overall height (OA) shall be measured from the ground at the time of installation to a point one-quarter the length of the unopened bud below the bud tip.

SHADE TREES: Height shall be measured from the ground to the avg. height of canopy. Spread shall be measured to the average outer edge. Single trunk trees shall be free from low-crotches.

SHRUBS: Height shall be measured from the ground to the average point where mature plant growth stops. Spread shall be measured to the end of branching equally across the shrub mass. Measurements are not to include any terminal growth.

SOD: Sod shall be measured on the basis of square footage. Contractor shall be responsible for coverage of the square footage shown on the plans.

SOD: Time delivery so that sod will be placed within 24 hours after.

MULCH: Apply 3" NON-CYPRESS mulch to all planting areas. Keep mulch from piling up along the base of the tree and shrubs. Mulch to be measured after compaction.

FINE GRADING: The landscape contractor shall be responsible for fine grading of the site. This means that the site shall be brought within 1" of final grade so that the landscape contractor will be able to perform final grading. All landscape areas, sod areas, are to be fine graded.

PLANT LAYOUT: All bed areas shall have planting laid out prior to planting. The Landscape Architect shall review all layout prior to planting. If the bed and shrub layout is not inspected prior to planting, the Landscape Architect reserves the right to relocate the plants.

SOIL

Planting beds shall contain good soil, complete with organic sand mix. There shall be no construction debris, rock larger than 1" within bed areas. Soil shall be dark grey-brown in organic color and shall have good drainage characteristics. Soil within planting beds shall not be compacted. All compacted sub-base/shell is to be removed from all landscape areas.

BACKFILL/SOIL MIX: 50% decomposed organic matter (muck) 50% existing soil pH: 5.5 - 7.0

FERTILIZER: Two fertilizers shall be used in all types of plantings except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be 6-6-6 Nitrogen-Phosphorous-Potassium. Tablet Fertilizer (Agiform or equal) in 21 gr size, shall meet the following requirements: 20% Nitrogen, 10% Phosphorous, 10% Potassium. The two fertilizers will be applied at the following rates:

1. PLANT SIZE: 6-6-6 "AGRIFORM" TABLET (21 GRAM)  
1 gal. 1/4 lb. 1  
3 gal. 1/3 lb. 2  
7-15 gal. 1/2 lb. 4  
1"-6" caliper 2 lbs./1" cal. 2 1/1" caliper  
6" and larger 3 lbs./1" cal. 2 1/1" caliper

2. Magnesium sulfate or "Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper.

PRUNING: Each plant shall be pruned to complement the natural character of the tree. All dead and brown fronds, leaves, branches shall be removed.

TREE GUYING AND BRACING: Firmly stake or guy all trees in accordance with the plans and planting details immediately after planting to prevent wind damage.

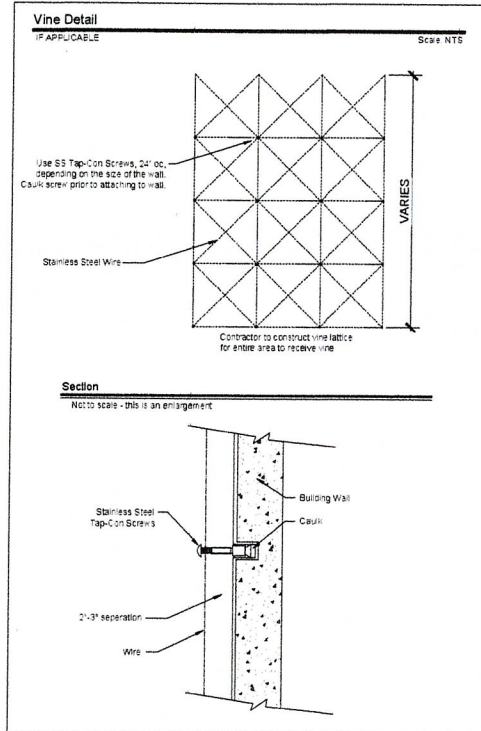
WEED CONTROL: All landscape areas shall be free of nut grass, torpedo grass, and other noxious weeds.

PLANT MAINTENANCE: Contractor shall maintain all plants until final acceptance by owner.

CLEAN-UP: Contractor shall clean site area every day. The site shall be devoid of all rubbish, landscape debris, containers.

Finished grades of landscape areas: Finished grade of landscape areas shall be at or below the grade of adjacent VUA or public sidewalks, except for mounding or other surface aesthetics. Grade shall be designed to receive roof and surface runoff and to assist irrigation of plantings and then any overflow routed as necessary underground mounding or other surface aesthetics shall not inhibit or defeat intended rainwater capture, retention or percolation from a VUA.

Root barriers: A root barrier system shall be installed in situations where a tree or palm is planted within six (6) feet of underground utilities and hardscape as required by code, unless other special provisions have been designed to accommodate tree roots.



12 MONTH TREE & PALM IRRIGATION SCHEDULE (including all relocates if applicable)

All trees and Palms shall have one bubbler each, placed 1/2 way between edge of trunk and root ball.

All trees and Palms shall receive adequate water until established. Recommended watering schedule as below:

For first 30 days = 7 days per week apply 5 gallons per minute for 10 minutes for each plant.

For next 60 days = 3 times per week apply 5 gallons per minute for 10 minutes for each plant.

For remaining 9 months = 2 times per week apply 5 gallons per minute for 10 minutes for each plant.

Contractor shall monitor & adjust accordingly dependant on outside factors (ie extended dry or wet periods).

## GENERAL LANDSCAPE NOTES:

Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30' and 8' above crown of road.

All electrical/mechanical equipment, drainage structures, etc. shall be screened from view.

Landscape shall not be placed around structures in a manner so as to impede accessibility for fire rescue operations.

All new landscape areas shall be provided with 100 % automatic irrigation coverage. A Functioning rain sensor/shut-off device shall be required on all irrigation systems.

Mulch all plant beds as specified in details using hardwood, non-cypress to 3" depth.

Planting areas shall NOT consisting of road rock, imported fill or other miscellaneous debris..

FOR ALL TREE PLANTINGS:

Synthetic burlap ball covering materials shall be completely removed.

Wire baskets shall be cut off to a depth of 1/2 (half) the depth of the root ball.

Burlap coverings shall be removed to a depth of 1/3 (third) of the root ball.

Any tree support materials shall be removed from each tree once it is established.

All Canopy trees shall be planted no closer than 10' to any underground utilities UNLESS a root barrier is used.

Root Barrier to be installed shall be a min 36" depth

Install as per Manufacture specs:

Root Solutions (800)554-0914

Biobarrier (800)257-6687 Or Equal

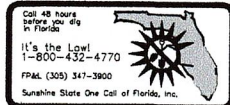
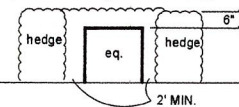
If any proposed Trees/Palms are adjacent to existing overhead utility lines, then principles of FPL "Plant the Right Tree in the Right Place" shall be adhered to. Alteration of proposed material shall be reviewed by Project LA for approval & notification to Town.

## UTILITY SCREENING NOTE:

### MECHANICAL & SERVICE EQUIPMENT SCREENING DETAIL

All air conditioners, pumps, transformers, back-flow preventers, and other site utilities shall receive a landscape hedge screen of plant material as required by Code. All hedges shall be maintained 6" above equipment.

provide screening on 3 sides as applicable



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LANDSCAPE ARCHITECT'S SEAL  
LYNN M. BENDER  
STATE OF FLORIDA  
LANDSCAPE ARCHITECT  
ARCHITECT NO. 258715

Lynn M. Bender  
Digitally signed by  
Lynn M. Bender  
Date: 2024.11.19  
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-05'00'

DIGITAL SIGNATURE  
DATE: 07-01-2024  
DRAWN BY: LVB  
PROJECT NO: 24-018 (LBA)

LANDSCAPE PLAN  
**LP-2**

IRRIGATION NOTE: (Water source = Town Water)

\* SYSTEM SHALL COMPLY WITH SECTION 23-8 OF TOWN CODE

An automatic properly functioning underground irrigation system with a rain sensing cutoff device shall be in compliance with the SFVMD, Florida Building Code and city Building Code requirements. The rain sensing cutoff device shall be located and installed in such a manner that the building eaves, balconies and similar overhangs do not interfere with the operation of the device. The irrigation system shall be rust free & properly maintained in good working order and provide a minimum coverage of 100% with 50% overlap.

Adequate irrigation of all newly proposed landscaped areas shall be provided for the first full growing season and continue thereafter only as necessary to maintain required vegetation in good and healthy condition. Irrigation systems shall conform to following standards:

- Irrigation systems shall be continuously maintained in working order and shall be designed to not to overlap water zones, nor to water impervious areas.
- No irrigation system shall be installed or maintained utilizing any public street which causes water from the system to spurt onto the roadway or to strike passing vehicular traffic.

The Client agrees to indemnify and hold harmless LBA/PA from any liability arising from acts or omissions in the performance of said services during construction by the Client and his/her agents, employees, or subcontractors where LBA/PA does not provide landscape architectural services during construction (as the term is generally understood, including on-site monitoring, site visits, shop drawing review, design clarification, etc.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.



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NOV 27 2024

HIGHLAND BEACH  
BUILDING DEPARTMENT



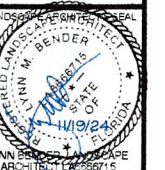
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2	03/18/2024	LB	REVISED PER COMMENTS
3	03/18/2024	LB	REVISED PER COMMENTS
4	03/18/2024	LB	REVISED PER COMMENTS
5	03/18/2024	LB	REVISED PER COMMENTS
6	03/18/2024	LB	REVISED PER COMMENTS
7	03/18/2024	LB	REVISED PER COMMENTS
8	03/18/2024	LB	REVISED PER COMMENTS
9	03/18/2024	LB	REVISED PER COMMENTS
10	03/18/2024	LB	REVISED PER COMMENTS

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Phone: (813) 570-4500 Fax: (813) 570-4500  
www.tbbspa.com

# CAMMARATO RESIDENCE

3723 S. OCEAN BLVD. HIGHLAND BEACH, FLORIDA

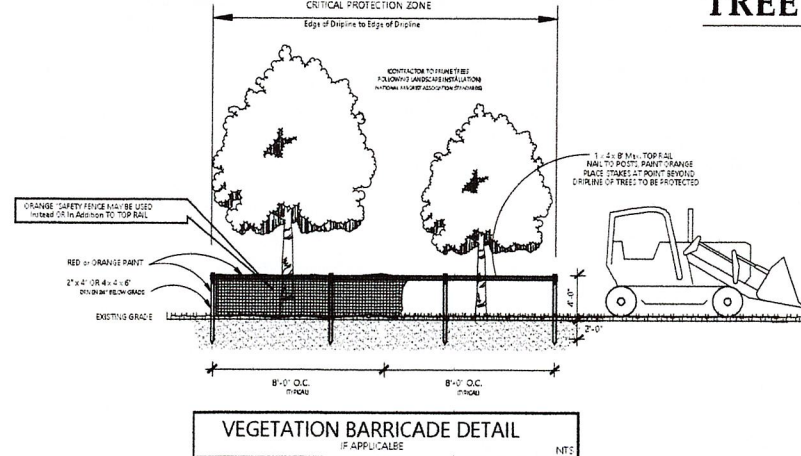
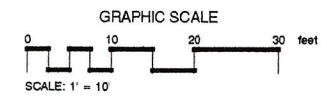
## EXISTING TREE DISPOSITION PLAN



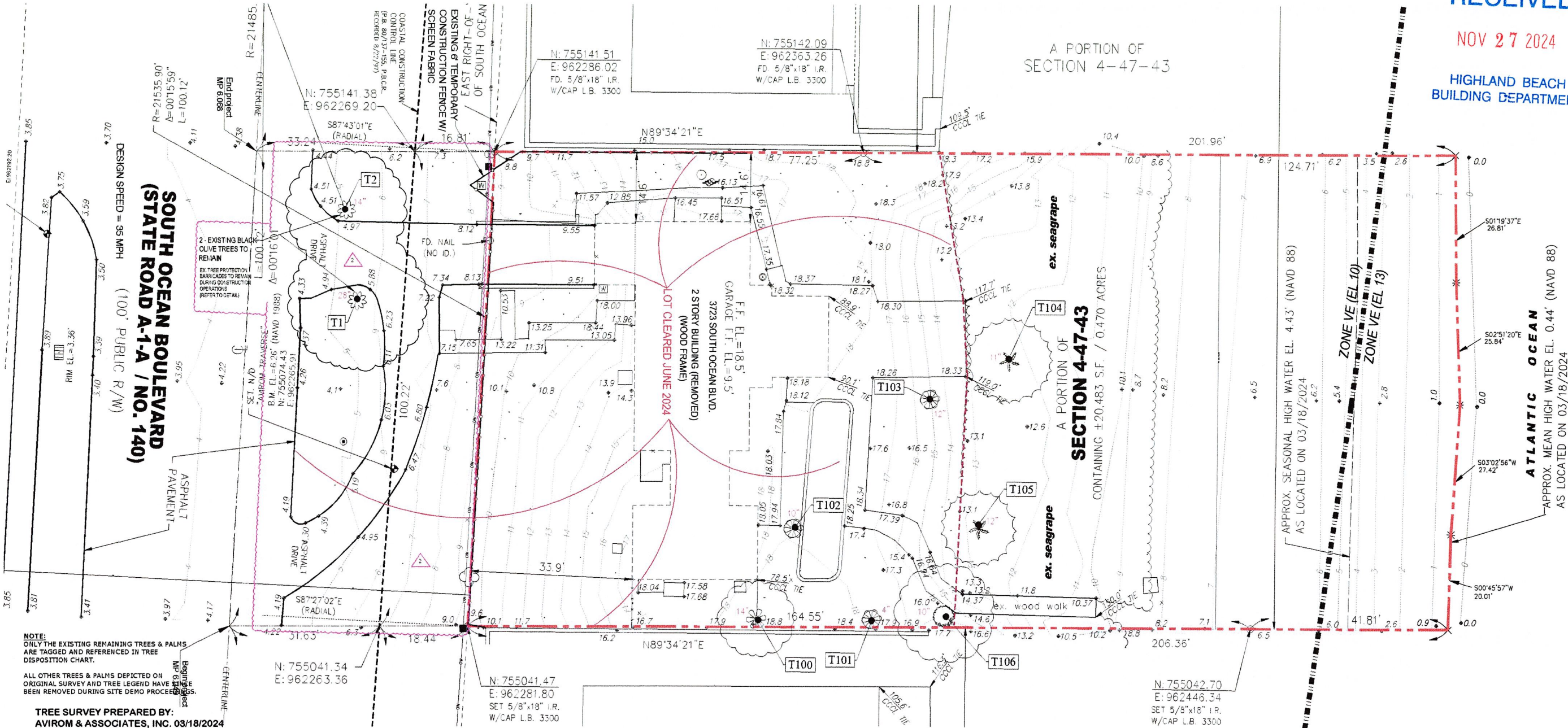
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Lynn M. Bender  
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DATE: 07-01-2024  
DRAWN BY: LMB  
PROJECT NO: 24-018 (L.B.A.)  
TREE DISPOSITION PLAN  
**TDP1**

**LA CONSULTANT**  
**Lynn Bender Landscape Architecture**  
5610 Adair Way  
Lake Worth, FL 33487  
Phone: 561-544-3237  
lbender.landscape@gmail.com  
FL-LA6666715

## TREE DISPOSITION PLAN



NOTE: ALL INVASIVE EXOTIC SPECIES ARE TO BE REMOVED FROM SITE.  
The eradication of nuisance vegetation, AKA exotics, is required on all sites, including abutting rights-of-way. This shall be performed prior to the issuance of a certificate of occupancy.



NOTE: ONLY THE EXISTING REMAINING TREES & PALMS ARE TAGGED AND REFERENCED IN TREE DISPOSITION CHART.  
ALL OTHER TREES & PALMS DEPICTED ON ORIGINAL SURVEY AND TREE LEGEND HAVE SINCE BEEN REMOVED DURING SITE DEMO PROCEEDINGS.

TREE SURVEY PREPARED BY:  
AVIOM & ASSOCIATES, INC. 03/18/2024

### TREE LEGEND

- Annadine
  - Black Olive
  - Button Wood
  - Fig
  - Gumbo Limbo
  - Indian Laurel
  - Palm
  - Sea Grape
  - Sweet Bay Laurel
  - Tropical Almond
  - Unknown Species
- 12" Denotes 12" Diameter Trunk (Typical)

EXISTING TREE DISPOSITION CHART (as per existing site conditions July 2024)							
TREE #	BOTANICAL NAME	COMMON NAME	DBH (IN)	PALM HT (CT)	OA HT (FT)	CANOPY SPREAD (FT)	DISPOSITION / ACTION
ROW							
T1	Burda buceras	Black Olive	28	60	28		REMAIN
T2	Burda buceras	Black Olive	14	42	24		REMAIN
SITE							
T100	Conocarpus erectus	Green Buttonwood	14	26	16		REMOVE
T101	Conocarpus erectus	Green Buttonwood	4	6	-		REMOVE
T102	Conocarpus erectus	Green Buttonwood	10	6	-		REMOVE
T103	Conocarpus erectus	Silver Buttonwood	12	-	-		REMOVE
T104	Coccothrinax	Coconut Palm	11	16	26	18	REMOVE
T105	Coccothrinax	Coconut Palm	12	16	26	18	REMOVE
T106	Coccothrinax	Sea Grape	10	24	20		REMAIN

24 TREE NUMBER



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BUILDING DEPARTMENT

BY DATE  
L.B. 8/24/24  
L.B. 11/19/24

REVISIONS  
TOWN COMMENTS (8/24/24)  
TOWN COMMENTS (11/19/24)

North Arrow

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**CAMMARATO RESIDENCE**  
3723 S. OCEAN BLVD. HIGHLAND BEACH, FLORIDA

LANDSCAPE ARCHITECT'S SEAL  
LYNN M. BENDER  
11/19/24  
FLORIDA LANDSCAPE ARCHITECT  
APPROVED FOR THE PROJECT

Lynn M. Bender

Digitally signed by  
Lynn M. Bender  
Date: 2024.11.19  
12:21:30 -0500

DIST. SIGNATURE  
DATE: 07-01-2024  
DRAWN BY: LMB  
PROJECT NO: 24-0181 (LBA)

IR-1

The diagram is a detailed site plan for the Cammarato Residence. It shows a two-story house with a pool and deck. The plan includes various landscape features like trees, shrubs, and lawn areas. Irrigation details are shown with lines and symbols indicating the layout of the system. Key features include: South Ocean Boulevard (State Road A-1-A) to the left, a bike lane, and a proposed sewer. The property is bounded by a coastal construction control line. The plan also shows existing and proposed vegetation, a temporary irrigation area in the dune area, and various elevation points. A north arrow and a graphic scale are included.

IRRIGATION PLAN  
GRAPHIC SCALE  
0 10 20 30 feet  
SCALE: 1" = 10'

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	RADIUS	SYMBOL	MANUFACTURER/MODEL	QTY	PSI	RADIUS
	Hunter PROS-04 LCS-515	3	LCS	30	5'x15'		Hunter PGP-ADJ-B 1.5	7	45	31'
	Hunter PROS-04 RCS-515	2	RCS	30	5'x15'		Hunter PGP-ADJ-B 3.0	3	45	38'
	Hunter PROS-04 08Q	8	90	30	8'		Hunter PGP-ADJ-LA 05	1	40	27'
	Hunter PROS-12 LCS-515	13	LCS	30	5'x15'		Hunter PGP-ADJ-LA 06	1	40	30'
	Hunter PROS-12 RCS-515	16	RCS	30	5'x15'					
	Hunter PROS-12 SS-530	9	SST	30	5'x30'					
	Hunter PROS-12 08H	10	180	30	8'					
	Hunter PROS-12 08Q	2	90	30	8'					
	Hunter PROS-12 10H	1	180	30	10'					
	Hunter PROS-12 10Q	7	90	30	10'					

SYMBOL	MANUFACTURER/MODEL	QTY
	Hunter PGV-101G 1"	7
	Febco 785 1-1/2"	1
	Hunter P2C-400 with (01) PCM-300	1
	Hunter RAIN-CLIK	1
	Water Meter 1-1/2" (Existing)	1

— Irrigation Lateral Line: PVC Class 200 SDR 21 1"

1,176 l.f.

— Irrigation Mainline: PVC Class 200 SDR 21 1"

201.8 l.f.

— Pipe Sleeve: PVC Schedule 40 2"

18.3 l.f.

— Pipe Sleeve: PVC Schedule 40 4"

29.9 l.f.

Valve Callout

#

Valve Number

#

Valve Floor

#

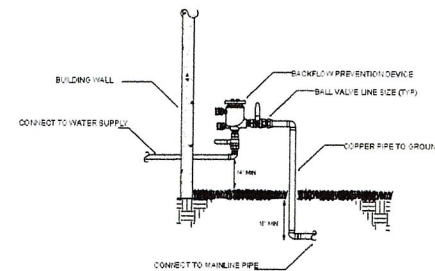
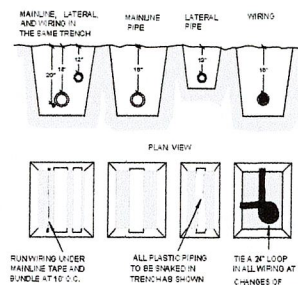
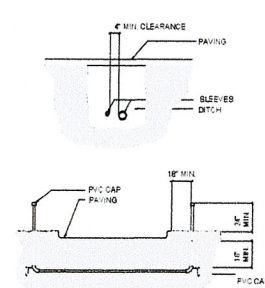
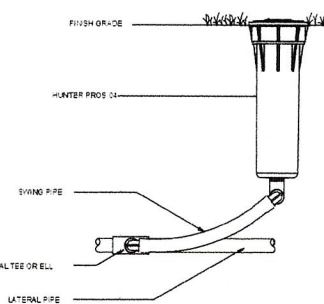
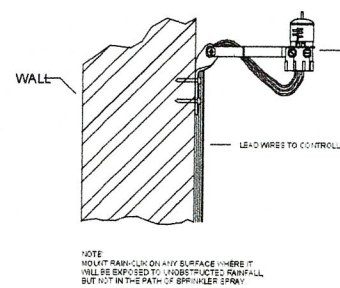
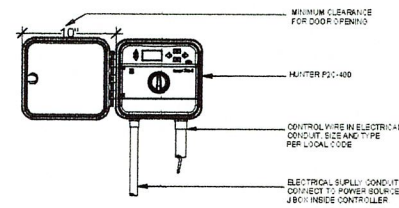
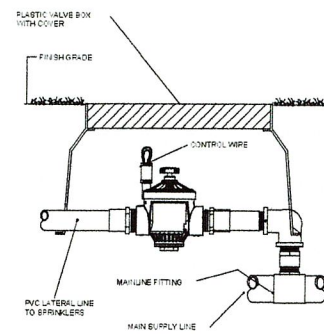
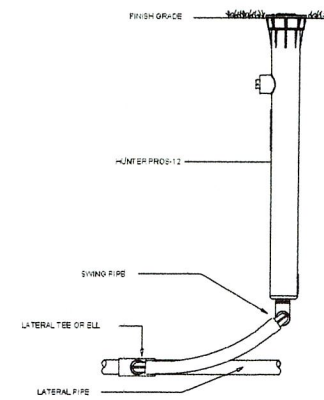
Valve Size

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FPAAL (352) 347-3800  
Sunshine State One Call of Florida, Inc.

LA CONSULTANT

**Lynn Bender Landscape Architecture**  
5610 Adair Way  
Lake Worth, FL 33467  
Phone: 561-644-3237  
LbenderLarch@gmail.com  
FL-LA6666715





### IRRIGATION SPECIFICATIONS

1. IRRIGATION POINT OF CONNECTION SHALL BE CAPABLE OF DELIVERING A VARIABLE FLOW RATE OF 15 GPM AT A CONSTANT PRESSURE OF 60 PSI DOWNSTREAM OF BACKFLOW PREVENTION DEVICE. POINT OF CONNECTION SHALL BE ABLE TO MAINTAIN THE MAXIMUM FLOW RATE AND PRESSURE FOR THE DURATION OF AN IRRIGATION CYCLE. CONTRACTOR SHALL VERIFY THESE PARAMETERS PRIOR TO CONSTRUCTION, AND NOTIFY OWNER'S REPRESENTATIVE AND IRRIGATION CONSULTANT IF THEY CANNOT BE MET.
2. IF THE POINT OF CONNECTION EXCEEDS THE ABOVE PRESSURE REQUIREMENTS, A PRESSURE REGULATOR SHALL BE INSTALLED AT THE OWNER'S EXPENSE. PRESSURE REGULATOR SHALL BE SET AT THE PRESSURE RECOMMENDED ABOVE.
3. AN PVB TYPE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IN A MANNER SATISFYING LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS.
4. POWER FOR THE IRRIGATION CONTROLLER, PUMP AND OTHER ELECTRICAL COMPONENTS SHALL BE PROVIDED BY OTHER. CONTRACTOR SHALL VERIFY POWER AVAILABLE MEETS THE REQUIREMENTS OF THE COMPONENT'S MANUFACTURER. IF POWER AVAILABLE IS INADEQUATE, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
5. IRRIGATION SYSTEM IS DISPLAYED SCHEMATIC IN NATURE. MINOR FIELD ADJUSTMENTS MAY BE NECESSARY TO ACCOMMODATE FOR LANDSCAPING CHANGES, PLANTING BEDS OR OTHER OBSTRUCTIONS. THESE ADJUSTMENTS MAY BE MADE ONLY AFTER NOTIFYING THE OWNER'S REPRESENTATIVE.
6. SOME IRRIGATION COMPONENTS AND PIPING ARE SHOWN IN HARDSCAPE AREAS AND OUTSIDE OF PROPERTY LINES TO IMPROVE ON THE READABILITY OF THE IRRIGATION PLAN. ALL COMPONENTS AND PIPING SHALL BE INSTALLED INSIDE OF THE PROPERTY LINES AND OUTSIDE OF HARDSCAPE AREAS.
7. MAINLINE, LATERALS AND CONTROL WIRES SHALL BE INSTALLED INSIDE THE SAME TRENCH WHENEVER POSSIBLE..
8. SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
9. CONTROLLER SHALL BE GROUNDED PER MANUFACTURER'S SPECIFICATIONS.
10. ALL WIRE SHALL BE #18 DIRECT BURIAL U.F. MULTI-CABLE.
11. ALL FIELD WIRE ABOVE GRADE OR WITHIN STRUCTURE TO BE INSTALLED IN CONDUIT PER LOCAL CODE.
12. ALL UNDERGROUND SPLICES TO UTILIZE 3M DBY, OR KING WATER PROOF SPLICE KITS, DEPENDING ON NUMBER AND SIZE OF WIRES. ALL SPLICES SHALL BE MADE INSIDE A VALVE BOX.
13. DEPTH OF IRRIGATION PIPING; 18" ON MAINLINE; 12" ON LATERALS.
14. SLEEVING UNDER PAVED AREAS SHALL BE INSTALLED AT A DEPTH OF 24".

## CRITICAL ANALYSIS

P.O.C. NUMBER: 01

**Water Source Information:**

FLOW AVAILABLE  
Water Meter Size: 1-1/2"  
Flow Available 40.32 GPM

<b>PRESSURE AVAILABLE</b>	
Static Pressure at POC:	60 PSI
Elevation Change:	5.00 ft
Service Line Size:	1 1/2"
Length of Service Line:	20 ft
Pressure Available:	56 PSI

DESIGN ANALYSIS	
Maximum Station Flow:	14.85 GPM
Flow Available at POC:	40.32 GPM
Residual Flow Available:	25.47 GPM

Design Pressure:	45 PSI
Friction Loss:	1.14 PSI
Fittings Loss:	0.11 PSI
Elevation Loss:	0 PSI
Loss through Valve:	1.63 PSI
Pressure Req. at Critical Station:	47.9 PSI
Loss for Fittings:	0.38 PSI
Loss for Main Line:	3.84 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	2.5 PSI
Loss for Water Meter:	0.42 PSI
Critical Station Pressure at POC:	55.0 PSI
Pressure Available:	56 PSI
Residual Pressure Available:	0.98 PSI

## VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	PIPE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Hunter PGV-101G	1"	Turf Spray	4.21	9	173.0	30	0.07	1.74	31.8	34.5	1.23 in/h
2	Hunter PGV-101G	1"	Shrub Spray	14.85	26	259.1	30	1.19	1.61	32.8	36.6	1.35 in/h
3	Hunter PGV-101G	1"	Shrub Spray	10.4	11	128.2	30	0.5	1.88	32.4	37.0	1.43 in/h
4	Hunter PGV-101G	1"	Turf Rotor	14.5	7	189.1	45	1.25	1.63	47.9	55.0	0.65 in/h
5	Hunter PGV-101G	1"	Turf Rotor	9.4	5	86.6	45	0.1	1.9	47.0	51.7	0.7 in/h
6	Hunter PGV-101G	1"	Shrub Spray	14.3	21	202.3	30	1.39	1.64	33.0	41.9	1.42 in/h
7	Hunter PGV-101G	1"	Turf Spray	0.96	4	137.8	30	0.02	1.1	31.1	33.8	1.44 in/h

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BUILDING DEPARTMENT**

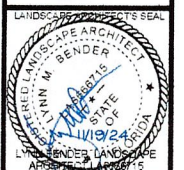


LA CONSULTANT



**Lynn Bender  
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Lynn M Bende  
Digitally signed by Lynn M Bende  
Date: 2024.11.19 12:21:14 -0500

DIGITAL SIGNATURE	
DATE	07-01-2024
DRAWN BY	LVB
PROJECT NO	24-018 (LSLA)

IRRIGATION DETAILS

IR-2

**CAMMARATO RESIDENCE**  
3723 S. OCEAN BLVD. HIGHLAND BEACH, FLORIDA





LEGEND:

- |  |  |  |   |
|--|--|--|---|
|  | PROPERTY LINE  |  | PROPOSED NYLO/IL CATCH BASIN  |
|  | SECTION IDENTIFIER<br>PLAN PAGE<br>DETAIL PAGE   |  | DENOTES 12" PERF HDPE PIPE IN<br>3" WIDE X 3" DEEP ROCK TRENCH<br>(BOTTOM EL = 4.0' NAVD) |
|  | PROPOSED ELEVATION   |  | STRUCTURE TYPE-NUMBER<br>RIM ELEVATION<br>INVERT ELEVATION                                |
|  | DIRECTION OF FLOW  |  | NYLO<br>NYLOPLAST YARD DRAIN OR<br>APPROVED EQUAL   |
|  | EXISTING ELEVATION   |  | IL<br>INLINE YARD DRAIN   |
|  | DENOTES AREA OF PROPOSED<br>CONCRETE PAVING  |  | HDPE<br>HIGH-DENSITY POLYETHYLENE PIPE  |
|  | DENOTES AREA OF EXISTING<br>DRIVEWAY TO BE REPLACED  |  | T.O.W.<br>TOP OF WALL   |
|  | DENOTES AREA OF PROPOSED BRICK<br>PAVERS SEE DETAIL SHEET 2 - SEE<br>LANDSCAPE PLANS FOR PATTERN |  | TBD<br>TO BE DETERMINED   |
|  | DENOTES AREA OF PROPOSED<br>HARDSCAPE BY OTHERS - SEE<br>LANDSCAPE PLANS FOR DETAILS             |  |   |

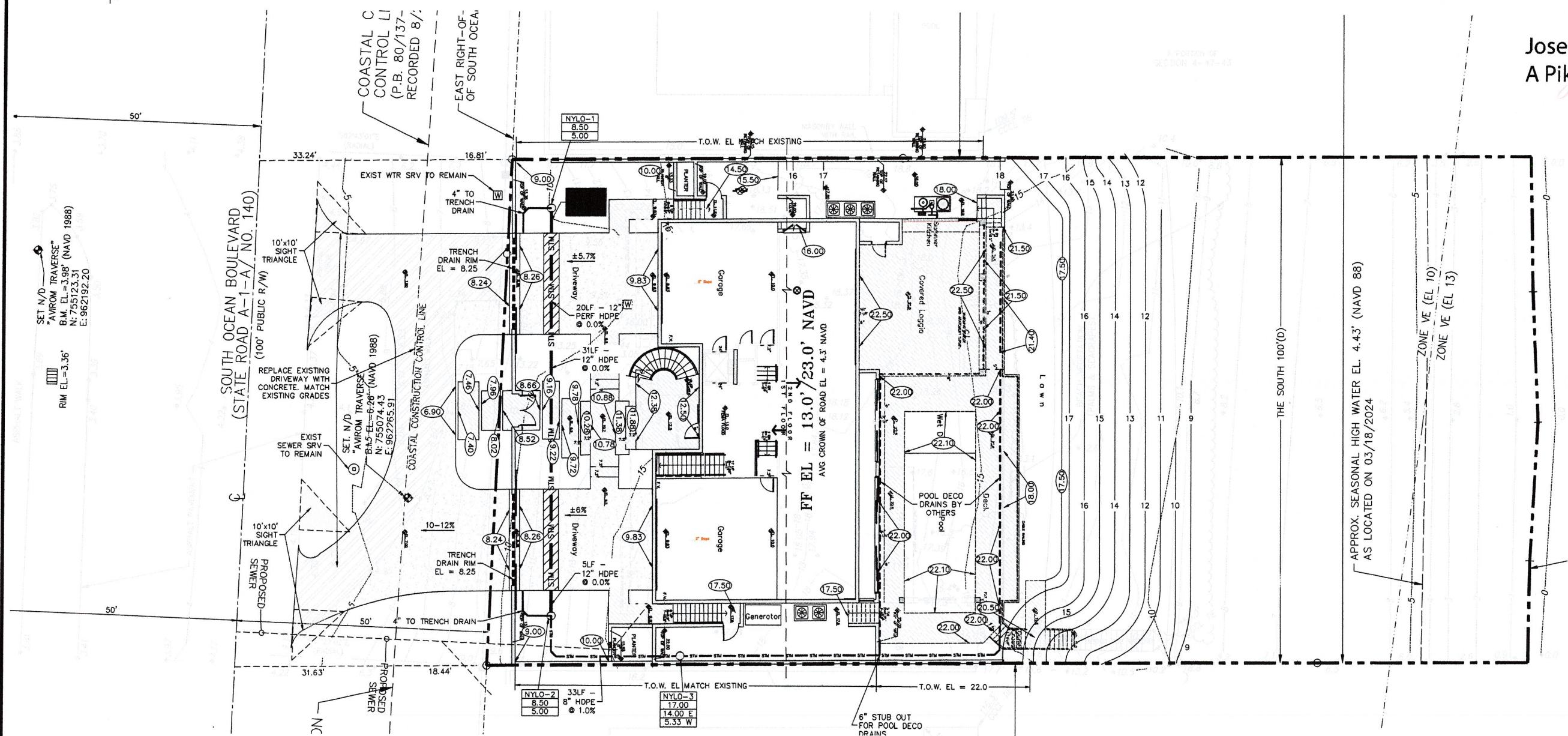
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BUILDING DEPARTMENT



LOCATION MAP  
N.T.S.



Joseph  
A Pike



NOTE: SEE LANDSCAPE  
PLANS FOR HARDSCAPE  
MATERIALS & SPECIFICATIONS

NOTE: RETAINING WALLS SHOWN  
HEREIN DEPICT LOCATION AND  
ELEVATION REQUIREMENTS ONLY.  
STRUCTURAL DESIGN PER  
MANUFACTURER SPECIFICATIONS  
OR TO BE PROVIDED BY OTHERS.

NOTE: CONTRACTOR TO FIELD  
VERIFY EXACT LOCATION, SIZE, AND  
ELEVATION OF ALL IMPROVEMENTS  
AT TIME OF CONSTRUCTION AND  
REPORT ANY DISCREPANCIES TO  
ENVIRODESIGN ASSOCIATES, INC.



CALL 48 HOURS BEFORE YOU DIG.  
IT'S THE LAW  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'  
-5 0 10 20  
3 15

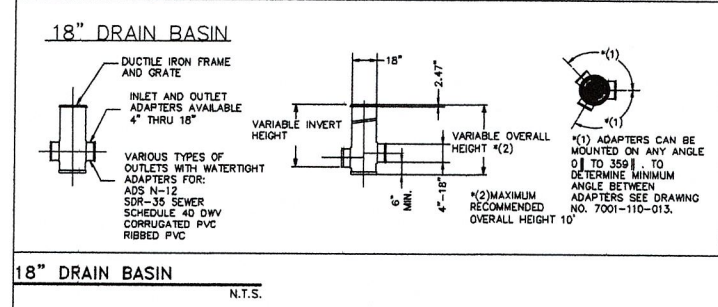
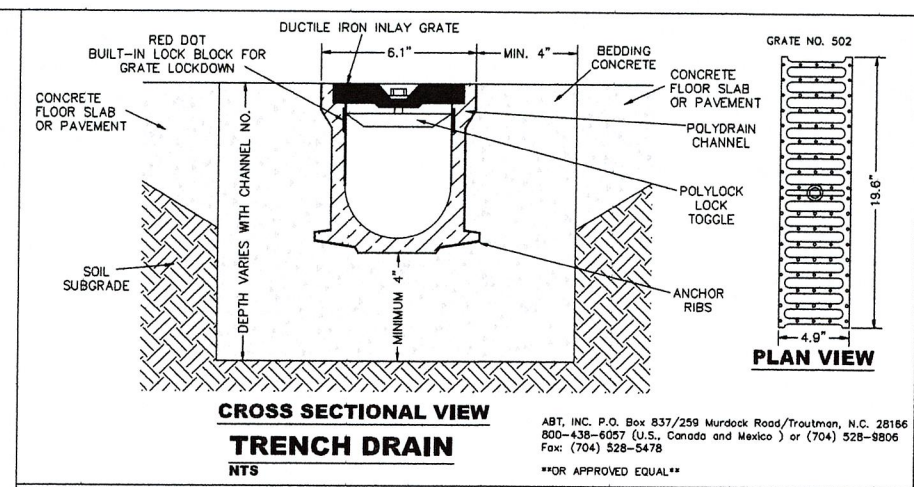
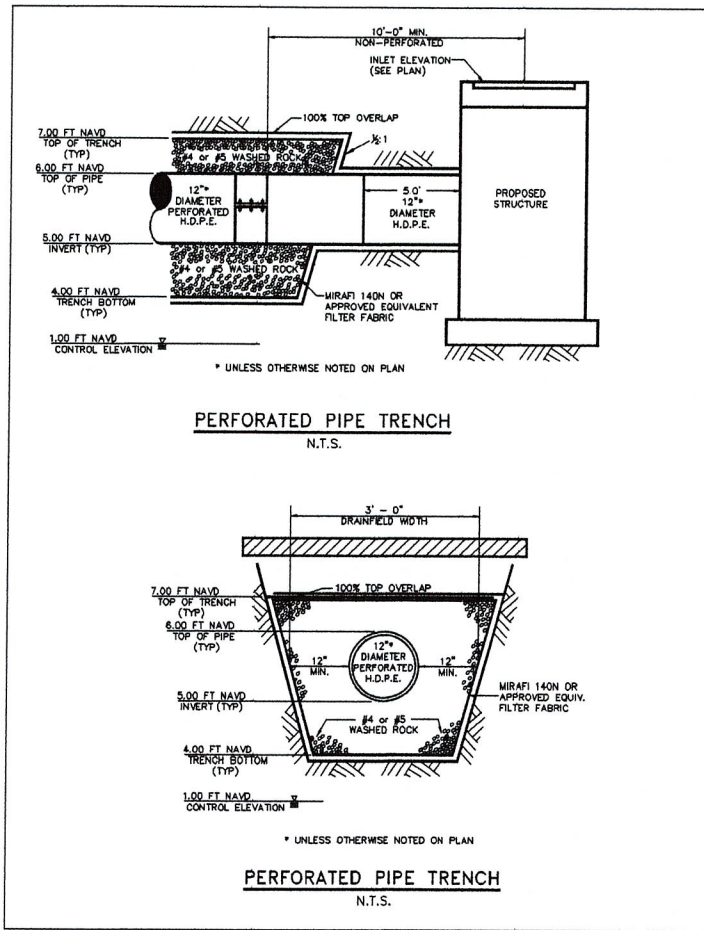
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ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

RESERVED FOR CITY APPROVAL

CIVIL SITE IMPROVEMENTS PLAN FOR: <b>CAMARATO RESIDENCE</b> 3723 SOUTH OCEAN BOULEVARD HIGHLAND BEACH, FLORIDA	
ENGINEERS • ENVIRONMENTAL CONSULTANTS EnviroDesign Associates, Inc. 1555 W. Andrews Way, Deerfield Beach, FL 33445 Phone: (561) 274-6500	
DRAWN: B.A.B.	CHECKED: J.A.P.
DATE: 11/27/24	
JOB NO. 24019-ENG	
SHEET NO. 1 OF 4	



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HIGHLAND BEACH  
BUILDING DEPARTMENT



PAVING & DRAINAGE DETAILS FOR: CAMARATO RESIDENCE 3723 SOUTH OCEAN BOULEVARD HIGHLAND BEACH, FLORIDA	
BY:	NO.
DATE:	NO.
REVISIONS:	NO.
NOT VALID WITHOUT ENGINEER'S SEAL	
JOSEPH A. PINE, P.E. FL REG # 42586	
ENGINEERS • ENVIRONMENTAL CONSULTANTS 1855 Dr. Andres Wey, Doral, Florida 33145 Phone: (561) 274-6500 Fax: (561) 274-8558	
DRAWN: B.A.B.	
CHECKED: J.A.P.	
DATE: 08/01/24	
JOB NO. 24019-DTL	
SHEET NO. 2 OF 4	



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PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.
- COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "C" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.
- SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.
- LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL BE REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.
- WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.
- CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
- GUMBO - WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS FIVE FEET BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.
- PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.
- TACK COAT - BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
- ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS. COMPRESSIVE STRENGTH.
- PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-21, WHERE APPLICABLE.
- SEQUENCE OF CONSTRUCTION - THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
- INLETS AND MANHOLES - ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
- GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
- GRADES SHOWN ARE FINISHED GRADES.
- EXISTING AVERAGE ROAD CROWN ELEVATION = 13'/23' N.A.V.D.
- REINFORCED CONCRETE PIPE - THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
- CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
- PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
- PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.

GENERAL NOTES

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELEVATIONS REFER TO N.A.V.D. 1988. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION 13'/23' (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM & AVERAGE CROWN OF ROAD + 18').
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED

CITY OF DELRAY BEACH GENERAL NOTES

- DEFINITIONS
- CITY - THE CITY OF DELRAY BEACH
  - CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS
  - ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION
- PROCEDURE
- A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.
  - ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
  - A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.
  - ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
  - ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
  - THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
  - THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
  - CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
  - FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
  - UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
  - PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-P-17 (LATEST REVISION) UNLESS SHOWN OTHERWISE.
  - AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY.
  - PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 593-551 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES.
  - CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
  - GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
  - CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO
- PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
- EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.
  - ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE.
  - CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
  - ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED.
  - ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING.
  - EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.
  - CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY.
  - SITE INFORMATION BASED ON A SURVEY PREPARED BY: AVIROM & ASSOCIATES, INC.
  - THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION.
  - RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.
  - ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.
  - CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.
  - NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
  - NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & LD 2.0
  - ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAMPS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS.
  - CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-2433-7312.
  - THE EXISTING SANITARY SEWER LINE MUST BE TELEVIEWED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.
  - UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-2433-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.
  - ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
  - ALL CITY OF DELRAY BEACH 2016 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.

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HIGHLAND BEACH  
BUILDING DEPARTMENT

GENERAL NOTES FOR:  
CAMARATO RESIDENCE  
3723 SOUTH OCEAN BOULEVARD  
HIGHLAND BEACH, FLORIDA

ENGINEERS • ENVIRONMENTAL CONSULTANTS  
EnviroDesign Associates, Inc.  
1855 S. OCEAN BLVD., SUITE 100  
DELRAY BEACH, FL 33425  
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:  
B.A.B.  
CHECKED:  
J.A.P.  
DATE:  
08/01/24  
JOB NO.  
24019-DTL  
SHEET NO.  
3 OF 4



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CALL 48 HOURS BEFORE YOU DIG.  
IT'S THE LAW  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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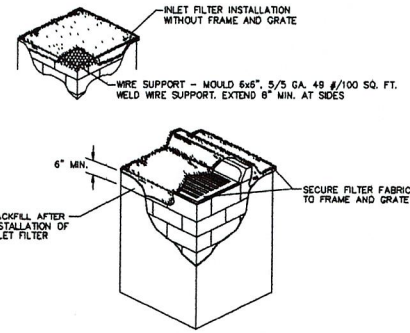
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HIGHLAND BEACH  
BUILDING DEPARTMENT

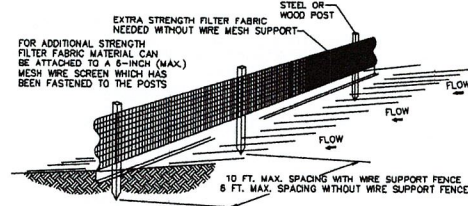


- NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL

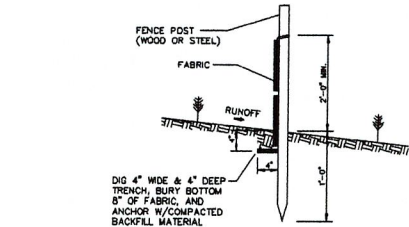
1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SOIL AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY INSPECTION, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DETERMINED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DRAINAGE OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES DETAIL



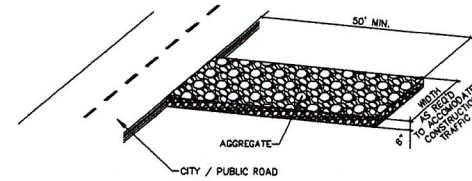
- NOTES:
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG. THE WIRES, OR ROD RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL  
Sheet 1 of 2



- NOTES:
1. PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
  2. ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A COUNTERCLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.
  3. DRIVE BOTH POSTS ABOUT 18 INCHES INTO THE GROUND AND BURY FLAP.

ATTACHING TWO SILT FENCES  
NOT TO SCALE  
SILT FENCE INSTALLATION DETAIL  
Sheet 2 of 2



NOTE:  
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (DOT AGGREGATE NO. 1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

CALL 48 HOURS BEFORE YOU DIG.  
IT'S THE LAW  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'  
0 5 10 15 20

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RESERVED FOR CITY APPROVAL

POLLUTION PREVENTION PLAN FOR:  
CAMARATO RESIDENCE  
3723 SOUTH OCEAN BOULEVARD  
HIGHLAND BEACH, FLORIDA

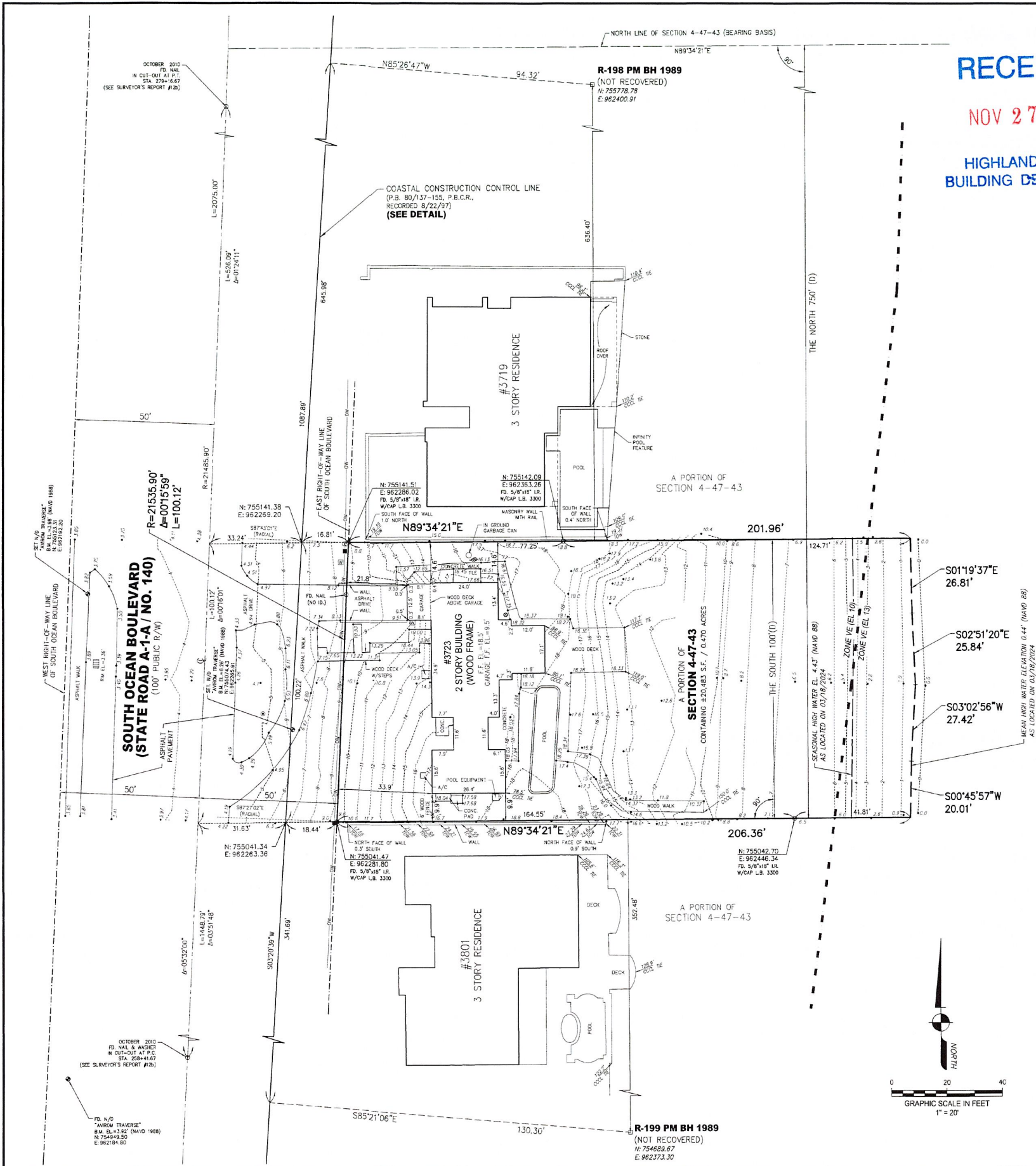
EnviroDesign Associates, Inc.  
www.envirodesign.com  
ENGINEERS • ENVIRONMENTAL CONSULTANTS  
FLORIDA CERTIFICATE OF AUTHORIZATION NO. 6506  
10555 Dr. Andres Way, Delray Beach, Florida 33445  
Phone: (561) 274-5300 Fax: (561) 274-8558

DRAWN:  
B.A.B.  
CHECKED:  
J.A.P.  
DATE:  
11/27/24  
JOB NO.  
24019-ENG  
SHEET NO.

4 OF 4

Q:\2024\24019-3723 So Ocean Blvd-The Benedict Bullock Group\DWG\24019-ENG.dwg 11/27/2024 5:52 AM





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HIGHLAND BEACH  
BUILDING DEPARTMENT

**NOTE**  
ELEVATIONS SHOWN HEREON  
ARE BASED ON THE NORTH  
AMERICAN VERTICAL DATUM OF 1988  
(NAVD 1988)

LEGEND	
	BENCHMARK
	CATCH BASIN
	CLEAN OUT
	CONCRETE UTILITY POLE
	ELECTRIC SERVICE BOX
	EXISTING ELEVATION
	IRRIGATION CONTROL VALVE
	OVERHEAD WIRES
	SPIGOT
	WATER METER

**SURVEYOR'S REPORT:**

- Reproductions of this Sketch are not valid without the signature and the original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
- The land description shown hereon is in accord with lands described in Quit-Claim Deed recorded in Official Records Book 9314, Page 810 of the Public Records of Palm Beach County, Florida.
- No underground improvements were located.
- The undersigned surveyor has no knowledge as to whether any of the hereon property is filled formerly submerged lands.
- Bearings shown hereon are relative to the north line of Section 04-47-43, having a bearing of N89°34'21"E.
- (a) Coordinates shown hereon are based on a Real-time Kinematic (RTK) GPS Control Survey which is certified to 0.3 feet accuracy (US Survey Foot), relative to the published control points shown hereon.  
(b) (i) Equipment Used: Leica GS18 High Precision GNSS (Multi Frequency Receiver), (ii) Method: Virtual Reference Station GPS Network, (iii) Processing Software: Leica Infinity, Version 3.3.  
(c) Published Control Coordinates shown hereon are based upon the North American Datum of 1983 (NAD 83/90), 1990 adjustment, of the State Plane Coordinate System (Transverse Mercator Projection), Florida East Zone, as shown on Plat Book 80, Pages 137-155 of the Public Records of Palm Beach County, Florida.  
(d) Coordinates depicted on "R" Monuments were obtained from Florida Department of Environmental Protection and unless noted, these monuments were not recovered.
- Elevations indicated hereon are in feet and decimals, relative to the North American Vertical Datum of 1988 (NAVD 1988), established by trigonometric leveling. To convert NAVD 1988 elevations to National Geodetic Vertical Datum of 1929 (NGVD 1929) for this property, the model value of (+) 1.549 must be added algebraically to the NAVD 1988 height.
- Benchmark Description: National Geodetic Survey Benchmark# 2312, found brass disc stamped "2312 1970", Elevation = 3.71 feet (NAVD 1988), Elevation = 5.259 feet (NGVD 1929).
- (a) The property described hereon lies within Flood Zones VE (EL 10 feet) & VE (EL 13 feet), as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 12099C0987F, Community Number 125111, dated 10/05/2017.  
(b) Flood Zone Lines shown hereon were scaled from the above 1" = 500' FEMA Flood Insurance Rate Map.
- (a) The Tidal Water Survey depicted hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Survey and Mapping as Tidal Water Survey File \_\_\_\_\_.  
(b) Atlantic Ocean Mean High Water Elevation is 0.44 feet, NAVD 1988, as located on 03/18/2024.  
(c) Atlantic Ocean Seasonal High Water Elevation is 4.43 feet, NAVD 1988, as located on 03/18/2024. Seasonal High Water Elevation shown hereon is equal to the elevation of Mean High Water (0.44 feet, NAVD 1988) plus 150% of Mean Range (2.66 feet) which equals Seasonal High Water Elevation of 4.43 feet, NAVD 1988.  
(d) Both the Mean High Water and Seasonal High Water Elevation are based on the data provided by Florida Department of Environmental Protection, Bureau of Survey and Mapping, Tidal Water Survey Procedural Approval issued 04/08/2024.  
(e) Elevations to obtain Mean High Water Line, are established by trigonometric leveling.
- Survey References:  
(a) Plat Book 80, Pages 137-155, dated August 22, 1997, of the Public Records of Palm Beach County, Florida.  
(b) Right of Way Map for Road No. 140 (State Road A-1-A), Project 1001, Section 93060-2103, dated 1-11-39, sheet 2 of 4.
- Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
- PROPERTY ADDRESS: 3723 South Ocean Boulevard, Highland Beach, Florida.
- The common name of trees as shown hereon were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
- Abbreviation Legend: A/C = Air conditioner; APPROX. = Approximate; B.M. = Benchmark; Δ = Central Angle; C = Centerline; CCCL = Coastal Construction Control Line; CONC. = Concrete; D = Per Deed; EL. = Elevation; F.B. = Field Book; FD. = Found; F.F. = Finished Floor; ID. = Identification; I.R. = Iron Rod; L. = Arc Length; L.B. = Licensed Business; M.H.W. = Mean High Water; MS = Measured; NAD = North American Datum; NAVD = North American Vertical Datum; NGVD = National Geodetic Vertical Datum; O.R.B. = Official Record Book; OW = Overhead Wires; P = Pier Record Plot; P.B. = Plot Book; P.B.C.R. = Palm Beach County Records; P.C. = Point of Curvature; PG. = Page; P.L.S. = Professional Land Surveyor; P.T. = Point of Tangency; R = Radius; R/W = Right-of-Way; S.F. = Square Feet; S.H.W. = Seasonal High Water; S.R. = State Road; STA = Station; TOW = Top Of Wall; W/ = With; W/CAP = With Surveyors Cap.

**LAND DESCRIPTION:**

All that part of the south 100 feet of the north 750 feet of Section 4 (measured at right angles to the north line of said Section), Township 47 South, Range 43 East, lying east of the right of way of State Road 140 (Ocean Blvd A1A).

Said lands situate in the Town of Highland Beach, Palm Beach County, Florida and containing 20,483 square feet, 0.470 acres, more or less.

**CERTIFICATION:**

To: NJC Highland LLC

I HEREBY CERTIFY that the attached Boundary, Topographic, Tree and Tidal Water Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary, Topographic, Tree and Tidal Water Survey meets the Standards of Practice set forth in Chapter 6J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes, it complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Tidal Water Survey File Number \_\_\_\_\_

Date: 9/30/2024

John T. Doogan, P.L.S.  
Digitally signed by John T. Doogan, P.L.S.  
Date: 2024.09.30 15:58:18 -0400

JOHN T. DOOGAN, P.L.S.  
Florida Registration No. 4409  
AVIROM & ASSOCIATES, INC.  
L.B. No. 3300



**AVIROM & ASSOCIATES, INC.**  
SURVEYING & MAPPING  
50 S.W. 2nd AVENUE, SUITE 102  
BOCA RATON, FLORIDA 33432  
(561) 392-2594 / www.AVIROMSURVEY.com  
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REVISIONS	DATE	F.B. / PG.	BY	CKD	REVISIONS	DATE	F.B. / PG.	BY	CKD
REVISED PER COMMENTS	04/28/2024	N/A	S.K.	J.T.D.					
ADD TOP OF WALL ELEVATIONS	07/25/2024	2228/45-48	L.B.	J.T.D.					
REMOVE TREES	09/30/2024		J.T.D.						

**BOUNDARY, TOPOGRAPHIC, TREE & TIDAL WATER SURVEY**  
**3723 S. OCEAN BOULEVARD**  
A PORTION OF SECTION 4  
TOWNSHIP 47 SOUTH  
RANGE 43 EAST  
TOWN OF HIGHLAND BEACH  
PALM BEACH COUNTY, FLORIDA

JOB #: 13021  
SCALE: 1" = 20'  
DATE: 03/18/2024  
BY: S.K.  
CHECKED: J.T.D.  
F.B. 2178 PG. 33-37  
SHEET: 1 OF 1