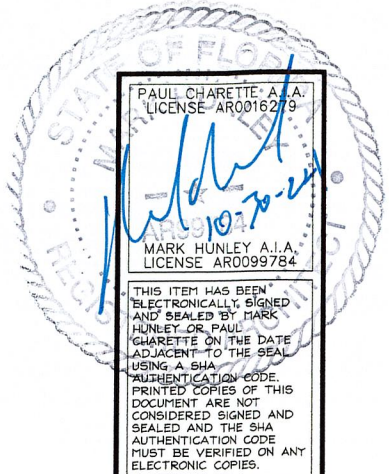


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HIGHLAND BEACH
BUILDING DEPARTMENT

3519 S OCEAN BLVD LLC



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551 NW 77TH ST SUITE 107
BOCA RATON, FL 33487

NEW RESIDENCE
3521 S OCEAN BLVD
HIGHLAND BEACH, FL 33487
JOB NUMBER: 2021-055

STARTED: 10/18/2021
PRELIM: 01/18/2022
PRELIM 2: 02/24/2022
P AND Z: 08/29/2024
PRELIM FINAL:
CONST DOCS:
BLDG DEPT:
BLDG DEPT:
BLDG DEPT:
AS-BUILTS:
ISSUED: 10/30/2024
SHEET

CVR

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7TH EDITION.
- ALL DIMENSIONS & CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE PROCEEDING WITH WORK. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS AT ALL TIMES.
- THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS ON THE PLANS.
- CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF F.B.C. CHAPTER 33 FOR SAFETY STANDARDS PERTAINING TO CONSTRUCTION PROCEDURES, I.E. EXCAVATION, STORAGE OF MATERIALS, SCAFFOLDS, SAFEGUARDS, TEMP. STAIRS.
- ALL CEILING HEIGHTS ON FIRST FLOOR ARE TAKEN FROM 0'-0".
- ALL CEILING HEIGHTS ON SECOND FLOOR ARE TAKEN FROM TOP OF SUB FLOOR OR BTP-CRETE.

NON-BEARING INTERIOR PARTITIONS

- ALL INT NON BEARING PARTITIONS SHALL BE METAL OR WOOD STUDS & RUNNERS OF CHANNEL OR 1" X 1" SHAPES OR P.T. WOOD. HOT DIPPED GALV. WITH 1/2" MIN. GYP BRD EACH SIDE. SPANS BETWEEN DRYHALL SUPPORTS SHALL NOT EXCEED 24' C/C. FIRESTOPS SHALL BE PROVIDED AT CEILINGS AND FLOOR LEVELS AND AT MID HGT. OR NOT TO EXCEED 8' HEIGHT.
- NON-BEARING INTERIOR PARTITION BASE TRACK ATTACHED WITH POWER ACTUATED TO FASTENERS 16" o.c. & 1.5" LONG. (TYPICAL UNLESS NOTED OTHERWISE)

ANCHORAGE

- METAL & WIRE LATH: FASTENING SHALL BE PER F.B.C. 2020 CHAPTER 25 SECTION 2503. LATH SHALL BE NAILED TO SUPPORTS W/ 11 GA. GALV. BARBED NAILS 1-1/2" LONG HAVING A HEAD NOT LESS THAN 3/8" INCH O FOR HORIZONTAL SUPPORTS. PROVIDE 3/4" PENETRATION OF FASTENER ON VERTICAL SUPPORTS.

DOORS & WINDOWS

SLIDING GLASS DOORS AND SWING DOORS SHALL BE SAFETY GLAZING PER THE SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.

- PER F.B.C. 2020 CHAPTER 10 SECTION 1030 - ALL BEDROOMS REQUIRE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS & PROVIDING A CLEAR OPENING OF NOT LESS THAN 20 INCHES WIDTH, 24 INCHES HEIGHT & 5.7 SQ. FT. IN AREA. THE GROUND FLOOR OPENINGS HAVE A MIN. 5.0 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR & PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.
- WINDOWS INDICATED AS EGRESS MUST BE MANUFACTURED TO CONFORM TO THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS PER N.F.P.A. 101 CHAPTER 24-2.
- ALL WINDOWS SHALL MEET EGRESS, LIGHT & VENTILATION REQUIREMENTS.
- OPERATING MECHANISMS ON SINGLE HUNG WINDOWS SHALL BE AT OR NEAR THE SILL.
- PROVIDE TEMPERED GLASS @ ALL OPENINGS WITHIN 24" OF ALL DOORS.
- PROVIDE THRESHOLD & WEATHERSTRIPPING @ ALL EXTERIOR DOORS.
- ALL FIXED GLASS SHALL MEET THE REQUIREMENTS OF THE F.B.C. 2020 CHAPTER 24.
- ALL DOOR & WINDOW BUCKS SHALL BE ANCHORED WITH 1-3/8" X .099 0 (BOSTITCH, HITACHI, HILTI, ATRO OR EQUAL) COIL NAILS SHOT PNEUMATICALLY @ 6" C/C STAGGERED. U.L.O. ALUMINUM SASH SHALL BE ANCHORED W/ 3/16" CORROSION RESISTANCE APPROVED CONCRETE SCREW ANCHORS W/ MIN. 1-1/4" EMBEDMENT INTO BLOCK/CONC. ANCHORAGE IS DESIGNED TO ACCEPT MAX. 3/16" FIXED GLASS & 3/16" BUTT FIXED GLASS. (MAX 48 SQ. FT. GLASS). 3/4" DOOR JAMBES SHALL BE FASTENED TO BUCKS W/ (2) #10 FINISH NAILS (SIDE BY SIDE) SPACED @ 18" C/C.
- ALL SLIDING GLASS DOORS & FRENCH DOORS SHALL BE TEMP. PER F.B.C. 2020 CHAPTER 24.
- FRAME TO BUCK TOLERANCE SHALL BE PER WINDOW MFR. BUCK TO OPENING TOLERANCE SHALL BE MAX. 1/4" TOTAL OPENING.
- ALL GARAGE DOOR BUCKS (HEADER & JAMB) SHALL BE MIN. 2 X 6 P.T. WOOD ATTACHED W/ 1/4" O TAP-CON @ 18" C/C STAGGERED (MIN. 1-3/4" EMBEDMENT) PROVIDE WASHER @ EACH ANCHOR. IF ANCHOR HAS WASHER INTEGRAL W/ HEAD PROVIDE ADDITIONAL WASHER.
- MANUFACTURERS METHODS OF ATTACHMENT SHALL PREVAIL WHEN SUBMITTED WITH COMPLETE INSTRUCTIONS.

FINISHES

- MIRRORS IN EXCESS OF 9 S.F. SHALL BE DIRECTLY SECURED TO SUPPORTS & SHALL NOT BE HUNG. NOTE: MIRROR INSTALLATION PER MFR. SPECIFICATIONS
- SHOWER COMPARTMENT WALLS TO 72" A.F.F. & BATHROOM FLOORS & BASE SHALL BE IMPERVIOUS MATERIALS PER F.B.C. 2020 RESIDENTIAL CHAPTER 3 SECTION 307.2. TILE SELECTION BY OWNER.
- ALL WATER CLOSETS & LAVATORIES SHALL HAVE 18" MIN. CLEARANCE IN FRONT OF FIXTURE FROM THE CENTER LINE OF FIXTURE & 15" TO ANY SIDE FIXTURE OR FINISHED SURFACE PER F.B.C. 2020 RESIDENTIAL CHAPTER 3 SECTION 307.2.
- ALL SHOWERS SHALL HAVE MIN. 900 SQ. IN. CLEAR FINISH W/ 30" MIN. DIT.
- PROVIDE TEMPERED GLASS @ ALL TUB & SHOWER ENCLOSURES.

BUILDING IDENTIFICATION

APPROVED NUMBERS OR ADDRESSES TO BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE AT LEAST (4) FOUR INCHES IN HEIGHTS FOR RESIDENTIAL BUILDINGS...

STRUCTURAL NOTES

CONCRETE

- ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS UNLESS NOTED OTHERWISE. CONCRETE PER ASTM C94. CONCRETE WORK PER ACI 301. LATEST EDITION. REFER TO FOUNDATION NOTES FOR FOUNDATION.
 - ALL REINFORCED STEEL TO BE ASTM A-615 GRADE 60, BENT, LAPPED AND PLACED IN ACCORDANCE WITH THESE DRAWINGS AND THE LATEST SPECIFICATIONS IN ACI 318.
- ### ENGINEERED UNIT MASONRY
- #### CONCRETE UNITS
- CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH ASTM C90-90 AND SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 1900 P.S.I.
 - PRE-CAST LINTELS SHOULD BE PRE-CAST/PRE-STRESSED CONCRETE UNITS MANUFACTURED BY CAST-CRETE (OR EQUAL). INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATION. SUBSTITUTION SHALL NOT BE PERMITTED W/O WRITTEN APPROVAL BY THE DESIGNER/ENGINEER END BEARING SHALL NOT BE LESS THAN FOUR (4) INCHES.

VERTICAL TYPE

- M OR S PER ASTM C 270-95 (CEMENT/LIME)
- GROUT SHALL CONFORM TO ASTM DESIGNATION C476-95 W/ A MIN. COMPRESSIVE STRENGTH OF 3000 P.S.I. @ 28 DAYS.
- THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
- ALL GROUT SHALL BE FLUID CONSISTENCY, WHICH MEANS THAT CONSISTENCY BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS. (8" X 1" SLUMP)
- THE USE OF ADMIXTURES SHALL NOT BE PERMITTED W/O WRITTEN CONSENT OF THE ENGINEER
- MAXIMUM AGGREGATE SIZE IS 3/8".

VERTICAL REINFORCING

- ASTM A 615-94 PER REINFORCING SECTION (GRADE 60).
- WHEN A FOUNDATION DOWNEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING GROUT FILL BOTH CELLS.
- VERTICAL REINFORCEMENT STEEL SHALL HAVE A MINIMUM CLEARANCE OF 1/2" FROM THE MASONRY.
- VERTICAL REINFORCEMENT SHALL BE AS SHOWN ON PLANS.

VERTICAL REINFORCEMENT EACH SIDE OF ANY OPENING SHALL BE CONTINUOUS TO THE BEAM AND SHALL HOOK AT TERMINATION. PRECAST LINTELS SHALL HAVE OPENINGS TO ALLOW REINFORCING BARS TO CONTINUE UNINTERRUPTED.

- ALL LAP SPLICES SHALL BE 48 BAR DIA.

HORIZONTAL REINFORCEMENT

- REINFORCEMENT BARS SHALL CONFORM TO ASTM A615-90 AND BE GRADE 60, (F_y = 60 KSI).
- HORIZONTAL JOINT REINFORCEMENT SHALL CONFORM TO ASTM A62. ALL WALLS SHALL BE REINFORCED WITH 9 GAUGE GALVANIZED LADDER TYPE DUR-O-WALL (OR EQUAL) PLACED IN EVERY OTHER HORIZONTAL JOINT. (16" VERTICAL). ALL MANUFACTURERS' RECOMMENDATION.
- ADDITIONAL HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SHOWN ON WALL SECTION (IF ANY IS REQUIRED).

INSPECTION

- ALL ENGINEERED UNIT MASONRY WORK SHALL REQUIRE INSPECTION BY SPECIAL INSPECTOR IN ACCORDANCE WITH ACI - 530 AND F.B.C. 2020.

WOOD

- ALL STRUCTURAL LUMBER SHALL BE #2 GRADE SOUTHERN PINE OR DOUGLAS FIR-LARCH OR BETTER WITH A MINIMUM ALLOWABLE EXTREME FIBER STRESS IN BENDING. F_b=2000 PSI. LUMBER USED FOR STUDS IN EXTERIOR WALLS ALL OTHER LUMBER SHALL BE OF STUD GRADE SOUTHERN PINE OR DOUGLAS FIR-LARCH OR BETTER W/ A MINIMUM ALLOWABLE EXTREME FIBER STRESS IN BENDING OF F_b=1000 PSI. DOUGLAS FIR-LARCH #2 OR BETTER SHALL MEET OR EXCEED THE REQUIREMENT FOR ALL PROPERTIES FOR SIZES USED AS INDICATED IN NDS TABLE 4.4, EXCEPT SOUTHERN PINE WHICH SHALL BE BASED ON TABLE 4.8.

- WOOD SHALL NOT BE PLACED IN DIRECT CONTACT WITH CONCRETE UNLESS THE WOOD HAS BEEN TREATED WITH AN APPROVED PRESERVATIVE METHOD, PER F.B.C. 2020 CHAPTER 23 SECTION 2316.1.4.1.

- ANCHORAGE SHALL BE CONFORM TO THE FOUNDATION TO THE ROOF AND SHALL SATISFY THE REQUIREMENTS OF THE F.B.C. 2020 CHAPTER 23 SECTION 2306. EACH ROOF JOIST, RAFTER, BEAM, TRUSS, COLUMN, AND STUD SHALL BE ANCHORED TO THE SUPPORT TO RESIST UPLIFT WITH AN APPROVED ANCHORING DEVICE.

- WOOD BEARING WALLS HAVE BEEN DESIGNED BY RATIONAL ANALYSIS.

- PRESSURE TREATED LUMBER USED FOR STRUCTURAL FRAMING MEMBERS ABOVE GROUND AND PROTECTED FROM LIQUID WATER, (LEDGERS, BLOCKING, PLATES, ETC.), SHALL BE "ADVANCE GUARD PTM BORATE PRESERVATIVE TREATED WOOD AS MANUFACTURED BY OSMOSE, INC. CONFORMING TO ANPA STANDARDS "P5" AND "C31". THE DELIVERY, HANDLING, STORAGE, AND INSTALLATION OF "ADVANCE GUARD PTM" SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, INSTRUCTIONS, BULLETINS, AND RECOMMENDATIONS.



BLDG. DESIGN DATA

CODES:
FLORIDA BUILDING CODE 2020 7TH EDITION
NFPA 101 LIFE SAFETY CODE 2018 EDITION
NFPA 72 NATIONAL ELECTRIC CODE 2017
ASCE 7-16

DESIGN CRITERIA	PROPOSED
OCCUPANCY GROUP	R3
AUTOMATIC SPRINKLER SYSTEM	NO
TYPE OF CONSTRUCTION	TYPE V B
L.S.C. OCCUP. CLASSIF. (NFPA 101)	SINGLE FAMILY RESIDENCE
L.S.C. HAZARD CLASSIF. (NFPA 101)	ORDINARY
NUMBER OF STORIES	2
MEANS OF EGRESS PER FLOOR	2
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
VELOCITY PRESSURE	34.2
INTERNAL PRESSURE COEFFICIENT	+ 15
MINIMUM SOIL PRESSURE, psf	2000
FLOOR LIVE LOADS, psf	40
FLOOR DEAD LOADS, psf	20
TOTAL MIN. FLOOR LOADS, psf	60
ROOF LIVE LOAD, psf	30
ROOF DEAD LOAD, psf	30
TOTAL MIN. ROOF LOADS, psf	60

BUILDING DESIGN DATA NOTES:
1. N/R = INDICATES NOT REQUIRED

SCOPE OF WORK

SCOPE OF WORK
NEW 3 STORY RESIDENCE

WALL SYMBOLS

	MASONRY CONSTRUCTION TYPICAL
	GROUT FILLED CELL SEE FOUNDATION PLAN
	POURED CONCRETE COLUMN
	NON-BEARING FRAME CONSTRUCTION
	BEARING FRAME CONSTRUCTION
	FRAME CONSTRUCTION EXTERIOR / INSULATED
	POTSHLF HEIGHT AS NOTED
	DROPPED SOFFIT @ 8'-0" UNLESS NOTED
	ARCHED OPENING SEE PLAN OR ELEV.
	DENOTES DOOR AND WINDOW SIZE (TYPICAL)

NOTE: COMPLIANCE WITH SEA TURTLE LIGHTING REGULATIONS FOUND IN SEC. 4-8 OF THE TOWN CODE WILL BE REQUIRED DURING BUILDING PERMIT PHASE

09/27/2024

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A-4	THIRD FLOOR PLAN
A-5	WEST ELEVATION
A-6	NORTH ELEVATION
A-7	EAST ELEVATION
A-8	SOUTH ELEVATION
A-9	RENDERINGS

STRUCTURAL

STRUCTURES INTERNATIONAL, INC.
7501 WILES ROAD 106B
CORAL SPRINGS FL 33067
954-227-1512

COASTAL ENGINEER

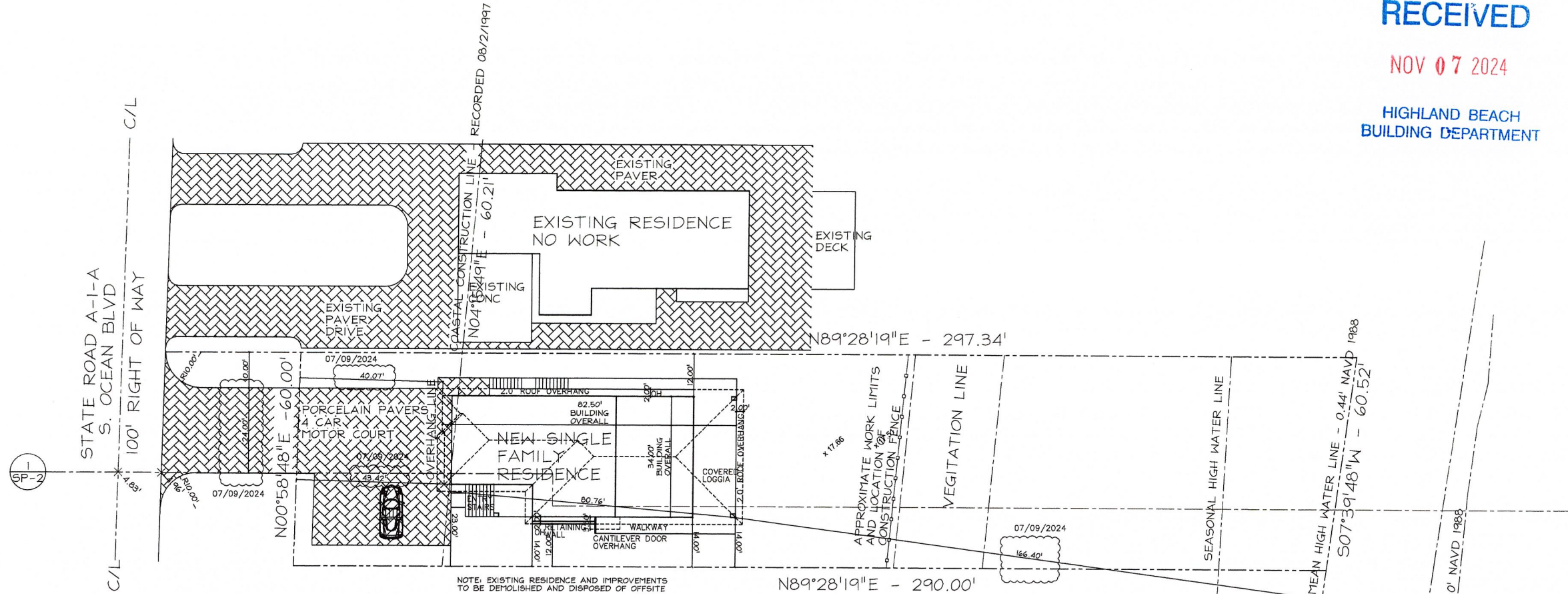
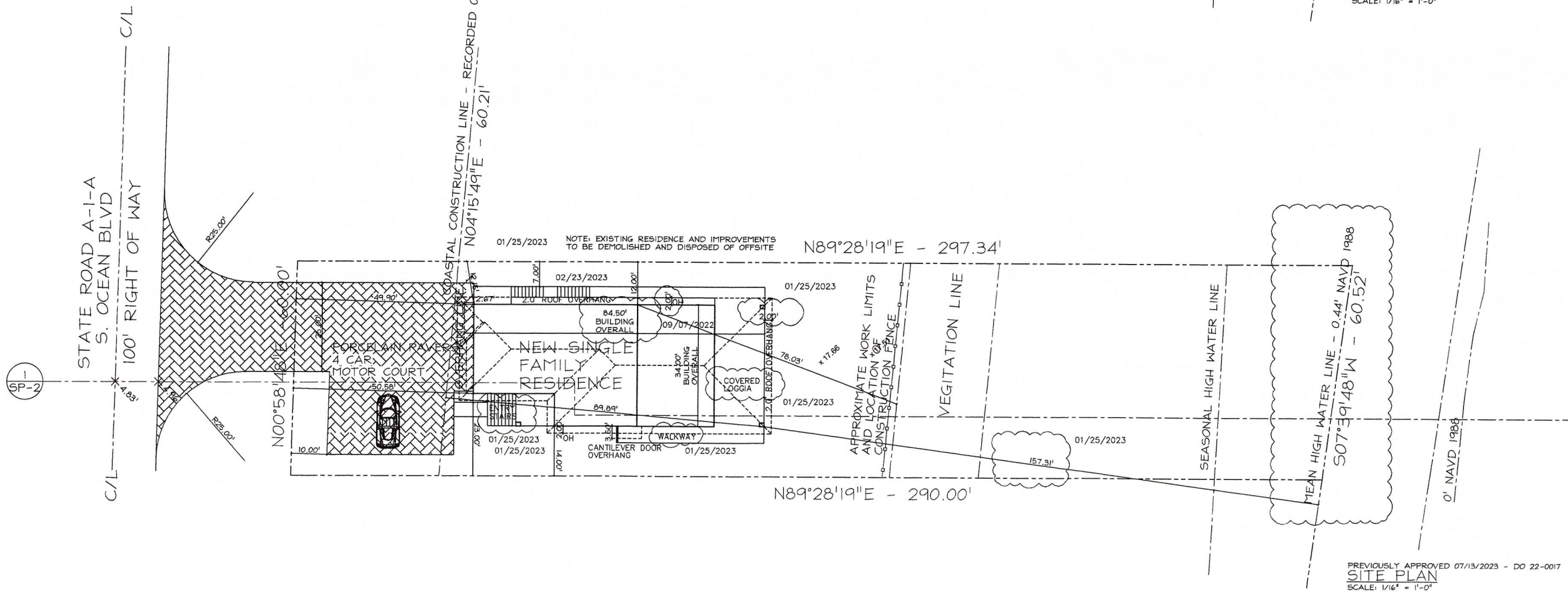
ISIMINGER & STUBBS ENGINEERING, INC
PO BOX 14702
NORTH PALM BEACH FL 33408
561-881-0003

CIVIL

CEC
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
561-847-0398

LANDSCAPE

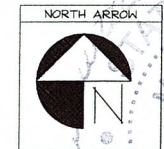
MIKE FLAUGH LANDSCAPE ARCHITECT
3744 SE OCEAN BLVD
STUART, FL 34996
772-419-0024



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HIGHLAND BEACH
BUILDING DEPARTMENT



PAUL CHARETTE A.I.A.
LICENSE AR0016279

MARK HUNLEY A.I.A.
LICENSE AR0099784

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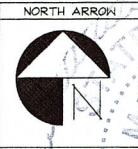
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NEW RESIDENCE	3521 S OCEAN BLVD	HIGHLAND BEACH, FL 33487	JOB NUMBER: 2021-055
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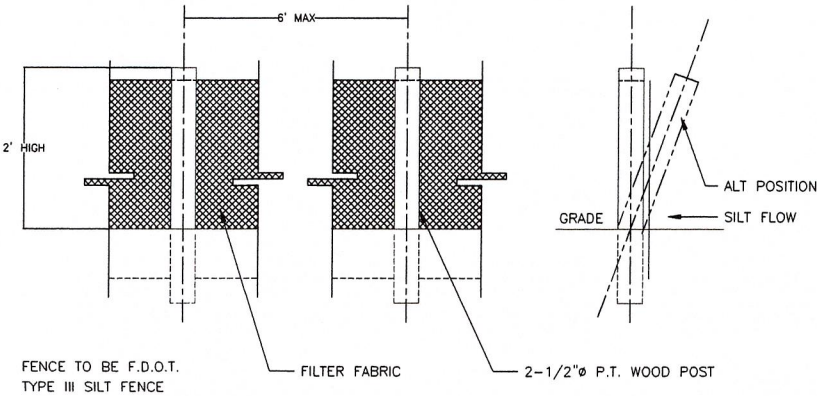
EROSION CONTROL NOTES

1. THE INTENT OF EROSION CONTROL MEASURES INDICATE GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONTRACTOR
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION OR FILLING EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES
3. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY OR AFTER EACH RAINFALL EVENT. REPAIRS OR REPLACEMENT SHALL BE MADE AS REQ.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQ. IF DEEMED BY ON SITE INSPECTION
6. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK
7. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED W/ CRUSHED ROCK
8. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT GROUND CONTROL IS ESTABLISHED. EXIST'G VEGETATION IS TO BE MAINTAINED AS FEASIBLE

PREV APPROVED 07/13/2023 - DO 22-0017

SITE AREA CALCULATIONS - PREV APP			SITE AREA CALCULATIONS - PROPOSED		
SITE AREA	17,613 SQ FT	100.00%	SITE AREA	17,613 SQ FT	100.00%
HOUSE AREA	1,074 SQ FT		HOUSE AREA	1,118 SQ FT	
GARAGE AREA	1,004 SQ FT		GARAGE AREA	982 SQ FT	
TOTAL AREA	2,078 SQ FT	11.80%	TOTAL AREA	2,100 SQ FT	11.92%
DRIVES/WALK	2,359 SQ FT		DRIVES/WALK	2,061 SQ FT	
REAR LOGGIA	1,046 SQ FT		REAR LOGGIA	824 SQ FT	
TOTAL NON-PERVIOUS	3,405 SQ FT	19.33%	TOTAL NON-PERVIOUS	2,885 SQ FT	16.38%
GREEN SPACE	12,130 SQ FT	68.87%	GREEN SPACE	12,628 SQ FT	71.70%

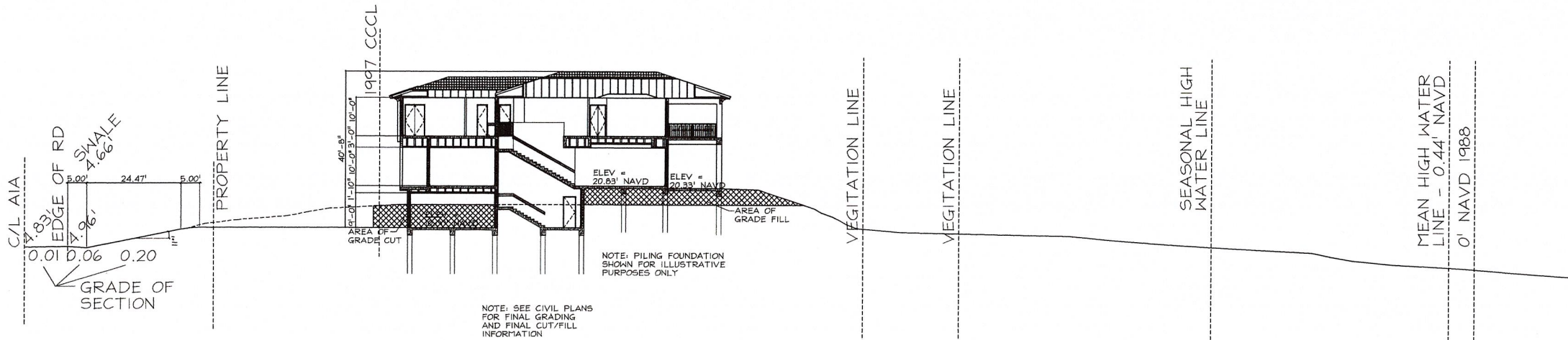
08/29/2024



SITE DATA
DEVELOPMENT STANDARDS MATRIX

	REQUIRED	PROPOSED	PREVIOUSLY APPROVED
FUTURE LAND USE	MULTI-FAMILY LOW-DENSITY		
ZONING	RML MULTI-FAMILY LOW-DENSITY		
FRONT SETBACK	40'-0"	40.07'	49.90'
SIDE INTERIOR SETBACK	12'-0"	NORTH 12.00' - SOUTH 14.00'	NORTH 12.00' - SOUTH 14.00'
REAR SETBACK	20'	166.40'	157.31'
HEIGHT	35'-0"	26'-8"	26'-8"
MINIMUM LOT WIDTH	60'-0"	60'-0"	60'-0"
DEPTH OF SITE		303.47'	303.47'
FRONTAGE		60'-0"	60'-0"
MINIMUM LOT AREA	8,000 SQ FT (0.184 ACRES)	17,613 SQ FT (0.40 ACRES)	17,613 SQ FT (0.40 ACRES)
PERVIOUS AREA	-	12,628 SQ FT / 17,613 SQ FT = 71.70%	12,130 SQ FT / 17,613 SQ FT = 68.87%
IMPERVIOUS AREA	-	4,985 SQ FT / 17,613 SQ FT = 28.30%	5,506 SQ FT / 17,613 SQ FT = 31.13%
OPEN SPACE	-	12,628 SQ FT / 17,613 SQ FT = 71.70%	12,130 SQ FT / 17,613 SQ FT = 68.87%
LOT COVERAGE	30%	11.92%	11.80%
PARKING	2	7	7

07/09/2024
08/29/2024



1 SITE SECTION
SP-2 SCALE: 1/16" = 1'-0"

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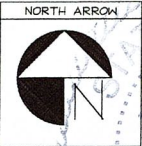
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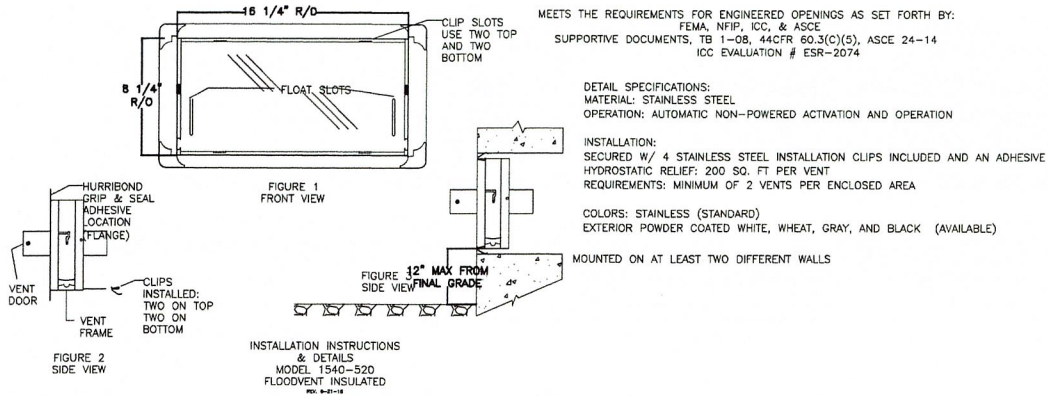
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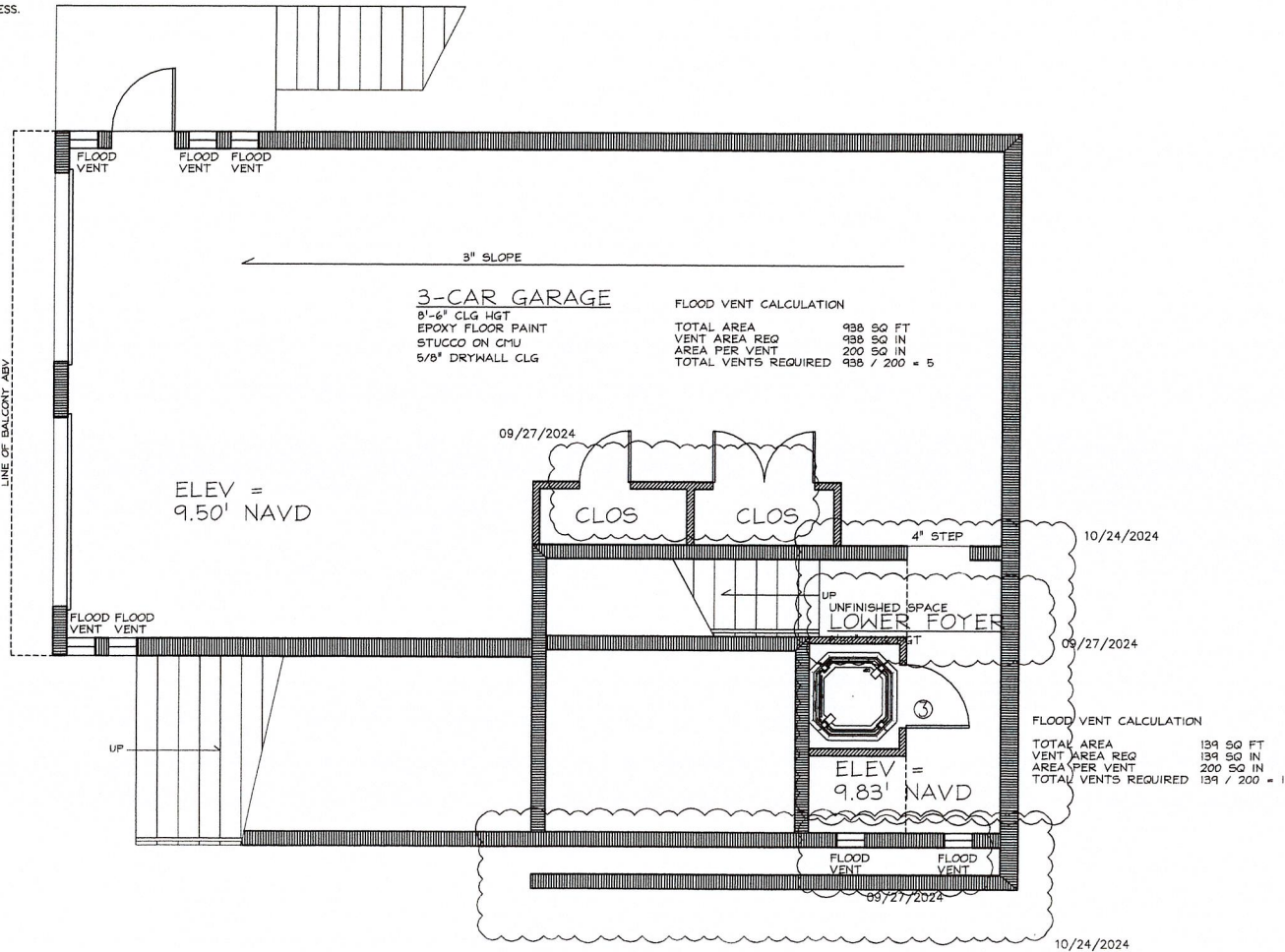
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A-1



INSTALLATION INSTRUCTIONS

1. REMOVE VENT DOOR FROM VENT FRAME. (TURN UPSIDE DOWN, ROTATE BOTTOM OF DOOR OUTWARD AND SLIDE OUT)
2. PREPARE A CLEAN 16.25\"/>
3. APPLY A BEAD OF HURRIBOND GRIP & SEAL OR EQUIVALENT ADHESIVE AROUND THE BACK OF THE FLANGE ON THE VENT FRAME. (FIG. 2)
4. INSERT INSTALLATION CLIPS INTO THE TWO SLOTS ON THE TOP AND TWO SLOTS ON THE BOTTOM OF THE FRAME.
5. THE SPRING ARM OF THE CLIPS SHOULD BE ON THE OUTSIDE OF THE VENT FRAME. COMPRESS THE BOTTOM TWO CLIPS AND BEGIN SLIPPING THE FRAME INTO THE OPENING. ENSURE THAT THE BOTTOM CLIPS ARE IN THE OPENING BEFORE ALLOW THEM TO DECOMPRESS.
6. WITH THE FRAME NOW IN THE OPENING, AND THE BOTTOM SPRINGS IN PLACE, COMPRESS THE TOP SPRINGS AND PUSH THE VENT FRAME INTO THE OPENING COMPLETELY UNTIL THE FRAME IS FLUSH WITH THE WALL.
7. RE-CHECK THAT FRAME IS SQUARE AND SLOTS ARE CLEAR OF DEBRIS, AND CAULK.
8. INSTALL THE DOOR INTO FRAME BY GRASPING THE BOTTOM OF DOOR (WITH FLOAT PINS DOWN) AND FRONT (SMALL SCREEN IN FRONT). SLIDE DOOR INTO FRAME AND ROTATE UNTIL IT IS LATCHED.
9. INSERT THE TOP STRAPS INTO THE TOP TWO STRAP SLOTS ABOUT TWO CLICKS.
10. TO OPEN THE DOOR INSERT TWO CREDIT CARDS INTO THE FLOAT SLOTS AS SHOWN IN THE DIAGRAM. THIS WILL UNLATCH THE DOOR FOR REMOVAL AND CLEANING.



BASEMENT FLOOR PLAN
SCALE: 1/4\"/>

INTERIOR DOOR SCHEDULE -GROUND FLOOR

DOOR						SLAB	HARDWARE		
MARK	ROOM	SIZE	SWING	WIDTH	HEIGHT	FINISH	HANDLES	FINISH	FUNCTION
①	1/2 BATH RM	2880 FLUSH	RT	2'-8"	8'-0"	WHT	LEVER	SS	PRIVACY
②	CLOSET	2-2880 FLUSH	DBL	2'-8"	8'-0"	WHT	LEVER	SS	CLOSET
③	LOWER FOYER	3080 FLUSH 1 HR RATED	RT	3'-0"	8'-0"	WHT	LEVER	SS	DEADBOLT CLOSER

DOOR/WINDOW SCHEDULE- GROUND FLR

Rt NAME	MARK	SIZE	MO	NOA	ALLOWABLE WINDLOADS	REQUIRED WINDLOADS	ZONE	COMMENTS
GARAGE	W1	(2) CLOPAY GARAGE DR 9080	108" X 96"			+41.1/-51.5	ZONE 5	STAINED TBS
GARAGE	W2	3080 FR DR RT SWING	36" X 96"	21-09/17.03	+100.0/-110.0	+43.2/-55.7	ZONE 5	FROSTED GL
FRONT DOOR	H3	2 30120 CUSTOM FR DR	36" X 144"			+42.3/-53.9	ZONE 5	MAHOGANY/ GLASS

GARAGE NOTES

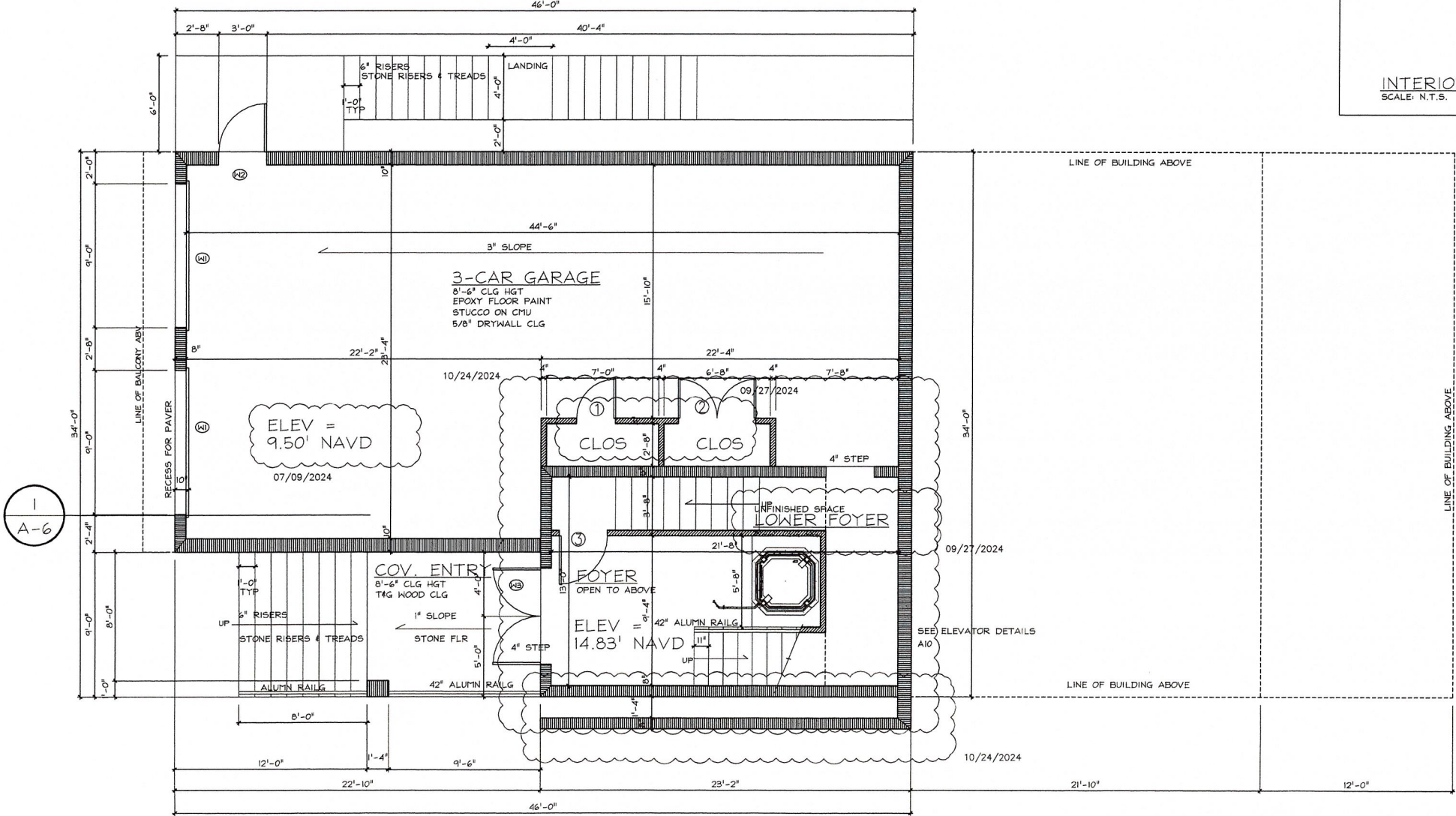
- GARAGE DEMISING WALL AND ALL BEARING WALL SHALL BE MIN. ONE HR. RATED CONSTRUCTION 5/8" TYPE "X" GYP. BOTH SIDES OF STUDS R II INSULATION
- CEILING CONSTRUCTION SHALL BE ONE LAYER 5/8" TYPE "X" ON 1 X 3 FURRING @ 16" OC ON PRE ENG. WOOD TRUSSES OR STL TRUSSES
- PROVIDE TREATED AND FIRESTOP 1 X 2 FURRING HORZ. @ CTG INTSECTION PER FBC
- PROVIDE FIRE RESISTANT ATTIC ACCESS W/ 2 LAYERS 5/8" TYPE "X" GYP.
- PROVIDE FLOOD VENTS @ FLOOR LEVEL
- THRU GARAGE DOOR, PROVIDE CLOPEY OR EQUAL APPROVED CHD W/ OPENER, SAFETY STOP, OUTDOOR KEYPAD AND 2 REMOTES
- PROVIDE R-30 INSULATION OVER GARAGE CEILING
- STUCCO WALLS INTERIOR OF GARAGE

DRYWALL NOTES

NOTE ALL DRYWALL TO BE 5/8" THICK
ALL DRYWALL TO BE SMOOTH FINISHES

AREA CALCULATIONS	PREV APP		PROPOSED	
	PREV APP	PROPOSED	PREV APP	PROPOSED
1ST FLOOR A/C	355 SQ FT	376 SQ FT	1,798 SQ FT	1,851 SQ FT
2ND FLOOR A/C	1,798 SQ FT	1,851 SQ FT	1,844 SQ FT	1,825 SQ FT
3RD FLOOR A/C	3,997 SQ FT	4,052 SQ FT	1,004 SQ FT	982 SQ FT
TOTAL A/C	5,001 SQ FT	5,034 SQ FT	5,001 SQ FT	5,034 SQ FT
GARAGE	1,004 SQ FT	982 SQ FT	5,001 SQ FT	5,034 SQ FT
TOTAL ENCLOSED	5,001 SQ FT	5,034 SQ FT	5,001 SQ FT	5,034 SQ FT
1ST FLOOR CVR ENTRY	98 SQ FT	98 SQ FT	175 SQ FT	175 SQ FT
2ND FLOOR BALCONY	175 SQ FT	175 SQ FT	476 SQ FT	408 SQ FT
2ND FLOOR LOGGIA	476 SQ FT	408 SQ FT	73 SQ FT	73 SQ FT
3RD FLOOR FRONT BALCONY	476 SQ FT	408 SQ FT	476 SQ FT	408 SQ FT
3RD FLOOR REAR BALCONY	476 SQ FT	408 SQ FT	6,299 SQ FT	6,196 SQ FT
GRAND TOTAL	6,299 SQ FT	6,196 SQ FT		

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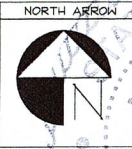


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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HIGHLAND BEACH
BUILDING DEPARTMENT



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MARK HUNLEY A.I.A.
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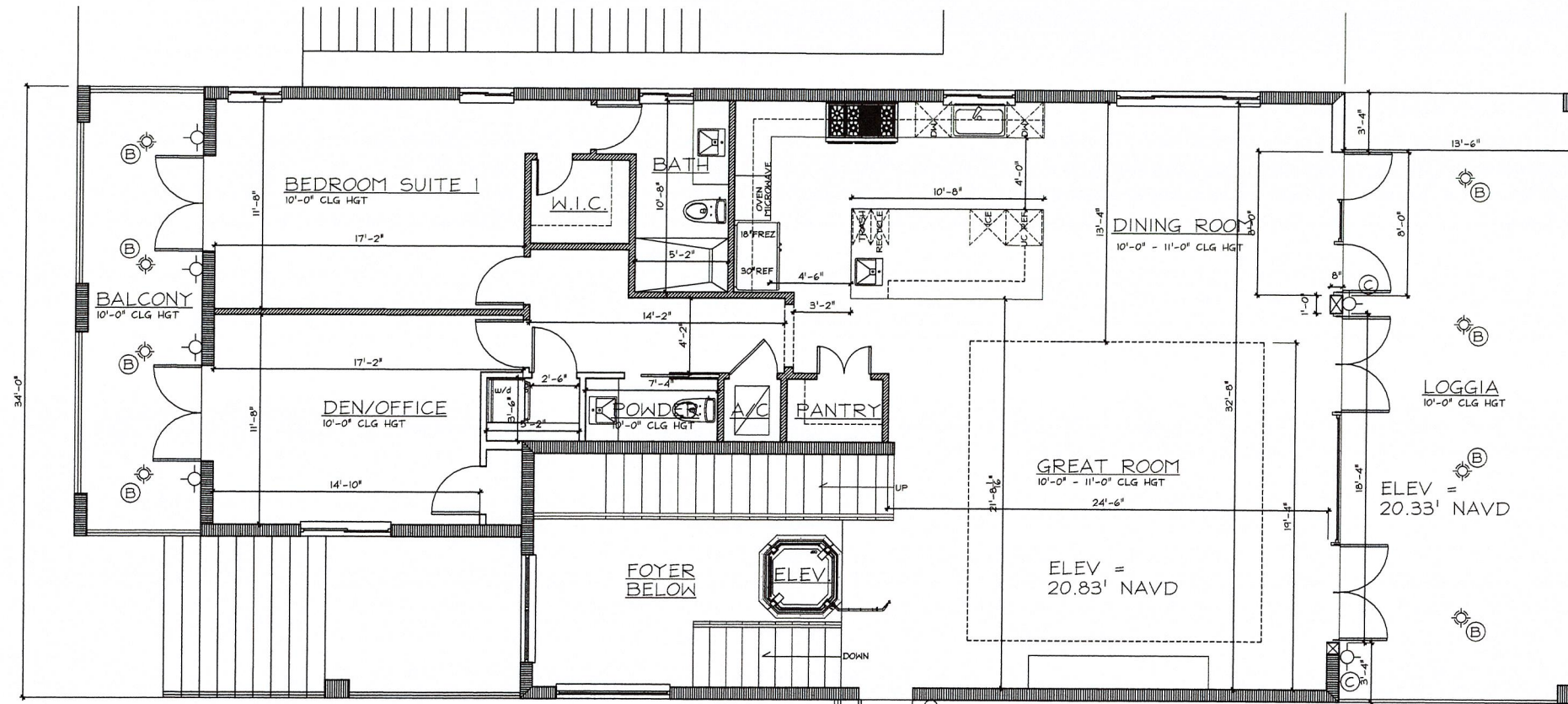
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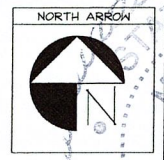
NEW RESIDENCE
3521 S OCEAN BLVD
HIGHLAND BEACH, FL 33487
JOB NUMBER: 2021-055

STARTED: 10/18/2021
PRELIM: 01/18/2022
PRELIM 2: 02/24/2022
P AND Z: 07/09/2024
P AND Z: 08/29/2024
P AND Z: 09/27/2024
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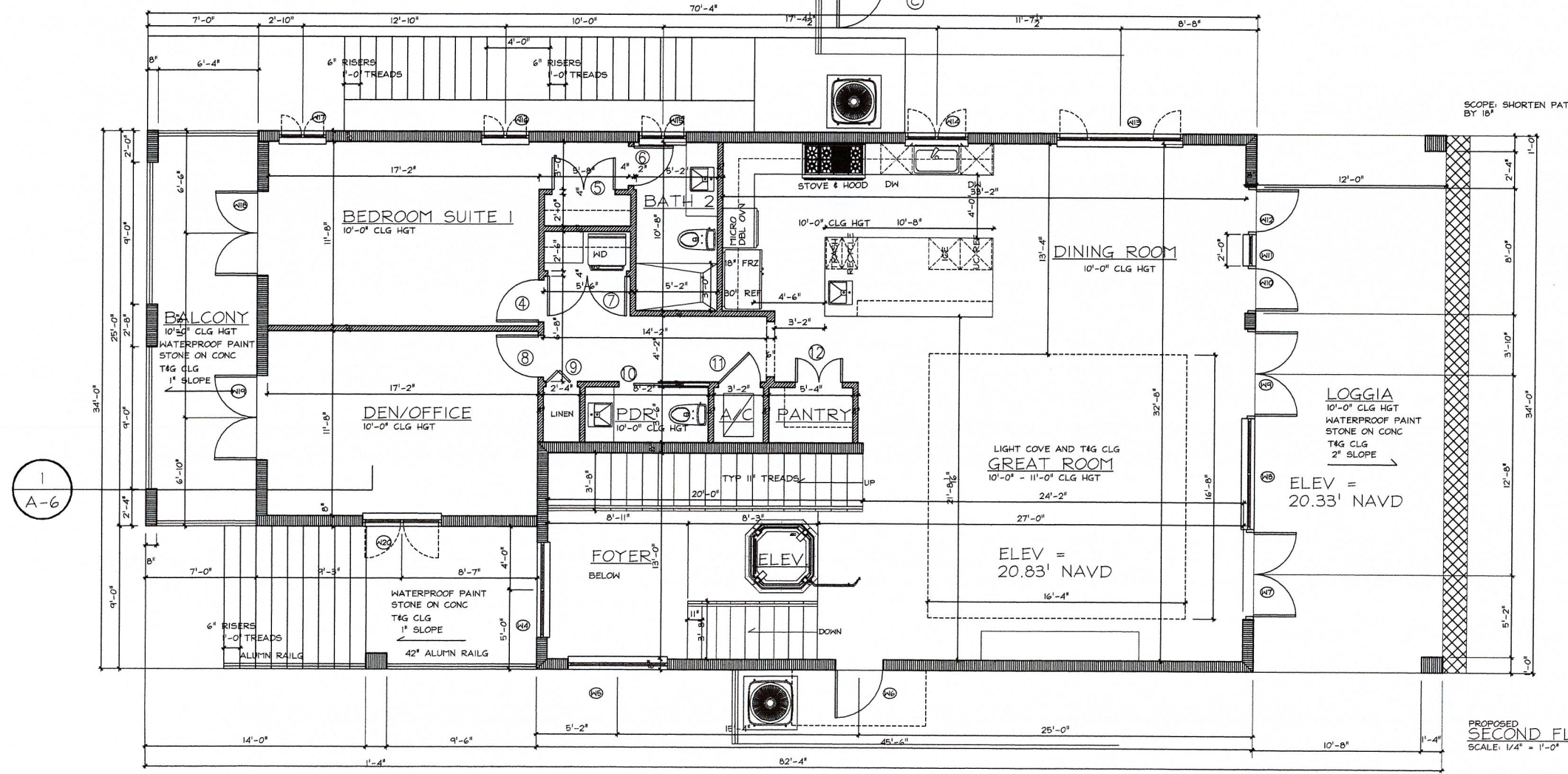
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 mark@charlettearch.com
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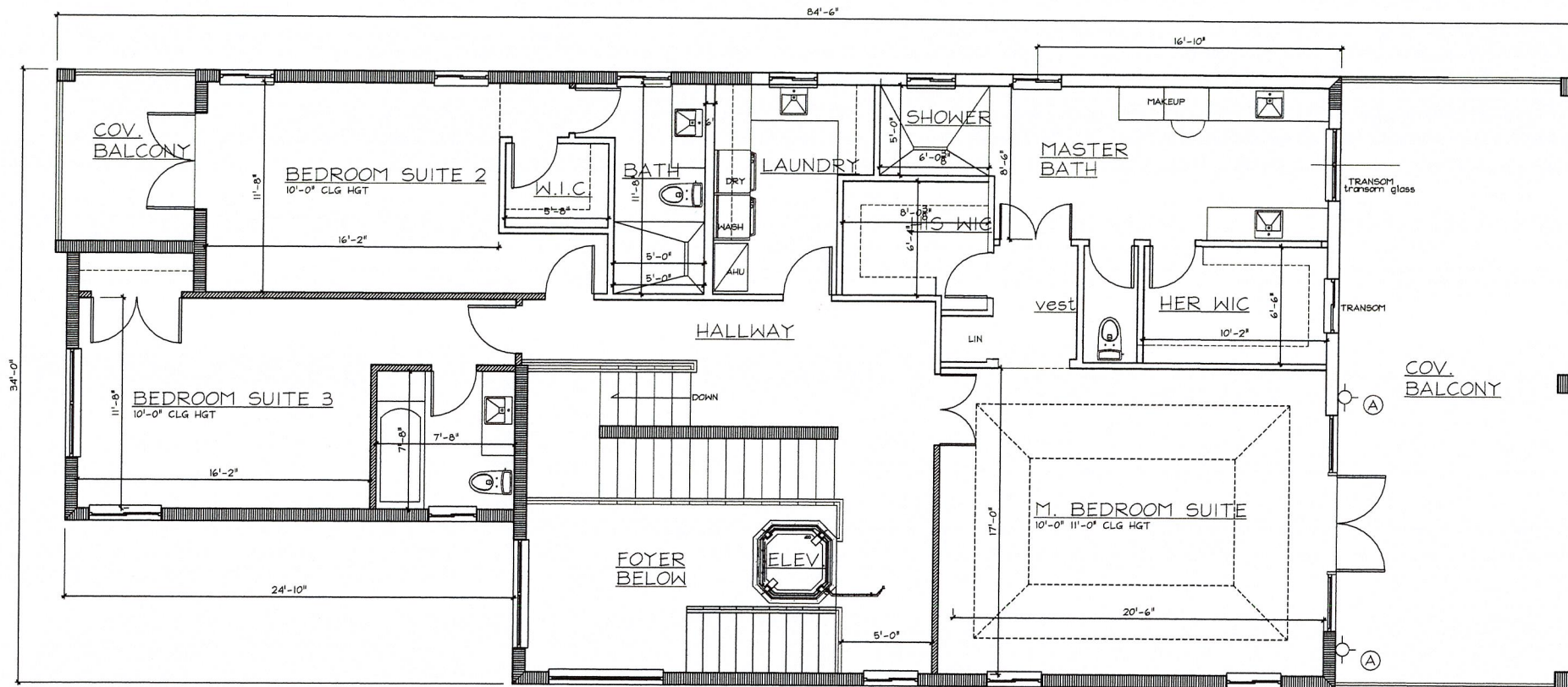
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 BOCA RATON, FL 33487

NEW RESIDENCE
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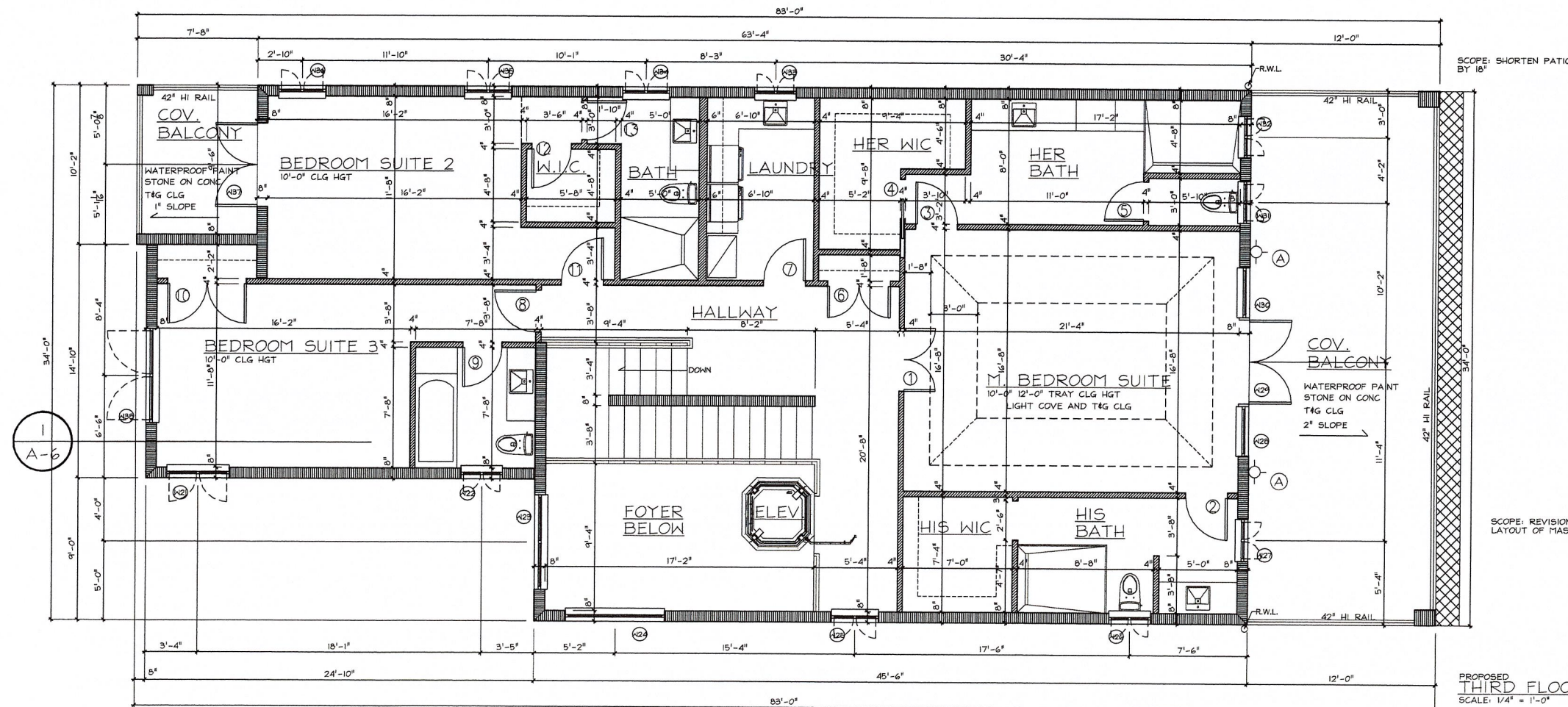
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 BLDG DEPT:
 AS-BUILTS:
 ISSUED: 10/30/2024

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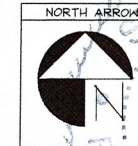




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THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



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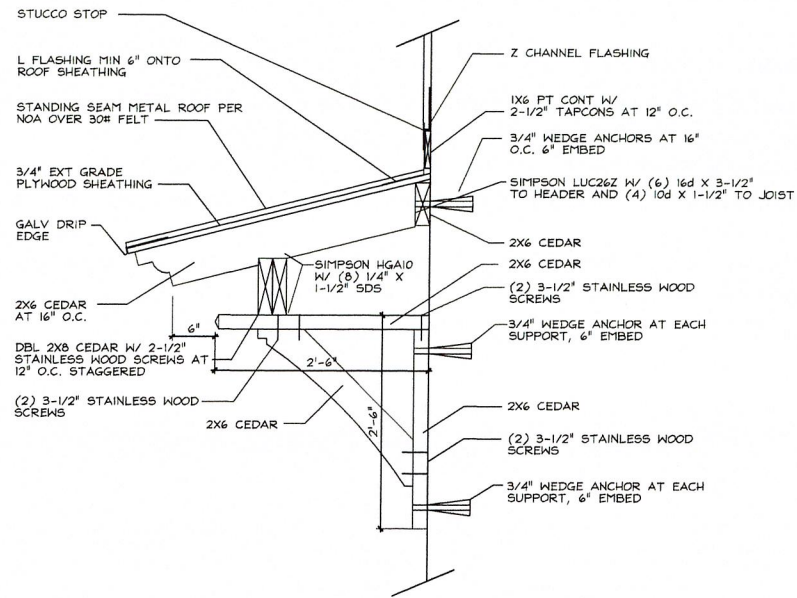
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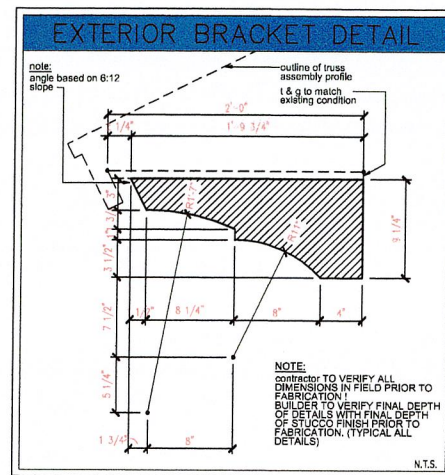
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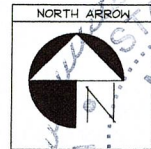


EYEBROW ROOF DETAIL
SCALE: 1" = 1'-0"



ELEV. FINISH SCHEDULE

MARK	FINISH	COMMENTS
(A)	GALV ALUM ALUMIN ROOF	
(B)	SMOOTH STUCCO	
(C)	STUCCO V GROVE	
(D)	ALUMINUM RAILING	SEE DETAIL
(E)	CEDAR FASCIA W ALUMIN DRIP	
(F)	DRIP CAP	
(G)	1/4" DIA SONO TUBE CONG COL	
(H)	STONE TILE TBD	
(I)	STEEL STEEL COLUMNS	
(J)	GLASS OHD	



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WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED
WEST ELEVATION
SCALE: 1/4" = 1'-0"

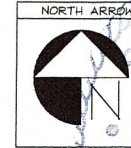
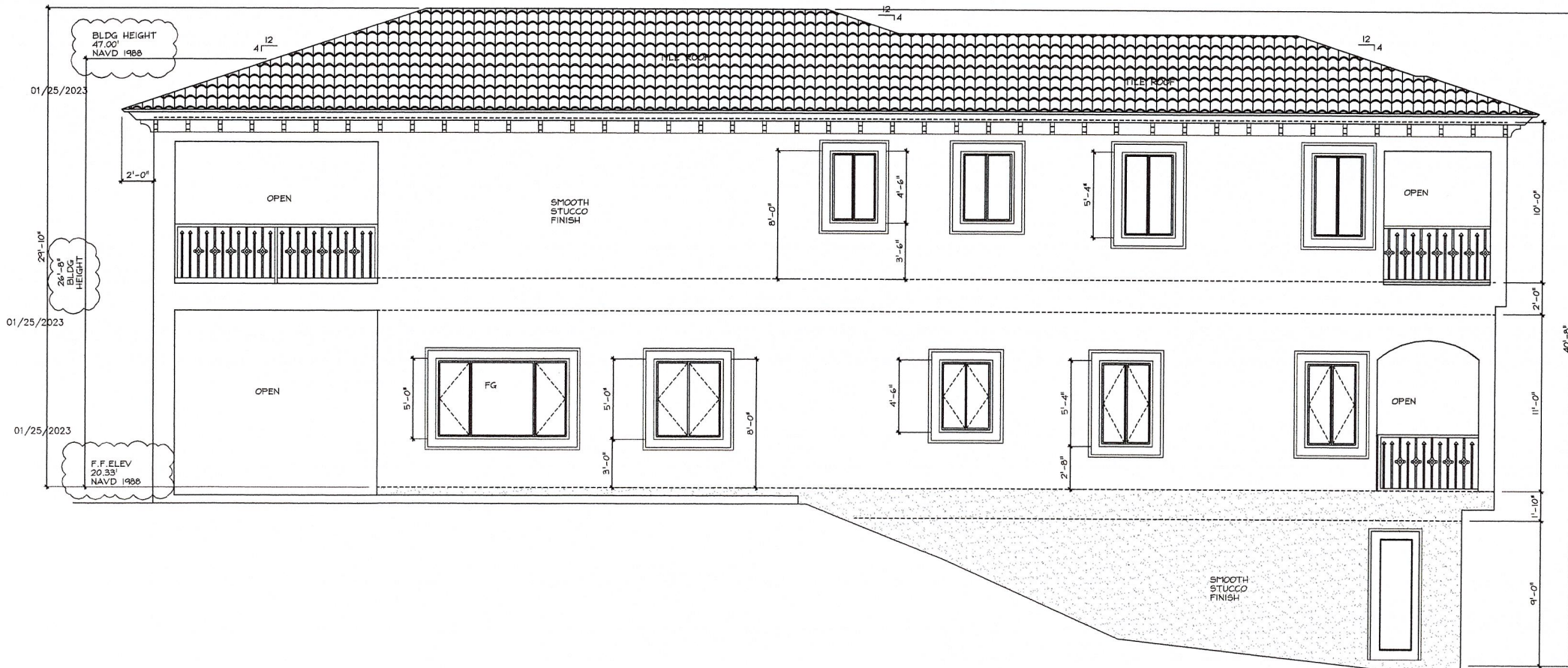
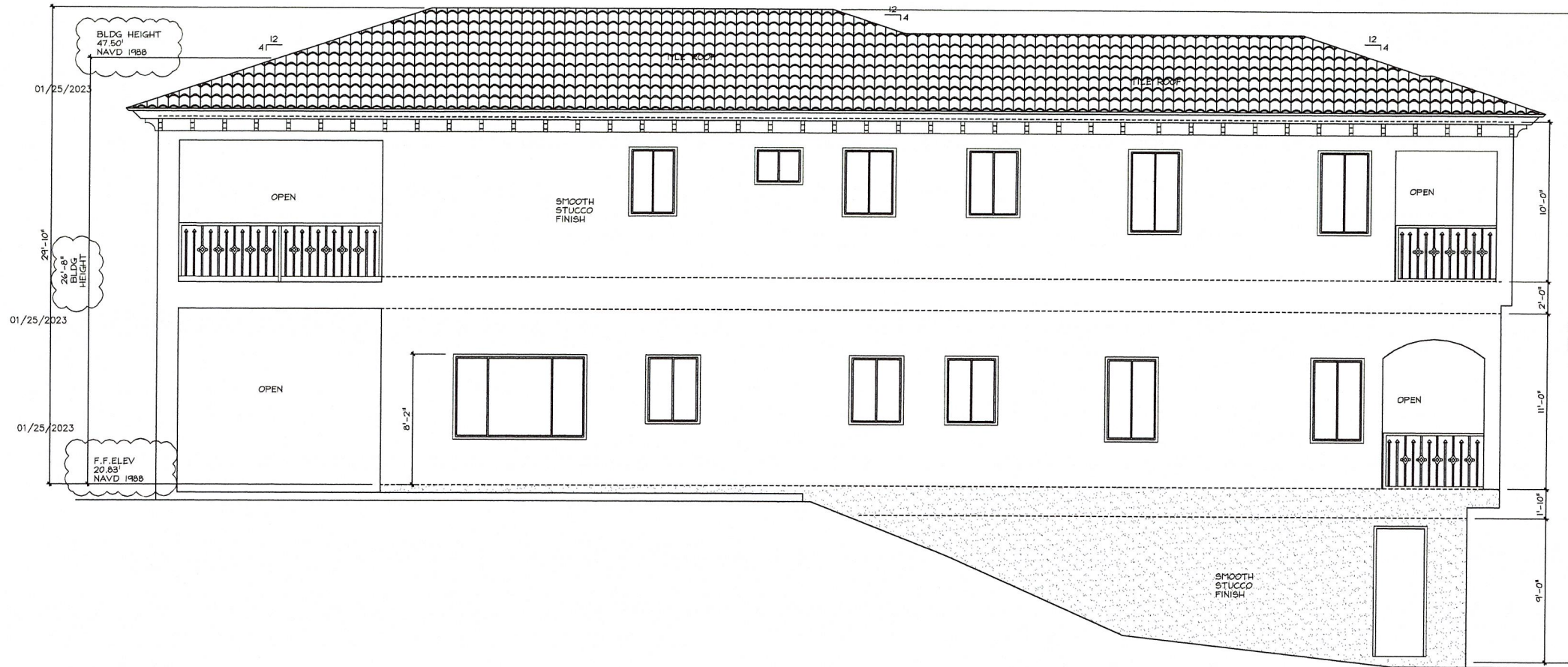
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NEW RESIDENCE
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HIGHLAND BEACH, FL 33487
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P AND Z: 10/24/2024
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AS-BUILTS:
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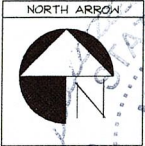
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BOCA RATON, FL 33487

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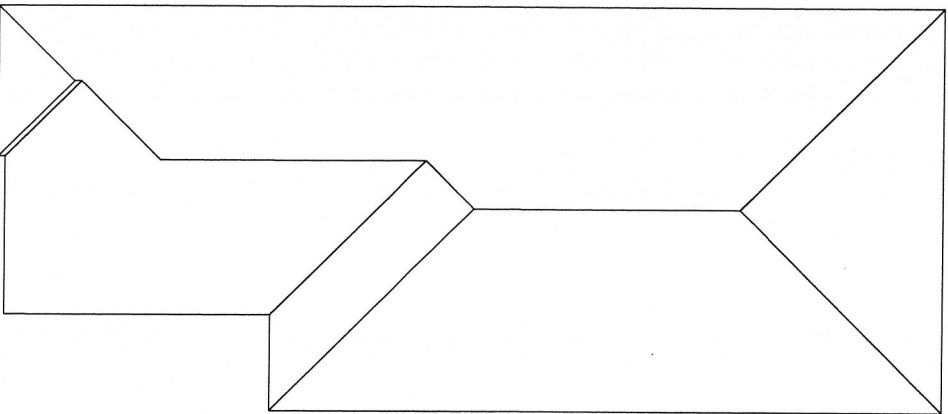
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ROOF PLAN
SCALE: 1/8" = 1'-0"



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EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED
EAST ELEVATION
SCALE: 1/4" = 1'-0"

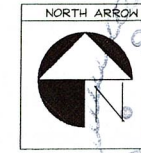
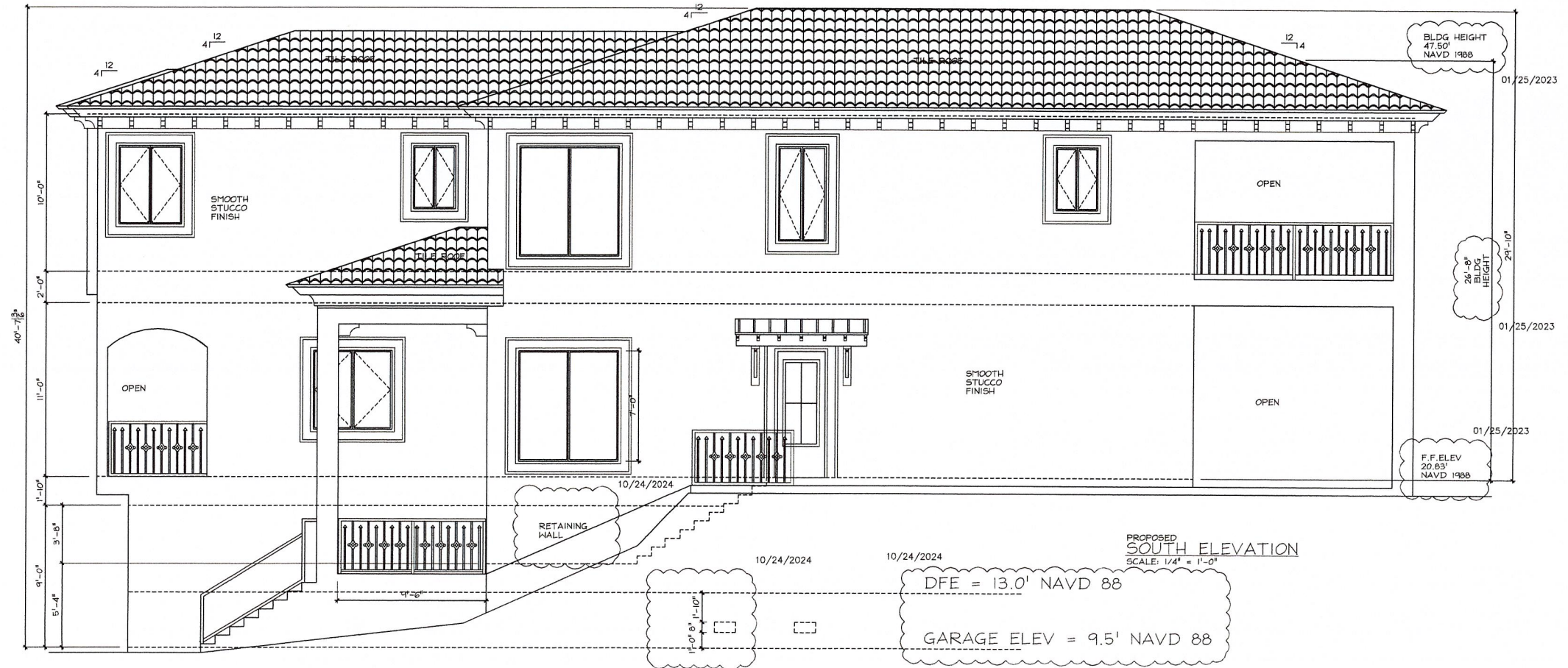
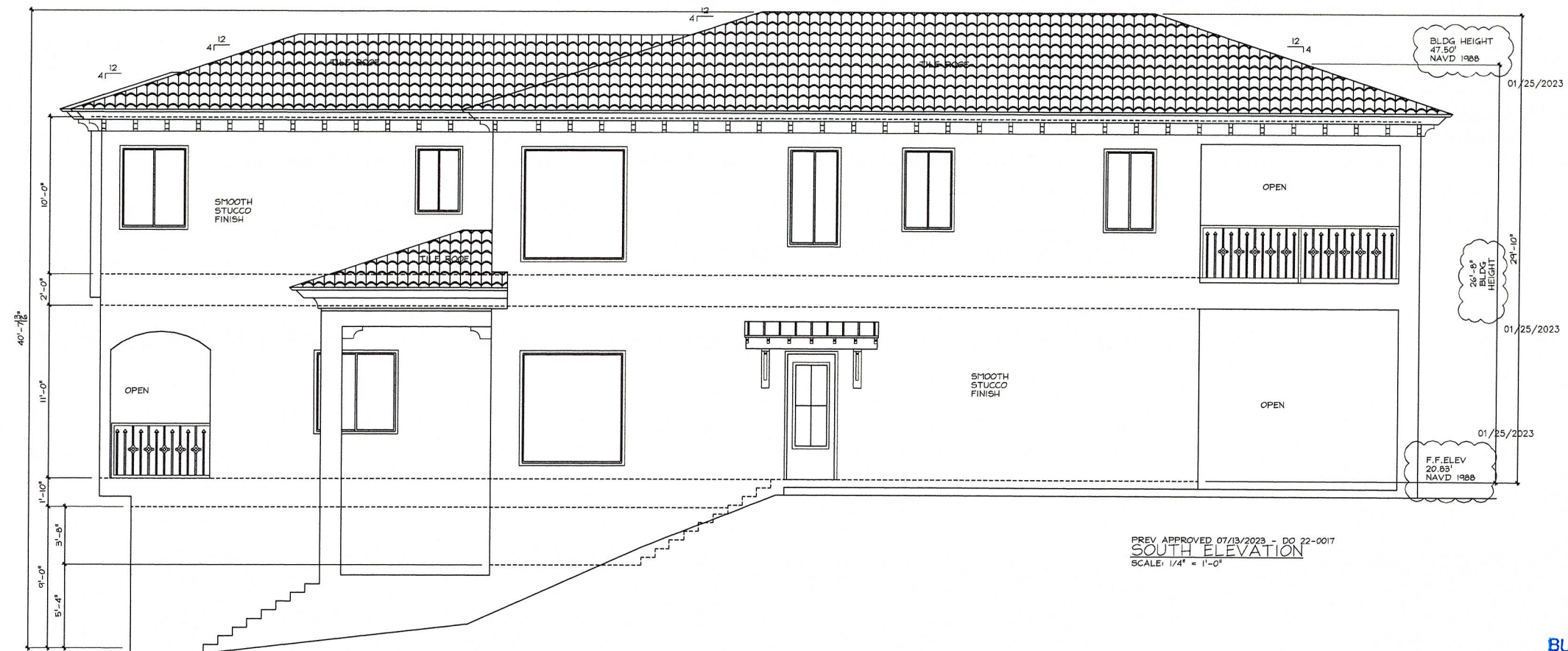
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CONST DOCS:	
BLDG DEPT:	
AS-BUILTS:	
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FRONT RENDERING
FOR ILLUSTRATIVE PURPOSES ONLY



REAR RENDERING
FOR ILLUSTRATIVE PURPOSES ONLY

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BUILDING DEPARTMENT

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JOB NUMBER: 2021-055

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PRELIM FINAL:
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AS-BUILTS:
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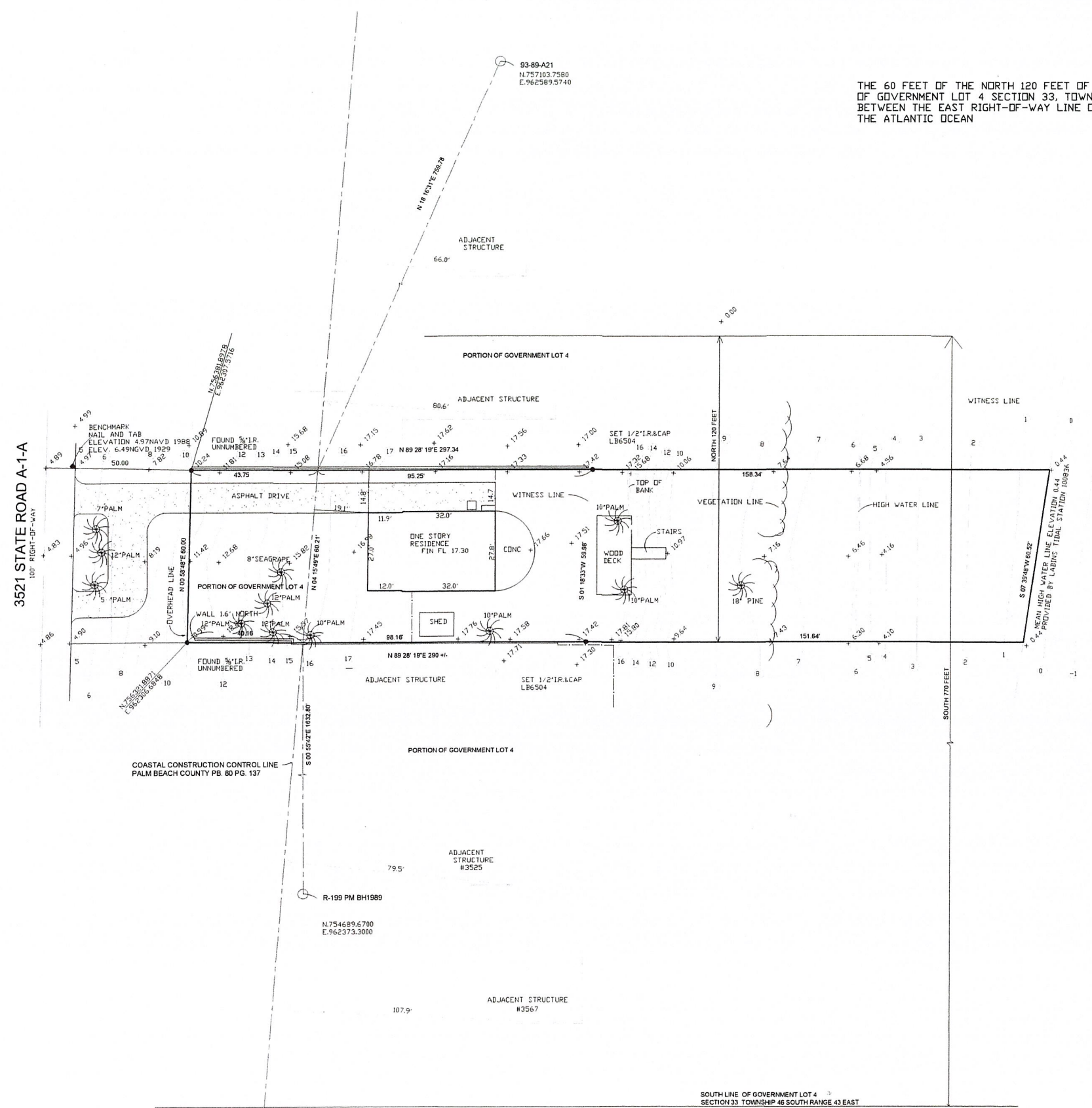
A-9

THE 60 FEET OF THE NORTH 120 FEET OF THE SOUTH 770 FEET
OF GOVERNMENT LOT 4 SECTION 33, TOWNSHIP 46 SOUTH RANGE 43 EAST
BETWEEN THE EAST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A AND
THE ATLANTIC OCEAN

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HIGHLAND BEACH
BUILDING DEPARTMENT



PROPERTY CONTAINS 17,613 SQUARE FEET 0.40 ACRES
PROPERTY AREA WAS TAKEN TO MEAN HIGH WATER LINE
AS SHOWN HEREON

- 1) BEARINGS SHOWN HEREON ARE ASSUMED
- 2) NO ABSTRACT OR TITLE SEARCH WAS PREFORMED TO DISCOVER THE EXISTENCE OF ANY EASEMENTS OR RESTRICTIONS OF RECORD
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988 ALL ELEVATION ARE RELATIVE TO BENCHMARK USGS AND COUNTY BENCH Z-312 ELEV. 3.71
- 4) NO BELVD GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.

B.R.B. = official record book	TRAN. = transformer pad	P.B. = plot book	P. = plat	P.G. = page
C.B.S. = concrete block structure	F.P.A.L. = Florida power and light	TYP. = typical	B = power pole	I.R. = iron rod
P.C.C. = point of compound curve	CH = concrete monument	R/W = right-of-way	H = MEASURED	R = radius
P.C.P. = permanent control point	P.R.C. = point of reverse	Δ = central angle	IP = IRON PIPE	D = deed
P.D.C. = point of commencement	P.L. = point of intersection	Q = bearing basis line	RP = radius point	D/S = offset
P.D.B. = point of beginning	P.T. = point of tangency	ASP = asphalt	L = ARC LENGTH	CONE = concrete
D/E = drainage easement	U/E = utility easement	CHATT = chattahoochee	CL = centerline	ESMT. = easement
C.M.P. = corrugated metal pipe	W.P.F. = wood privacy fence	CLF = chain link fence	ALUM. = aluminum	CALC. = calculated
R.L.S. = registered land surveyor	ELEV = elevation	P.R.N. = permanent reference monument		
L.B. = licensed business				



4
NORTH
NOT TO SCALE
NORTH
VICINITY
MAP

Renner Burgess LAND SURVEYING 801 S.E. 6th Ave., Suite 203 Delray Beach, FL 33483 Phone 61-243-4624 Fax 243-4869		CERTIFIED TO: 3518 SO OCEAN BLVD LLC	
AUTHORIZATION NUMBER LB6504 I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER SJ-17-050-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES. HARRY A. BURGESS, PLS 5089		FLOOD ZONE: VE ELEV 10 MAP NO: 125111 0987 F MAP DATE: 10-5-2017 DATE: 5-22-2024 JOB NO: 3-18-077A REVISED	
		NOT VALID UNLESS SEALED WITH EMBOSSED SURVEYOR'S SEAL	

HIGHLAND BEACH
BUILDING DEPARTMENT



LOCATION MAP
N.T.S.

EXISTING ELEVATION PER
RENNER BURGESS LAND SURVEYING
(NAVD)

10.00

PROPOSED ELEVATION (NAVD)

FLOW DIRECTION.

21.50

CONTOUR (PROPOSED)

CIVIL PLANS FOR:
PROPOSED RESIDENCE
3521 S. OCEAN BLVD
HIGHLAND BEACH, FLORIDA

No:	Revisions:	Date:
1	PER TOWN COMMENTS	08-16-2024


Project #:	22-074
Issue Date:	08/09/22
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

Andre M. Webster, P.E.
Florida PE # 87358

DRAINAGE & GRADING
PLAN

SHEET NUMBER:

C-1



CIVIL ENGINEERING CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION #33369
 8195 WHITE ROCK CIRCLE
 BOYNTON BEACH, FL 33436
 Phone: 561-847-0398

www.civil.com

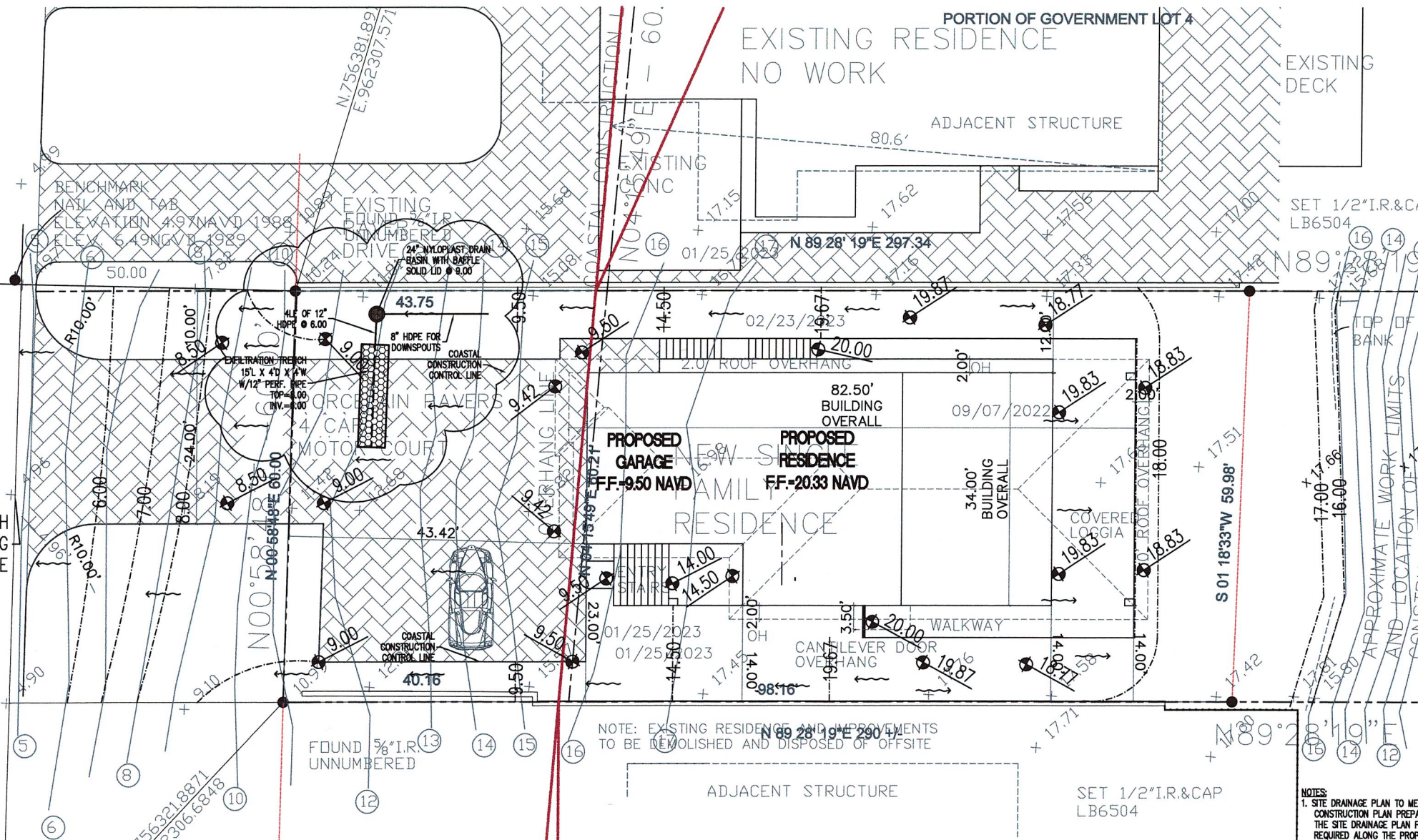
andre@cec-fl.com

www.cec-fl.com

3521 STATE ROAD 1-A - A
100' RIGHT OF WAY OCEAN BLVD

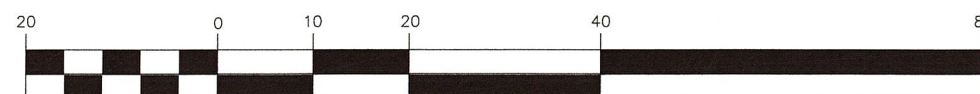
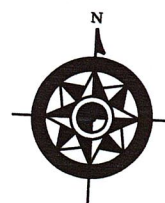
100' RIGHT OF 89WAY

☒ MATCH
EXISTING
GRADE



NOTES:

1. SITE DRAINAGE PLAN TO MEET CITY OF HIGHLAND BEACH STORMWATER REQUIREMENTS. DURING DETAILED CONSTRUCTION PLAN PREPARATION, ADDITIONAL DRAINAGE IMPROVEMENTS MAY BE INCORPORATED INTO THE SITE DRAINAGE PLAN FROM THAT SHOWN. IF NECESSARY, STEM WALLS OR OTHER ITEMS MAY BE REQUIRED ALONG THE PROPERTY LINES TO PREVENT RUNOFF ONTO ADJACENT PROPERTIES.
2. ALL PORTIONS OF EXFILTRATION TRENCHES ADJACENT TO PLANT MATERIAL HAVING AN INVASIVE ROOT SYSTEM SHALL BE PROTECTED WITH A ROOT BARRIER.



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



Know what's below.
Call before you dig.

CIVIL ENGINEERING CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-947-0398
andre@cec-fl.com
www.cec-fl.com

No.	Revisions:	Date:
1	PER TOWN COMMENTS	08-16-2024

CIVIL PLANS FOR:
PROPOSED RESIDENCE
3521 S. OCEAN BLVD
HIGHLAND BEACH, FLORIDA

Project #:	22-074
Issue Date:	08/09/22
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

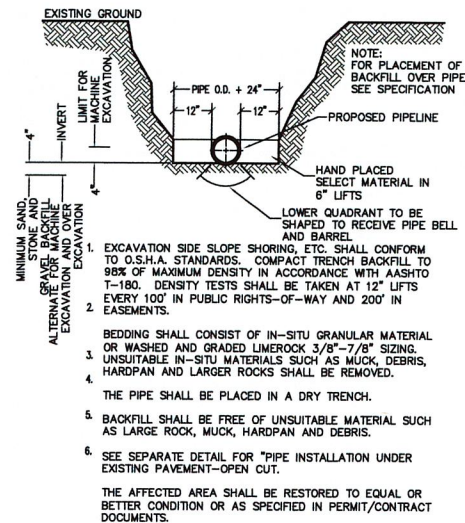
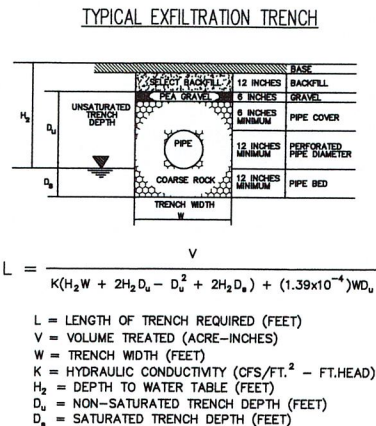
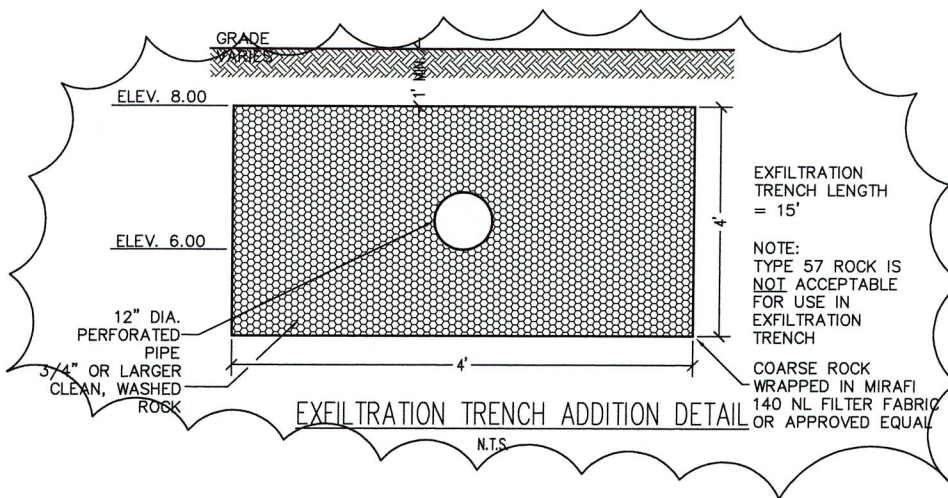
Andre M. Webster
11/6/24

Andre M. Webster, P.E.
Florida PE # 87358

SHEET TITLE
DRAINAGE & GRADING
DETAILS

SHEET NUMBER:

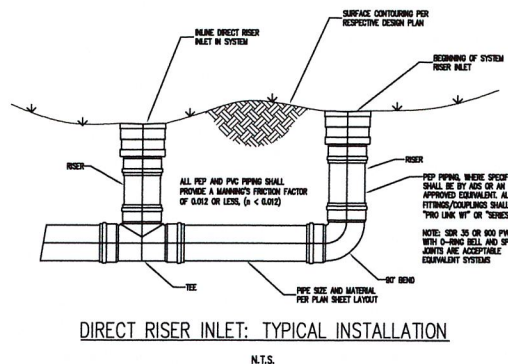
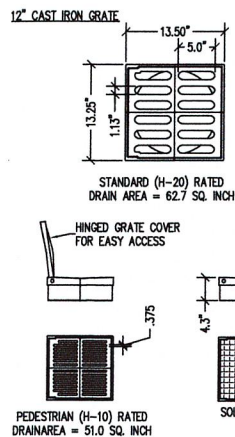
C-2



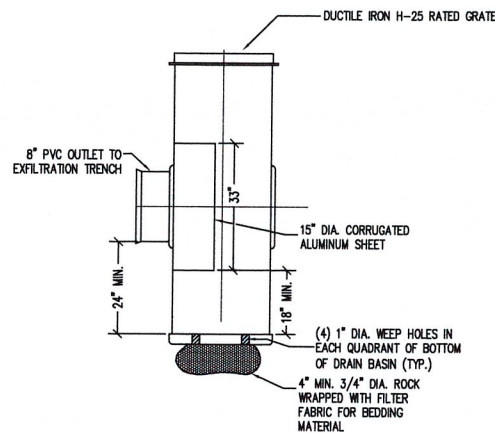
PROPOSED BEACH HOUSE
8521 S. OCEAN BLVD
HIGHLAND BEACH, FLORIDA
STORMWATER MANAGEMENT CALCULATIONS

SITE PLAN DATA
Total Lot Area = 13,064 sq. ft. ±
Drainage Area = 8,317 sq. ft. ±
Impervious Area (footprint, drive, walkways, pool, decking) = 5,102 sq. ft. ±
Pervious Area = 3,215 sq. ft. ±
ESTIMATED RUNOFF VOLUME
Impervious Runoff Volume: 2" x 5,102 sq. ft. x 1 ft. 12 in. = 850 cu. ft.
Pervious Runoff Volume: 0.4" x 3,215 sq. ft. x 1 ft. 12 in. = 107 cu. ft.
Total Volume to be Retained = 957 cu. ft.

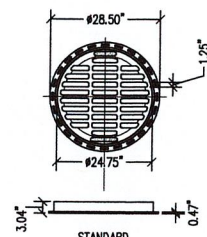
EXFILTRATION TRENCH CALCULATIONS (SFWD ANALYSIS)
EXFILTRATION TRENCH
L = Total Length of Trench Provided = 15 ft
W = Trench Width = 4 ft
K = Hydraulic Conductivity = 0.0005 cfs/sq. ft. per ft. of head
H2 = Depth to Water Table = 4.00 ft
DU = Non-Saturated Trench Depth = 4.00 ft
DS = Saturated Trench Depth = 0.00 ft
V = Volume Treated = 992 cu. ft.



24" NYLOPLAST DRAIN BASIN



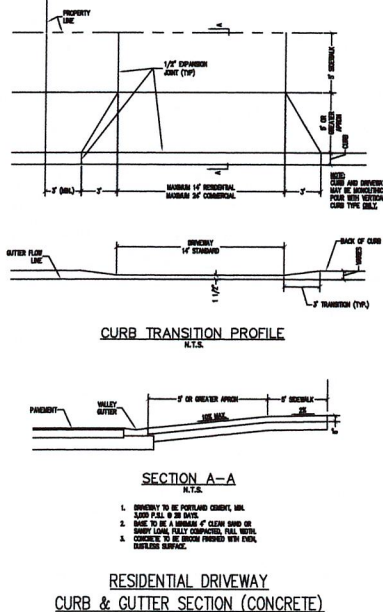
24" DUCTILE IRON GRATE



APPROX. DRAIN AREA = 194.60 SQ. IN.
APPROX. WEIGHT WITH FRAME = 124.00 LBS.
STANDARD GRATE HAS H-25 HEAVY DUTY RATING
SOLID COVER HAS H-25 HEAVY DUTY RATING
PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
MATERIAL: DUCTILE IRON
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOCKING DEVICE AVAILABLE UPON REQUEST
PRICE INCLUDES FRAME & GRATE/COVER

NOTE:
INLET TO HAVE MIN. 24" SUMP AND MIN. 18" CLEARANCE
BETWEEN BOTTOM OF BAFFLE AND BOTTOM OF INLET

AREA DRAIN DETAIL



SECTION A-A
N.T.S.

1. SUBMITTAL TO BE PORTLAND CEMENT, 5000 PSI MIN. COMPRESSIVE STRENGTH.
2. BASE TO BE A MINIMUM 4" CLEAN SAND OR EQUIV. LEAK PROOF COMPOSITION, ALL WITH CURB TO BE 100% FURNISHED WITH 100% PORTLAND CEMENT.

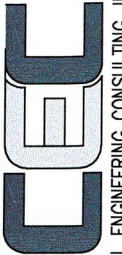
RESIDENTIAL DRIVEWAY
CURB & GUTTER SECTION (CONCRETE)

RECEIVED

NOV 07 2024



Know what's below.
Call before you dig.



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CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398

andre@cec-fl.com



LOCATION MAP
N.T.S.

LEGEND

- EXISTING ELEVATION PER
RENNER BURGESS LAND SURVEYING
(NAVD)
- PROPOSED ELEVATION (NAVD)
- FLOW DIRECTION
- 10.00 CONTOUR (PROPOSED)
- CONTOUR (EXISTING)
- CUT AREA
- FILL AREA

NOTES

- SITE DRAINAGE PLAN TO MEET CITY OF HIGHLAND BEACH STORMWATER REQUIREMENTS. DURING DETAILED CONSTRUCTION PLAN PREPARATION, ADDITIONAL DRAINAGE IMPROVEMENTS MAY BE INCORPORATED INTO THE SITE DRAINAGE PLAN FROM THAT SHOWN. IF NECESSARY, STEM WALLS OR OTHER ITEMS MAY BE REQUIRED ALONG THE PROPERTY LINES TO PREVENT RUNOFF ONTO ADJACENT PROPERTIES.
- ALL PORTIONS OF EXFILTRATION TRENCHES ADJACENT TO PLANT MATERIAL HAVING AN INVASIVE ROOT SYSTEM SHALL BE PROTECTED WITH A ROOT BARRIER.

EARTHWORK ESTIMATE FOR EXCAVATION & FILL EASTWARD OF CCCL FOR NEW PROJECT PLANS

EXCAVATION-CUT (TOTAL)	339 C.Y.
EMBANKMENT (TOTAL FILL)	343 C.Y.
NET FILL -	4 C.Y.

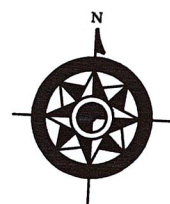
NOTES

- ALL EARTHWORK VOLUMES ARE ACTUAL AND DO NOT INCLUDE FACTORS FOR INFLUENCE OR SWELLAGE.
- IF NECESSARY, PROPOSED IMPORTED FILL MATERIAL TO BE USED SEAWARD OF THE CCCL SHALL COMPLY WITH THE SPECIFICATIONS/CRITERIA OF SUBSECTION 689-6L.00007, F.A.C.

GRAPHIC SCALE



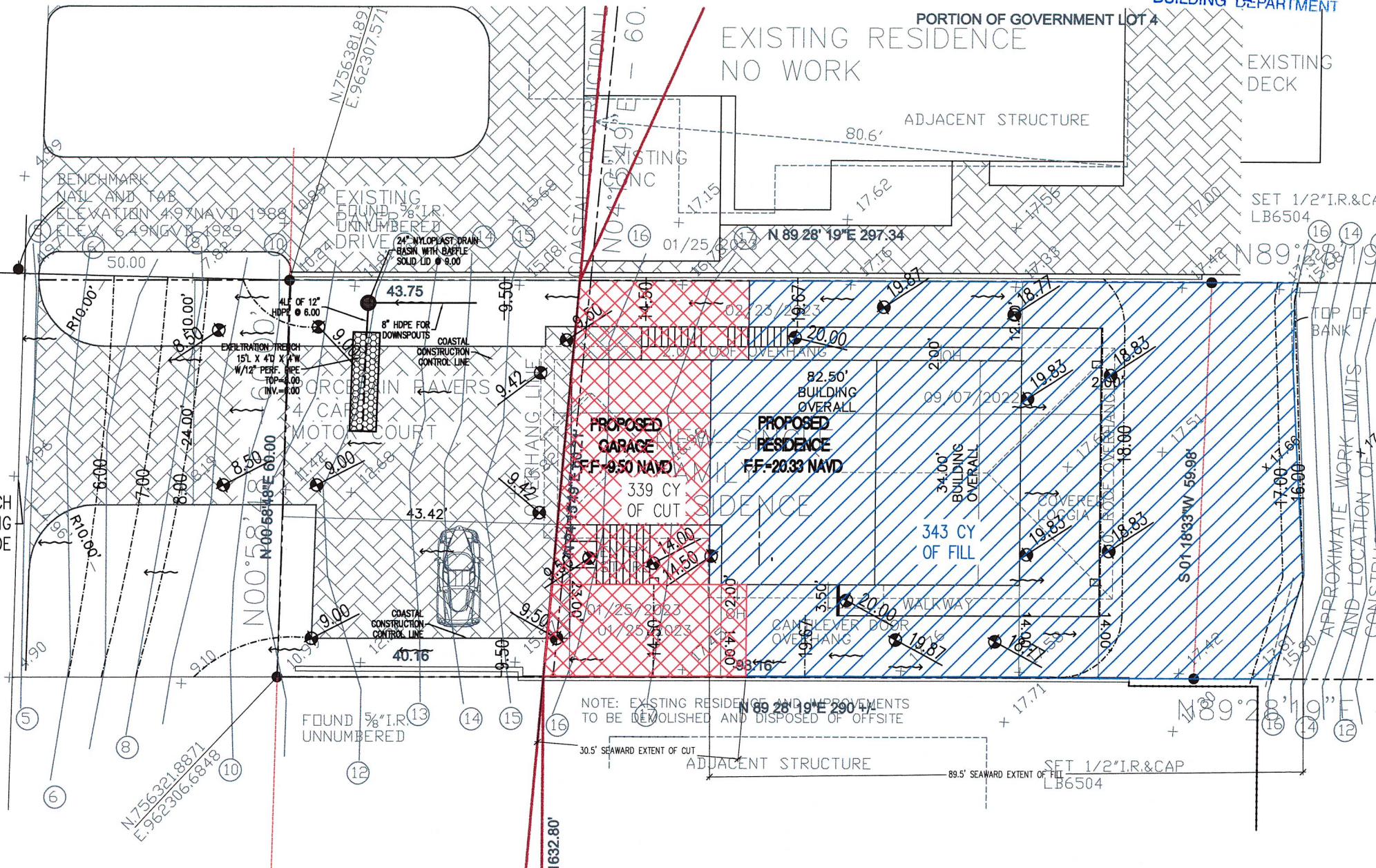
(IN FEET)
1 inch = 20 ft.



3521 STATE ROAD A-1-A
100' RIGHT OF WAY - OCEAN BLVD

100' RIGHT OF WAY

MATCH
EXISTING GRADE



NOTE: EXISTING RESIDENCE AND IMPROVEMENTS
TO BE DEMOLISHED AND DISPOSED OF OFFSITE

ADJACENT STRUCTURE

SET 1/2\"/>

No.	Revisions:	Date:

CIVIL PLANS FOR:
PROPOSED RESIDENCE
3521 S. OCEAN BLVD
HIGHLAND BEACH, FLORIDA

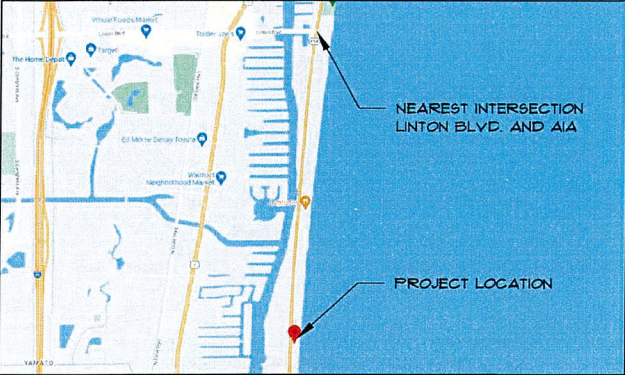
Project #:	22-074
Issue Date:	08/09/22
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

Andre M. Webster
11/6/24
Andre M. Webster, P.E.
Florida P.E. # 87358

SHEET TITLE
CUT/FILL PLAN

SHEET NUMBER:

EW-1

LOCATION MAP:	FDOT ROADWAY INFORMATION	DESIGN PROFESSIONALS	TABLE OF CONTENTS:
 <p>NEAREST INTERSECTION LINTON BLVD. AND AIA</p> <p>PROJECT LOCATION</p>	<p>-STATE ROAD AIA (SOUTH OCEAN BLVD.) -ROADWAY ID: 9306000 -35 MPH DESIGN SPEED</p> <p>-SIGHT DISTANCE DESIGN CRITERIA -DESIGN SPEED 35 MPH -PASSENGER VEHICLE -D: 390 -DL: 215 -DR: 115</p>	<p><u>LANDSCAPE ARCHITECT</u> MICHAEL FLAUGH LA 3144 SE OCEAN BLVD. STUART FL, 34996</p> <p><u>IRRIGATION DESIGNER</u> ROY TVEITE RT IRRIGATION DESIGN P.O. BOX 650622 VERO BEACH FL, 32965</p> <p><u>LOCAL OFFICIAL</u></p> <p>HIGHLAND BEACH TOWN PLANNER INGRID ALLEN 3614 SOUTH OCEAN BLVD. HIGHLAND BEACH, FL 33481</p>	<p>T1 - TITLE SHEET L1 - SITEWORK PLAN L2 - PLANTING PLAN L3 - PLANT SCHEDULE / PLANT PICTURES L4 - PLANTING DETAILS AND SPECIFICATIONS</p> <p>IR-1 IRRIGATION PLAN IR-2 IRRIGATION DETAILS IR-3 IRRIGATION DETAILS</p>

Michael Flaugh
LANDSCAPE ARCHITECT

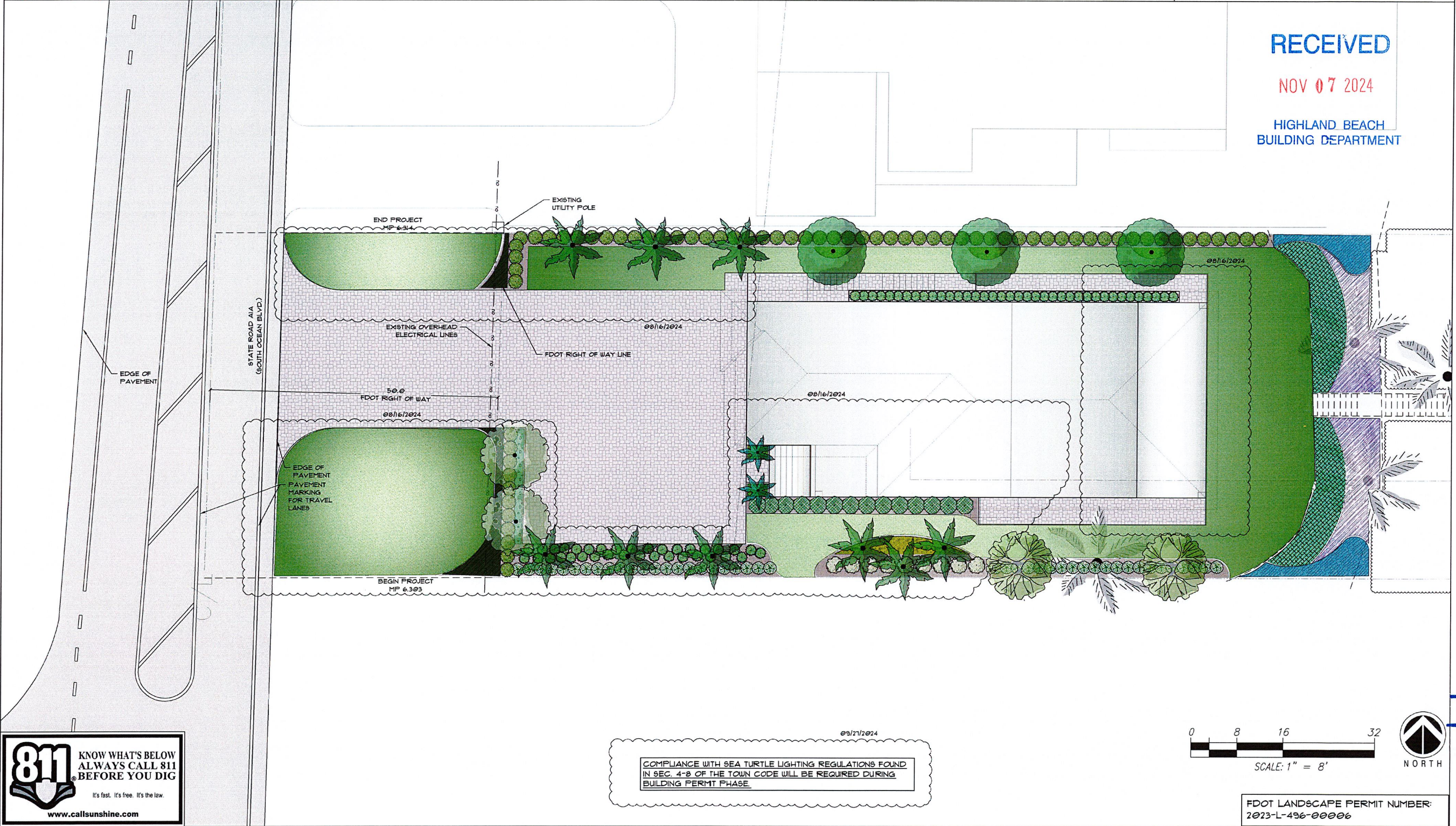


FL REG. #14660128
772.419.0024
mflaugh.com/pdp/michael-flaugh www.mflaugh.com

Sheet
T1
Title Sheet

Landscape Plan
NEW RESIDENCE
3521 S Ocean Blvd., Highland Beach, FL 33487

Please note:
This landscape plan is a professional interpretation of existing and proposed site elements based on multiple sources of information. These sources may include: property surveys, architectural plans, Google aerial imagery, site observations, photographs and site plans. At times, these supporting documents are inadequate or approximate or both and on-site adjustments to the design during installation are necessary. It is the contractor's responsibility to verify all measurements and quantities prior to commencing work.



811

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FDOT LANDSCAPE PERMIT NUMBER:
2023-L-496-00006



Date: 07/27/2021
Design by: MF,PA
Reviewed by: MF
Scale: 1"=8'
Revised: 09/17/2021
01/14/2023, 09/15/2023, 03/17/2024
07/27/2024, 09/27/2024, 07/29/2024,
09/14/2024, 09/27/2024

10/30/24

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NOV 07 2024

HIGHLAND BEACH
BUILDING DEPARTMENT

Michael Flough
LANDSCAPE ARCHITECT



FL REG. #A460128
772.419.0024
fla@flaugh.com

Sheet
L1
Existing
Vegetation Plan

Landscape Plan
NEW RESIDENCE
3521 S Ocean Blvd., Highland Beach, FL 33487

Please note: This landscape plan is a professional interpretation of existing and proposed site conditions based on multiple sources of information. These sources may include: property surveys, archival records, aerial imagery, site observations, photographs and the plan. At times, these supporting documents are inaccurate or approximate of detail and are subject to change during construction. It is the contractor's responsibility to verify all measurements and quantities prior to commencing work.

Date: 07/27/2021
Design by: MF, PA
Reviewed by: MF
Scale: 1"=8'
Revised: 09/17/2021
01/14/2023, 02/15/2023, 03/17/2023,
04/18/2023, 05/22/2024, 07/07/2024,
08/14/2024, 09/27/2024

10/30/24

FDOT LANDSCAPE PERMIT NUMBER:
2023-L-496-000006

PORTION OF GOVERNMENT LOT 4

ADJACENT STRUCTURE

N 89 28' 19"E 297.34

ONE STORY
RESIDENCE
FIN FL 17.30

SHED

N 89 28' 19"E 290 +/-

ADJACENT STRUCTURE

SET 1/2" IR & CAP
LB6504

NORTH 120 FEET

BENCHMARK
NAIL AND TAB
ELEVATION 4.97 NAVD 1988
ELEV 6.49 NGVD-1929
50.00 END PROJECT
MP 6.314

FOUND 5/8" I.R.
UNNUMBERED

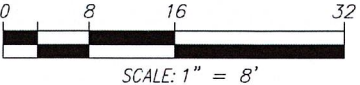
FOUND 5/8" I.R.
UNNUMBERED

PORTION OF GOVERNMENT LOT 4

COASTAL CONSTRUCTION CONTROL LINE
PALM BEACH COUNTY PB. 80 PG. 137

3521 S. OCEAN VEGETATION TABLE								
TREE NUMBER	COMMON NAME	SCIENTIFIC NAME	CALIPER	ACTION	HISTORIC TREE	SPECIMEN TREE	MITIGATION REQUIRED	HIGHLAND BEACH TREE REMOVAL PERMIT REQUIRED
1	THATCH PALM	THRINAX RADIATA	7"	REMOVE	NO	NO	NO	NO
2	COCONUT PALM	COCOS NUCIFERA	12"	REMOVE	NO	NO	NO	NO
3	THATCH PALM	THRINAX RADIATA	5"	REMOVE	NO	NO	NO	NO
4	SEAGRAPE	COCCOLOBA UVIFERA	8"	REMOVE	NO	NO	NO	NO
5	COCONUT PALM	COCOS NUCIFERA	12"	REMOVE	NO	NO	NO	NO
6	COCONUT PALM	COCOS NUCIFERA	10"	REMOVE	NO	NO	NO	NO
7	COCONUT PALM	COCOS NUCIFERA	12"	REMOVE	NO	NO	NO	NO
8	COCONUT PALM	COCOS NUCIFERA	12"	REMOVE	NO	NO	NO	NO
9	COCONUT PALM	COCOS NUCIFERA	10"	REMAIN	NO	NO	NO	NO
10	COCONUT PALM	COCOS NUCIFERA	10"	REMAIN	NO	NO	NO	NO
11	COCONUT PALM	COCOS NUCIFERA	SEEDLING	REMAIN	NO	NO	NO	NO
12	AUSTRALIAN PINE	CASUARINA EQUISETIFOLIA	18"	REMAIN	NO	NO	NO	NO
13	COCONUT PALM	COCOS NUCIFERA	10"	REMAIN	NO	NO	NO	NO

ACCORDING TO SECTION 20-124 OF THE TOWN CODE, LOTS OR PARCELS OF LAND ON WHICH A SINGLE-FAMILY HOME IS USED AS A RESIDENCE SHALL BE EXEMPT FROM THE TREE PROTECTION REGULATIONS OF CHAPTER 20 (WHICH INCLUDES PERMITS FOR TREE REMOVAL). THERE IS AN EXCEPTION TO THE LATTER FOR TREES THAT ARE EITHER A SPECIMEN TREE (AS DESCRIBED IN SEC. 20-135) OR HISTORIC TREE.



1. **GOVERNING STANDARD PLANS:**
Florida Department of Transportation, FY 2022-23 Standard Plans for Road and Bridge Construction and applicable Interim Revisions (IRs) are available at the following website: <https://www.fdot.gov/design/standardplans>
2. **GOVERNING STANDARD SPECIFICATIONS:**
Florida Department of Transportation, July 2022 Standard Specifications for Road and Bridge Construction at the following website: <https://www.fdot.gov/programmanagement/implemented/specbooks>
3. Contractor shall repair all damage done to FDOT property during demolition, relocation &/or installation activities at his sole expense.
4. Any plant material substitution within or impacting the FDOT Right of Way whether requested by the Contractor, Owner, Landscape Architect or other will need to get approval from the FDOT District Landscape Architect.
5. Architectural Pavers installation for sidewalks, medians, driveways, or roadways within the FDOT right of way shall comply with current FDOT Standard Specification 526.
Online Reference:
https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/programmanagement/implemented/specbooks/fy-2023-24/fy2023-24ebook.pdf?sfvrsn=6b69416d_6
6. Ownership of all suitable excavated materials, as determined by the Department, shall remain in the Department until a final acceptance of the permitted project is fulfilled. Excavated materials shall be hauled by the Permittee, at their cost & expense from the site to the FDOT Palm Beach Operations Center or stockpiled in those areas as directed by the Department, including asphalt millings.

1. For the portion of landscape plant material that will be installed within the FDOT Right of Way, landscape installation shall comply with current applicable FDOT Maintenance Specification 580. Online Reference: [ssm580000wd-722-17932.pdf \(windows.net\)](https://www.fdot.com/docs/default-source/maintenance/specifications/580-001-landscape-plant-material.pdf)
2. For the portion of landscape plant material that will be installed within the FDOT Right of Way refer to the FDOT Standard Plans Index 580-001 Landscape Installation. Online Reference: <https://fdotwww.blob.core.windows.net/sefinity/docs/default-source/design/standards/plans/2023/580-001.pdf>
3. Sodded areas will be in accordance with Standard Plans Index 570-001 Standard Specifications Sections 162, 570, 981, 982, 983, 987 of the Department's latest edition of Governing Design Standards and Standard Specifications. All disturbed areas will be sodded within one (1) week of installation of said permitted work.

of the NOV 07 2024

DEPARTMENT

DEPARTMENT	Number of Employees
Sales	9
Marketing	8
Finance	16
HR	3

SCALE: 1" = 8'



Michael Flaugh
LANDSCAPE ARCHITECT

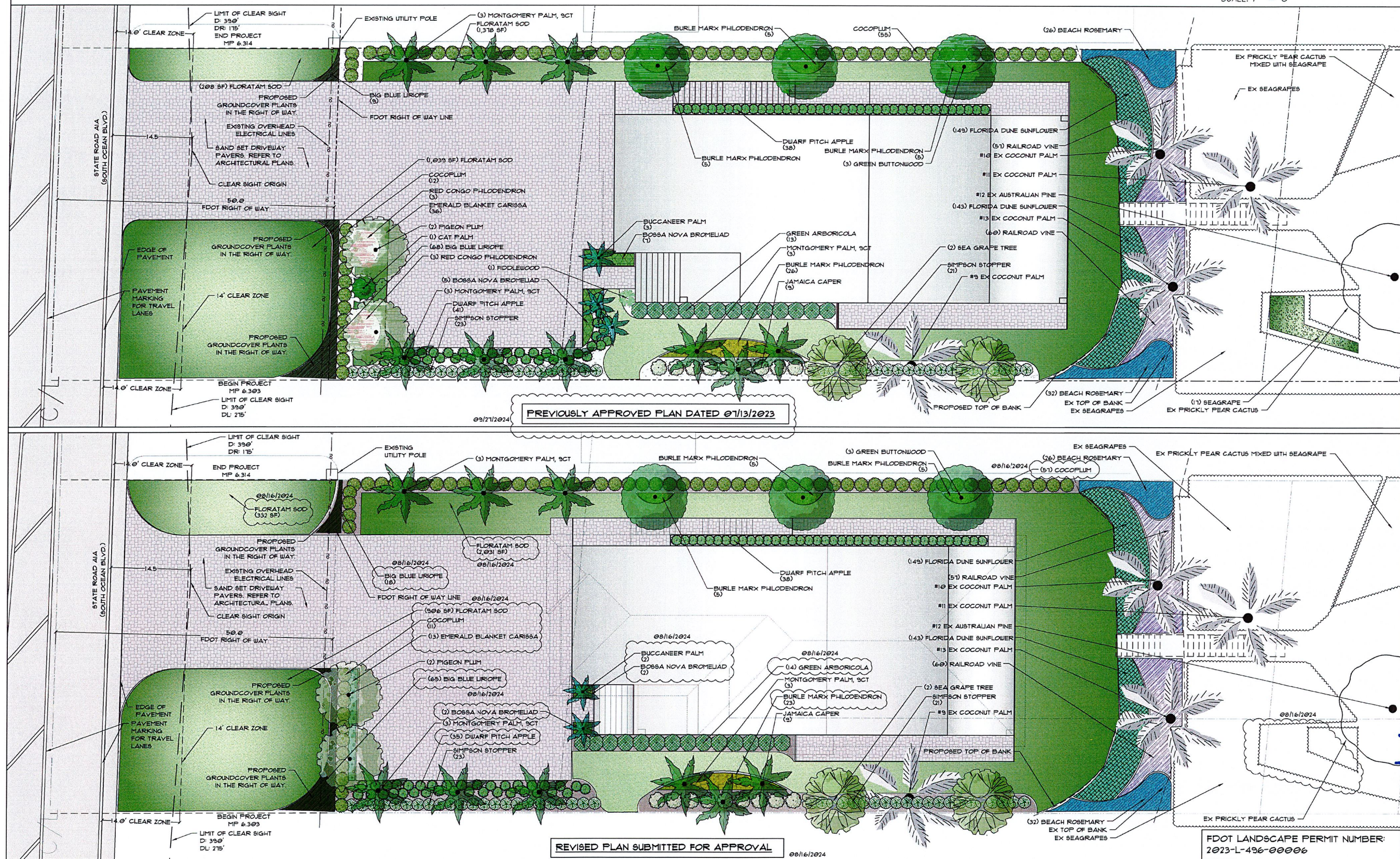
11 Reg. #A0001226
772.419.0024
Stuart

Sheet
L2
Landscape Plan

Landscape Plan
NEW RESIDENCE
3521 S Ocean Blvd., Highland Beach, FL 33487

Please note:
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Date: 07/27/2021
Design by: MF,PA
Reviewed by: MF
Scale: 1"=8"
Revised: 09/17/2021.
01/16/2023, 02/15/2023, 03/17/2023
03/08/2023, 03/26/2024, 07/09/2024
08/16/2024, 09/27/2024



PLANT SCHEDULE

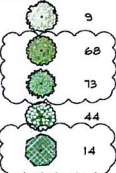
SYMBOL QTY

TREES



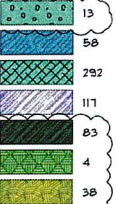
SYMBOL QTY

SHRUBS



SYMBOL QTY

GROUND COVERS



OTHER



PREVIOUSLY APPROVED QUANTITIES FROM PLAN DATED 07/13/2023

2 2

2 2

3 3

2 3

9 9

9 9

6 6

7 7

4 4

1 1

8 8

4 4

3 3

1 1

2,625 SF

2,625 SF

09/21/2024

BOTANICAL NAME

COMMON NAME

CONT

CAL

SIZE

NOTES

CODE

COCCOLOBA DIVERSIFOLIA

PIGEON PLUM

B & B

3" CAL

14' OA HT.

NATIVE

DROUGHT TOLERANT

COCCOLOBA UVIFERA

SEA GRAPE TREE

B & B

3" CAL

14' OA HT.

NATIVE

DROUGHT TOLERANT

CONOCARPUS ERECTUS 'GREEN'

GREEN BUTTWOOD

45 GAL

3" CAL

14' OA HT.

NATIVE

DROUGHT TOLERANT

PSEUDOPHOENIX SARGENTI

BUCCANEER PALM

B & B

14' OA HT.

NATIVE

DROUGHT TOLERANT

VEITCHIA MONTGOMERYANA

MONTGOMERY PALM, OCT

B & B

FL FANCY

9' CT, 14' OA HT.

NON NATIVE

CODE

CAPPARIS CYNOPHALOPHORA

JAMAICA CAPER

1 GAL

AS SHOWN

3 - 4' HT., FULL

NATIVE

DROUGHT TOLERANT

CHRYSOBALANUS ICAGO 'RED-TIP'

COCOPLUM

1 GAL

AS SHOWN

36" HT., FULL

NATIVE

DROUGHT TOLERANT

CLUSIA ROSEA 'NANA'

DWARF FITCH APPLE

3 GAL

AS SHOWN

14"x12"

NON NATIVE

DROUGHT TOLERANT

MYRTANTHES FRAGRANS

SIMPSON STOPPER

1 GAL

AS SHOWN

36" HT., FULL

NATIVE

DROUGHT TOLERANT

SCHEFFLERA ARBORICOLA

GREEN ARBORICOLA

25 GAL

AS SHOWN

4' HT., FULL

NON NATIVE

DROUGHT TOLERANT

BOTANICAL NAME

COMMON NAME

CONT

SPACING

SIZE

NOTES

CODE

CARISSA MACROCARPA 'EMERALD BLANKET'

EMERALD BLANKET CARISSA

1 GAL

18" O.C.

6"x8"

NON-NATIVE

DROUGHT TOLERANT

CONRADINA CANESCENS

BEACH ROSEMARY

1 GAL

18" O.C.

4"x8"

NATIVE

DROUGHT TOLERANT

HELIANTHUS DEBILIS

FLORIDA DUNE SUNFLOWER

1 GAL

12" O.C.

4"x8"

NATIVE

DROUGHT TOLERANT

IPOMOEA PES-CAPRAE

RAILROAD VINE

1 GAL

18" O.C.

FULL

NATIVE

DROUGHT TOLERANT

LIRIOPE MUSCARI 'BIG BLUE'

BIG BLUE LIRIOPE

1 GAL

12" O.C.

6"x8"

NON-NATIVE

DROUGHT TOLERANT

NEOREGELIA 'BOSSA NOVA'

BOSSA NOVA BROMELIAD

1 GAL

24" O.C.

SUN GROWN, 12"x12"

NON-NATIVE

DROUGHT TOLERANT

PHILODENDRON X 'BURLE MARX'

BURLE MARX PHILODENDRON

1 GAL

NON-NATIVE

DROUGHT TOLERANT

BOTANICAL NAME

COMMON NAME

CONT

INSTALL

SPECS

NOTES

CODE

STENOTAPHRUM SECUNDATUM 'FLORATAM'

FLORATAM SOD

500

TIGHTLY FITTED, STAGGERED JOINTS

09/21/2024



PIGEON PLUM



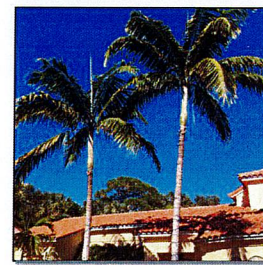
SEAGRAPE



GREEN BUTTWOOD TREE



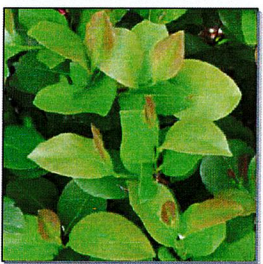
BUCCANEER PALM



MONTGOMERY PALM



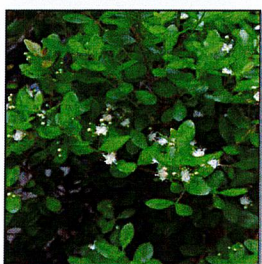
JAMAICA CAPER



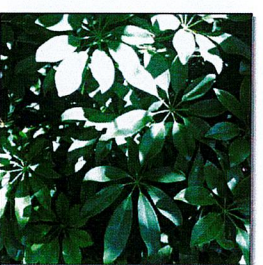
RED TIP COCOPLUM



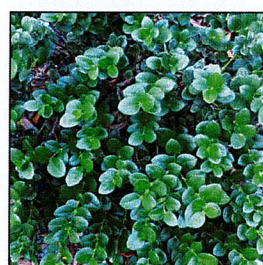
DWARF CLUSIA



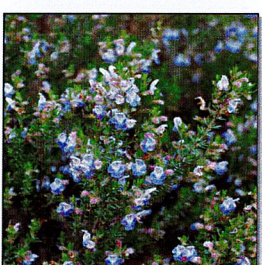
SIMPSON STOPPER



ARBORICOLA



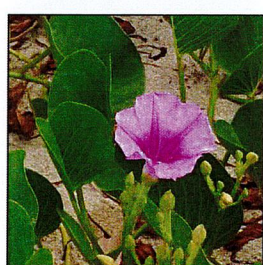
CARISSA EMERALD BLANKET



BEACH ROSEMARY



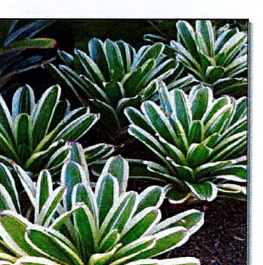
FLORIDA DUNE SUNFLOWER



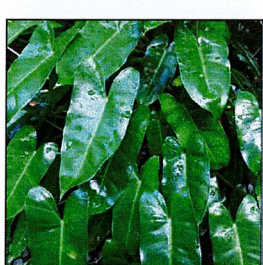
RAILROAD VINE



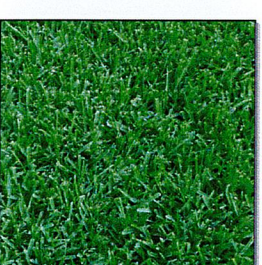
BIG BLUE LIRIOPE



BOSSA NOVA BROMELIAD



BURLE MARX PHILODENDRON



ST AUGUSTINE FLORATAM SOD

PLANT MATERIAL THAT WAS PREVIOUSLY APPROVED BUT IS NO LONGER INCORPORATED IN THE DESIGN

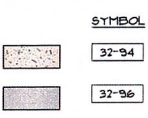
1 CAT PALM (CHAMAEDOREA CATARACTARUM) 1 GALLON
1 FIDDLEWOOD (GITHAREXYLUM FRUTICOSUM) 1 GALLON
6 PHILODENDRON "ROJO CONGO" (RED CONGO PHILODENDRON) 3 GALLON
11 PROPOSED SEAGRAPE SHRUBS HAVE BEEN REMOVED FROM THE EXISTING DUNE.

09/16/2024

GENERAL NOTE:
ALL PLANTS ARE TO BE A MINIMUM GRADE OF FLORIDA #1

09/21/2024

REFERENCE NOTES SCHEDULE



PLANTING ACCESSORIES

DESCRIPTION

QTY

PREVIOUSLY APPROVED QUANTITIES FROM PLAN DATED 07/13/2023

DEPTH/HEIGHT

INSTALLATION

PATTERN

32-34

MULCH

10.36 CY

11.99 CY

3"

FINISHED GRADE EVEN WITH ADJACENT SOD/HARDSCAPES

BLACK, SHREDED, HARDWOOD, NON-CYPRESS

32-36

SOIL

14.73 CY

16.9 CY

4"

TILLED IN

1:1 SCREENED COMPOST AND SCREENED TOPSOIL

09/16/2024

NATIVE / DROUGHT TOLERANT PLANT TABLE

PLANT TYPE	TOTAL PLANTS PROVIDED	NATIVE / DROUGHT TOLERANT
TREES / PALMS	18	10 (55%)
SHRUBS	208	208 (100%)
GROUNDCOVERS	605	480 (79%)

PREVIOUSLY APPROVED PLANT TABLE

PLANT TYPE	TOTAL PLANTS PROVIDED	NATIVE / DROUGHT TOLERANT
TREES / PALMS	19	10 (53%)
SHRUBS	220	213 (97%)
GROUNDCOVERS	650	520 (80%)

FDOT LANDSCAPE PERMIT NUMBER:
2023-L-496-00000

Michael Flough
LANDSCAPE ARCHITECT
FL REG. #14001788
772.419.0024
mflough.com/pia/michael-flough www.mflough.com

Sheet
L3

Plant Schedule /
Plant Pictures

RECEIVED

NOV 27 2024

HIGHLAND BEACH
BUILDING DEPARTMENT

Landscape Plan
NEW RESIDENCE
3521 S Ocean Blvd., Highland Beach, FL 33487

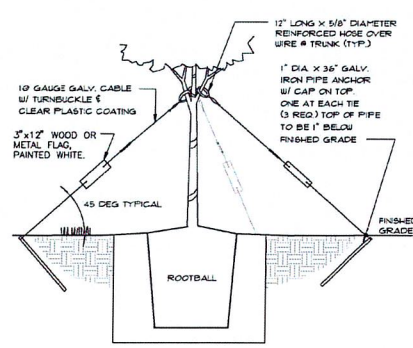
Please note:
This is a professional representation of existing and proposed site elements based on multiple sources of information. These sources may include: property surveys, architectural drawings, site photographs, and the information provided by the client. The contractor is responsible for verifying the accuracy of the information and for obtaining all necessary permits and approvals for the project.

Date: 07/17/2021
Design by: MF, PA
Reviewed by: MF
Scale: 1"=8'
Revised: 07/17/2021
07/14/2023, 02/15/2023, 07/17/2023, 07/17/2024, 08/14/2024, 09/27/2024

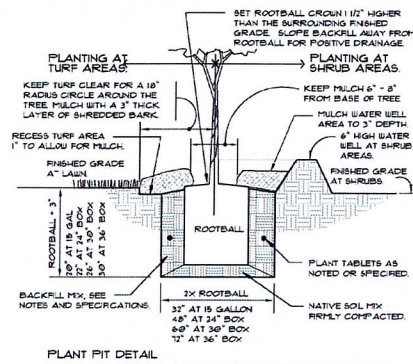
10/30/24

LANDSCAPE INSTALLATION NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL DESIGNATE AN ENGLISH SPEAKING, SKILLED CREW FOREMAN FOR THE PROJECT, WHO WILL BE AVAILABLE AND ACCESSIBLE FOR THE DURATION OF THE LANDSCAPE INSTALLATION.
2. ALL SPECIFICATIONS MUST BE SATISFIED. IF THERE IS A PROBLEM LOCATING A MATERIAL WITH GIVEN SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT BY EMAIL PRIOR TO INSTALLATION. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, A SUBSTITUTION MAY BE MADE.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW AND RECONCILE PLAN WITH LANDSCAPE MATERIALS LIST, AND ANALYZE SITE CONDITIONS AND ACCESS PRIOR TO SUBMITTING A PROPOSAL.
4. LANDSCAPE CONTRACTOR MUST PROVIDE EVIDENCE OF WORKMAN'S COMPENSATION AND LIABILITY INSURANCE IN PROPOSAL PACKAGE.
5. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE LAWS, CODES AND ORDINANCES.
6. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA #1 OR BETTER (GRADES AND STANDARDS FOR NURSERY PLANTS, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, LATEST EDITION) UNLESS OTHERWISE NOTED ON THE LANDSCAPE MATERIALS LIST. AS MANY SPECIES TOLERATE BOTH SUNNY AND SHADY GROWING CONDITIONS, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PLANT MATERIAL GROWN IN SIMILAR CONDITIONS TO THE SITE.
7. THE LANDSCAPE CONTRACTOR SHALL COMPLETE ALL WORK ACCORDING TO THE FLORIDA GREEN INDUSTRIES BEST MANAGEMENT PRACTICES.
8. THE LANDSCAPE CONTRACTOR MUST SPECIFY START AND COMPLETION DATES, IF AWARDED THE PROJECT.
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
10. ALL PLANTING AREAS SHALL BE PREPARED BY REMOVING ALL DEBRIS, INCLUDING ASPHALT, CONCRETE, OR SIMILAR MATERIALS NOT SUITED FOR LANDSCAPE PLANTING.
11. PLANTING SOIL SHALL BE CLEAN OF ROCKS, STICKS, ROOTS AND WEEDS, AND SHALL BE WELL-DRAINING.
12. ALL LANDSCAPED AREAS SHALL BE FINISH GRADED SUCH THAT FINISHED ELEVATION WILL BE FLUSH AND LEVEL WITH SURROUNDING PAVED SURFACES. THE FINISHED GRADE AFTER PLANTING AND MULCHING SHALL NOT IMPEDE THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO PREVENT THE BACKWASH OF MULCH AND DEBRIS INTO PAVED AREAS.
13. ALL PLANTING BEDS MUST DRAIN SUFFICIENTLY PRIOR TO PLANTING. IF EXISTING SOIL IS NOT ADEQUATE FOR ESTABLISHMENT OF PLANT MATERIALS DUE TO POOR DRAINAGE OR CHEMICAL PROPERTIES, SOIL AMENDMENTS SHALL BE ADDED PRIOR TO PLANTING.
14. PLANTS SHALL NOT BE PLACED TOO CLOSE TO ONE ANOTHER OR ANY HARDSCAPES. SEE LANDSCAPE MATERIALS LIST AND PLANTING DETAILS FOR SPACING AND PLACEMENT OF ALL PLANTS. A MULCH STRIP SHALL BE LEFT BETWEEN THE PLANTINGS AND WALLS, EDGE OF SOD, DRIVEWAY OR WALKWAYS. ALL PLANTS SHALL BE PLACED OUTSIDE THE EAVES OF THE ROOF, UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN.
15. ALL PLANTS TO BE RELOCATED SHALL BE PROPERLY ROOT PRUNED 6 TO 10 WEEKS PRIOR TO RELOCATION.
16. ALL NEW LANDSCAPE PLANTS SHALL BE PLANTED SLIGHTLY HIGHER THAN THE EXISTING GRADE LEAVING TOP OF THE ROOT BALL EXPOSED.
17. ALL PLANT MATERIALS SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING.
18. 3" LAYER OF ORGANIC MULCH SHALL BE LAID IN ALL LANDSCAPE BEDS. NO MULCH SHALL BE LAID NEAR TREE TRUNKS. NO MULCH SHALL BE LAID ON TOP OF CITRUS TREE ROOT BALLS.
19. NEWLY PLANTED TREES SHALL BE STAKED ONLY IF THE ROOT BALL MOVES IN THE WIND OR THE TREES ARE LOCATED IN AN AREA OF WINDY CONDITIONS. ALL PALMS SHALL BE STAKED. ALL WOOD BRACES AND BRACE FRAMES SHALL BE STAINED DARK BROWN. NO NAILS SHALL BE DRIVEN INTO ANY PALM OR TREE.
20. PLANTING PLAN TAKES PRECEDENCE OVER PLANT LIST.
21. THE LANDSCAPE BID SHALL INCLUDE IRRIGATION ON A SEPARATE CONTRACT, EXPRESSED AS A LINE-ITEM PROPOSAL.
22. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH FULLY AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE IN ALL IRRIGATED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED ACCORDING TO ACCEPTED IRRIGATION STANDARDS USING WATER CONSERVATION PRINCIPLES WITH LOW-VOLUME IRRIGATION SYSTEM. THE SYSTEM SHALL ACCOMMODATE EASY ADJUSTMENTS FOR SEASONAL IRRIGATION NEED CHANGES OR LOCAL WATERING RESTRICTIONS.
23. ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED ON SEPARATE ZONES, WHENEVER POSSIBLE. PLANTING AREAS WITH DIFFERENT WATERING NEEDS SHALL BE PLACED ON SEPARATE ZONES.
24. ALL SHRUB AND GROUND COVER AREAS SHALL BE IRRIGATED WITH DRIP LINE OR MIST HEADS. TREES AND PALMS SHALL HAVE BUBBLERS. ALL HEADS IN A GIVEN ZONE MUST HAVE THE SAME PRECIPITATION RATE.
25. SPRAY HEADS SHALL BE PLACED AND ADJUSTED TO MINIMIZE OVER-SPRAY ON PAVED AREAS, ROADWAYS AND CURBING. NO OVER-SPRAY ON BUILDINGS IS ACCEPTABLE.
26. THE CONTRACTOR(S) SHALL KEEP ALL WORK AREAS NEAT AND TIDY ON A DAILY BASIS. AT COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REMOVE FROM THE PROPERTY ALL TEMPORARY STRUCTURES AND GARBAGE AT HIS/HER OWN EXPENSE.
27. THE CONTRACTOR(S) SHALL KEEP ALL PLANTS WATERED, FERTILIZED, MULCHED, PRUNED, STAKED AND GUYED AS NECESSARY TO ASSURE SPECIFIED MINIMUM GRADE OF FLORIDA #1 THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION PERIOD. PLANTING BEDS SHALL BE KEPT FREE OF LITTER AND UNDESIRABLE VEGETATION. THE CONTRACTOR(S) IS RESPONSIBLE FOR KEEPING ALL THE PLANT MATERIAL HEALTHY, VIGOROUS, AND UNDAMAGED THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION PERIOD.
28. THE FINAL PAYMENT IS MADE UPON COMPLETION OF PROJECT AND EXECUTION OF LIEN RELEASE AFFIDAVIT.
29. ALL SHRUBS AND GROUND COVERS SHALL BE WARRANTED FOR 90 DAYS; ALL TREES AND PALMS SHALL BE WARRANTED FOR 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE AND PAYMENT.



STAKING DETAIL



PLANT PIT DETAIL

1 TREE GUY WIRE PLANTING

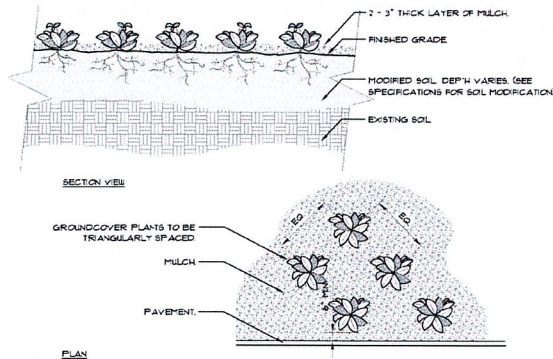
NOT TO SCALE

2 PALM TREE PLANTING

NOT TO SCALE

3 SHRUB PLANTING

NOT TO SCALE



SECTION VIEW

GROUND COVER PLANTS TO BE TRIANGULARLY SPACED

NOTES:
1. SEE PLANTING LIST FOR GROUND COVER SPECIES, SIZE AND SPACING DIVISION.
2. SHALL ROOTS 1/2" OR LESS THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIMETER ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE PROVIDED THEY BE REMOVED AT THE TIME OF PLANTING. THE ROOT BALL SHALL BE CUT BEYOND THE ROOT PRUNING CUT AND DETAIL 3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PRIOR TO MULCHING.

4 GROUND COVER

NOT TO SCALE

NOTES:
1. ALLOW 3 MONTHS FOR THE ROOT-PRUNING PROCESS OF A LARGE TREE BEFORE RELOCATING IT.
2. IF THE RELOCATION IS SCHEDULED DURING DRY OR ACTIVE GROWING SEASON, THE TREE SHALL BE WATERED DAILY DURING THE ROOT PRUNING PROCESS.
3. THE TIME OF THE RELOCATION SHALL BE 30 DAYS AFTER THE START OF THE ROOT PRUNING PROCESS. THEN, THE ROOT BALL SHALL BE CUT BEYOND THE ROOT PRUNING CUT TO INCLUDE ALL NEW FEEDER ROOTS.
4. AFTER RELOCATION, THE TREE SHALL BE THOROUGHLY WATERED DAILY FOR THE FIRST TWO WEEKS, AND THREE TIMES PER WEEK FOR THE FOLLOWING TWO MONTHS.

5 TREE RELOCATION

NOT TO SCALE

TREE AS SPECIFIED.
IRRIGATE REGULARLY FOR 7 WEEKS PRIOR TO THE BEGINNING OF THE ROOT PRUNING PROCESS.
STANDARD PRUNING PROCESS:
1/3 OF THE ROOT BALL SHALL BE CUT AS SOON AS THE CONTRACT HAS BEEN AWARDED.
THE NEXT 1/3 SHALL BE CUT 30 DAYS AFTER THE PROCESS STARTED.
THE LAST 1/3 SHALL BE CUT 60 DAYS AFTER THE PROCESS STARTED.

LANDSCAPE MAINTENANCE GUIDELINES:

1. LAWN CARE:
 - 1.1. MAINTAIN ST. AUGUSTINE LAWN AT 3" HEIGHT. LEAVE LAWN CLIPPINGS ON THE LAWN.
 - 1.2. FERTILIZE IN FEBRUARY, MAY AND OCTOBER. APPLY PRE-EMERGENT WEED KILLER IN EARLY SPRING AND FALL.
 - 1.3. PRACTICE INTEGRATED PEST MANAGEMENT TO IDENTIFY AND TREAT INSECT STRESS, WEED AND FUNGAL PROBLEMS. INSPECT AND CONTROL INSECT DAMAGE ON LAWNS DURING SUMMER MONTHS. FOLLOW LABEL DIRECTIONS FOR ANY INSECTICIDE, HERBICIDE OR FUNGICIDE APPLICATION. REFER TO GROWERS GUIDELINES FOR DETAILED INSTRUCTIONS.
 - 1.4. 100% OF THE SOD AREAS SHALL BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. INSPECT THE IRRIGATION SYSTEM FOR BREAKS AND HEAD ALIGNMENT ROUTINELY.
2. MULCH:
 - 2.1. ALL LANDSCAPE BEDS SHALL BE MULCHED TWICE A YEAR.
 - 2.2. APPLY 3" LAYER OF MSC CERTIFIED, SHREDDED EUCALYPTUS OR RECYCLED HARDWOOD MULCH.
3. FERTILIZING:
 - 3.1. FERTILIZE WITH A GOOD QUALITY ORGANIC FERTILIZER THREE TIMES A YEAR PER LABEL INSTRUCTIONS STARTING IN MID TO LATE FEBRUARY.
 - 3.2. YELLOWING LEAVES ARE OFTEN A SIGN OF NUTRITIONAL DEFICIENCY.
 - 3.3. DO NOT APPLY FERTILIZER BETWEEN JUNE 1 AND SEPTEMBER 30. COMPOST SHALL BE USED IN LIEU OF FERTILIZER DURING THE RAINY SEASON, AS NEEDED.
 - 3.4. MAINTAIN A FERTILIZER FREE ZONE ALONG THE RIVER TO PREVENT RUN-OFF.
4. PEST AND DISEASES:
 - 4.1. SCOUT FOR PESTS AND DISEASES REGULARLY. ONLY 1% OF ALL INSECTS ARE HARMFUL TO PLANTS.
 - 4.2. USE INTEGRATED PEST MANAGEMENT PRACTICES. USE PREVENTATIVE CHEMICAL APPLICATIONS ONLY, WHEN DETERMINED NECESSARY BY A PEST MANAGEMENT PROFESSIONAL.
 - 4.3. CHEMICAL PEST CONTROL SHALL BE USED ONLY WHEN THE DAMAGE IS EXPECTED TO BE SIGNIFICANT.
5. WEEDS:
 - 5.1. WEED CONTROL SHALL BE PREVENTATIVE.
 - 5.2. HERBICIDE APPLICATIONS MUST BE DONE BY A LICENSED PEST-CONTROL PROFESSIONAL.
6. IRRIGATION:
 - 6.1. PROGRAM THE IRRIGATION SYSTEM TO RUN IN THE EARLY MORNING.
 - 6.2. NEW PLANTINGS SHOULD BE WATERED DAILY FOR THE FIRST TWO WEEKS, AFTER WHICH THREE TIMES PER WEEK FOR THE FOLLOWING TWO MONTHS.
 - 6.3. NEW TREES SHALL BE WATERED AT LEAST ONCE A WEEK FOR THE FOLLOWING YEAR AND SHRUBS FOR THE FOLLOWING 6 MONTHS FOR PROPER ESTABLISHMENT.
 - 6.4. TREES SHOULD RECEIVE 2 - 3 GALLONS OF WATER PER INCH OF TRUNK DIAMETER AT EACH WATERING.
 - 6.5. AT EACH WATERING, APPLY 1" WATER TO ESTABLISHED PLANTING BED.
 - 6.6. THE AUTOMATIC IRRIGATION SYSTEM SHALL BE INSPECTED ONCE A MONTH FOR LEAKS, BRAKES AND MISALIGNED HEADS.
 - 6.7. INCREASE WATERING FREQUENCY DURING TIMES OF HEAVY WINDS AND DROUGHT, TYPICALLY IN THE SPRING. PLEASE NOTE THAT A RAIN SENSOR WILL NOT DETECT THE DRYING EFFECTS OF HEAVY WINDS.
 - 6.8. REDUCE WATERING FREQUENCY DURING COOL WINTER AND RAINY SUMMER MONTHS. WATER ONLY AS NEEDED AS HEAVY RAINS AND IRRIGATION WILL INCREASE WEEDS. THE IRRIGATION SYSTEM MAY BE TURNED OFF DURING MONTHS OF HEAVY RAIN. A RAIN SENSOR MAY BE USED TO OVERRIDE THE SYSTEM DURING THE RAINY SEASON.
7. PRUNING:
 - 7.1. ALL PRUNING AND TRIMMING TOOLS SHALL BE CLEANED AFTER EACH USE TO PREVENT SPREADING OF DISEASES.
 - 7.2. REMOVE DEAD FRONDS, DEAD WOOD AND CROSSING BRANCHES ON LARGE SHRUBS, PALMS AND TREES ANY TIME OF THE YEAR.
 - 7.3. FLOWERING SHRUBS: LATE SUMMER AND FALL FLOWERING SHRUBS, AS WELL AS CONIFERS SHALL BE PRUNED ONCE A YEAR IN MARCH. SPRING BLOOMING SHRUBS SHALL BE PRUNED ONCE A YEAR, AFTER THEIR BLOOMS FADE IN LATE SPRING.
 - 7.4. SHADE TREES SHALL BE STRUCTURALLY PRUNED ONCE A YEAR IN SPRING BY A CERTIFIED ARBORIST.
 - 7.5. SHRUBS SHALL BE MAINTAINED FOLLOWING THEIR NATURAL FORM WITH ROUNDED TOP AND WIDER BASE. SMALL-LEAVED (LESS THAN 1" LENGTH) SHRUBS MAY BE SHEARED WITH POWERED HEDGE TRIMMERS. ALL SHRUBS SHALL BE TRIMMED ONCE TO THREE TIMES A YEAR TO MAINTAIN DESIRED HEIGHT. ALL OVERGROWN SHRUBS SHALL BE CUT BACK IN MAY AND IN SEPTEMBER.
 - 7.6. HEDGES SHALL BE PRUNED REGULARLY FROM THE BEGINNING FOR PROPER ESTABLISHMENT. ALL HEDGES MUST BE MAINTAINED WITH NARROWER TOP THAN THE BOTTOM FOR SUNLIGHT TO REACH THE LOWER HALF OF THE PLANT.
 - 7.7. ORNAMENTAL GRASSES MAY BE CUT BACK ONCE A YEAR IN SUMMER TO REMOVE BROWN LEAVES. CUTTING MAY BE COMPLETED IN FOUR WEEK INTERVALS SO NOT TO HAVE ALL THE ORNAMENTAL GRASSES RECOVERING AT THE SAME TIME.
8. DIVIDING PLANTS:
 - 8.1. BROMELADS: WHEN THE MOTHER PLANT TURNS BROWN, CAREFULLY PULL UP THE BROMELAD CLUMP. CUT THE PUPS APART WITH A SHARP KNIFE OR PRUNERS PRESERVING AS MANY OF THE ROOTS AS POSSIBLE. DISCARD THE DYING MOTHER PLANT AND PLANT THE PUPS. THE DEAD MOTHER PLANT MAY ALSO BE TWISTED OFF AT THE BASE, WITHOUT REMOVING THE CLUMP FROM THE GROUND.
 - 8.2. HERBACEOUS PERENNIALS: THE CLUMPS MAY BE DIVIDED EVERY TWO TO THREE YEARS IN LATE SPRING OR SUMMER. DIG THE ROOT BALL OUT OF THE GROUND AND CAREFULLY DIVIDE THE CLUMP INTO 2-4 SMALLER SECTIONS.
9. RELOCATING PLANT MATERIAL:
 - 9.1. THE BEST TIME TO RELOCATE PLANTS IN THE GARDEN IS FEBRUARY THROUGH APRIL.
 - 9.2. THE PLANT SHALL BE PROPERLY ROOT-PRUNED BETWEEN 6 AND 10 WEEKS BEFORE RELOCATION.
 - 9.3. AT THE TIME OF THE RELOCATION, THE ROOT BALL SHALL BE CUT BEYOND THE ROOT PRUNING CUT TO INCLUDE ALL NEW FEEDER ROOTS.
 - 9.4. WATER RELOCATED PLANTS DAILY FOR THE FIRST TWO WEEKS, AFTER WHICH THREE TIMES PER WEEK FOR THE FOLLOWING TWO MONTHS.
10. MAINTAINING SOIL PH:
 - 10.1. SANDY SOILS ARE NATURALLY ALKALINE, BUT MOST PLANT MATERIALS PREFER SOILS IN NEUTRAL OR ACIDIC RANGE TO THRIVE.
 - 10.2. ADDING ORGANIC MATTER REGULARLY WILL MAINTAIN A HEALTHY PH LEVEL FOR ALL PLANTS.
 - 10.3. COMPOST WILL DECREASE THE SOIL PH THROUGH THE DECOMPOSITION PROCESS.
 - 10.4. ACIDIC ORGANIC MATTER, SUCH AS PINE NEEDLES AND ACID PEAT WILL REDUCE THE PH TEMPORARILY.
 - 10.5. GRANULAR SULFUR SHOULD ONLY BE USED AS THE LAST RESORT TO LOWER SOIL PH.
11. CONTAINER PLANTS:
 - 11.1. ONLY USE POTTING SOIL OR POTTING MIX IN CONTAINERS.
 - 11.2. WATER THOROUGHLY. CONTAINER PLANTS NEED MORE WATER THAN THE PLANTS IN THE GROUND. DURING SUMMER MONTHS, HERBS IN CONTAINERS WILL NEED WATERING ONCE DAILY.
12. COLD PROTECTION:
 - 12.1. WATER COLD SENSITIVE PLANTS THOROUGHLY 12 HOURS BEFORE THE FORECASTED COLD FRONT.
 - 12.2. COVER THE PLANTS AT DUSK WITH BLANKETS OR BREATHABLE COVERS. REMOVE THE COVERS AFTER DAWN.

FDOT LANDSCAPE PERMIT NUMBER:
2023-L-496-00006



Sheet
L4
Details and
Specifications

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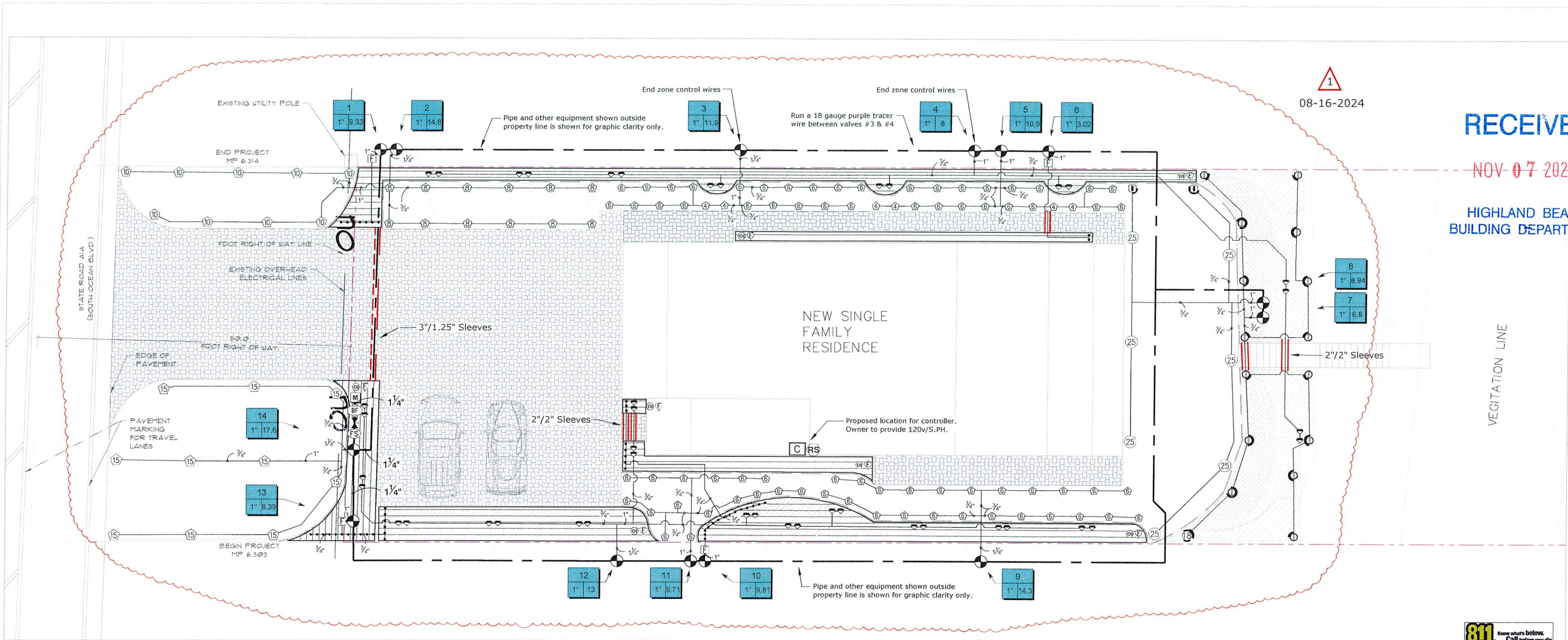
NOV 07 2024

HIGHLAND BEACH
BUILDING DEPARTMENT

Landscape Plan
NEW RESIDENCE
3521 S Ocean Blvd., Highland Beach, FL 33487

Date: 07/17/2021
Design by: MF/PA
Reviewed by: MF
Scale: 1"=8'
Revised: 09/17/2021
01/14/2023, 02/15/2023, 03/17/2023,
05/08/2023, 05/24/2024, 07/09/2024,
08/16/2024, 09/21/2024

10/30/24



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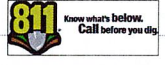
NOV 07 2024

HIGHLAND BEACH
BUILDING DEPARTMENT

Scale:	1" = 8'
Design Date:	08-16-2024
Drawn By:	RT
Last Date:	08-16-2024
Modified:	
Revisions:	
1	
2	
3	
4	
5	
6	

IRRIGATION
PLAN

New Residence
3521 S. Ocean Blvd
Highland Beach, FL, 33487



IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter PROS-06-CV Adj Series Turf Spray, 6in. Pop-Up, With Drain Check Valve.
	Hunter PROS-06-CV, Rain Bird R-VAN14 Turf Rotary, 8ft-14ft, 45-270 degrees and 360 degrees, Hand Adjustable Multi-Stream Rotary w/PROS-06 and check valve.
	Hunter PROS-12-CV, Rain Bird R-VAN-STRIP Shrub Rotary, 5ftx15ft, (LCS and RCS), 5ftx30ft, (SST) Hand Adjustable Multi-Stream Rotary w/ PROS-12 pop-up with check valve, on a Sch-40 riser.
	Hunter PROS-12-CV, Rain Bird R-VAN14 Shrub Rotary, 8ft-14ft, 45-270 degrees and 360 degrees, Hand Adjustable Multi-Stream Rotary w/ PROS-12 pop-up with check valve, on a Sch-40 riser.
	Hunter PROS-12-CV, Rain Bird R-VAN18 1812-SAM-P45 Shrub Rotary, 13ft-18ft, 45-270 degrees and 360 degrees, Hand Adjustable Multi-Stream Rotary w/ PROS-12 pop-up with check valve, on a Sch-40 riser.
	Hunter PCB 10 Flood Bubbler, 1/2" FIPT.
	Hunter PGP-04-MPR 25 Turf Rotor, 4" Pop-Up, Adjustable to Full Circle, MPR Nozzle.
	Netafim TL050MFV-1 Automatic flush valve, 1/2" male pipe thread.
	Rain Bird OPERIND Drip System Operation Indicator, stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi, includes 16" of 1/4" distribution tubing with connection fitting pre-installed.
	Area to Receive Dripline Hunter HDL-09-12-CV HDL-09-12-CV Hunter Dripline w/ 0.9 GPH emitters at 12" O.C. Check valve, dark brown tubing w/ black striping, Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.
	Hunter PGV-101A 1" Plastic Electric Remote Control Valve, Angle Configuration, With Flow Control.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Landscape Products Inc. CWV Slip Socket Slip Socket Plastic Ball Valve. Quarter-turn shutoff designed for irrigation, cold water applications. Same size as mainline.
	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location.
	Proposed Zurn 720A 1.25" Pressure Vacuum Breaker to be provided, installed and certified by others.
	Hunter HCC-2400-PL 24 Station Outdoor Wi-Fi enabled, w/ (2) ICM-800 modules, touchscreen, Plastic Cabinet.
	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight. 22-28 VAC/VDC 100 mA power from timer transformer. Mount as noted.
	Creative Sensor Technology FSI-T-SP3 Series 1in. PVC tee type flow sensor w/socket ends, custom mounting tee and ultra-lightweight impeller enhances low flow measurement. 2 wire digital output compatible w/all irrigation controllers.
	Hunter HY-100 1" MPT x MPT threaded inlet and outlet filter with 150 mesh stainless steel screen
	Proposed Water Meter Owner to Provide a (1") potable water meter with a minimum size PE service line of 1.25 inches.
	Irrigation Lateral Line: PVC Schedule 40 Sch-40 solvent weld bell end PVC pipe, ASTW D2266. Use only Weld-on Medium body 721 Blue glue with P-70 purple primer. Apply solvent weld glue per manufactures instructions. See specifications and details for additional installation instructions.
	Irrigation Mainline: PVC Schedule 40 Sch-40 solvent weld bell end PVC pipe, Use only Weld-on Medium body 721 Blue glue with P-70 purple primer. Apply solvent weld glue per manufactures instructions. See specifications and details for additional additional instructions.
	Pipe Sleeve: PVC Schedule 40 Sleeving sizes 1.5-inch thru 4-inch shall be Sch-40 pipe, Sleeving 6-inch and larger shall be Class 200 pipe. See details and specifications for additional installation instructions.

WATERING SCHEDULE

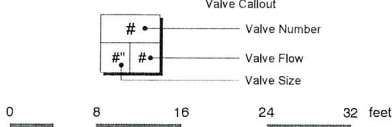
NUMBER	MODEL	TYPE	PRECIP	SUN	MON	TUE	WED	THU	FRI	SAT	IN/WEEK	GAL/WEEK	GAL/DAY
1	Hunter PGV-101A	Area for Dripline	2.76 in/h		10 min		10 min			10 min	1.25	261	87.1
2	Hunter PGV-101A	Turf Spray	2.33 in/h		12 min		12 min			12 min	1.3	503	168
3	Hunter PGV-101A	Turf Spray	6.31 in/h		5 min		5 min			5 min	1.3	155	51.5
4	Hunter PGV-101A	Bubbler	2.73 in/h		7 min		7 min			7 min	0.9	220	73.3
5	Hunter PGV-101A	Turf Spray	6.21 in/h		5 min		5 min			5 min	1.3	141	47.0
6	Hunter PGV-101A	Area for Dripline	3.44 in/h		8 min		8 min			8 min	1.25	66.3	22.1
7	Hunter PGV-101A	Shrub Rotary	0.97 in/h		27 min		27 min			27 min	1.3	634	211
8	Hunter PGV-101A	Turf Rotor	0.98 in/h		27 min		27 min			27 min	1.3	715	238
9	Hunter PGV-101A	Turf Spray	4.3 in/h		7 min		7 min			7 min	1.3	272	90.7
10	Hunter PGV-101A	Area for Dripline	2.78 in/h		10 min		10 min			10 min	1.25	275	91.6
11	Hunter PGV-101A	Turf Spray	4.67 in/h		6 min		6 min			6 min	1.3	165	55.0
12	Hunter PGV-101A	Bubbler	2.65 in/h		7 min		7 min			7 min	0.9	273	91
13	Hunter PGV-101A	Area for Dripline	2.12 in/h		12 min		12 min			12 min	1.25	302	101
14	Hunter PGV-101A	Turf Spray	1.9 in/h		14 min		14 min			14 min	1.3	738	246
TOTALS					157		157			157		4,720	1,573

Note: Run times are base on SFWMD 10 year average rain fall, peak usage in July. Contractor / owner must adjust run time to current weather condition..

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Hunter PGV-101A	1"	Area for Dripline	9.33	26.5	33.4	1.44 in/h
2	Hunter PGV-101A	1"	Turf Spray	14.79	26.6	33.6	2.33 in/h
3	Hunter PGV-101A	1"	Turf Spray	11.9	26.4	33.8	6.31 in/h
4	Hunter PGV-101A	1"	Bubbler	11	33.6	41.0	n/a
5	Hunter PGV-101A	1"	Turf Spray	10.86	26.4	33.9	6.21 in/h
6	Hunter PGV-101A	1"	Area for Dripline	3.02	26.2	33.7	1.44 in/h
7	Hunter PGV-101A	1"	Shrub Rotary	7.83	31.6	39.3	0.97 in/h
8	Hunter PGV-101A	1"	Turf Rotor	8.94	31.5	39.2	0.98 in/h
9	Hunter PGV-101A	1"	Turf Spray	14.32	26.5	33.9	4.3 in/h
10	Hunter PGV-101A	1"	Area for Dripline	9.81	26.8	33.8	1.44 in/h
11	Hunter PGV-101A	1"	Turf Spray	9.71	26.3	33.5	4.67 in/h
12	Hunter PGV-101A	1"	Bubbler	13	32.4	39.5	n/a
13	Hunter PGV-101A	1"	Area for Dripline	8.39	26.3	32.7	1.44 in/h
14	Hunter PGV-101A	1"	Turf Spray	17.57	27.2	33.3	1.9 in/h

08-16-2024



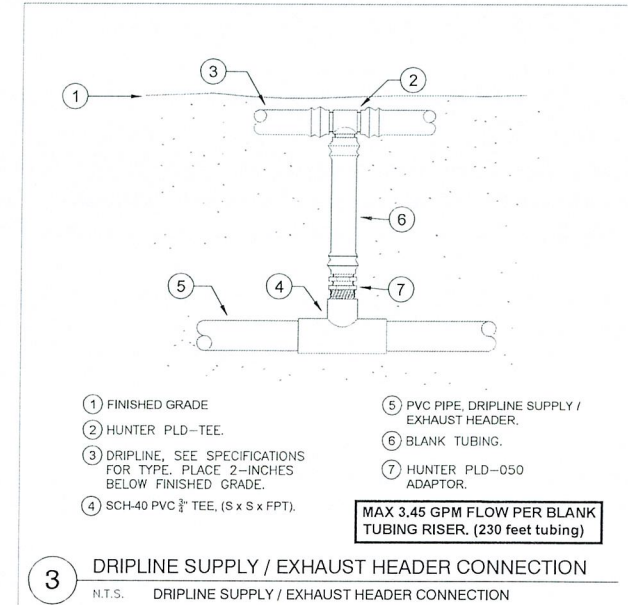
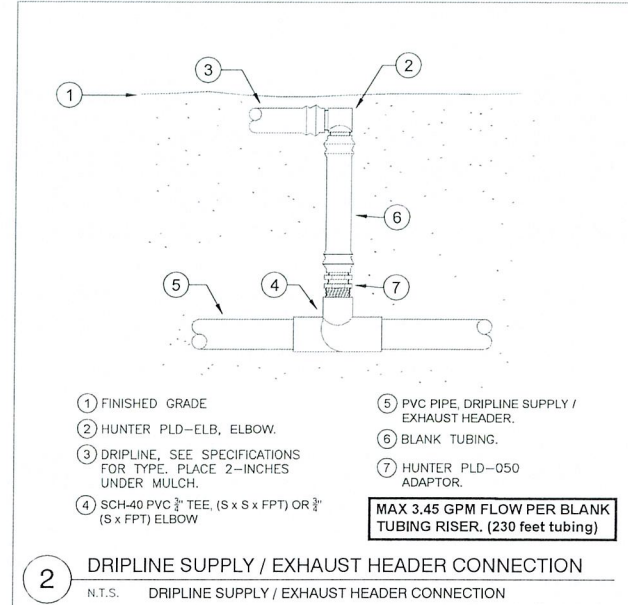
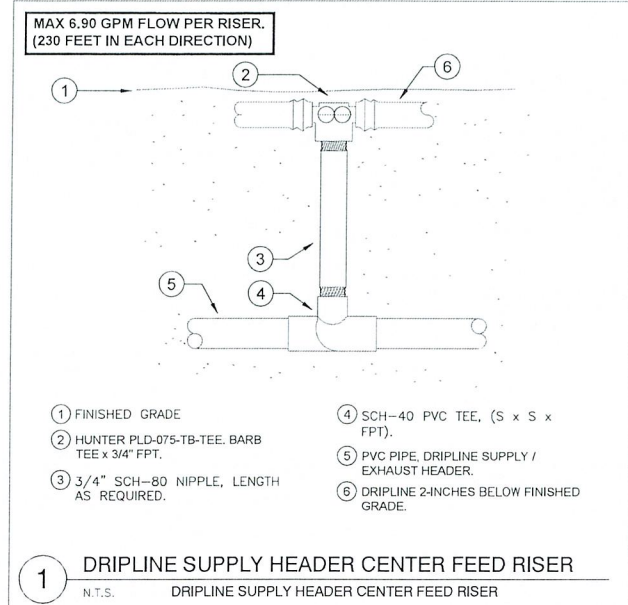
FDOT LANDSCAPE PERMIT NUMBER:
2023-L-496-00006

08-16-2024

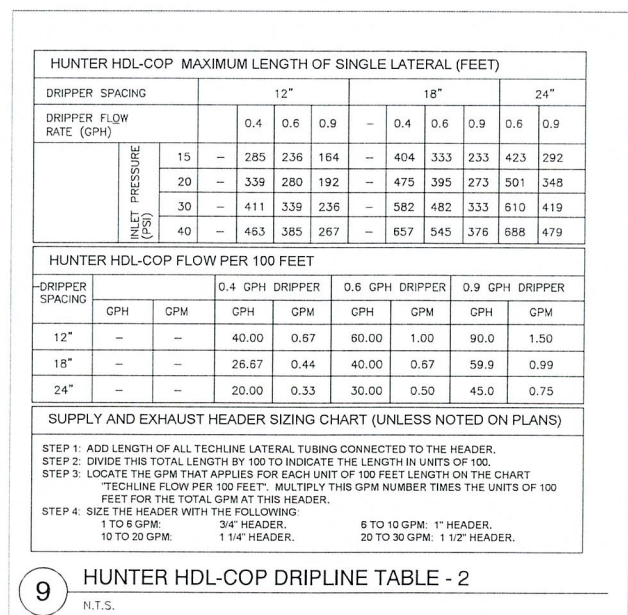
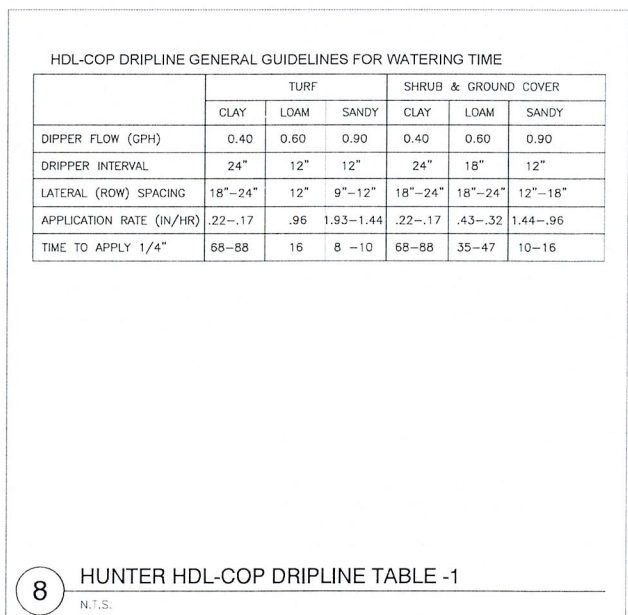
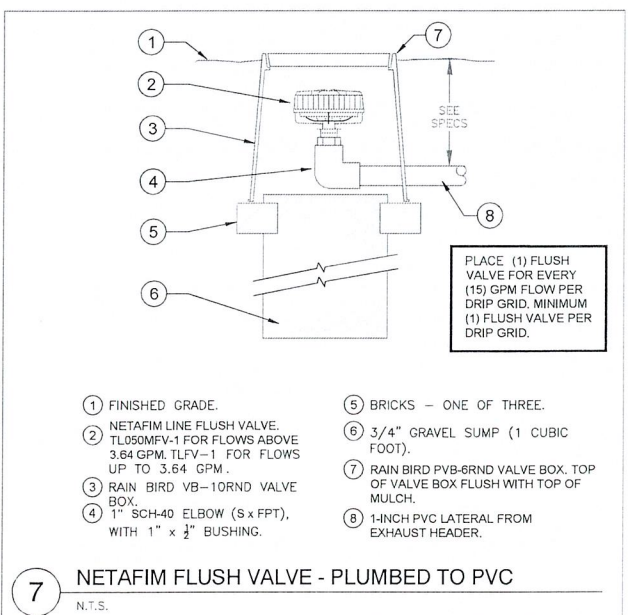
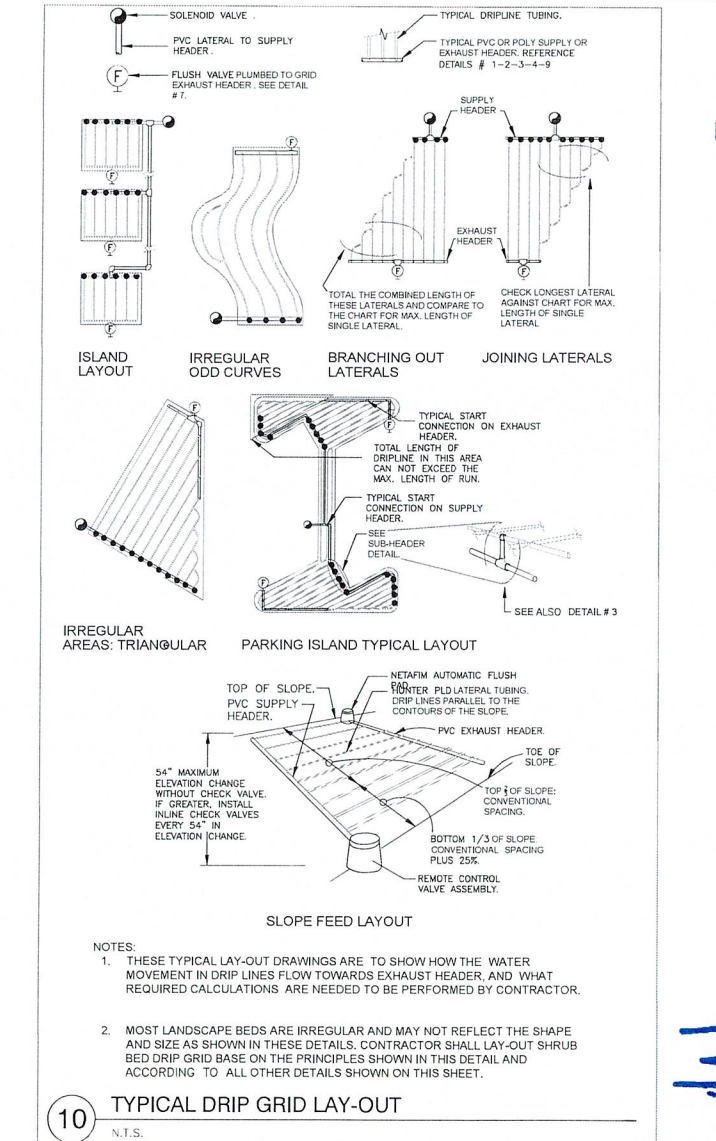
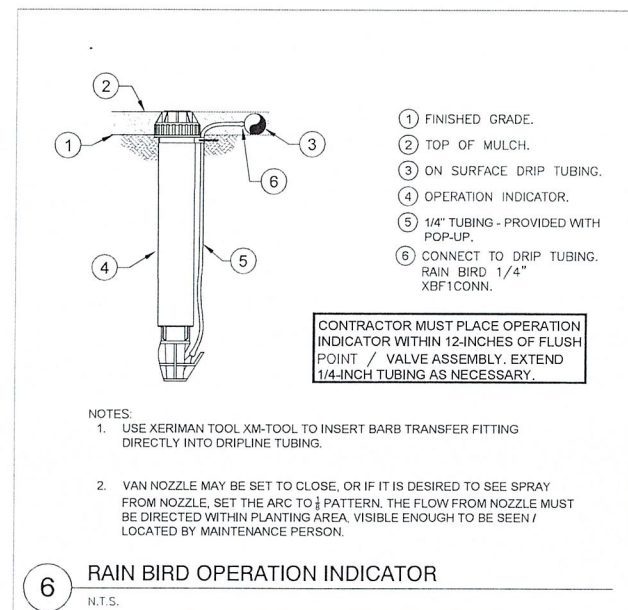
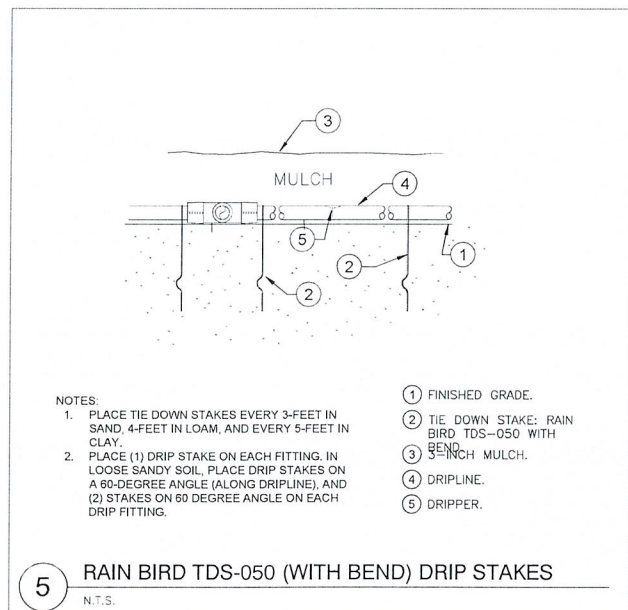
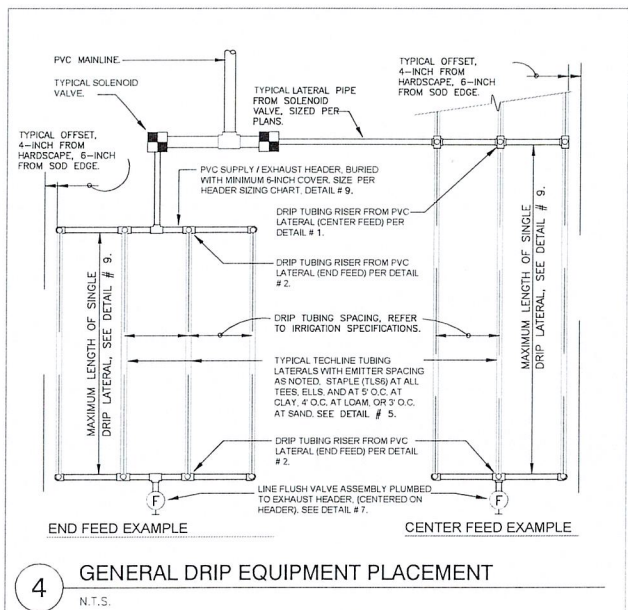


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- DRIPLINE SPECIFICATIONS:
1. DRIPLINE TUBING; HUNTER HDL-CV-GOP, ROW SPACING 12-INCHES. DRIPLINE GRID LAY-OUT IS BASED ON 30 PSI. IF PRESSURE BY SOLENOID VALVE IS HIGHER THAN 50 PSI, INSTALL A AS-50 ON SOLENOID VALVE.
 2. INSTALL DRIPLINE SYSTEM IN THE FOLLOWING ORDER: A). WITH ALL MAINLINE AND IT'S ASSOCIATE EQUIPMENT COMPLETELY INSTALLED, FLUSH MAINLINE TILL FREE AND CLEAR OF DEBRIS. B). INSTALL ALL LATERALS TO THE VARIOUS DRIPLINE GRIDS, AND SUPPLY HEADERS WITH RISERS EXTENDED ABOVE GROUND. CENTER FEED RISERS, TEMPORARY EXTEND NIPPLES WITH PIPE AND COUPLINGS (DO NOT GLUE). FLUSH TILL FREE AND CLEAR OF DEBRIS, TEMPORARY CAP NIPPLES, SEAL BLANK TUBING (RISERS) WITH TAPE. C). INSTALL EXHAUST HEADERS - RISERS - FLUSH POINTS. D). INSTALL DRIPLINE GRID, STAPLE TUBING PER DETAIL #5, CONNECT DRIPLINE TUBING TO SUPPLY HEADER RISERS. FLUSH TILL FREE AND CLEAR OF DEBRIS. E). CONNECT DRIPLINE GRID TO EXHAUST HEADER RISERS, FLUSH SYSTEM USING "FLUSH VALVE". PVC DISCHARGE AND EXHAUST HEADERS MUST BE BURIED WITH MINIMUM 6" COVER. MULCH IS NOT CONSIDERED AS COVERAGE.
 3. INSTALL OPERATION INDICATORS "OI" WITHIN 12-INCHES OF FLUSH POD, ONE AT END OF EACH DRIPLINE GRID. SEE DETAIL #6. ACTIVATE DRIPLINE, ENSURE ALL OPERATION INDICATORS ARE FULLY EXTENDED, ADJUST STREAM SPRAY TO WHERE IT CAN EASILY BE SEEN BY MAINTENANCE PERSON.
 4. PRESSURE TEST WITH OWNERS REPRESENTATIVE PRESENT; PER ZONE, TEMPORARY INSTALL (2) PRESSURE GAUGES (LIQUID FILLED PRESSURE GAUGES) ON (2) FLUSH POINTS, (1) ON LARGEST GRID "FLUSH POINT" AND THE OTHER ON FARTHEST GRID "FLUSH POINT". ACTIVATE ZONE, AFTER FLOW HAS STABILIZED, VERIFY ALL ZONE OPERATION INDICATORS ARE FULLY EXTENDED, CHECK PRESSURE ON BOTH GAUGES, PRESSURE MUST BE 20 PSI OR HIGHER TO PASS TEST. IF TEST FAILS, CONTRACTOR TO LOCATE AND CORRECT PROBLEM AND RETEST. IT IS IN THE CONTRACTORS BEST INTEREST TO PERFORM HIS OWN TEST BEFORE HE CALLS OWNERS REPRESENTATIVE PRESENTS TO AVOID RE-INSPECTION FEE'S.
 5. PRESSURE TEST RESULTS SHALL BE NOTED AS-BUILD DRAWING BY THE "FLUSH VALVE" WHERE TESTS WERE TAKEN. ALL "FLUSH VALVE" LOCATIONS SHALL BE INCLUDED IN AS-BUILD DRAWINGS.



Scale: 1" = 8'

Design Date: 03-28-2024

Drawn By: RT

Last Date: 08-16-2024

Modified

Revisions:

1 2 3 4 5 6

IRRIGATION DRIPLINE DETAILS

RECEIVED

NOV 07 2024

HIGHLAND BEACH BUILDING DEPARTMENT

New Residence

3521 S. Ocean Blvd

Highland Beach, FL, 33487

NORTH

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10/30/24

FDOT LANDSCAPE PERMIT NUMBER: 2023-L-496-00006

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