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OCT 24 2024

HIGHLAND BEACH  
BUILDING DEPARTMENT

4203 TRANQUILITY DRIVE

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OCT 24 2024

HIGHLAND BEACH  
BUILDING DEPARTMENT

REAR VIEW OF PROPOSED  
RESIDENCE AT:  
4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL

SEA-WALL, DOCK, AND PICNIC  
TABLE SHOWN FOR ILLUSTRATIVE  
PURPOSES ONLY



LEGEND

A.E. = ANCHOR EASEMENT  
A/C = AIR CONDITIONER  
C.B.S. = CONCRETE BLOCK STRUCTURE  
C = CALCULATED  
CH = CHORD  
CL = CENTERLINE  
C/S = CONCRETE SLAB  
CONC. = CONCRETE  
D.E. = DRAINAGE EASEMENT  
Δ = DELTA (CENTRAL ANGLE)  
EL., ELEV. = ELEVATION  
F.F. = FINISHED FLOOR  
F.I.P. = FOUND IRON PIPE  
F.I.R. = FOUND IRON ROD  
L = ARC LENGTH  
L.B. = LICENSED SURVEY BUSINESS  
LS = LICENSED SURVEYOR  
M = MEASURED  
NO I.D. = NO IDENTIFICATION  
N/A = NOT APPLICABLE

P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER  
NAVD'88 = NORTH AMERICAN VERTICAL DATUM OF 1988  
NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM OF 1929  
P = PLAT  
P.B.C. = PALM BEACH COUNTY  
P.B. = PLAT BOOK  
P.C. = POINT OF CURVATURE  
P-K = PARKER KALON COMPANY  
D = DEED  
0.00'x = SPOT ELEVATION  
P.R.C. = POINT OF REVERSE CURVATURE  
PG. = PAGE  
R = RADIUS  
R/W = RIGHT OF WAY  
U.E. = UTILITY EASEMENT  
C.L.F. = CHAINLINK FENCE  
PL = PROPERTY LINE  
Ø = DIAMETER  
B.L. = BUILDING LINE

SYMBOL

- WD WATER METER  
○ UTILITY POLE  
⊙ FIRE HYDRANT  
⊞ ELECTRIC BOX  
⊞ WATER VALVE  
⊞ CATCH BASIN  
⊞ ELECTRIC HAND HOLE  
⊞ ANCHOR  
⊞ TELEPHONE BOX  
⊞ SANITARY BOX  
⊞ IRRIGATION CONTROL VALVE  
⊞ ELECTRIC METER

LEGAL DESCRIPTION:

LOT 12, BLOCK 5 "BEL LIDO",  
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25,  
PAGE 97, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

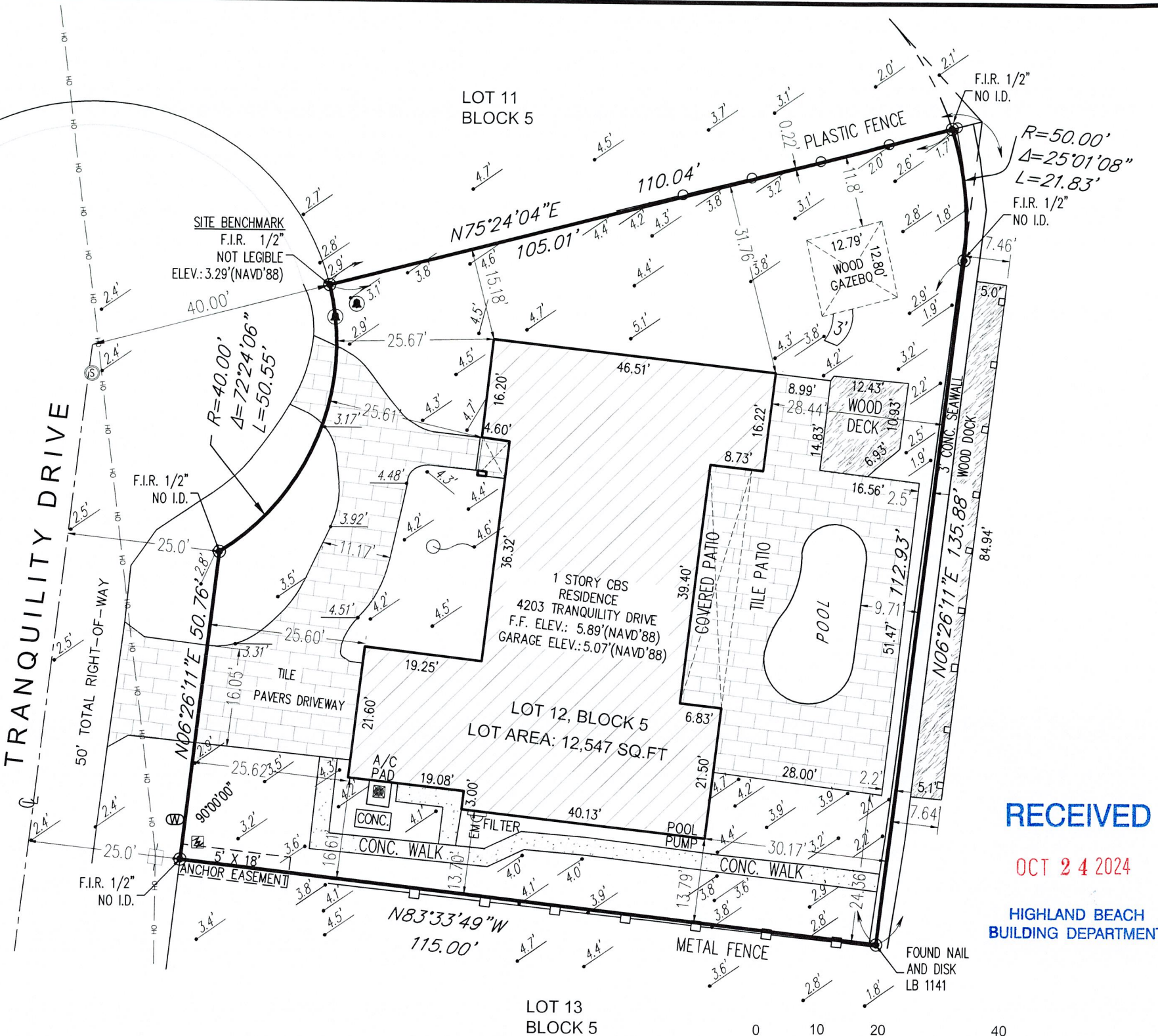
SURVEY NOTES:  
LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON  
WERE NOT ABSTRACTED BY THE SURVEYOR FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER  
RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL  
DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF  
OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN  
7500 FEET). ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD'88, UNLESS OTHERWISE NOTED.


- CHW OVERHEAD WIRE LINE (OHW)  
x x x CHAIN LINK FENCE (C.L.F.)  
// // WOOD FENCE (W.F.)  
□ □ □ METAL FENCE (M.F.)  
○ ○ ○ PLASTIC FENCE (P.F.)

BENCHMARK OF ORIGIN:  
PALM BEACH COUNTY BENCHMARK NUMBER Z 233  
ELEVATION: 16.020'(NAVD'88)

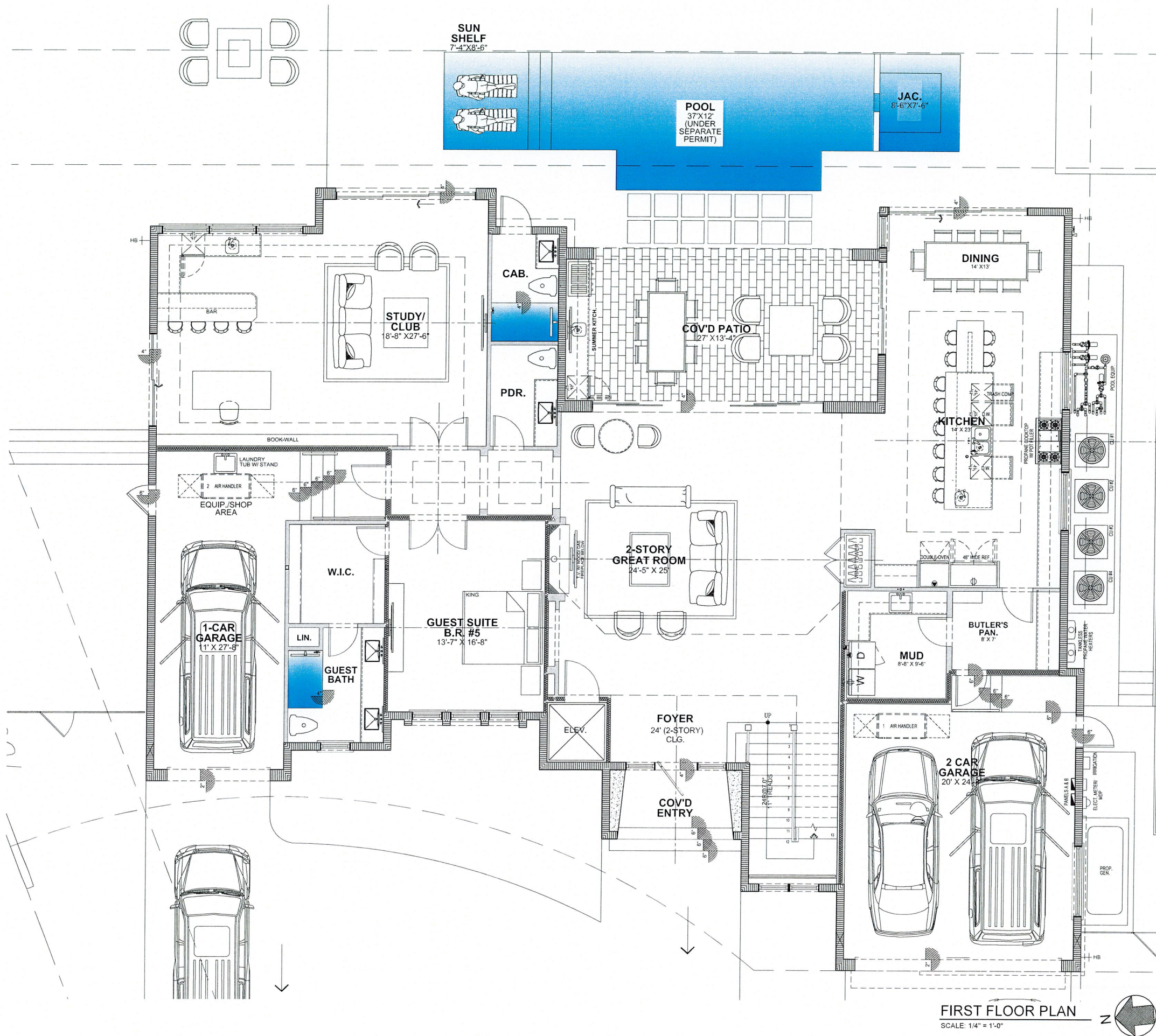
CERTIFIED TO:

ROBERT D. HAMMOND



MAP OF BOUNDARY SURVEY				SCALE: 1" = 20'	NOTES/REVISIONS	THIS SURVEY MEETS THE STANDARD OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.  <div>Date: 06/01/2024</div>	<div></div> <div><b>BASELINE LAND SURVEY LLC</b> 1400 N.W. 1st COURT BOCA RATON, FLORIDA 33432 (561) 417-0700 LB-8229 JOB NO.: 06-05-142</div>
COMMUNITY PANEL#	FLOOD ZONE:	BASE FLOOD EL.:	DRAWN BY: A.A.				
125111-0989	AE	AR: 6.0'(NAVD'88)	CHECKED BY: J.K.				
DATE OF FIRM:	BASIS OF BEARING: S/E R/W LINE OF TRANQUILITY DRIVE, SAID LINE HAVING BEARING OF N06°26'11"E.						
10/05/2017							
PROPERTY ADDRESS: 4203 TRANQUILITY DRIVE, HIGHLAND BEACH, FLORIDA 33487				PARTY CHIEF: HECTOR M.	JOHN E. KUJAR, PSM, STATE OF FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS 6711 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.		
				SURVEY DATE: 06/01/24			





1st FLOOR PLAN KEY NOTES	
101	34"-38" HIGH CONTINUOUS HANDRAIL (FROM UPSTAIRS GUARD-RAIL TO FINAL STEP) ON AT LEAST ONE SIDE OF STAIR PER FBC 2020 RESIDENTIAL, G.C. TO SUBMIT SHOP DRAWINGS (TYP @ ALL STAIRWAY HANDRAILS) & MUST COMPLY W/ HANDRAIL GRIP SIZE PER FBC 2020 RESIDENTIAL, TYPE I OR TYPE II. SEE STAIR NOTES ON WALL SECTION SHEET.
102	4" SHOWER RECESS, SLOPE FINISH TO SHOWER DRAIN A MIN. OF 1/8" FT. SEE STRUCTURAL DWG's.
103	MIN. 6" CONCRETE EQUIPMENT PAD FOR A.C. EQUIPMENT. SEE STRUCTURAL DWG's. ANCHOR EQUIPMENT TO PAD PER MANUFACTURER'S SPECIFICATIONS.
104	MIN. 6" CONCRETE EQUIPMENT PAD FOR POOL EQUIPMENT. SEE STRUCTURAL DWG's. ANCHOR EQUIPMENT TO PAD PER MANUFACTURER'S SPECIFICATIONS.
105	MIN. 6" CONCRETE EQUIPMENT PAD FOR PROPANE GAS GENERATOR. SEE STRUCTURAL DWG's. ANCHOR EQUIPMENT TO PAD PER MANUFACTURER'S SPECIFICATIONS.
106	GAS GENERATOR. SEE MEP DWG's FOR DETAILS. SEE SITE PLAN FOR LOCATION OF (2) TANKS. SEE NOTE BELOW FOR APPLIANCES THAT WILL REQUIRE PROPANE FEED.
107	GAS TANKLESS WATER HEATERS. SEE MEP DWG's.
108	RECESSED HOSE BIB.
109	OUTDOOR SHOWER HEAD AND CONTROLS. SEE ELEVATIONS.
110	OUTDOOR RATED S.S. B.B.Q. SINK, VERIFY SPEC. w/ OWNER.
111	GAS BBQ w/ STAINLESS STEEL EXHAUST HOOD ABOVE VERIFY SPEC. w/ OWNER.
112	OUTDOOR COUNTER TO SERVE AS SUMMER KITCHEN FOR B.B.Q. AREA ABOUT 36" ABOVE FINISHED FLOOR AT PATIO.
113	OUTDOOR RATED UNDER COUNTER REFRIGERATOR, VERIFY SPEC. w/ OWNER.
114	STACK ELECTRIC CLOTHES WASHER & DRYER, VENT DRYER THROUGH SIDE WALL w/ CAP. SEE MEP DWG's.
115	LAUNDRY SINK.
116	48" SIDE BY SIDE REF/ FREEZE COMBO, VERIFY SPEC. w/ OWNER.
117	ELECTRIC DOUBLE OVENS, VERIFY SPEC. w/ OWNER.
118	DISHWASHER, VERIFY SPEC. w/ OWNER.
119	48" GAS COOKTOP w. S.S. VENTILATOR EXHAUST HOOD ABOVE, VERIFY SPEC. w/ OWNER, VENT HOOD THROUGH SIDE WALL w/ CAP. MAINTAIN MIN. 10'-0" TO OPERABLE WINDOWS/ DOOR OR OPENINGS.
120	DOUBLE S.S. SINK w/ GARBAGE DISPOSAL, VERIFY SPEC. w/ OWNER.
121	COUNTERTOP MOUNTED INSINKERATOR PUSH BUTTON AIR SWITCH.
122	PLUMBED COFFEE SYSTEM, VERIFY SPEC. w/ OWNER.
123	S.S. BAR SINK, VERIFY SPEC. w/ OWNER.
124	UC REFRIGERATOR, VERIFY SPEC. w/ OWNER.
125	UC ICE MAKER, VERIFY SPEC. w/ OWNER.
126	FULL HEIGHT WINE REFRIGERATOR, VERIFY SPEC. w/ OWNER.
127	GAS FIREPLACE, VERIFY SPEC. w/ OWNER.
128	MIN. R-11 BATT. WALL INSULATION BETWEEN GARAGE & AIR CONDITIONED AREA. SEE GENERAL GARAGE NOTES.
129	VERTICAL AIR HANDLING UNIT LOCATED IN CLOSET. SEE MECHANICAL DWG's.
130	AIR HANDLING UNIT LOCATED IN CEILING HUNG FROM TRUSSES BELOW GARAGE CEILING. SEE DETAIL ON DETAIL SHEET. ACCESS TO SERVICE UNIT FROM INSIDE GARAGE SPACE.
131	CUSTOM STAIRCASE. OPEN FLOATING STAIRS & SECOND LANDING UP TO SECOND FLOOR. SEE STAIR DETAIL NOTES, SHEET A303.
132	VENTILATION BLOCKS. SEE GARAGE VENTILATION CALCULATIONS THIS SHEET.
133	ELECTRICAL PANELS & METER. SEE ELECTRICAL DWG's.
134	FUTURE ELEVATOR OPENING IN FLOOR SLAB FOR ELEVATOR. 14" PIT DEPTH. PROVIDE WOOD FRAMED FLOOR FOR STORAGE CLOSET. SEE STRUCTURAL DWG's.
135	60A 240V DEDICATED RECEPTACLE FOR CAR CHARGER. SEE ELECTRICAL DWG's.
136	
137	ELECTRIC MICROWAVE OVEN/ COFFEE SYSTEM, VERIFY SPEC. w/ OWNER.

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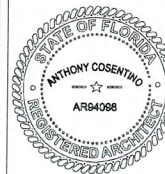
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HIGHLAND BEACH  
BUILDING DEPARTMENT

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PRIVATE RESIDENCE  
4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL



A101

PAGE

**COSENTINO  
ARCHITECTURE, INC.**  
1200 N. FEDERAL HIGHWAY  
SUITE 300  
BOCA RATON, FL 33432  
V/F: 561-922-0484  
FIRM#: AA26002153  
COSENTINOARCHITECTURE.COM

REVISIONS	BY	DATE
1	COMM.	AC
2		AC
3		AC

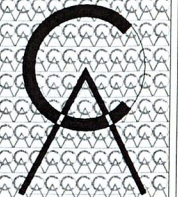
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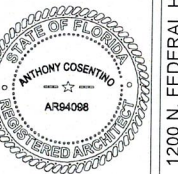
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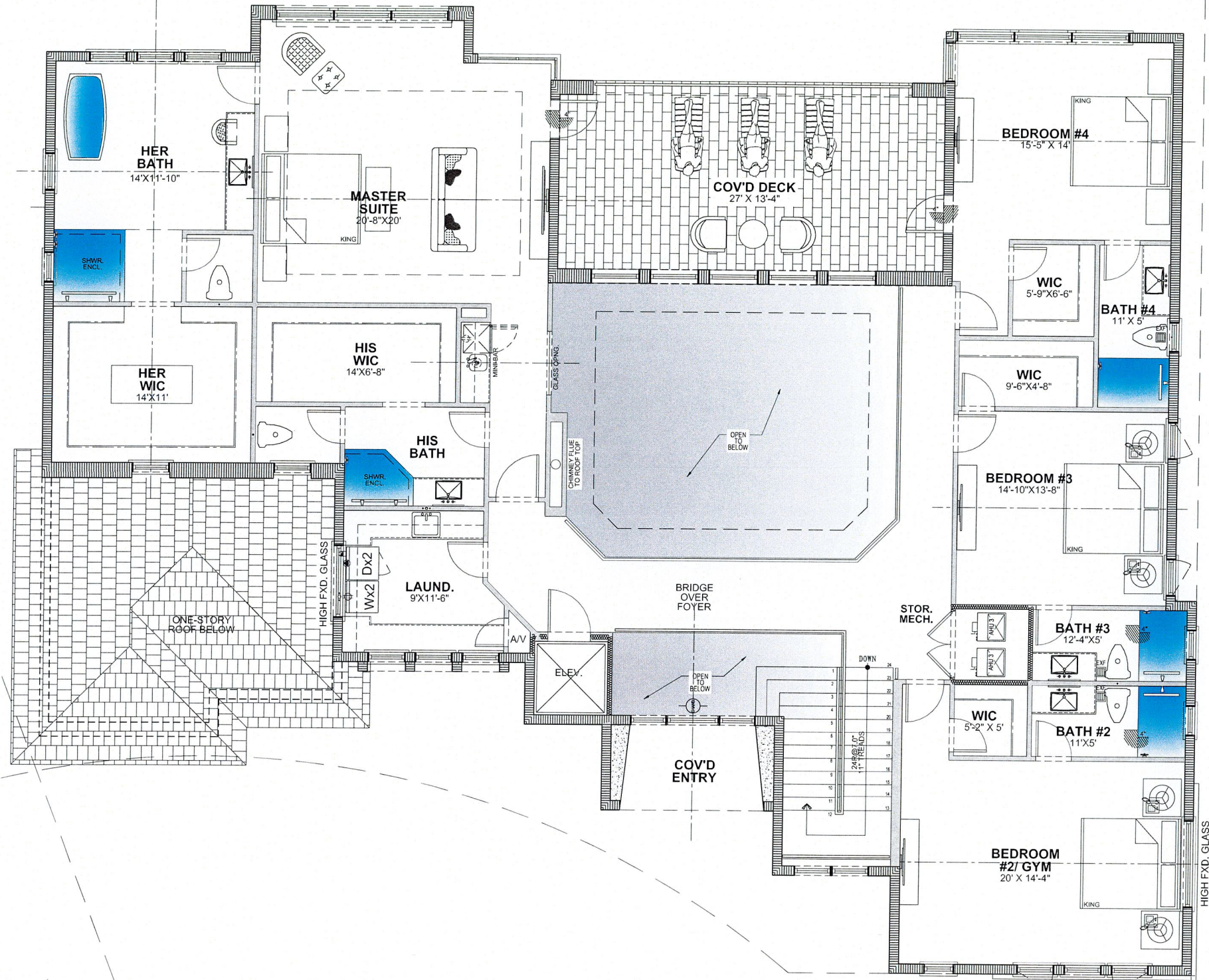
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4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL

STAIR DETAILS:  
14'-0" (168") FLOOR TO FLOOR  
26 RISERS @ 6.48" EACH  
25 TREADS @ 11" EACH  
1" NOISING FINISH STAIR  
DESIGN BY STAIR CO.



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SECOND FLOOR PLAN

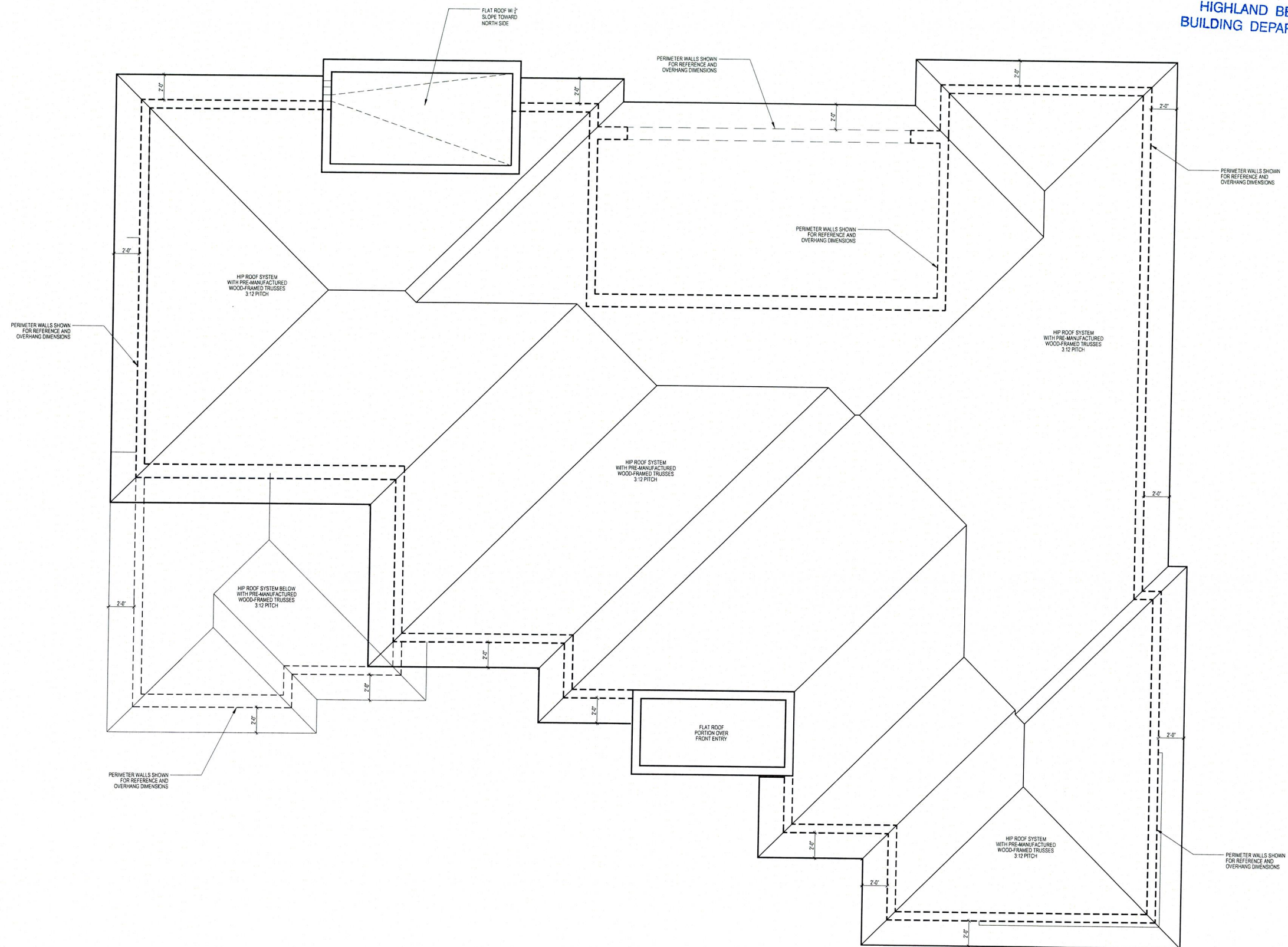
SCALE: 1/4" = 1'-0"  
SHOWING BLDG. SETBACK LINES



N75°24'04"E  
105.01'

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HIGHLAND BEACH  
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## ROOF PLAN

SCALE: 1/4" = 1'-0"




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**HIGHLAND BEACH, FL**

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1 ZONING REVIEW	AC	8-2-24
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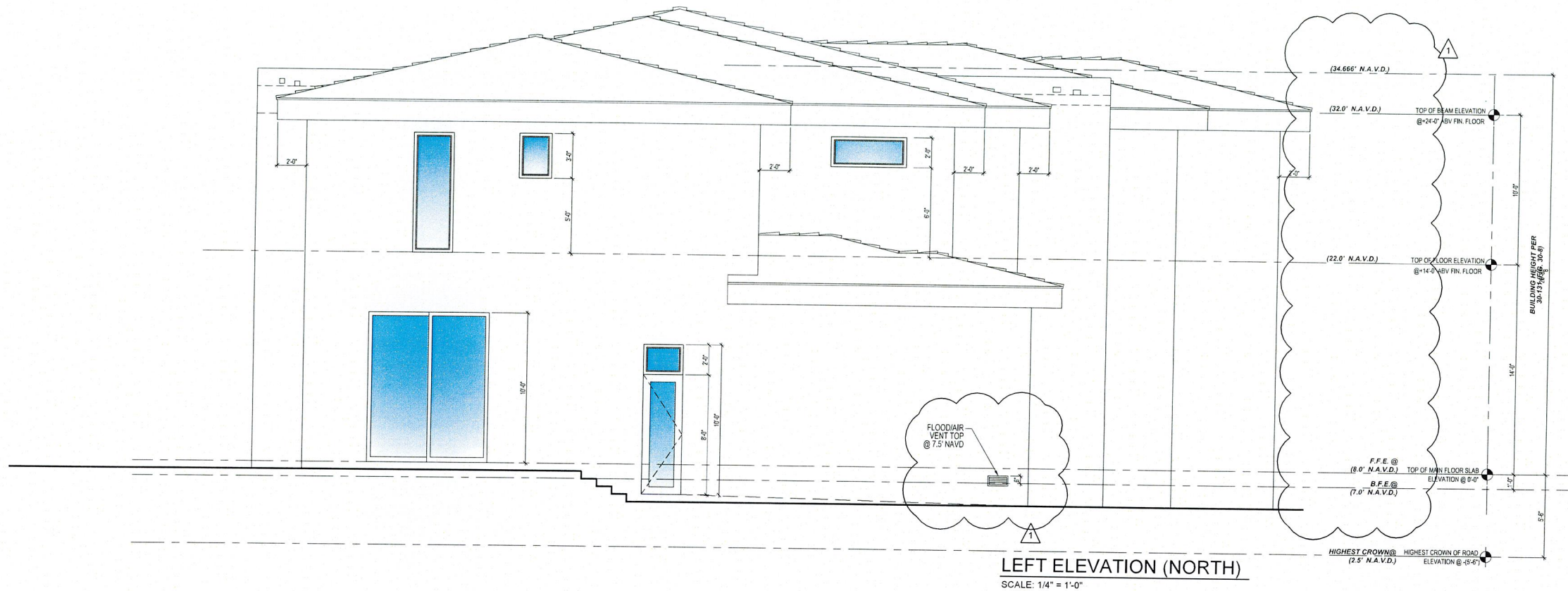
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PRIVATE RESIDENCE  
4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL

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HIGHLAND BEACH, FL

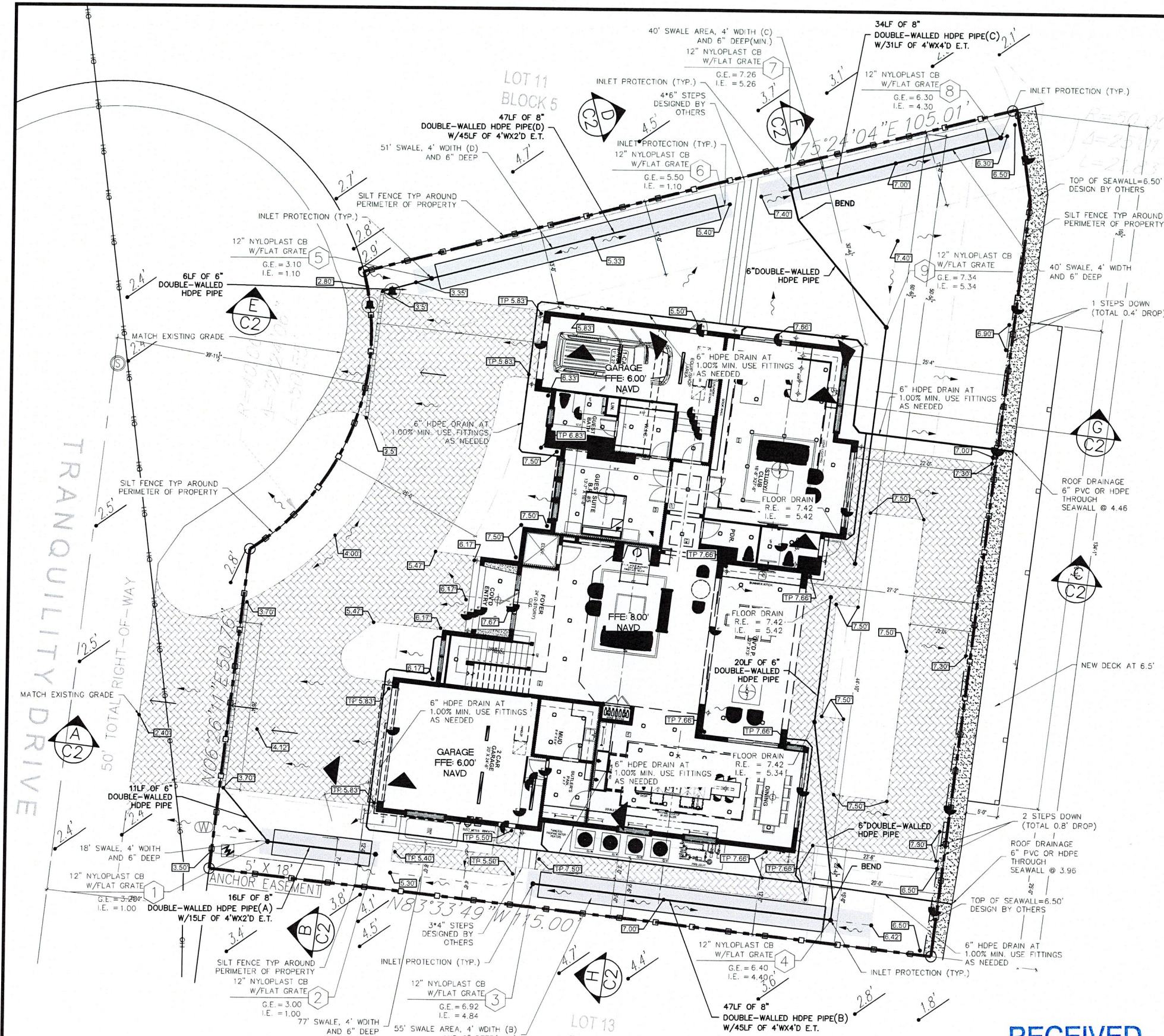
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**LEGEND**

— FLOW DIRECTION  
— SWALES CENTERLINE  
5.00' PROPOSED ELEVATION  
EXISTING ELEVATION  
TP TOP OF PAVEMENT  
SITE BOUNDARY  
SETBACK LINE

IN DRIVEWAY AREAS: PAVERS OVER 1" SAND LEVELING BASE OVER 8" LIMESTONE BASE OVER 12" SUBGRADE (LBR 40). COMPACT EACH LAYER TO 98% OF MAXIMUM DENSITY PER AASHTO T-180. PAVERS IN DRIVEWAY SHALL BE TRAFFIC LOAD BEARING. PAVEMENT PATTERN/COLOR SHALL BE PER ARCHITECT/OWNER'S CHOICE.

IN NON VEHICULAR AREAS: PAVEMENT SECTION SHALL BE THE SAME AS ABOVE, EXCEPT THAT LIMEROCK BASE SHALL BE 4" THICK.

I.E. INVERT ELEVATION  
G.E. GRATE ELEVATION  
R.E. RIM ELEVATION  
F.F. FINISHED FLOOR ELEVATION  
C.E. CENTERLINE  
T.S. TOP OF SOD  
T.O.W. TOP OF WALL  
E.T. EXFILTRATION TRENCH

NOTES:

- CONTRACTOR TO VERIFY EXISTING AND PROPOSED ELEVATIONS, EXISTING AND PROPOSED LOCATIONS AND ELEVATIONS OF SEWER INVERTS AND SLOPES, AND REPORT ANY DISCREPANCIES TO THE ENGINEER, PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATION, SIZE AND MATERIAL OF THE EXISTING FACILITIES/UTILITIES AND TOPOGRAPHY HAVE BEEN RECORDED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES AND TOPOGRAPHY SHOWN OR NOT SHOWN.
- CONTRACTOR TO COORDINATE RELOCATION OF EXISTING UTILITIES AND UTILITY POLES AT HIS OWN COST.
- TOLERANCE OF ALL FINISHED SURFACE FROM DESIGN ELEVATION, WHETHER PAVED OR UNPAVED, IS 0.04 FOOT. EXISTING AND PROPOSED GRADES ARE GIVEN, HOWEVER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE FLOW WITHOUT PONDING.
- VEGETATION, MUCK AND ANY DELETERIOUS MATERIAL UNDER PROPOSED PAVEMENT, WALKWAYS, ETC., MUST BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, FREE OF STUMPS, LARGE ROOTS OR OTHER MATTER NOT SUITABLE FOR INCLUSION IN ROADWAY FILL.
- PAVERS/ASPHALT SURFACE COURSE SHALL NOT BE PLACED UNTIL AS-BUILT DRAWINGS OF THE LIMEROCK BASE HAVE BEEN SUBMITTED AND APPROVED BY THE ENGINEER-OF-RECORD AND THE CITY ENGINEER OR DESIGNEE. HAVE THE ENGINEER INSPECT CONCRETE FORMS PRIOR TO PLACING CONCRETE.
- HAVE ENGINEER INSPECT DRAINAGE SYSTEM PRIOR TO BACKFILLING AND INSPECT ROUGH GRADING FOR ACCURACY PRIOR TO SODDING.
- ALL ELEVATIONS IN LANDSCAPED AREAS ARE TO THE TOP OF SOD.
- TOP OF GRASS SHALL BE 1.5" LOWER NEXT TO ANY PAVED SURFACE TO ENSURE PROPER FLOW OF STORMWATER.
- PERIMETER OF EQUIPMENT SLABS SHALL BE BUILT OF CBS BLOCKS (OR SIMILAR TYPE CONSTRUCTION OR STANDS) AND SHALL BE NOT IMPEDING THE CROSS SECTIONS SHOWN NOR IMPEDING THE FLOW OF STORMWATER. TOP OF EQUIPMENT SLAB = F.F. ELEVATION. DESIGN BY OTHERS.
- THESE CIVIL ENGINEERING PLANS ARE FOR GRADING ONLY. FOR EXACT LAY-OUT, SETBACKS, ZONING INFORMATION, ZONING SETBACKS, ETC., SEE PLANS PREPARED BY THE ARCHITECT.
- OWNER AND/OR CONTRACTOR SHALL SUBMIT A FINAL SURVEY TO THE CITY WITH SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE WITH THE DESIGN.
- ALL STORM DRAINAGE PIPES SHALL BE WATER-TIGHT DOUBLE-WALLED HDPE PIPES, AS MANUFACTURED BY ADS OR ENGINEER'S APPROVED EQUAL.
- ALL PVC PIPES SHALL BE A MINIMUM OF SCHEDULE 40.
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SEDIMENT LADEN STORM RUNOFF UNTIL COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET. CONTRACTOR SHALL COMPLY WITH ALL CONTRACT REQUIREMENTS OF THE "CIVIL ENGINEERING SPECIFICATION SHEET" WHICH ARE PART OF THESE CIVIL ENGINEERING PLANS.
- SLOPES SHALL NOT EXCEED 4:1 (HORIZONTAL:VERTICAL).
- REFER TO ARCHITECT AND LANDSCAPE ARCHITECT DRAWINGS FOR STEP INFORMATION.
- TRENCH DRAIN SHALL BE ABLE TO BE CONNECTED TO TYPICAL PVC PIPE FITTINGS. USE TRENCH DRAINS MANUFACTURED BY "FLOWMASTER", "NDS" MINI CHANNEL DRAIN, OR ENGINEER'S APPROVED EQUAL.
- CONTRACTOR SHALL COMPLY WITH ALL CONTRACT REQUIREMENTS OF THE "CIVIL ENGINEERING SPECIFICATIONS SHEET" WHICH ARE PART OF THESE CIVIL ENGINEERING PLANS. NO EXCEPTION ALLOWED WHEN BIDDING AND/OR DURING CONSTRUCTION. SPECIFICATIONS MAY EVOLVE DURING PERMITTING, AND CONTRACTOR SHALL MEET ALL OF THEM WITHOUT EXCEPTION.
- WHERE CONNECTIONS ARE TO BE MADE TO EXISTING BUILDING SEWERS, SUCH BUILDING SEWERS SHALL BE CAREFULLY EXAMINED BY TELEVISION EQUIPMENT AND INSPECTED AND CERTIFIED BY A LICENSED PLUMBER IN THE STATE OF FLORIDA AND REPORT SUPPLIED TO THE CITY'S DEVELOPMENT SERVICES DEPARTMENT (DSD) PRIOR TO ISSUANCE OF PERMIT TO CONNECT TO THE MAIN SEWER. IF FOUND IN GOOD CONDITION AND FREE FROM INFILTRATION, IT MAY BE CONNECTED TO THE MAIN SEWER FROM THE BUILDING. IF, HOWEVER, IN THE JUDGMENT OF THE CITY, THE EXISTING BUILDING SEWER IS NOT IN GOOD CONDITION OR FREE FROM INFILTRATION, IT SHALL BE REPLACED WITH AN APPROVED PERMIT AND APPROVED BY THE PUBLIC WORKS DIRECTOR OR HIS DESIGNEE BEFORE CONNECTION IS MADE. SEC. 28-58 - CONNECTIONS TO EXISTING BUILDING SEWERS. VIDEO SHALL BE PROVIDED VIA EMAIL ATTACHMENT OR YOUTUBE LINK.
- AT GRADE OBSTRUCTIONS SHALL NOT BE CONSTRUCTED OR INSTALLED BETWEEN A HEIGHT OF 2.5 FT AND 8 FT ABOVE EDGE OR PAVEMENT ELEVATION WITHIN THE SIGHT TRIANGLE.
- THE PROPERTY IS LOCATED IN FLOOD ZONE AE, PER COMMUNITY NO. 125111, COMMUNITY PANEL NO. 1209502089F, DATE OF FIRM: 10/05/2017, BFE 6.00', PALM BEACH COUNTY PENDING FLOOD ZONE: AE, BFE = 7.00' NAVD.

**SITE DATA BREAKDOWN**

	(SF)	(%)
BUILDING/COVERED AREAS:	4890.55	38.86
DRIVEWAY/WALKWAYS:	3454.63	27.46
POOL/MISC:	443.53	3.52
GREEN:	3794.82	30.16
LOT SIZE:	12583.53	100

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



PERMITTING AGENCIES	APPROVED	PERMIT NO.	EXPIRES
TOWN OF HIGHLAND BEACH			
IF ALL OF THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, THIS SET OF DRAWINGS SHOULD BE USED AS A PERMIT SET ONLY, NOT FOR BID AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOT LETTING ANY PERMIT EXPIRE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT CONDITIONS.			
THE ELEVATIONS BASED ON THESE PLANS ARE BASED UPON NAVD 1988			

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**OCT 24 2024**  
**HIGHLAND BEACH**  
**BUILDING DEPARTMENT**

**PRIVATE RESIDENCE**  
4203 TRANQUILITY DR  
HIGHLAND BEACH, FLORIDA

**GRADING AND DRAINAGE PLAN**

Globe Engineering, Inc.  
Civil Engineering - Land Planning - Construction Management  
4839 SW 14th Avenue, Suite 507  
Fort Lauderdale, FL 33309  
Phone: 954-316-7628  
www.civil-engineer.us

Digitally signed by Martin Pilote  
Date: 2024.09.19 21:38:12 -0400

THIS DRAWING HAS BEEN DIGITALLY SIGNED AND SEALED BY MARTIN PILOTE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES ARE ONLY VALID IF IT INCLUDES AN INK ORIGINAL HAND SIGNATURE.

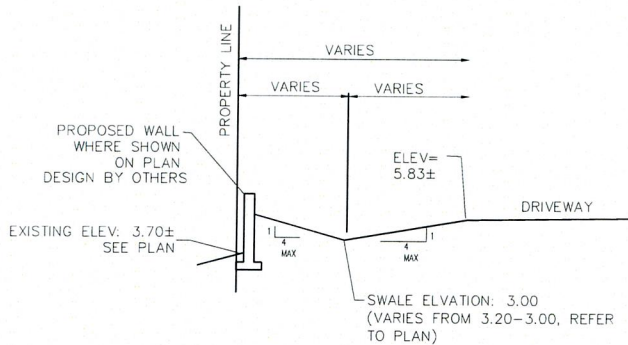
**MARTIN PILOTE**  
LICENSE  
No 55992  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

DESIGNED: MP  
DRAWN: SKC  
PROJECT NO: 2024-005  
DRAWING NAME: C-1  
SHEET NO: 1 OF 4

GENERAL NOTES

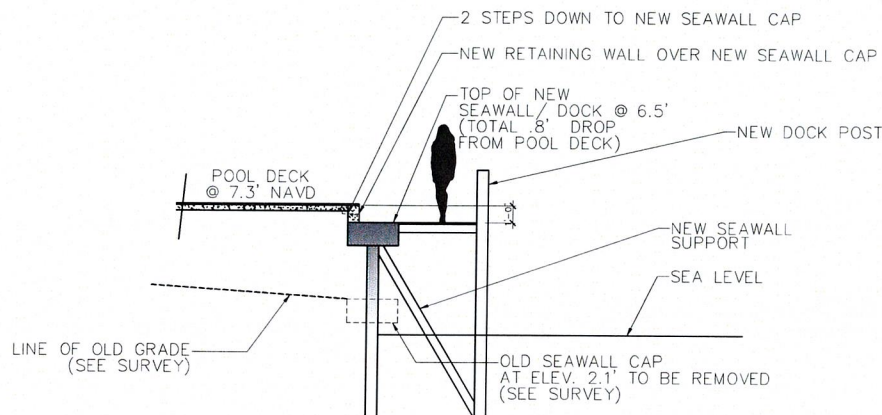
1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LIGHTHOUSE POINT ENGINEERING.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
3. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.

5. ALL SIDEWALKS AND PATIOS SHALL BE SLOPED AWAY FROM HOUSE.
6. MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4%.
7. CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
8. REMOVE ALL ORGANIC AND DELETRIOUS MATERIAL BETWEEN THE EDGE OF PAVEMENT AND RIGHT OF WAY LINE (14' SODDED SWALE). NO MATERIAL OF F.D.O.T. CLASS A-5, A-7 OR A-8 SHALL BE ALLOWED IN THE RIGHT OF WAY.
9. MINIMUM LONGITUDINAL SLOPE FOR SWALE IS 0.60%.



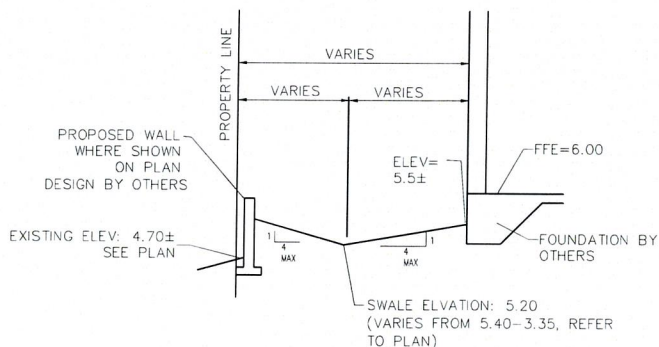
TYPICAL SECTION B-B

NOTE: SECTION WILL VARY ALONG THE LENGTH OF THE SWALE DUE TO EQUIPMENT SLABS, EGRESS POINTS, LANDSCAPING AND WALKWAYS.



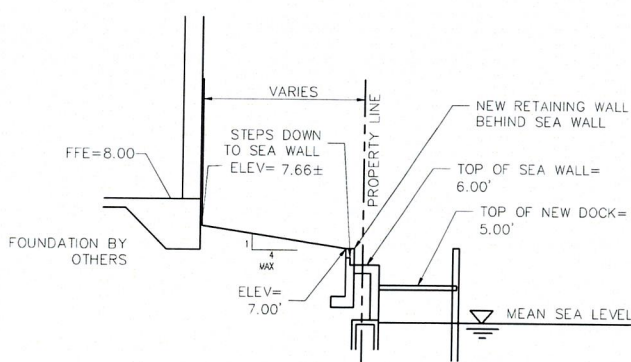
SEAWALL AND DOCK DESIGN BY OTHERS (SECTION C-C)

N.T.S.



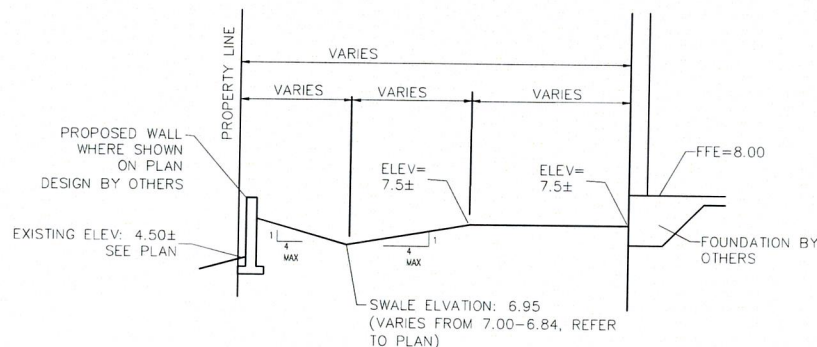
TYPICAL SECTION D-D

N.T.S.



TYPICAL SECTION G-G

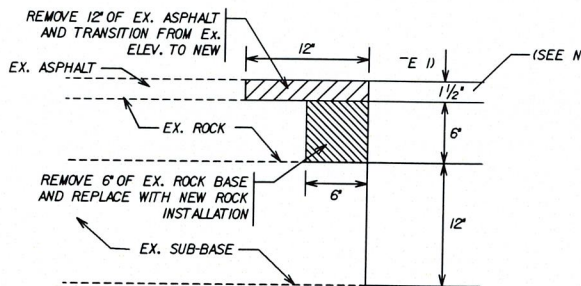
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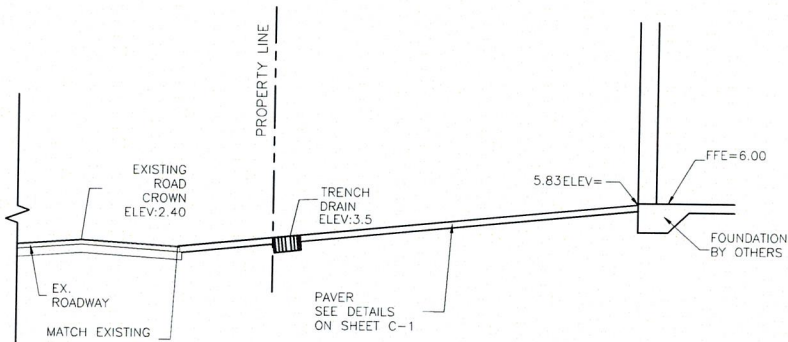
TYPICAL SECTION H-H

N.T.S.

NOTE: SECTION WILL VARY ALONG THE LENGTH OF THE SWALE DUE TO EQUIPMENT SLABS, EGRESS POINTS, LANDSCAPING DRIVEWAY AND WALKWAYS

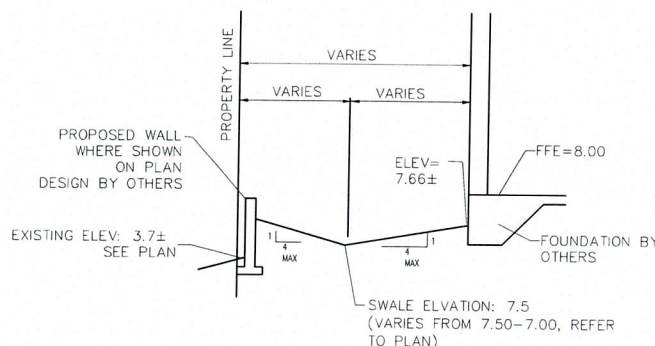


ASPHALT CONNECTION DETAIL



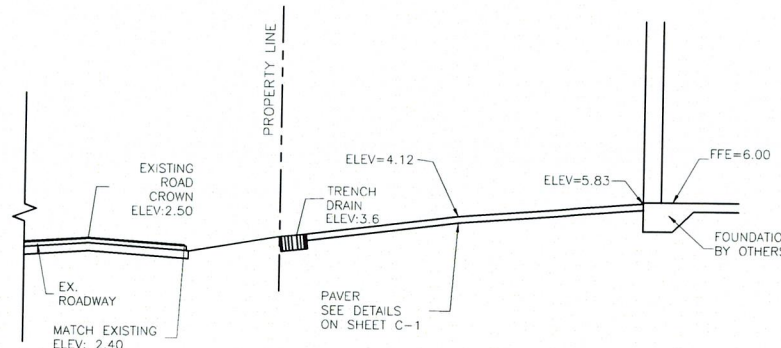
TYPICAL SECTION E-E

N.T.S.



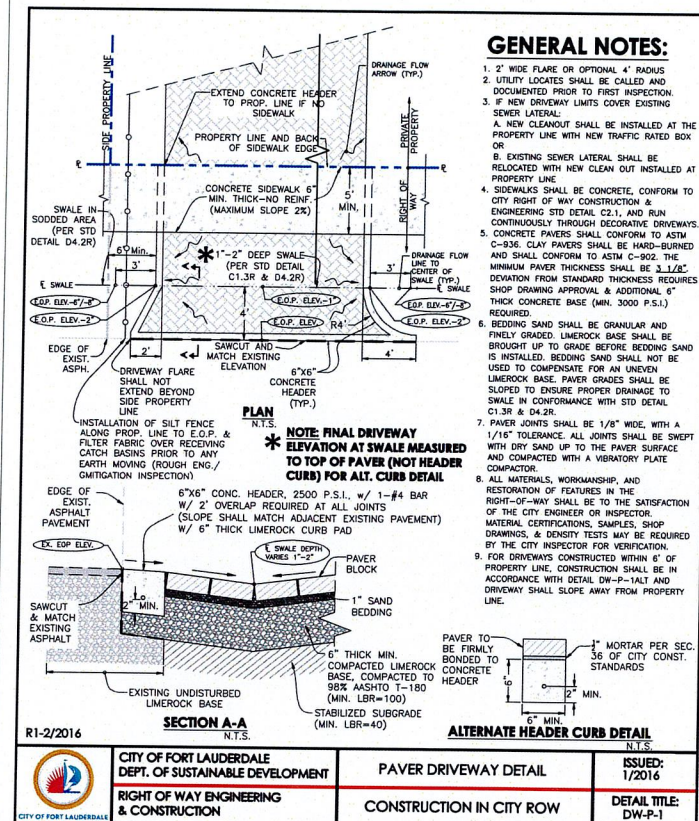
TYPICAL SECTION F-F

N.T.S.



TYPICAL SECTION A-A

N.T.S.



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ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

Sunshine  
Call 811 or www.sunshine11.com two full business days before digging to have utilities located and marked.  
One's online response center: [www.sunshine11.com](http://www.sunshine11.com)

DESIGNED: MP  
DATE: 9/19/2024  
DRAWN: SKC  
PROJECT NO: 2024-005  
DRAWING NAME: C-2  
SHEET NO: 2 OF 4

PRIVATE RESIDENCE  
4203 TRANQUILITY DR  
HIGHLAND BEACH, FLORIDA

Globe Engineering, Inc.

Civil Engineering - Land Planning - Construction Management

4839 SW 140 Avenue, Suite 507  
Fort Lauderdale, FL 33309

Phone: 954-316-7628  
www.civil-engineers.us

FFPE REGISTRY No. 8604

Martin Pilote  
Digitally signed by Martin Pilote  
Date: 2024.09.19 21:40:03 -04'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MARTIN PILOTE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES ARE ONLY VALID IF IT INCLUDES AN INK ORIGINAL HAND SIGNATURE.



DESIGNED: MP  
DATE: 9/19/2024  
DRAWN: SKC  
PROJECT NO: 2024-005  
DRAWING NAME: C-2  
SHEET NO: 2 OF 4



Carol B  
Perez

Digitally signed  
by Carol B Perez  
Date: 2024.09.13  
14:04:35 -04'00'

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BUILDING DEPARTMENT



SCALE: 1/8"=1'-0"

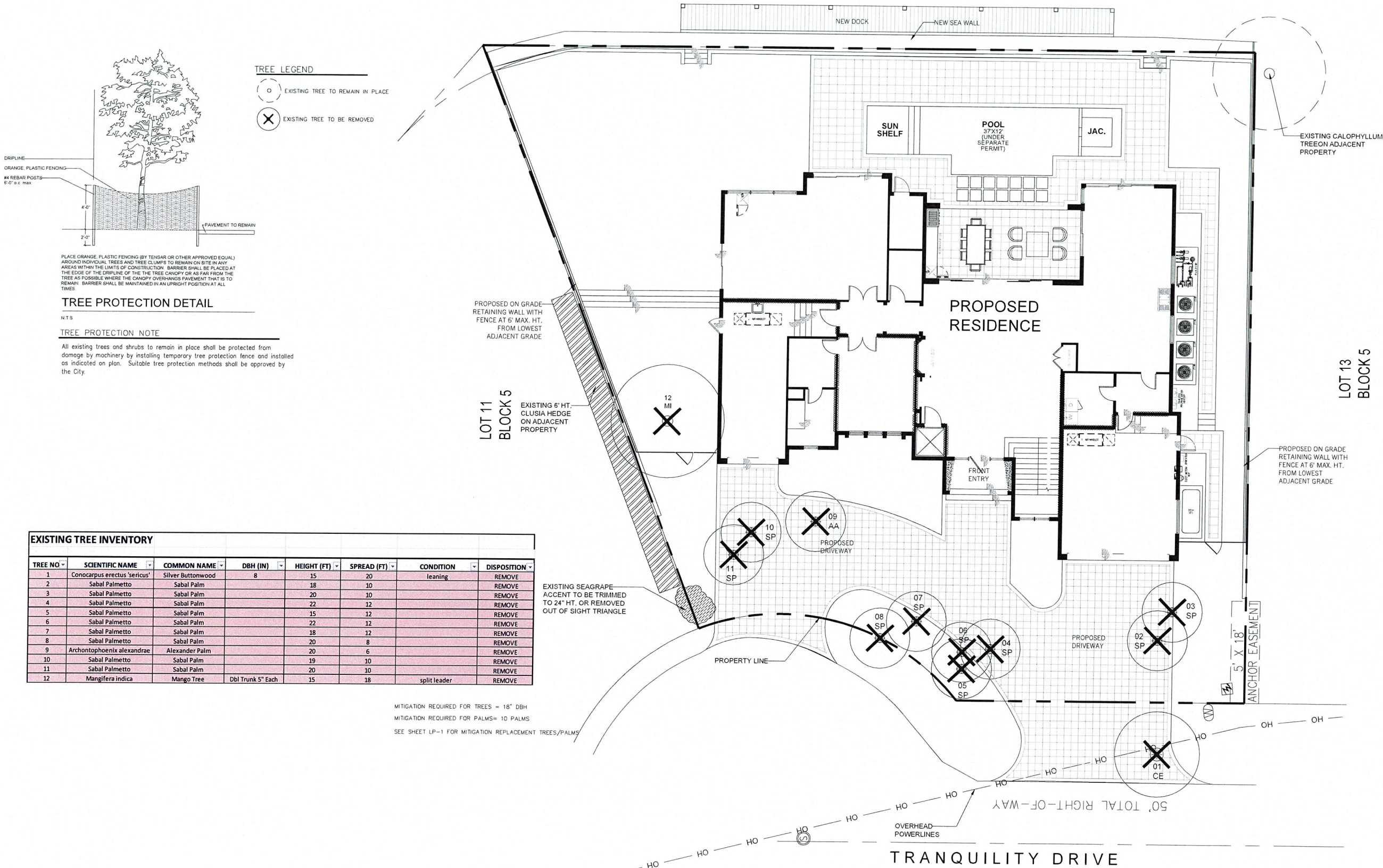
PROJECT  
4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL

TITLE  
TREE DISPOSITION  
PLAN

PROJ. NO.  
FILE NAME  
JZ  
DRAWN  
06-26-24  
DATE  
09-13-24  
REV

SHEET  
TR-1  
OF  
1

CALL 48 HOURS BEFORE YOU DIG.  
IT'S THE LAW  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



Carol B  
Perez

Digitally signed  
by Carol B Perez  
Date: 2024.10.08  
12:32:35 -0400'

TREE LEGEND

EXISTING TREE TO REMAIN IN PLACE



SCALE: 1/8"=1'-0"

PROJECT

4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL

TITLE

LANDSCAPE PLAN

PROJ. NO.

FILE NAME

BB DRAWN

07-15-24 DATE

09-13-24 REV.

10-8-24

SHEET

LP-1

OF

1

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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BUILDING DEPARTMENT

## MITIGATION CALCULATIONS

	REQUIRED	PROVIDED
TREES	18" DBH	18" DBH, (3 Blueberry, 2 Oak, 1 Tabebuia)
PALMS	10	11 (1 Adonidia, 5 Coconut, 3 Alexander, 2 Montgomery)

## PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		
AD3	1	Adonidia merrillii (Triple Adonidia Palm) 12' ht., triple, full head
CN	5	Cocos nucifera (Coconut Palm) 3'-4' g.w., 20'-22' o.a. ht., matched,
ED1	1	Elaeocarpus decipiens (Japanese Blueberry Tapiary) 8'-10' ht., 8' spr., Tapiary, specimen
ED2	3	Bulnesia arborea 14' ht., 6' spr., 3" dbh., upright character
PE3	3	Elaeocarpus decipiens (Japanese Blueberry) 14' ht., 6' spr., 3" dbh., matched, full
OV	2	Ptychosperma elegans (Triple Alexander Palm) 12' o.a. ht., triples, matched, full head
TA	1	Quercus virginiana (Live Oak) 14'-16' ht., 10' spr., 3'-4" dbh., 6' c.t. min., matched
VM3	2	Tabebuia spp. (Yellow Tabebuia) 14' ht., 6' spr., 3" dbh., character branching, full
		Veitchia montgomeryana (Triple Montgomery Palm) 16' o.a. ht., triples, matched, full head

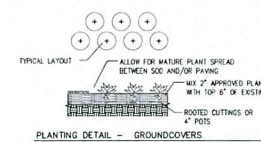
KEY	QTY	PLANT AND SPECIFICATION
SHRUBS, GROUNDCOVERS AND ACCENTS		
BOU	3	Bougainvillea sp. 'Thai Delight' (Bougainvillea) 6' ht., tree type, matched
CH	1	Calliandra haematocephala (Powder Puff Mimosa) 10' ht., 8' spr., standard, symmetrical
FFP	2	Chamaecyparis humilis (European Fan Palm) 6' o.a. ht., min. 3 trunks, min. 2' c.t., matched
ELA	4	Elaeocarpus decipiens (Japanese Blueberry half spheres) mixed sizes, 30"x30", 24"x24", 20"x20", symmetrical, matched
FGI	331	Ficus macrocarpa 'Green Island' 14' ht., 14" spr., 18" o.c., full
LIR	37	Liriodendron muscari 'Evergreen Giant' (Lily Turf) 14' ht., 14" spr., 14" o.c.
MON	5	Monstera deliciosa (Monstera) 24" o.a., matched, full
POD1	133	Podocarpus macrophyllus (Podocarpus Hedge) 4' ht., 24" spr., 24" o.c., full
POD2	55	Podocarpus macrophyllus (Podocarpus Hedge) 6' ht., 24" spr., 24" o.c., full
RAD	24	Radermachera kunming (Kunming Jasmine) 20" ht., 16" spr., 3 gal., full
TRA	114	Trachelospermum asiaticum (Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.

SOD: St. Augustine 'Palmetto' sod. Contractor to determine quantity.

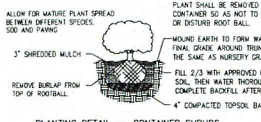
MULCH: 3" of non-cypress dark brown mulch. Contractor to determine quantity.

N DENOTES NATIVE SPECIES

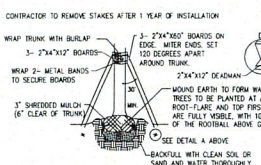
\*\* DENOTES DROUGHT TOLERANT SPECIES



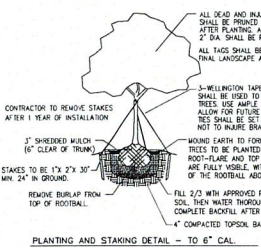
PLANTING DETAIL - GROUNDCOVERS



PLANTING DETAIL - CONTAINER SHRUBS



PLANTING AND STAKING DETAIL - PALMS



PLANTING AND STAKING DETAIL - TO 6" CAL.

## NOTES

All plant material to be Florida #1 or better.

Sod to be St. Augustine 'Palmetto', contractor to determine quantity.

All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.

Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.

Mulch, topsoil, and fertilizer to be applied according to specifications.

## SPECIFICATIONS

INVENTORY: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards 2015, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.

PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.

SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect.

Any intended substitutions shall be detailed on the bid.

PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material.

Trees and palms shall be planted with a min. of 8" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.

FERTILIZER: Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.

MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade 'A' unless otherwise approved.

PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown.

Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Subal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.

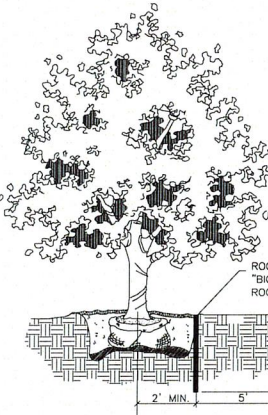
WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of all watering requirements after installation.

GUINING: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.

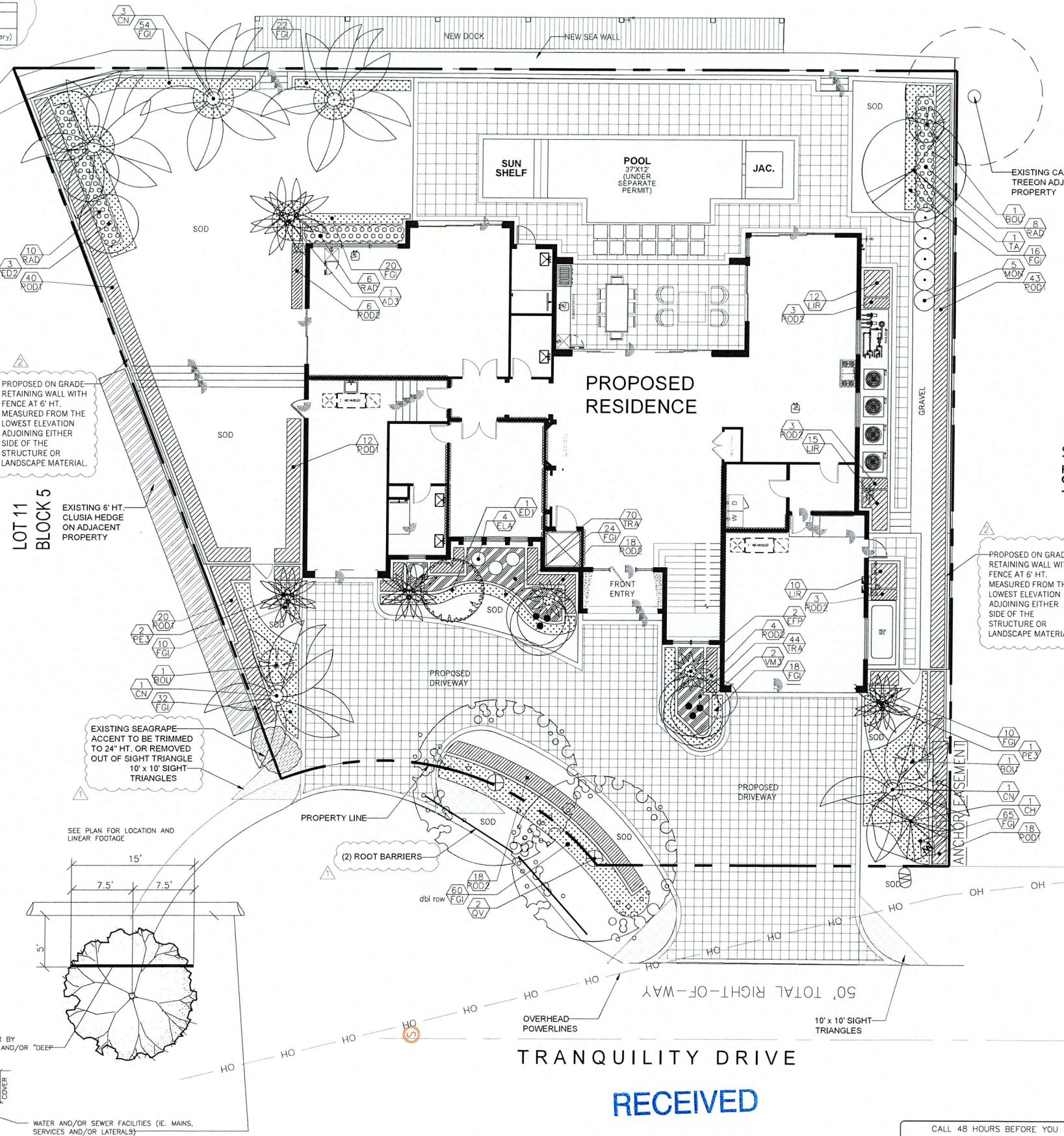
SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.

GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project.

Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.



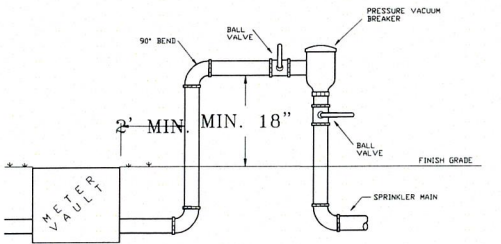
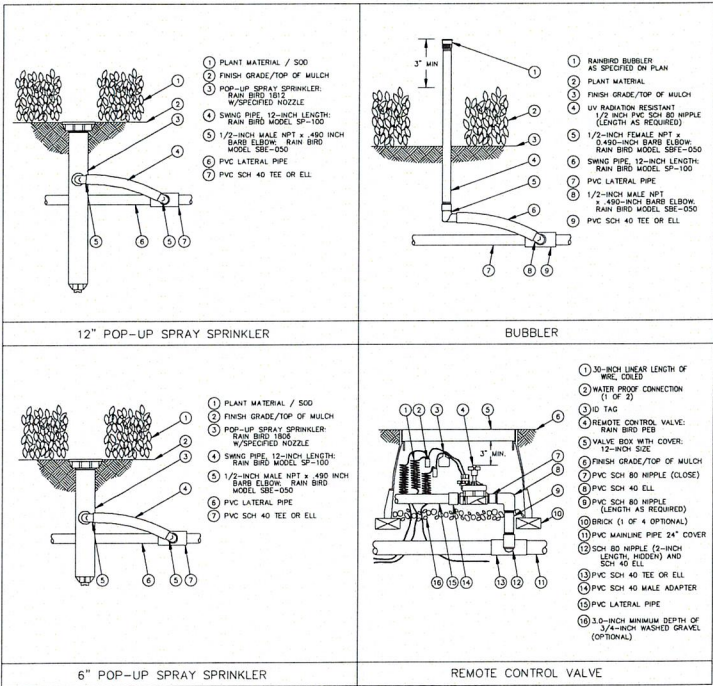
ROOT BARRIER DETAIL



SEE PLAN FOR LOCATION AND LINEAR FOOTAGE

IRRIGATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
- IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITIES TO VERIFY LOCATIONS. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
- PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
- THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
- ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
- SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURBED ROADWAYS.
- ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2" PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 24" BELOW FINISH GRADE.
- CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
- PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
- ALL GUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2564.
- SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC, SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER; ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS. BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
- AS-BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 50% OVERLAP MIN.



SUPPLY - PRESSURE VACUUM BREAKER

CODE SHALL TAKE PRECEDENCE OVER ANY DETAIL SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLY.

NOTE:  
It is preferred that all irrigation heads be low angle trajectory sprays to conserve water use. At the least, all sod areas must use low trajectory heads. Shrub area heads will be placed on the highest pop-up riser necessary to clear mature growing height of adjacent beds to accommodate low angle spray.

City required backflow valve provided.  
(pressure vacuum breaker)

Irrigation heads shall have 100 % coverage / 100 % overlap.

Irr. system to have rain sensor.

Site has high irrigation demand separated from low demand areas.

IRRIGATION PIPE SIZES TO FOLLOW FOLLOWING SCHEDULE:

PIPE SIZE (inches)	max. GPM
3/4	10
1	15
1 1/4	25
1 1/2	35
2	55
2 1/2	85
3	over 85

IRRIGATION PIPE INSTALLATION to follow specifications called for in Florida Plumbing Code Appendix F:

A. Vehicle Traffic Areas

PIPE SIZE (inches)	DEPTH OF COVER (inches)
1/2 - 2 1/2	18 - 24
3 - 5	24 - 36
6 and larger	30 - 36

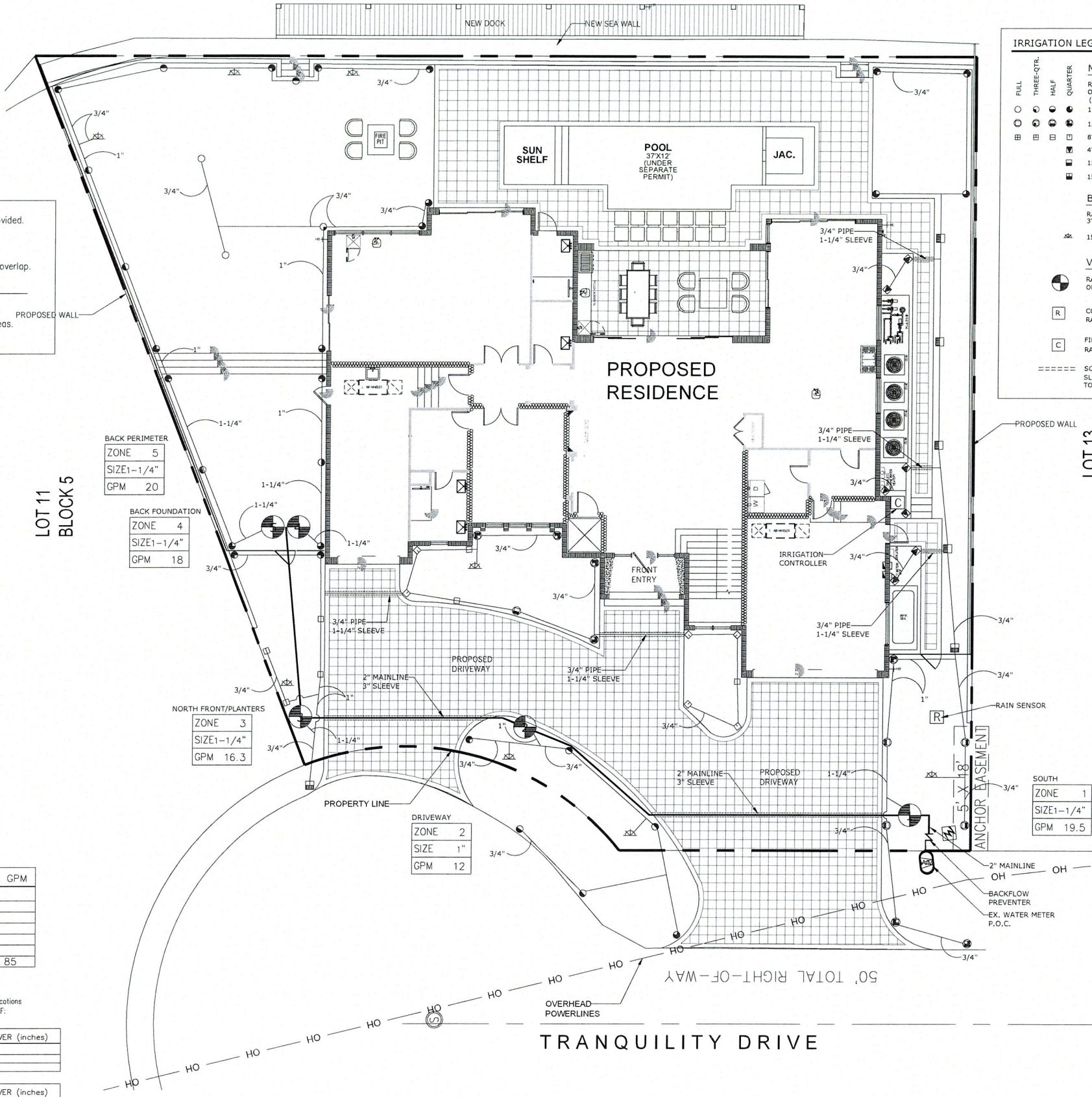
B. Non-Traffic and Non-Cultivated Areas

PIPE SIZE (inches)	DEPTH OF COVER (inches)
1/2 - 1 1/4	6 - 12
1 1/2 - 2	12 - 18
2 1/2 - 3	18 - 24
4 and larger	24 - 36

Depths of cover to meet or exceed SCS Code 430-DD

(\*) ALL TESTING AND INSPECTIONS OF INSTALLED IRRIGATION SYSTEM SHALL BE AS PER FBC APPENDIX F\*, PART VI

Irrigation installation shall observe all other standards established by FPC



IRRIGATION LEGEND

- MIST HEADS**
- RAINBIRD 1806 6" POP-UP MIST HEAD OR EQUAL WITH THE FOLLOWING NOZZLES: (USE 12" POP-UP MIST HEAD FOR TALLER PLANT MATERIAL)
  - 15' SERIES NOZZLE.
  - 12' SERIES NOZZLE.
  - 8' SERIES NOZZLE.
  - 4' SERIES NOZZLE.
  - 155ST
  - 15EST
- BUBBLER NOZZLES**
- RAINBIRD BUBBLER NOZZLE ON FIXED RISER 3" ABOVE FINISH GRADE AS FOLLOWS:
  - 1502-SBH 1 GPM
- VALVES**
- RAINBIRD PEB SERIES ELECTRIC GLOBE VALVE, SIZE AS NOTED ON PLAN, IN AMETEK OR CARSON 12"x18" VALVE BOX OR EQUAL
  - CONTRACTOR TO SUPPLY: RAINBIRD RSD SERIES RAIN SENSOR OR EQUAL
  - FIELD CONTROLLERS LOCATION: RAINBIRD ESP SERIES OR EQUAL
  - SCH 40 PVC sleeves under pavement SLEEVES: SCH 40 PVC OR RATED EQUAL CLASS. SLEEVES TO BE MIN. 24" MAX. 36" DEEP - See FPC Chart

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HIGHLAND BEACH  
BUILDING DEPARTMENT

PROJECT  
4203 TRANQUILITY DRIVE  
HIGHLAND BEACH, FL

TITLE  
IRRIGATION PLAN

PROJ. NO.  
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