



Town of Highland Beach

Code Compliance

3616 South Ocean Boulevard • Highland Beach, Florida 33487

NOTICE OF HEARING / APPEARANCE

CASE NO. CC-24-471

TOWN OF HIGHLAND BEACH, FLORIDA

VS.

MARC & ANDREA SHERRY
3740 S OCEAN BLVD APT 403
Highland Beach FL, 33487

Re: 3740 S OCEAN BLVD HIGHLAND BEACH, FL 33487 ., Highland Beach FL
33487 (PCN:24-43-47-04-54-005-4030)

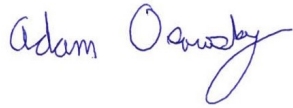
YOU ARE HEREBY NOTIFIED that pursuant to Article V, Chapter 2 (Administration) of the Town of Highland Beach's Code of Ordinances, the Code Enforcement Special Magistrate will conduct a hearing on ***Tuesday, January 14, 2025, at 1:00 P.M., in the Town Commission Chambers at 3614 South Ocean Boulevard***, regarding **30-122 (B)**, (Permit 24-228-BR Removing existing granite tops and backsplashes, and replacing it with quartz has expired). During the hearing, the Special Magistrate will determine whether you have violated one or more provisions and/or sections of the Town of Highland Beach's Code, as set forth in the attached "Violation Notice," sworn to by the Code Enforcement Officer of the Town of Highland Beach.

THEREFORE, YOU ARE HEREBY COMMANDED to be and appear before the Code Enforcement Special Magistrate at the aforesaid place, date, and time. **IF YOU FAIL TO APPEAR, A JUDGMENT MAY BE RENDERED AGAINST YOU.**

ADDITIONALLY, YOU ARE ENTITLED to be represented by counsel, to present testimony and evidence, and to testify on your own behalf. Subpoenas for records, surveys, plats, and other materials and for witnesses may be requested and will be issued by the Code Enforcement Special Magistrate upon proper request.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a copy of the foregoing notice has been furnished to the above- named addressee by U.S. Postal Service Certified Mail, Return Receipt Domestic Mail, **SIGNED** this 16 day of December 2024.



Adam Osowsky
Code Compliance Officer

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9506 74 9506 2251 5270 0710 9506

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- ☐ Return Receipt (hardcopy) \$ 2.10
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Property Detail

Location Address : 3740 S OCEAN BLVD APT 403
Municipality : HIGHLAND BEACH
Parcel Control Number : 24-43-47-04-54-005-4030
Subdivision : TOSCANA SOUTH CONDOMINIUM
Official Records Book/Page : 33648 / 687
Sale Date : JUN-2022
Legal Description : TOSCANA SOUTH CONDOMINIUM UNIT # 403

Owner Information

Owner(s)	Mailing Address
SHERRY ANDREA SHERRY MARC &	3740 S OCEAN BLVD APT 403 BOCA RATON FL 33487 3401

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
JUN-2022	\$1,395,000	33648 / 00687	WARRANTY DEED	SHERRY MARC &
DEC-2008	\$700,000	22985 / 00214	WARRANTY DEED	PIKKEL FAMILY PARTNERSHIP LTD
JUN-2004	\$635,000	17195 / 00162	WARRANTY DEED	BONK RADEK

Exemption Information

No Exemption Information Available.

Property Information

Number of Units : 1
***Total Square Feet :** 2601
Acres :
Property Use Code : 0400—CONDOMINIUM
Zoning : RML—MULTI-FAMILY LOW-DENSITY (24-HIGHLAND BEACH)

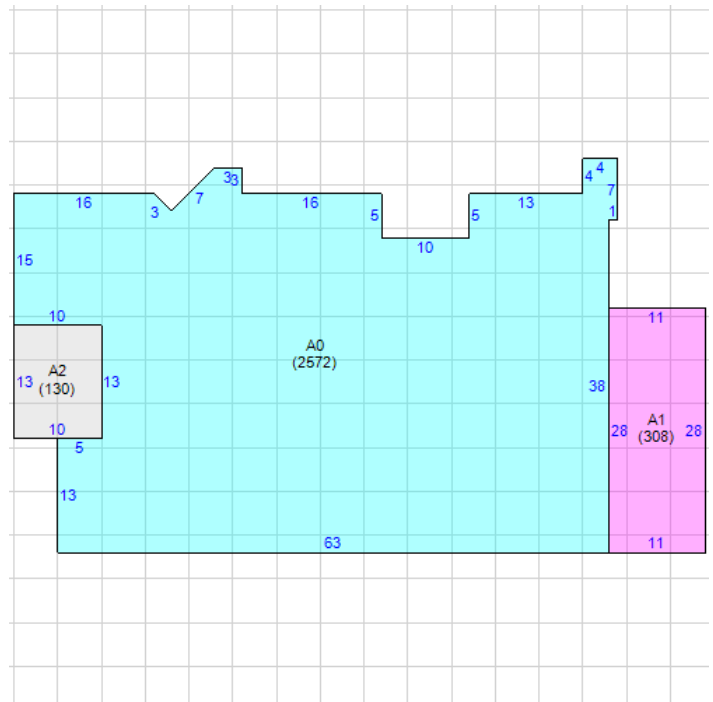
Building Details

Structural Details

Structural Element for Building 1		Sketch for Building 1
Name	TOSCANA SOUTH CONDO	
Area	2601	
Year Built	2004	
No of Bedroom(s)	2	
No of Bath(s)	2	
No of Half Bath(s)	1	
Exterior Wall 1	MSY: CB STUCCO	
Air Condition DESC	HTG & AC	
Heat Type	FORCED AIR DUCT	
Exterior Wall 2	NONE	
Roof Structure	STEEL FRAME OR TRUSS	
Roof Cover	MIN. ROOFING (CORR/SH.M)	
Interior Wall 1	DRYWALL	
Interior Wall 2	N/A	
Floor Type 1	CARPETING	
Floor Type 2	CERAMIC/QUARRY TILE	
Stories	1	

Subarea and Square Footage for Building 1

Code Description	square Footage
BAS Base Area	2572
BLC Balcony	308
BLC Balcony	130
Total Square Footage	3010
Area Under Air	2572



Property Extra Feature

Description	Year Built	Units
No Extra Feature Available		

Property Land Details

Land Line #	Description	Zoning	Acres
No Land Details Available			

Appraisals

Tax Year	2024	2023	2022	2021	2020
Improvement Value	\$1,155,000	\$1,153,000	\$836,000	\$650,000	\$650,000
Land Value	\$0	\$0	\$0	\$0	\$0
Total Market Value	\$1,155,000	\$1,153,000	\$836,000	\$650,000	\$650,000

Assessed and Taxable Values

Tax Year	2024	2023	2022	2021	2020
Assessed Value	\$1,155,000	\$1,153,000	\$715,000	\$650,000	\$650,000
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$1,155,000	\$1,153,000	\$715,000	\$650,000	\$650,000

Taxes

Tax Year	2024	2023	2022	2021	2020
AD VALOREM	\$18,303	\$18,435	\$12,507	\$11,018	\$11,236
NON AD VALOREM	\$107	\$103	\$100	\$96	\$95
TOTAL TAX	\$18,410	\$18,538	\$12,607	\$11,114	\$11,331



Town of Highland Beach

3616 South Ocean Blvd.
Highland Beach, FL 33487
Phone: 561-278-4540
Fax: 561-278-2606

NOTICE OF VIOLATION

November 19, 2024

MARC & ANDREA SHERRY
3740 S OCEAN BLVD APT 403
BOCA RATON FL, 33487

RE: Code Compliance Case No. CC-24-471

Location: 3740 S OCEAN BLVD, 403
HIGHLAND BEACH, FL 33487

Violation Description:

30-122 (B) - Expiration of building permit.

Every building permit issued shall expire six (6) months after issuance, unless the work authorized by such permit is commenced within that time period. A building permit shall expire if the work authorized by such permit is suspended or abandoned for a period of six (6) months after the time the work is commenced. Not more than two (2) extensions of time, each for a period not exceeding ninety (90) days, may be allowed by the building official.

More specifically Permit 24-228-BR Removing existing granite tops and backsplashes, and replacing it with quartz has expired.

Correction Contact permitting at 561 637 2022 to re instate/obtain permit by December 3 2024.

If the violation is corrected and then recurs or if the violation is not corrected by the above date, you are being summoned to appear before the town Code Enforcement Board, which may result in a fine against the violator & property in the amount of \$250.00 per day for each day the violation exists. Your anticipated cooperation is greatly appreciated, and simple compliance will resolve this matter easier than the formal process.

Should you have any questions or to schedule a reinspection, please contact the Code Compliance Officer for a reinspection at 561-637-2035.

Regards,

Adam Osowsky

aosowsky@highlandbeach.us
(561) 278-4540

9589 0710 5270 1410 0664 92

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Total Postage and Fees \$15.62

Sent To **Sherry Nov 24 471**

Street and Apt. No., or PO Box No. **3740 Ocean 403**

City, State, ZIP+4® **HB FL 33487**

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CC-24-471 nov

MARC & ANDREA SHERRY

3740 S OCEAN BLVD APT 403

BOCA RATON FL 33487 3401

2. Article Number (Transfer from service label)

9589 0710 5270 1410 0664 92

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature **X** **[Signature]** ☒ Agent ☐ Addressee

B. Received by (Printed Name) **J. CHARLES** C. Date of Delivery **11-21-24**

D. Is delivery address different from item 1? ☐ Yes ☐ No
If YES, enter delivery address below:

3. Service Type

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☐ Collect on Delivery ☐ Signature Confirmation™

☐ Collect on Delivery Restricted Delivery ☐ Signature Confirmation Restricted Delivery

☐ Insured Mail ☐ Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

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**TOWN OF HIGHLAND BEACH
CODE COMPLIANCE
3616 S OCEAN BLVD
HIGHLAND BEACH, FL 33487**

RECEIVED

NOV 25

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Town of Highland Beach, FL
Post Office Clerk's Office

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