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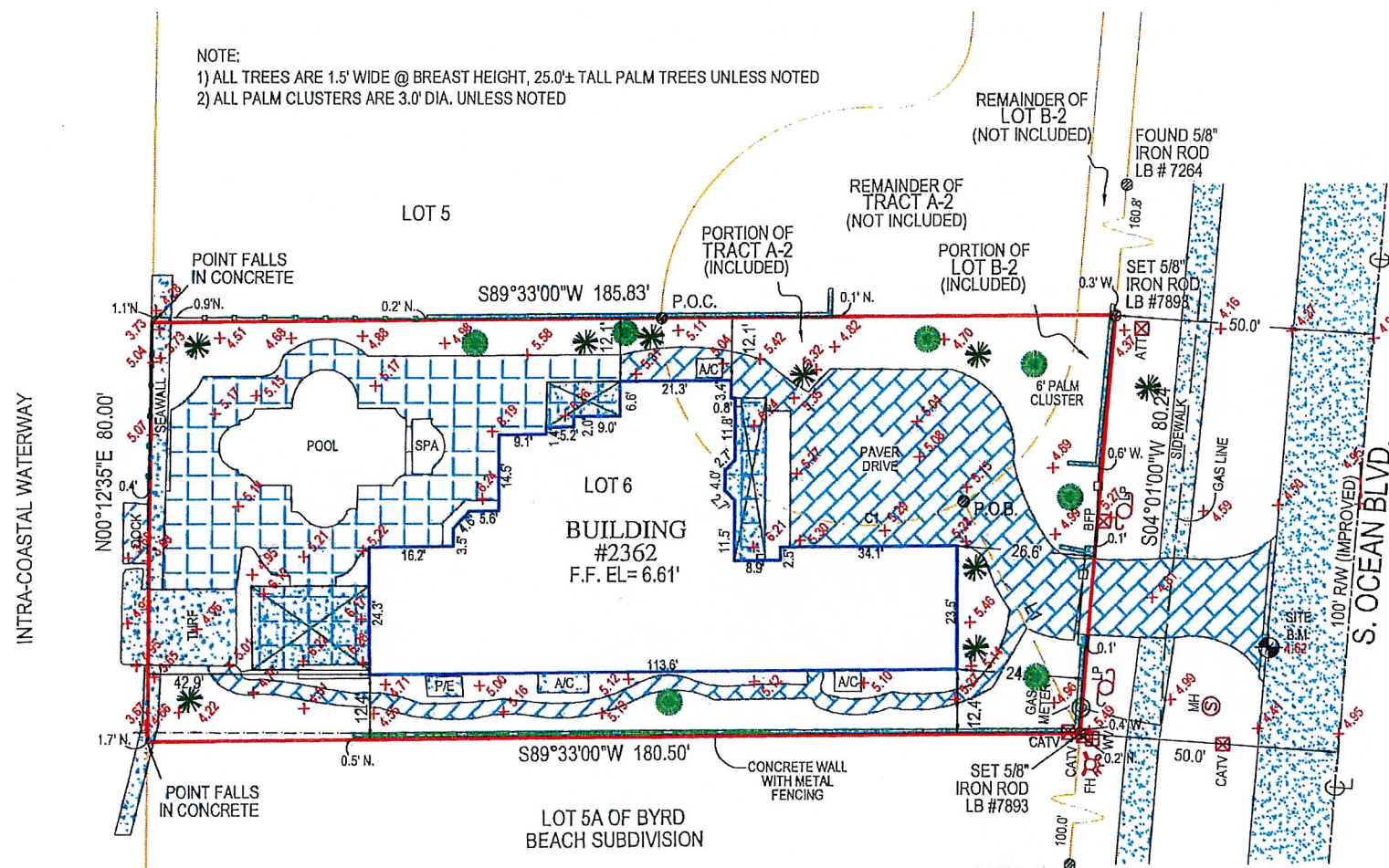
FEB 15 2024

HIGHLAND BEACH BUILDING DEPARTMENT

LEGAL DESCRIPTION

LOT 6, PLAT NO. 1, CAMELOT ON THE ATLANTIC, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 39, PAGE 160, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. TOGETHER WITH A PORTION OF TRACTS A-2 AND B-2 OF SAID PLAT, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE NORTHEAST CORNER OF SAID LOT; THENCE NORTH 89°33'00" EAST, ALONG THE EASTERLY PROJECTION OF THE NORTH BOUNDARY OF SAID LOT, 87.49 FEET TO A POINT ON THE EAST BOUNDARY OF PLAT; THENCE SOUTH 04°01'00" WEST, ALONG SAID EAST BOUNDARY, 80.24 FEET TO THE SOUTHEAST CORNER OF SAID PLAT; THENCE NORTH 27°43'24" WEST, ALONG THE EASTERLY BOUNDARY OF SAID LOT, 50.00 FEET TO A POINT ON THE ARC OF A RADIALLY TANGENT CURVE; THENCE NORTHWESTERLY, ALONG SAID EAST BOUNDARY AND ALONG THE ARC OF SAID CURVE BEING CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 40.00 FEET, A DELTA OF 117°16'24", AND AN ARC DISTANCE OF 81.87 FEET TO THE POINT OF BEGINNING OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

NOTE:
1) ALL TREES ARE 1.5' WIDE @ BREAST HEIGHT, 25.0± TALL PALM TREES UNLESS NOTED
2) ALL PALM CLUSTERS ARE 3.0' DIA. UNLESS NOTED



LINE TABLE with columns: LINE, LENGTH, BEARING. Row 1: L1, 50.00, N27°43'24"W

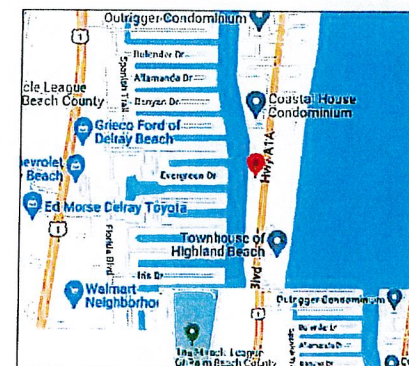
CURVE TABLE with columns: CURVE, LENGTH, RADIUS, DELTA. Row 1: C1, 81.87, 40.00, 117°16'24"

ORIGINATION BENCHMARK
PALM BEACH COUNTY BENCHMARK "M 310"
N.A.V.D. ELEVATION = 5.17'

- NOTES:
1. LEGAL DESCRIPTION PROVIDE BY CLIENT
2. NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
3. NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
6. THE BEARINGS SHOWN HEREON ARE BASED UPON THE SOUTH PROPERTY LINE, HAVING A BEARING OF S 89° 33' 00" W.

REVISIONS:
1) REVISED WALLS AND FENCES... 11-15-2022

DATE OF FIELD WORK: 09-21-2022
DATE OF MAP: 09-27-2022



VICINITY MAP NOT TO SCALE

Flood Zone: AE
Community Number: 120192
Panel: 12099C0987
Suffix: F
Base Flood Elevation: 6.0'
FIRM Date: 10-05-2017
FIRM Effect./Rev Date: 10-05-2017



LEGEND

- A/C AIR CONDITIONER
B.F.P. BACKFLOW PREVENTER
C.B.S. CONCRETE BLOCK STRUCTURE
E.L. ELEVATION
F.F. FINISHED FLOOR
I.D. IDENTIFICATION
L. LENGTH
L.B. LICENSED BUSINESS
M. MEASURED
N.T.S. NOT TO SCALE
N&D. NAIL & DISC
N.A.V.D. NORTH AMERICAN VERTICAL DATUM
N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
O.R.B. OFFICIAL RECORDS BOOK
P.L. PLAT
P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
P.R.M. PERMANENT REFERENCE MONUMENT
P.G. PAGE
P.B. PLAT BOOK
P.K. PARKER KYLON NAIL
R. RADIUS
T.A.N. TANGENT
T.B.M. TEMPORARY BENCH MARK
C.L. CENTERLINE
AND NUMBER
DELTA OR CENTRAL ANGLE
CONCRETE

BOUNDARY SURVEY WITH TOPOGRAPHY & TREE LOCATION OF
2362 SOUTH OCEAN BOULEVARD
HIGHLAND BEACH, FL 33487
PREPARED FOR:
DAVID WILLENS

Project: C-560568, Sheet: 1 of 1, Date: 09-21-2022, Scale: 1"=20'

COMPASS SURVEYING logo and contact information: 6250 N. MILITARY TRAIL, SUITE 102, WEST PALM BEACH, FL 33407. Includes website URL and license number LB #7463.

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) KENNETH J. OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415



SUAREZ ENGINEERING & SURVEYING, INC.
 13350 SW 131ST STREET
 SUITE 103
 MIAMI, FL 33186
 Tel: 305.596.1799
 CERTIFICATE OF AUTHORIZATION
 LIC. NO. 34996

2362 SOUTH OCEAN BLVD
PAVING, GRADING & DRAINAGE PLAN

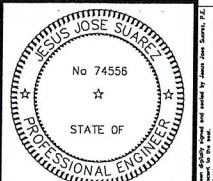
CLIENT:
 PRIVATE CLIENT

PROJECT NAME:
 TWO STORY HOME ADDITION AND RENOVATION

PROJECT ADDRESS:
 2362 SOUTH OCEAN BLVD
 HIGHLAND BEACH, FL 33487

PROJECT NUMBER:
 C100-2021-60

REVISIONS		
DATE	BY	DESCRIPTION

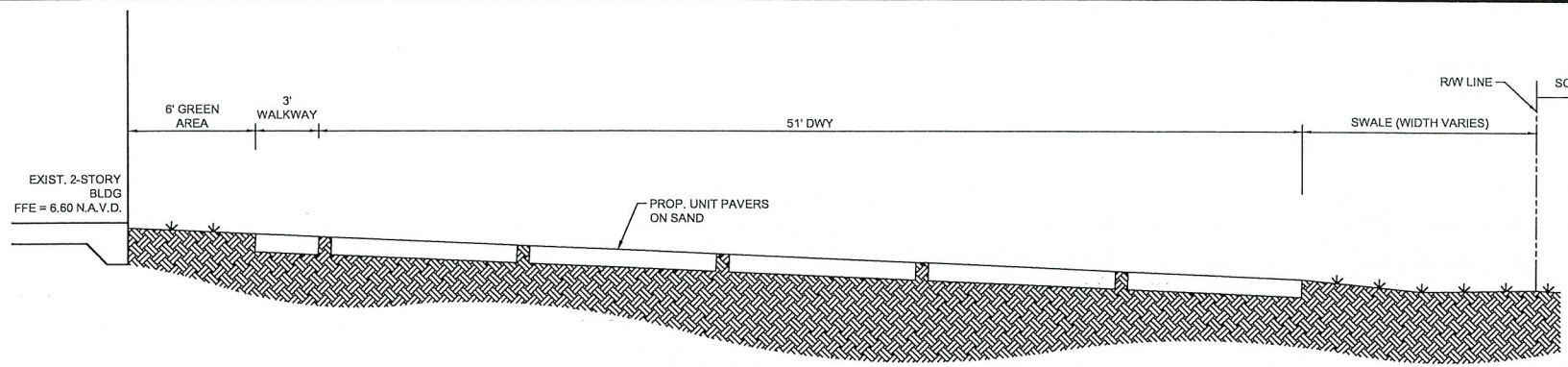


DATE:
 JESUS J. SUAREZ, P.E.
 FLORIDA REGISTRATION NO. - 74556

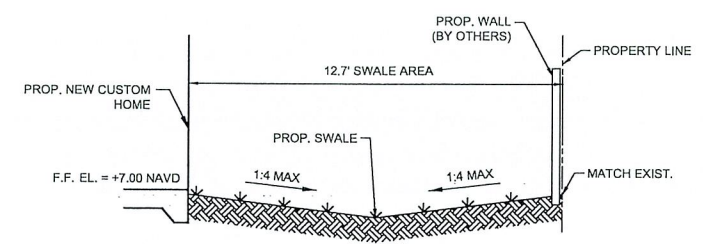
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 DRAWN BY: J.S.
 CHECKED BY: J.S.
 FILE:
 JOB No. C100-2021-60

SHEET NO.

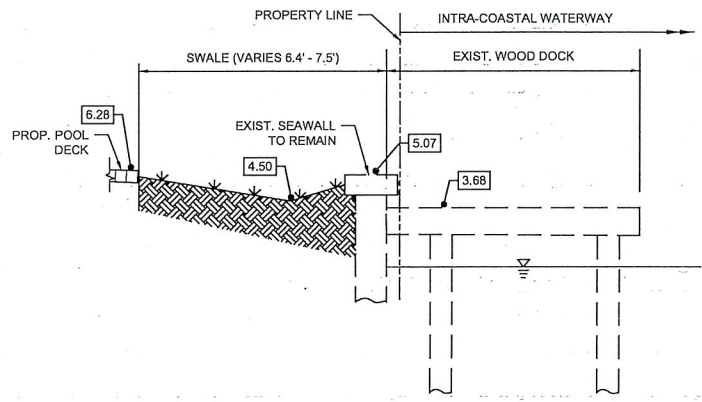
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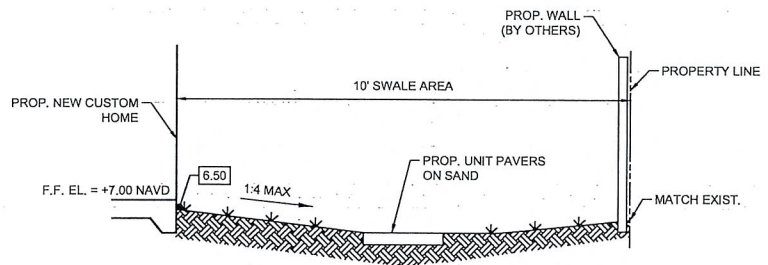
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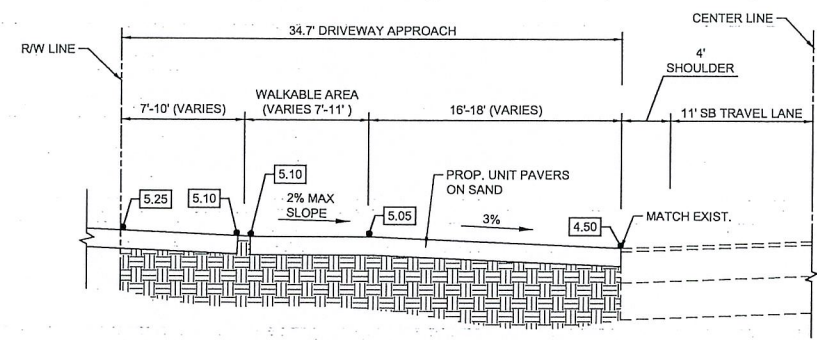
SECTION B-B
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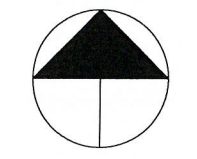
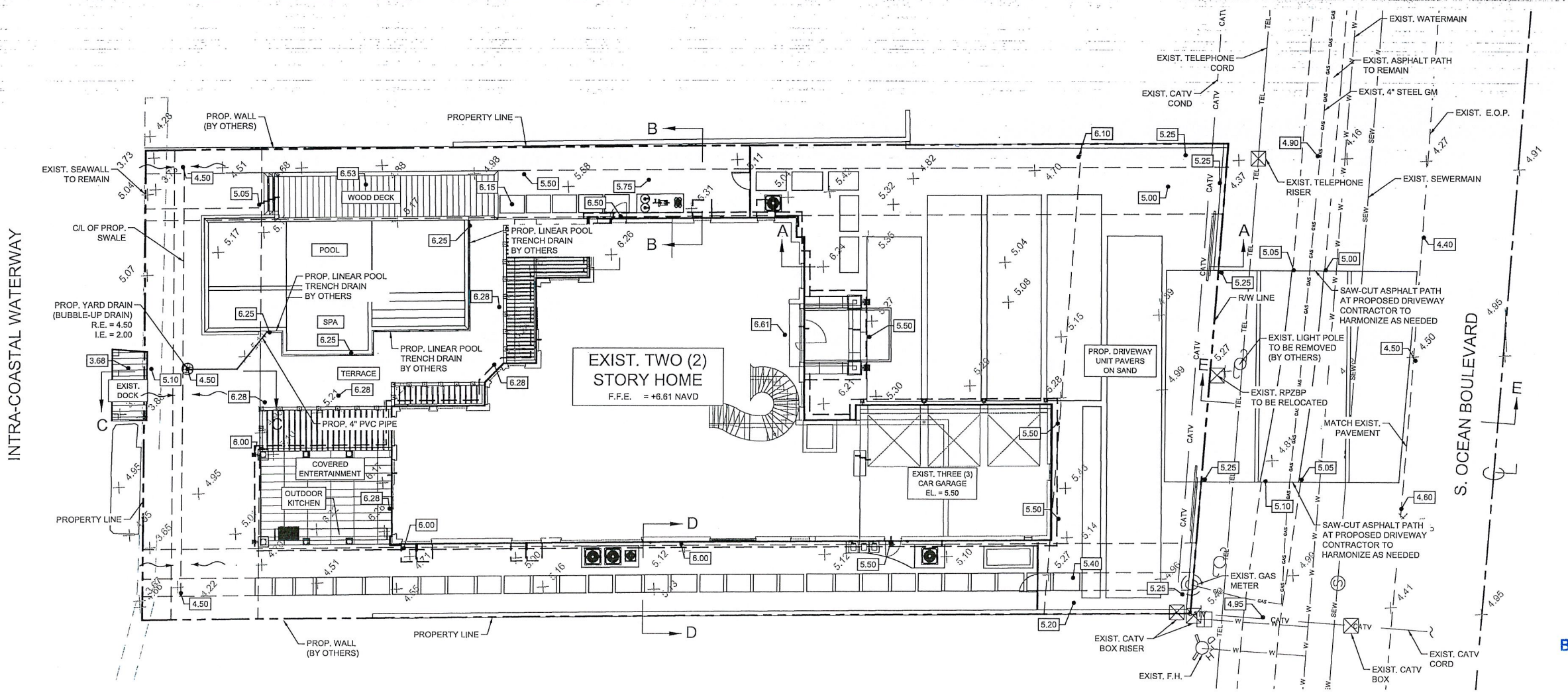
SECTION C-C
 N.T.S.



SECTION D-D
 N.T.S.



SECTION E-E
 N.T.S.



GRAPHIC SCALE IN FEET
 0 5 10 20
 SCALE: 1" = 10'

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HIGHLAND BEACH BUILDING DEPARTMENT

C:\Users\jenn\Documents\Projects\2021\2021-60-2362 South Ocean Blvd Highland Beach\CADD\PlanSheets\202160-PP-1_PDP\PLAN.dwg, Jun 23, 2024 - 11:02am, JENNI

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HIGHLAND BEACH BUILDING DEPARTMENT

SUAREZ ENGINEERING & SURVEYING, INC. 13350 SW 131ST STREET SUITE 103 MIAMI, FL 33186 Tel: 305.596.1799 CERTIFICATE OF AUTHORIZATION LIC. NO. 34996

2362 SOUTH OCEAN BLVD STORMWATER POLLUTION PREVENTION PLAN & EROSION CONTROL DETAILS

CLIENT: PRIVATE CLIENT

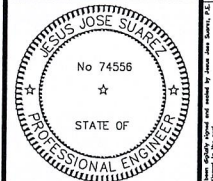
PROJECT NAME: TWO STORY HOME ADDITION AND RENOVATION

PROJECT ADDRESS: 2362 SOUTH OCEAN BLVD HIGHLAND BEACH, FL 33487

PROJECT NUMBER: C100-2021-60

REVISIONS

Table with columns: DATE, BY, DESCRIPTION

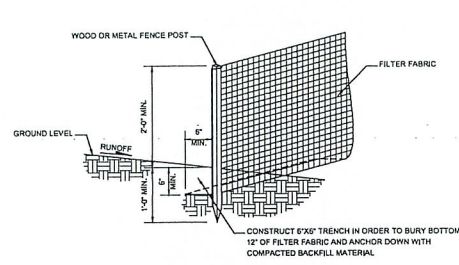


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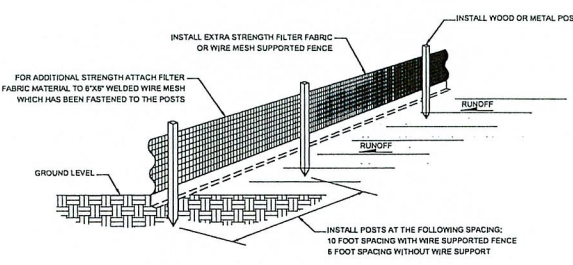
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SHEET NO.

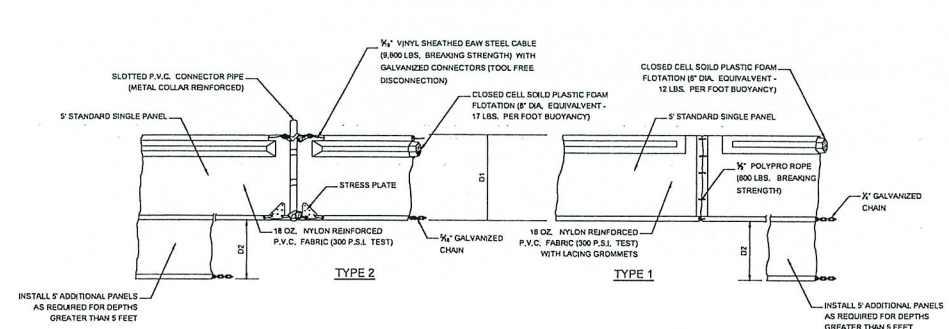
SWPP-1



POST & FILTER FABRIC INSTALLATION DETAIL



SILT FENCE INSTALLATION DETAIL



FLOATING TURBIDITY BARRIER INSTALLATION DETAIL

FLOATING TURBIDITY BARRIER INSTALLATION NOTES

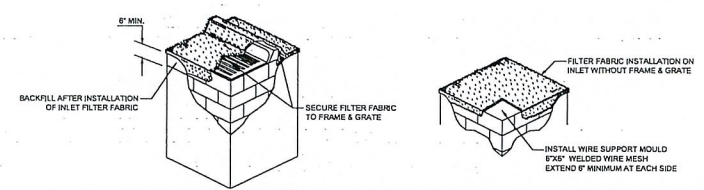
- 1. FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED WITHIN EXISTING LANES AND/OR CANALS. REFER TO STORMWATER POLLUTION PREVENTION PLANS FOR EXACT LOCATIONS. 2. CONTRACTOR MAY INSTALL A SUBSTITUTION FOR THE TYPE 1 AND TYPE 2 FLOATING TURBIDITY BARRIERS ONLY IF APPROVED BY BOTH THE ENGINEER-OF-RECORD AND THE APPLICABLE GOVERNMENTAL AGENCIES. 3. THE TURBIDITY BARRIER CURTAIN BOTTOM SHALL REACH A MINIMUM DEPTH OF 10 FEET FROM THE EXISTING WATER ELEVATION. MULTIPLE PANELS OR SPECIAL DEPTH CURTAINS SHALL BE USED IF THE PLANS OR ENGINEER-OF-RECORD SPECIFY DEPTHS GREATER THAN 10 FEET.

GENERAL EROSION AND TURBIDITY CONTROL NOTES

- 1. ALL EROSION AND TURBIDITY CONTROL DEVICES AND TEMPORARY BARRIERS SHALL BE INSTALLED WITHIN THE LIMITS OF THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING. 2. A TEMPORARY BARRIER SHALL BE INSTALLED AROUND ALL WETLAND AND/OR NATURAL PRESERVATION AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING. NO CONSTRUCTION VEHICLES SHALL ENCRUSH WITHIN THESE AREAS. 3. CONTRACTOR SHALL HAVE ALL EXISTING UNDERGROUND UTILITIES LOCATED BY APPROPRIATE AGENCIES PRIOR TO INSTALLATION OF ANY EROSION AND TURBIDITY CONTROL DEVICES AND BARRIERS. 4. DURING CONSTRUCTION ACTIVITIES, EXISTING PERIMETER NATIVE VEGETATION SHALL REMAIN IN ORDER TO ACT AS A BUFFER BETWEEN ADJACENT PROPERTIES, AND TO MINIMIZE NUISANCE DUST, NOISE, AND/OR AIR POLLUTION. 5. PRACTICES SUCH AS SEEDING, MULCHING AND WETTING WHICH MINIMIZE AIRBORNE DUST AND PARTICULATE EMISSIONS GENERATED DURING CONSTRUCTION ACTIVITIES SHALL BE USED AS DIRECTED BY BOTH THE ENGINEER-OF-RECORD AND/OR APPLICABLE GOVERNMENTAL AGENCIES. 6. ALL AREAS DISTRIBUTED DURING CONSTRUCTION ACTIVITIES, WHICH ARE NOT GOING TO BE PAVED OR LANDSCAPED, SHALL BE SEED AND MULCHED.

SILT FENCE & POST INSTALLATION NOTES

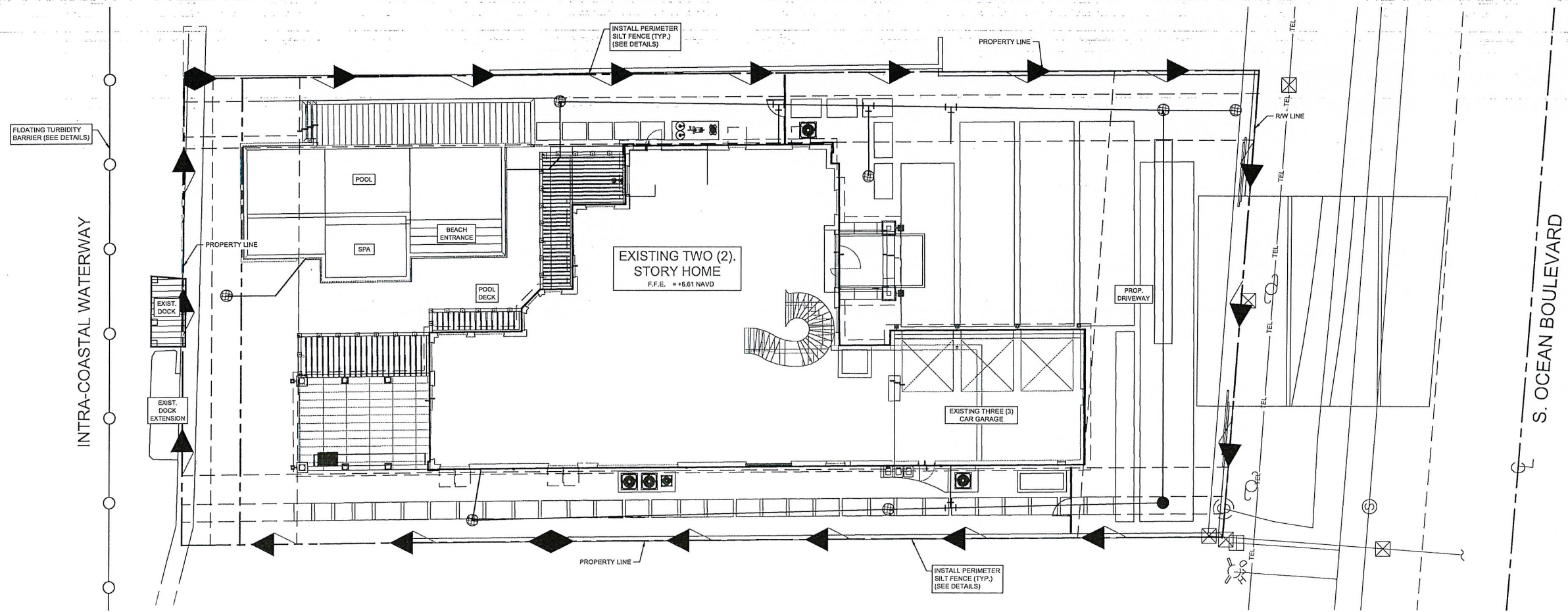
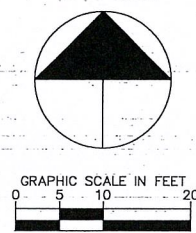
- 1. THE HEIGHT OF THE SILT FENCE SHALL BE INSTALLED AT A MINIMUM OF 24 INCHES BUT SHALL NOT EXCEED 36 INCHES. 2. THE FILTER FABRIC MATERIAL SHALL BE PURCHASED IN A CONTINUOUS ROLL IN ORDER TO BE ABLE TO CUT THE ENTIRE REQUIRED LENGTH IN ONE PIECE AND AVOID THE USE OF JOINTS. 3. WHEN STANDARD STRENGTH FILTER FABRIC MATERIAL IS USED, A WELDED WIRE MESH SUPPORT SHALL BE FASTENED SECURELY TO THE UP SLOPE SIDE OF THE FENCE POSTS BY USING EITHER HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HDG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 3 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. 4. THE FILTER FABRIC MATERIAL SHALL BE EITHER STAPLED OR WIRED TO THE FENCE POSTS AND 12 INCHES OF THE FABRIC SHALL BE EXTENDED AT THE BOTTOM INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE GROUND SURFACE. 5. A 6"X6" TRENCH SHALL BE CONSTRUCTED ALONG THE BOTTOM OF THE ENTIRE LINE OF FENCE POSTS AND UP SLOPE FROM THE BARRIER IN ORDER TO BURY THE BOTTOM 12 INCHES OF THE FILTER FABRIC MATERIAL. THE TRENCH SHALL BE BACK FILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. 6. THE FENCE POSTS SHALL BE INSTALLED AT A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND FOR A MINIMUM OF 12 INCHES WHEN THE FILTER FABRIC IS USED WITHOUT WIRE MESH SUPPORT. IF WIRE SUPPORT IS USED THEN THE FENCE POSTS SHALL BE SPACED AT A MAXIMUM OF 5 FEET APART. 7. WHEN INSTALLING TWO SILT FENCES AROUND THE PERIMETER, PLACE THE POSTS OF THE SECOND FENCE INSIDE THE POSTS OF THE FIRST FENCE. ROTATE BOTH FENCE POSTS AT A CLOCKWISE DIRECTION IN ORDER TO CREATE A TIGHT SEAL. FOLLOW ALL OTHER STANDARD INSTALLATION REQUIREMENTS.



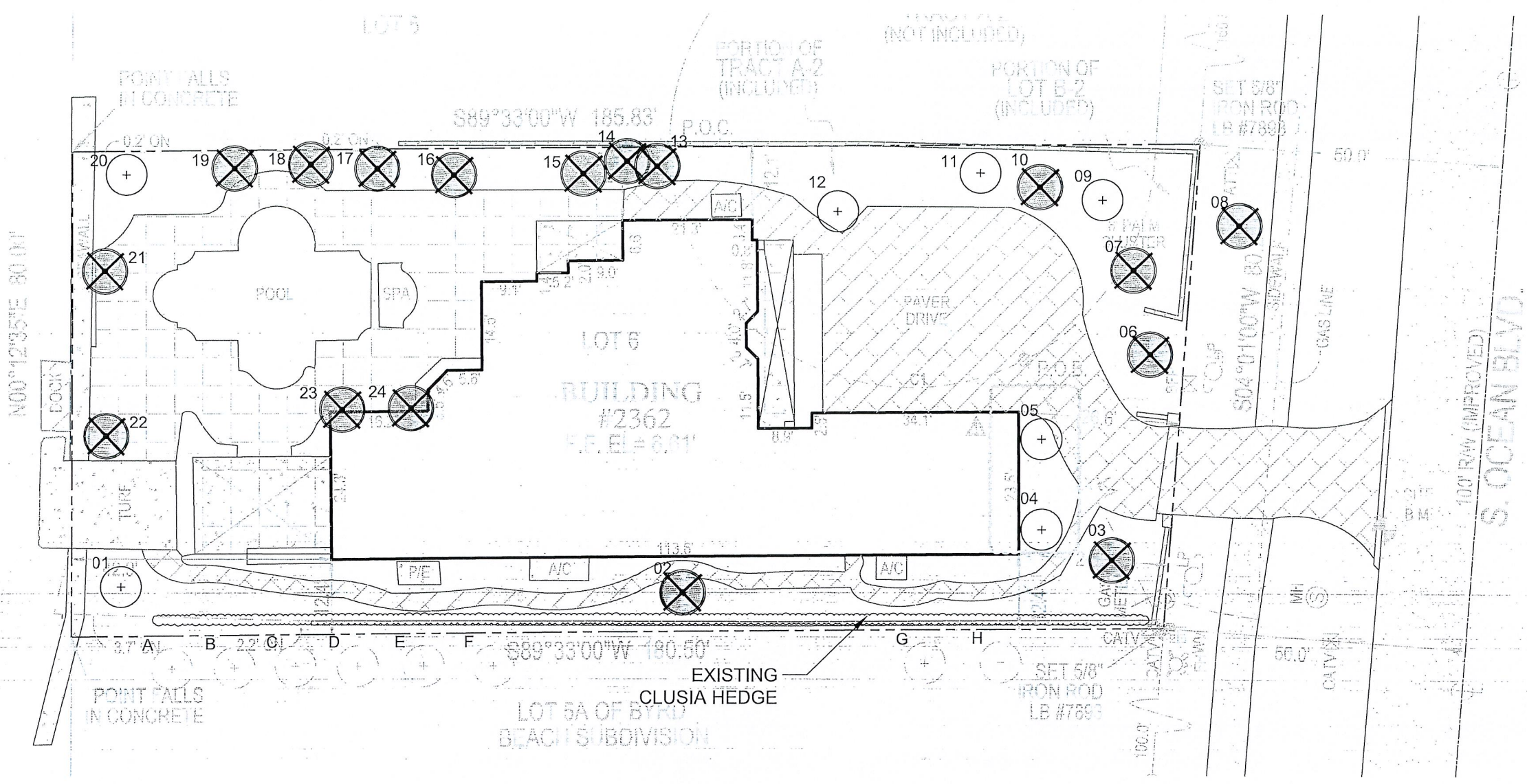
FILTER FABRIC INSTALLATION DETAIL

FILTER FABRIC INSTALLATION NOTES

- 1. CONTRACTOR SHALL CLEAN OUT DRAINAGE INLET AND FILTER FABRIC AFTER EVERY STORM EVENT OR AS NEEDED. 2. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DAMAGED FILTER FABRIC WITHIN INLETS DURING CONSTRUCTION OPERATIONS. 3. CONTRACTOR SHALL REMOVE FILTER FABRIC FROM DRAINAGE INLETS PRIOR TO STARTING FINAL PAVING OPERATIONS.



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LEGEND

- EXISTING TREE/PALM TO REMAIN
- EXISTING TREE/PALM TO BE REMOVED
- EXISTING TREE/PALM TO BE RELOCATED
- EXISTING TREE/PALM ON ADJACENT PROPERTY

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HIGHLAND BEACH
BUILDING DEPARTMENT

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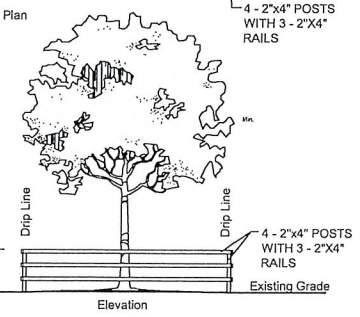
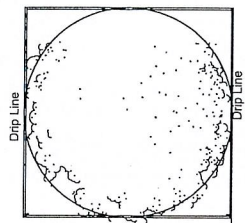
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 Date: 02/15/24
 16:26:38
 2/15/2024

PROJECT NAME & LOCATION:
PRIVATE CLIENT
 TWO STORY HOME ADDITION AND RENOVATION
 2362 S. OCEAN BLVD.
 HIGHLAND BEACH, FL 33487

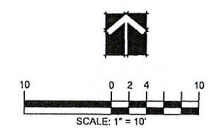
Existing Tree Survey								
KEY	BOTANTICAL NAME	COMMON NAME	CALIPER (INCHES)	HEIGHT (FEET)	CANOPY (FEET)	CONDITION	DISPOSITION	COMMENTS
1	<i>Roystonea regia</i>	Royal Palm	17	40	16	70.00%	Remain	
2	<i>Adonidia merillii</i>	Christmas Palm	12 Triple	25	12	60.00%	Remove	
3	<i>Adonidia merillii</i>	Christmas Palm	12 Triple	25	12	60.00%	Remove	
4	<i>Roystonea regia</i>	Royal Palm	17	30	16	65.00%	Remain	
5	<i>Roystonea regia</i>	Royal Palm	17	30	16	65.00%	Remain	
6	<i>Wodyetia bifurcata</i>	Foxtail Palm	12 Triple	25	9	65.00%	Remove	
7	<i>Phoenix roebelenii</i>	Pygmy Date Palm	8 Double	12	10	60.00%	Remove	
8	<i>Sabal palmetto</i>	Sabal Palm	8	30	8	50.00%	Remove	
9	<i>Phoenix roebelenii</i>	Senegal Date Palm	20 Multi	20	15	60.00%	Remain	
10	<i>Cocos nucifera</i>	Coconut Palm	10	35	14	60.00%	Remove	
11	<i>Adonidia merillii</i>	Christmas Palm	12 Triple	25	12	60.00%	Remain	
12	<i>Roystonea regia</i>	Royal Palm	18	40	16	65.00%	Remain	
13	<i>Dypsis lutescens</i>	Areca Palm	14	25	12	50.00%	Remove	Invasive
14	<i>Cocos nucifera</i>	Coconut Palm	10	40	16	60.00%	Remove	
15	<i>Cocos nucifera</i>	Coconut Palm	10	40	16	60.00%	Remove	
16	<i>Dypsis lutescens</i>	Areca Palm	14	25	12	50.00%	Remove	Invasive
17	<i>Dypsis lutescens</i>	Areca Palm	14	25	12	50.00%	Remove	Invasive
18	<i>Dypsis lutescens</i>	Areca Palm	14	25	12	50.00%	Remove	Invasive
19	<i>Dypsis lutescens</i>	Areca Palm	14	25	12	50.00%	Remove	Invasive
20	<i>Roystonea regia</i>	Royal Palm	18	40	16	70.00%	Remain	
21	<i>Wodyetia bifurcata</i>	Foxtail Palm	12 Triple	10	8	55.00%	Remove	
22	<i>Wodyetia bifurcata</i>	Foxtail Palm	12 Triple	10	8	55.00%	Remove	
23	<i>Ptychosperma elegans</i>	Solitaire Palm	7 Double	35	8	65.00%	Remove	
24	<i>Ptychosperma elegans</i>	Solitaire Palm	7 Double	35	8	65.00%	Remove	

Existing Trees on Adjacent Property								
KEY	BOTANTICAL NAME	COMMON NAME	CALIPER (INCHES)	HEIGHT (FEET)	CANOPY (FEET)	CONDITION	DISPOSITION	COMMENTS
A	<i>Wodyetia bifurcata</i>	Foxtail Palm	8	30	15	65.00%	Remain	
B	<i>Wodyetia bifurcata</i>	Foxtail Palm	8	30	15	65.00%	Remain	
C	<i>Wodyetia bifurcata</i>	Foxtail Palm	8	30	15	65.00%	Remain	
D	<i>Wodyetia bifurcata</i>	Foxtail Palm	8	30	15	65.00%	Remain	
E	<i>Wodyetia bifurcata</i>	Foxtail Palm	8	30	15	65.00%	Remain	
F	<i>Wodyetia bifurcata</i>	Foxtail Palm	8	30	15	65.00%	Remain	
G	<i>Veitchia montgomeryana</i>	Montgomery Palm	12 Double	30	12	65.00%	Remain	
H	<i>Veitchia montgomeryana</i>	Montgomery Palm	12 Double	30	12	65.00%	Remain	

MITIGATION:
 17 Palms proposed to be removed. The proposed Landscape plan has 3 new trees and 15 new palms for replacement. See Landscape plan for species.
 * Invasive species are not included on mitigation counts.



Existing Tree(s) Protection Detail

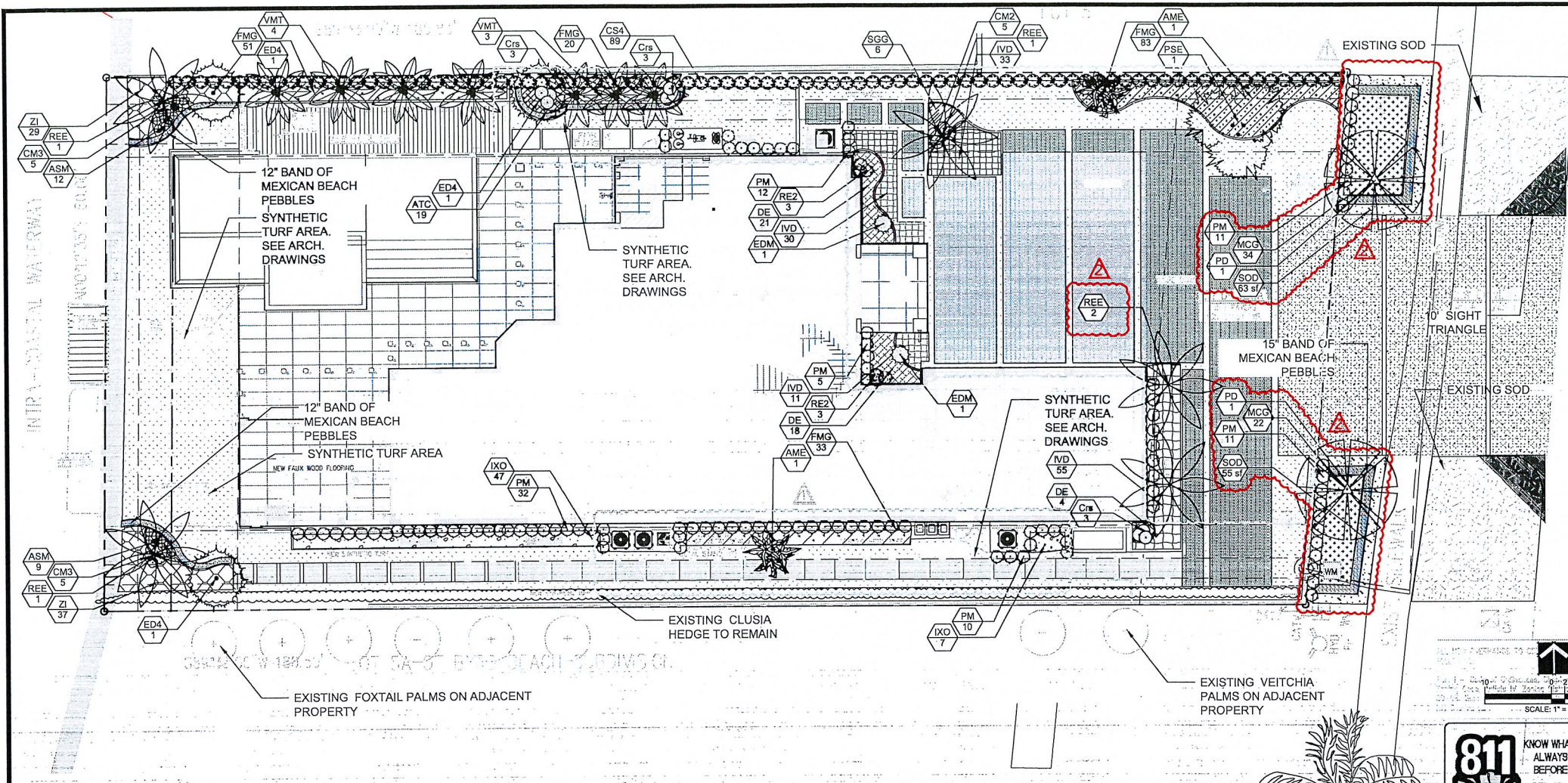


811 KNOW WHAT'S BELOW
 ALWAYS CALL 811 BEFORE YOU DIG
 Excav, It's Free, It's the Law.
 Call 811 two business days before digging.

DISTRIBUTION:	DATE:
APPROVED FOR PERMIT:	01-15-24

DRAWING NAME:
TREE DISPOSITION PLAN

DRAWING NUMBER:
L-200



HIGHLAND BEACH PLANTING CALCULATIONS

Residential Single Family	Required	Provided
Total Area: 14,652 S.F. 0.33AC.		
Total Tree Requirement:		
Percentage of Drought Tolerant / Native Trees		
Total Trees / Palms (Not including existing trees)		12
(Phoenix & Roystonea elata counted 1:1 All others counted 3:1)		
Total Native Trees / Palms		5
% Native or Drought Tolerant Trees / Palms		20-100%
Percentage of Drought Tolerant Shrubs / Accents		
Total Shrubs / Accents @ 24" planted ht. or greater		276
Total Shrubs / Accents		667
% Native or Drought Tolerant Shrubs / Accents		658=99%
Landscape Area Provided	5,438 s.f.	

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material (except SOD) as included herein shall be warranted by the landscape contractor for a minimum period of 12 months.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

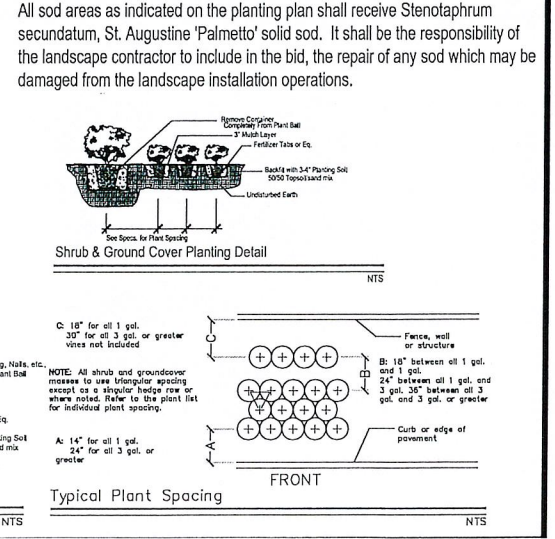
Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

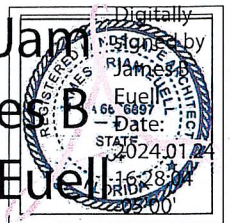
General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.



PLANT SCHEDULE LANDSCAPE

CODE	BOTANICAL / COMMON NAME	QTY	CONTAINER	DBH	SIZE	NATIVE	DROUGHT TOLERANCE	DETAIL	REMARKS
TREES									
ED4	Elaeocarpus decipiens / Japanese Blueberry Tree	3	FG/B&B	3" Cal	14' HT x 6' SPR	No	High		
EXISTING PALMS									
AME	Adonia merrillii / Christmas Palm	2	EXISTING			No	High		
PSE	Phoenix reclinata / Senegal Date Palm	1	EXISTING			No	High		
REE	Roystonea elata / Florida Royal Palm	5	EXISTING			Yes	High		
PALM TREES									
PD	Phoenix dactylifera 'Medjool' / Medjool Date Palm	2	FG/B&B		14' CT, Nut Included, Matched	No	High		
VMT	Veitchia montgomeryana / Montgomery Palm	7	FG/B&B		12-16" OA, Triple Trunk	No	Medium		
SHRUBS									
ASM	Asparagus densiflorus 'Myers' / Myers Asparagus	21			18"x18"	No	High		
CS4	Citrus aurantium / Small-Leaf Citrus	183			36" H. X 24" SPR.	No	High		
CM3	Codiaeum variegatum 'Mammy' / Mammy Croton	10			18" H. X 18" SPR.	No	High		
CM2	Codiaeum variegatum 'Mammy' / Mammy Croton	5			18"x18"	No	High		
Crs	Cordyline frutescens 'Red Sister' / Red Sister Ti	9			24"H x 18" SPREAD	No	Medium		
EDM	Elaeocarpus decipiens 'MonProud' / Japanese Blueberry Tree Dwarf	2			6" OA; FULL TO BASE, CONE	No	High		
PM	Podocarpus macrophyllus / Yew Pine	198			30" HT. X 24" SPD	No	High		
RE2	Rhapis excelsa / Lady Palm	6			24"H x 18" SPREAD	No	HIGH		
SHRUB AREAS									
DE	Durania erecta 'Gold Mound' / Gold Mound Duranta	43			18"HT x 18"SPR	Yes	High		18" o.c.
FMG	Ficus microcarpa 'Green Island' / Green Island Ficus	187			14" HT x 16" SPR	No	High		18" o.c.
IXO	Ilex vomitoria 'Stokes dwarf' / Dwarf Yaupon Holly	129			14" HT x 16" SPR	Yes	High		18" o.c.
IXO	Ixora coccinea 'Mau Sunset' / Mau Sunset Dwarf Ixora	54			14" HT x 16" SPR	No	High		18" o.c.
SGG	Schefflera arboricola 'Gold Capella' / Gold Capella Arboricola	6			24"HT x 24"SPR	No	High		24" o.c.
ZI	Zamia integrifolia / Coontie	66			24"HT x 24"SPR	Yes	High		20" o.c.
GROUND COVERS									
ATC	Acalypha pendula / Trailing Chenille	19	1 Gal. @		6"HT x 12"SPR @	No	Medium		12" o.c.
TALL GROUND COVERS									
MCG	Muhlenbergia capillaris / Pink Muhly Grass	87		Yes	24" HT. x 24" SPR.	Yes	Medium		24" o.c.



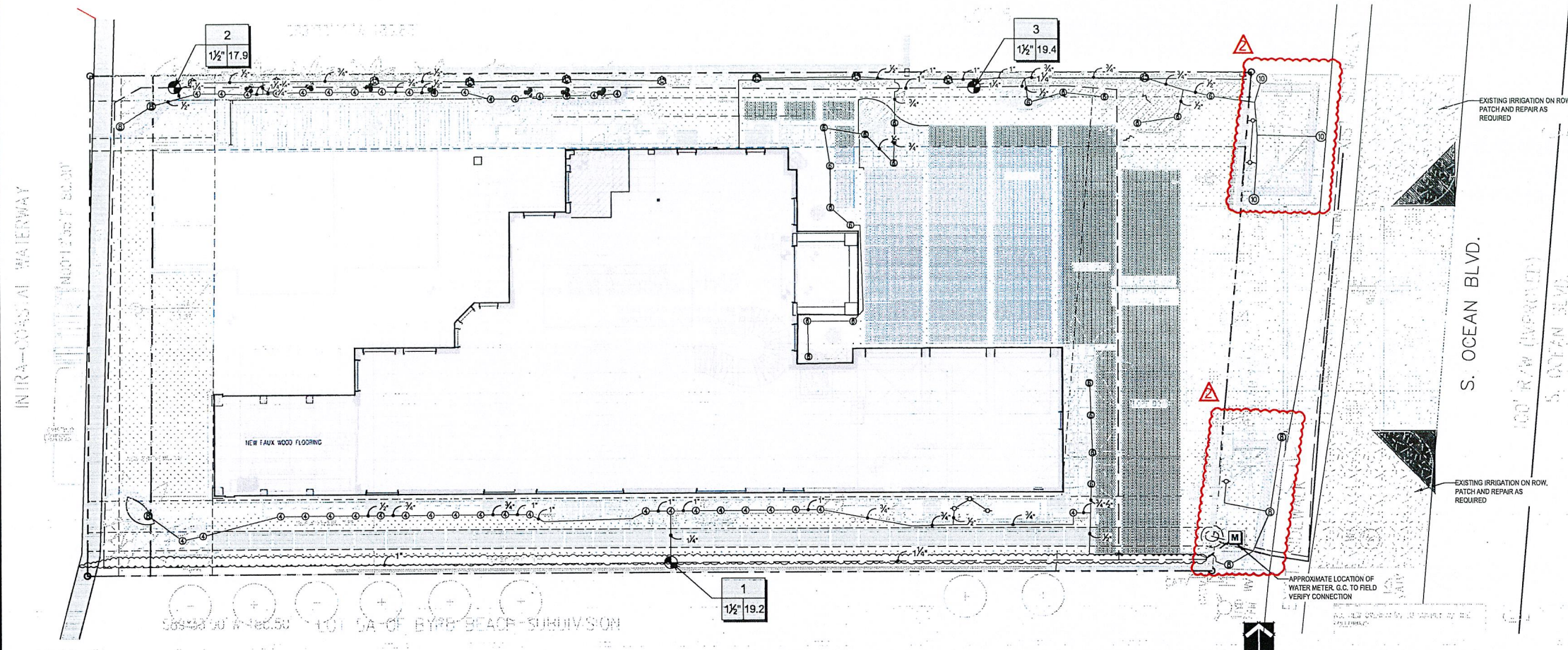
PROJECT NAME & LOCATION:
PRIVATE CLIENT
 TWO STORY HOME ADDITION AND RENOVATION
 2382 S. OCEAN BLVD.
 HIGHLAND BEACH, FL 33487

DISTRIBUTION:	DATE:
PERMIT REVISION	01-15-24

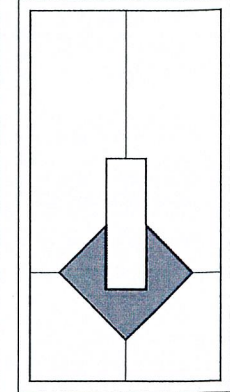
DRAWING NAME:
LANDSCAPE PLAN AND DETAILS

DRAWING NUMBER:
L-210

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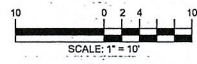


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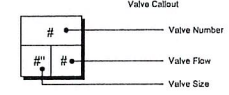
Digitally signed by James B. Euell
 Date: 2024.01.14 16:28:00
 05'00"

PRIVATE CLIENT
 TWO STORY HOME ADDITION AND RENOVATION
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IRRIGATION SCHEDULE IRRIGATION

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
EST LCS RCS CST SST	Rain Bird 1800-PA-8S-PRS 15 Strip Series Shrub Spray on fixed riser with the PA-8S-PRS Pressure Regulating Shrub Adapter. Use with 1/2" MPT threaded risers.	11	30	
4V 8V 18V	Rain Bird 1800-PA-8S-PRS ADJ Shrub Spray on fixed riser with the PA-8S-PRS Pressure Regulating Shrub Adapter. Use with 1/2" MPT threaded risers.	59	30	
10HE-WAN 12HE-WAN 10HE-WAN 15HE-WAN	Rain Bird 1800-PA-8S-PRS ADJ Shrub Spray on fixed riser with the PA-8S-PRS Pressure Regulating Shrub Adapter. Use with 1/2" MPT threaded risers.	10	30	
CST D H F	Rain Bird 1800-5 Series Stream Stream Bubbler on fixed riser.	6	15	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Rain Bird PEB-PRS-D 1-1/2" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration, With Pressure Regulator Module	3		
M	Water Meter 1"	1		
---	Irrigation Lateral Line: PVC Schedule 40 1/2"	400.5 l.f.		
---	Irrigation Lateral Line: PVC Schedule 40 3/4"	148.0 l.f.		
---	Irrigation Lateral Line: PVC Schedule 40 1"	71.5 l.f.		
---	Irrigation Lateral Line: PVC Schedule 40 1 1/4"	24.4 l.f.		
---	Irrigation Mainline: PVC Schedule 40-NP 1"	303.6 l.f.		
---	Irrigation Mainline: PVC Schedule 40-NP 1 1/4"	190.1 l.f.		



CRITICAL ANALYSIS

Generated: 2024-01-14 16:28
 P.O.C. NUMBER: 01
 Water Source Information:
 FLOW AVAILABLE
 Water Meter Size: 1"
 Flow Available: 19.62 GPM
 PRESSURE AVAILABLE
 Static Pressure at POC: 60 PSI
 Elevation Change: 5.00 ft
 Service Line Size: 1"
 Length of Service Line: 20 ft
 Pressure Available: 56 PSI
 DESIGN ANALYSIS
 Maximum Station Flow: 19.41 GPM
 Flow Available at POC: 19.62 GPM
 Residual Flow Available: 0.21 GPM
 Critical Station: 2
 Design Pressure: 30 PSI
 Friction Loss: 2.2 PSI
 Fittings Loss: 0.22 PSI
 Elevation Loss: 0 PSI
 Loss through Valve: 3.9 PSI
 Pressure Req. at Critical Station: 36.3 PSI
 Loss for Fittings: 0 PSI
 Loss for Main Line: 4.16 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Loss for Backflow: 0 PSI
 Loss for Water Meter: 1.78 PSI
 Critical Station Pressure at POC: 42.3 PSI
 Pressure Available: 56 PSI
 Residual Pressure Available: 13.7 PSI

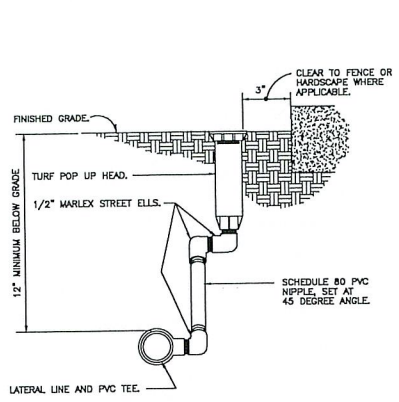
SLEEVING SCHEDULE	
PIPE SIZE	SLEEVING PIPE SIZE
3/4"	2"
1"	2"
1-1/4"	3"
1-1/2"	3"
2"	4"
3"	6"
4"	8"
6"	12"
8"	16"

DISTRIBUTION:	DATE:
PERMIT REVISION	01-15-24

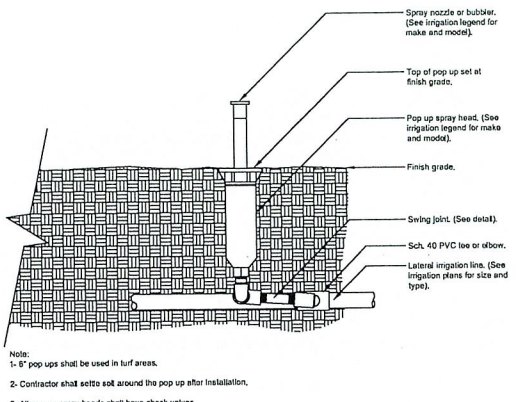
DRAWING NAME:
IRRIGATION PLAN

DRAWING NUMBER:
L-300

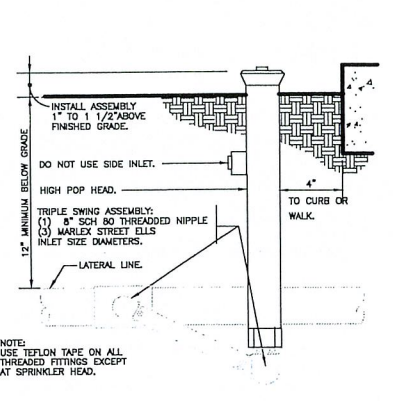




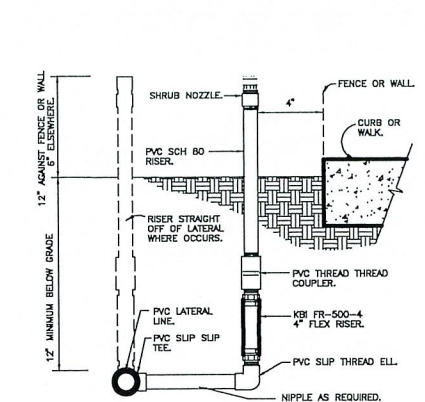
1 TURF SPRAY MARLEX ASSEMBLY
3" x 1'-0" 32 8403.13-01



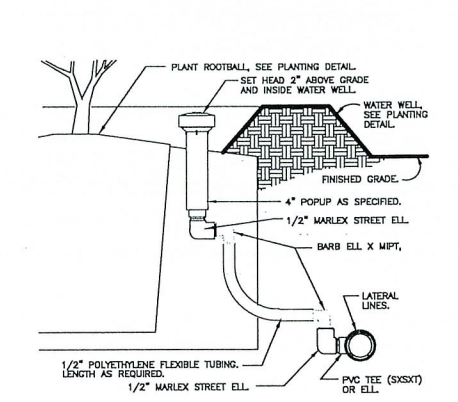
1 POP UP-SPRAY HEAD
1 1/2" x 1'-0" 32 8403.13-01



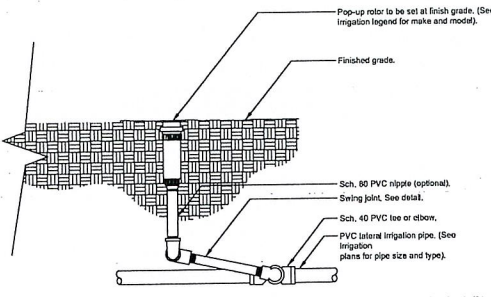
2 SHRUB SPRAY HIGHPOP MARLEX ASSEMBLY
3" x 1'-0" 32 8403.28-10



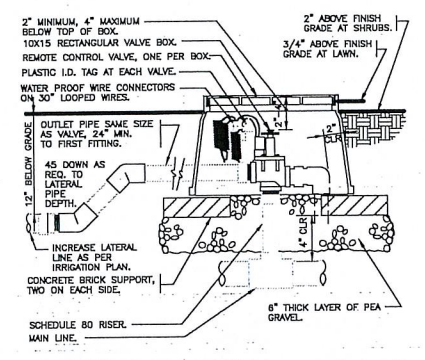
3 SHRUB SPRAY KBI FIXED RISER
3" x 1'-0" 32 8403.23-01



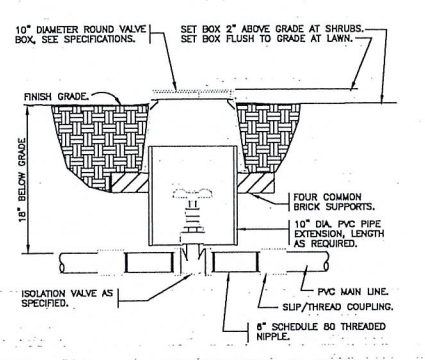
4 POPUP BUBBLER AT PLANT PIT
3" x 1'-0" 32 8403.53-04



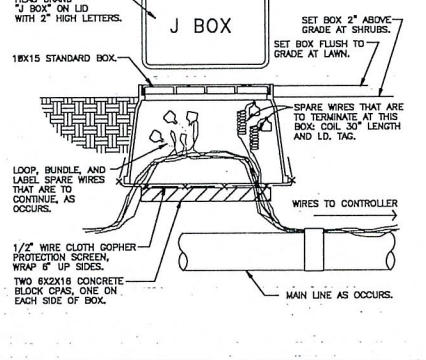
5 ROTOR SPRAYHEAD
1 1/2" x 1'-0" 32 8406.13-01



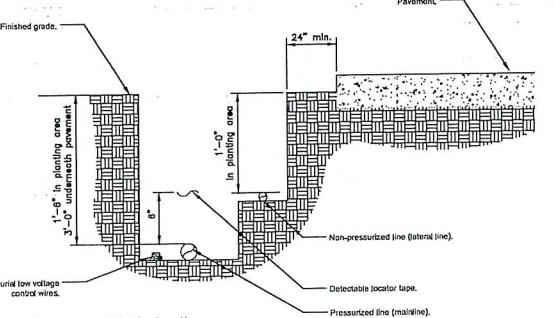
6 ELECTRIC REMOTE CONTROL VALVE
1 1/2" x 1'-0" 32 8406.13-01



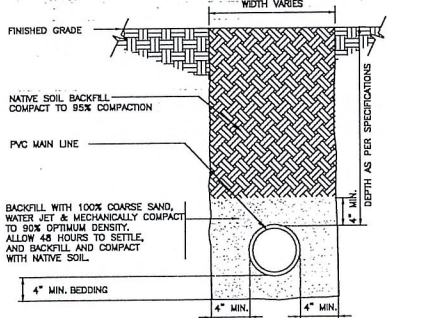
7 BRASS ISOLATION VALVE
1 1/2" x 1'-0" 32 8406.33-01



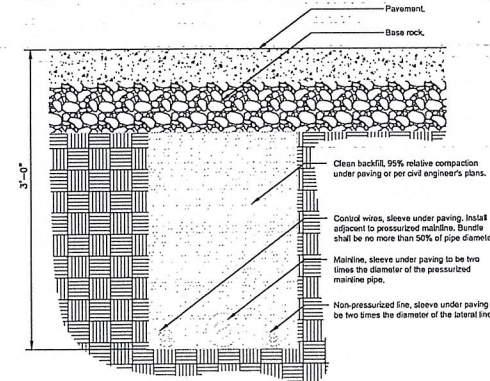
8 WIRE BUNDLE JUNCTION BOX
1 1/2" x 1'-0" 32 8409.78-01



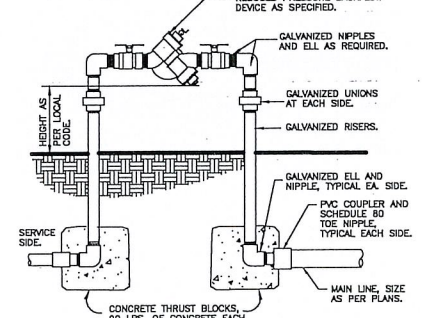
11 IRRIGATION TRENCHING
1 1/2" x 1'-0" 32 8409.78-01



12 MAINLINE WITH SAND BEDDING
1 1/2" x 1'-0" FX-IR-FX-AUXED-13

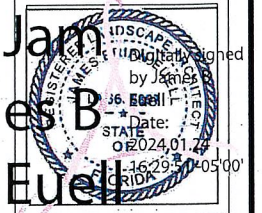


13 PIPE BENEATH PAVEMENT
1 1/2" x 1'-0" 32 8409.78-01



8 REDUCED PRESSURE BACKFLOW DEVICE
1" x 1'-0" FX-IR-FX-CONT-09

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2362 S. OCEAN BLVD.
HIGHLAND BEACH, FL 33487

DISTRIBUTION:	DATE:

DRAWING NAME:
IRRIGATION
DETAILS

DRAWING NUMBER:
L-301



WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire, suitable for direct burial and continuous operation at rated voltages.

Tape and bundle control wire every 10' and run alongside the mainline. At all turns in direction, make a 2' coil of wire. At all valve boxes coil wire around a 3/4" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3MDBY/R connectors.

Number all wires, using an electrical book of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.

Wire sized, numbered and colored as follows:
#14 white for common
#14 spare black common
#14 individual color coded hot wire
#14 spare yellow hot wire

Spare wires

Leaving each controller, run four spare wires in both directions (eight spare wires total). Install as 1 common spare (2 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must all be color coded and numbered as required in the plans.

Controller and pump station Control Panel grounding - Contractor to utilize 4"x8"x3/4" copper grounding plates. 3/4"x10' copper clad grounding rods, 'One Strike' CAD wells at all connection points, #6 insulated copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractors letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded as tested. Each component must have its own separate ground grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.

Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail sheet.

Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.

Shrub heads shall be installed on 3/4" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other landscaped areas. Shrub heads shall be installed to a standard height of 2' above maintained height of plants and shall be installed a minimum of 6" within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse water; in this case the risers shall be purple PVC and shall not be painted.

Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.

VALVES

Sequence all valves so that the farthest valve from the POC operates first and the closest to the POC operates last. The closest valve to the POC should be the last valve in the programmed sequence.

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using an electric branding iron, brand the valve ID letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.

EQUIPMENT

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple joints unless otherwise detailed.

All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.

Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.

INSTALLATION

Solvent Weld Pipe: Cut all pipe square and deburr. Clean pipe and fittings of foreign material; then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement; first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe a 1/4 turn and hold for 10 seconds. make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded. Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.

BACK FILL

The back fill 6" below, 6" above, and around all piping shall be clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.

Main line pipe depth measure to the top of pipe shall be:
24" minimum for 3/4" - 2" PVC with a 30" minimum at vehicular crossings;
30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings.

Lateral line depths measure to top of pipe shall be:
18" minimum for 3/4" - 3" PVC with a 30" minimum at vehicular crossings;
24" minimum for 4" PVC and above with a 30" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2' on each side of every joint (bell fittings, 90's, tees, 45's, etc). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.

FLUSHING

Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Use screens in heads and adjust heads for proper coverage avoiding excess water on walks, walls and paving.

TESTING

Schedule testing with Owner's Representative a minimum of three (3) days in advance of testing.

Mainline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. Hose bibs and gate valves shall not be tested against

during a pressure test unless authorized by written permission from the owner, fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe.

If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.

Lateral lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.

Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.

Upon completion of the operational test, run each zone until water begins to puddle or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.

SUBMITTALS

Pre-Construction: Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of Notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet. Index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicated which items are being supplied on catalog cut sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review. In lieu of hardcopies, an electronic package in PDF format can be submitted.

After project completion:

As a condition of final acceptance, the irrigation contractor shall provide the owner with:

- 1. Irrigation As-builts - shall be provided accurately locating all mainlines, sleeves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Sleeves will be located at end points and every 20' of length. All underground items shall include depth in inch format.
2. Controller charts - Upon completion of "as-built" prepare controller charts; one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside the controller door. The reduction shall be hermetically sealed inside two 2ml pieces of clear plastic.
3. Grounding Certification - Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indicating location tested (using IR plan symbols), date, time, test method and testing results.

INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:

- 1. Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.
2. Mainline installation inspection(s) - All mainline must be inspected for proper pipe, fittings, depth of coverage, backfill and installation method.
3. Mainline pressure test - All mainline shall be pressure tested according to this design's requirements.
4. Flow meter calibration - All flow meters must be calibrated. Provide certified calibration report for all flow meters.
5. Coverage and operational test
6. Final inspection
7. Punch list inspection

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.

- 1. All above inspections are completed, documented, approved by owner.
2. Completion and acceptance of 'as-built' drawings.
3. Acceptance of required controller charts and placement inside controller.
4. All other submittals have been made to the satisfaction of the owner.

GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

1. Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:

- A. Turn on each zone from the controller to verify automatic operation.
B. Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.
C. Check remote control valve to ensure proper setting, if present.
D. Check setting on pressure regulator if verify proper setting, if present.
E. Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller.
F. Check for leaks - mainline, lateral lines, valves, heads, etc.
G. Check all heads as follows:
1. Proper set height (top of sprinkler is 1" below mow height)
2. Verify head pop-up height - 6" in turf, 12" in groundcover, and riser in shrub beds
3. Check wiper seal for leaks - if leaking, clean head and re-impact.
4. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
5. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
6. Check for proper alignment - perfectly vertical; coverage area is correct; minimize over spray onto hardscapes
7. Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage.
8. Verify pop-ups retract after operation. If not, repair/replace as needed.
H. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports.
I. Check rain shut-off device monthly and clean/repair/replace as needed.
J. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.
K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.
L. Inspect all filters monthly and clean/repair/replace as needed.
M. Check pump stations for proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual.
N. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.
O. Winterize, if applicable, as weather in your area dictates. Follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.
P. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.

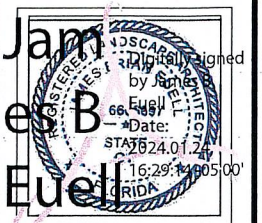
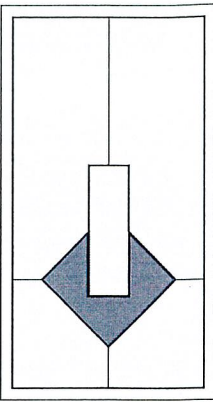
SOIL MOISTURE SENSOR (When applicable)

- 1. Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit
2. Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.
3. Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (like a rain switch) per manufacturer directions.

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HIGHLAND BEACH BUILDING DEPARTMENT



PRIVATE CLIENT
TWO STORY HOME ADDITION AND RENOVATION
2362 S. OCEAN BLVD.
HIGHLAND BEACH, FL 33487

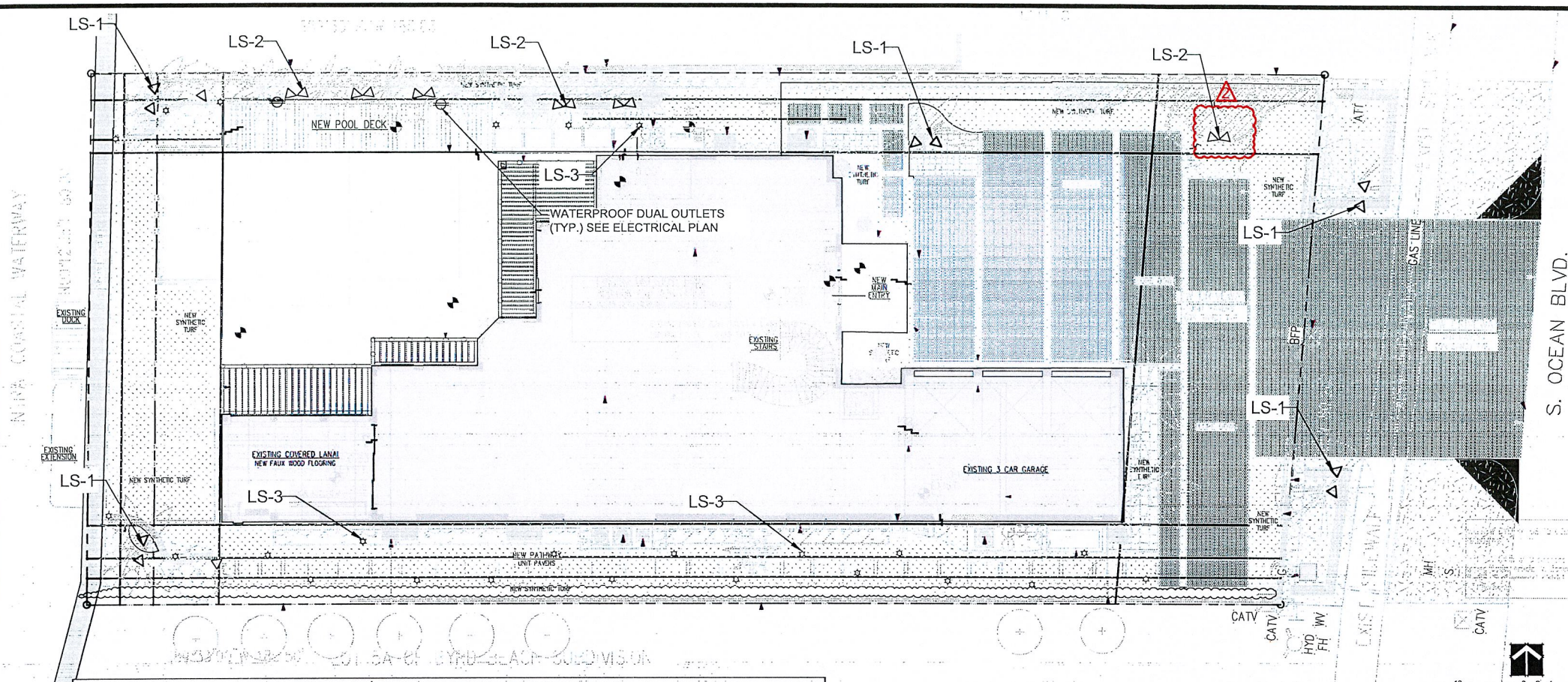
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DRAWING NUMBER: L-302



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 HIGHLAND BEACH
 BUILDING DEPARTMENT



LANDSCAPE LIGHTING SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	# LAMPS	LAMP TYPE	INPUT WATTS	MOUNTING	REMARKS
LS-1	LED UPLIGHT	COASTAL SOURCE	FBTR-16-VB	7-18 VAC	10	LED 3000K	9W	POWER-PIPE	SPOT ANGLE FOR SINGLE PALMS
LS-2	LED FLOOD/LIGHT	COASTAL SOURCE	WL-10W-3K-VB-WLPTH18"	7-18 VAC	14	LED 3000K	9W	POWER-PIPE	FLOOD ANGLE FOR TREES AND CLUSTERS
LS-3	PATH LIGHT	COASTAL SOURCE	MLP-3K-AC-MLSTSS	7-18 VAC	24	LED 3000K	5W	STAKE MOUNTING	



LS-1

COASTAL SOURCE

MR16 BULLET LIGHT - FLEX SERIES

The MR16 Bullet Light is the ultimate bullet for uplighting. With an 18" riser, this Bullet stays focused on its task by staying above ground cover and other obstructions. Since it's a Flex fixture, though, you can change the riser height for odd accessories like Thru Guard and/or the CS Stakeholder at any point.

MR16 BULLET w/ RISER SPECIFICATIONS

Size (H x W): 27" x 2.5"
 Weight: 4.0 lbs
 Construction: Solid Brass
 Voltage: 7-18VAC/7-24VDC
 Finish: Vintage Brass
 Riser: 18"
 Shroud: 360° Rotational with O-Ring
 Lamp: MR16 LED
 Wattage: Maximum 9W G3 LED Lamp
 Lens: Clear Flat Borosilicate Glass
 Mounting: 8" Removable Tip Stake
 Fixture Connector: CMC Male Direct Connector
 Wiring: Removable 3' CMC-CC Y-Cable (included)
 Warranty: Brass Parts (Lifetime)
 Y-Cable (5 Years)

OUTDOOR LIGHTING AND AUDIO [ENGINEERED] FOR LIFE

coastalsource.com

LS-2

COASTAL SOURCE

WASH LIGHT

The Wash Light is unparalleled in light output and uniformity. It is available in both low power and high power models, allowing you to illuminate small shruberies or the side of a large building with a single compact fixture. The LED module has been custom designed to utilize CREE COB technology and custom optics to achieve a perfectly uniform light pattern. The whole fixture is used as a heat sink for the LED to ensure it continues lighting for years to come. These lights are available in both 2700K and 3000K.

WASH LIGHT SPECIFICATIONS

Size (H x W): 5.25in x 3.5in
 Weight: 2.0 lbs
 Construction: Solid Brass
 Voltage: 7-18VAC/7-24VDC
 Finish: Vintage Brass, White, Nickel
 Shroud: Integrated glare shield with gasket
 Lamp: Thermally bonded CREE module (replaceable)
 Wattage: 2.5W(24lm)/4W(352lm), 5W(458lm)/6W(502lm)/10W(730lm) (switchable)
 Color Temperature: 2700K, 3000K
 Lens: Clear, Frosted (both included)
 Mounting: Stake, Tree Mount, Flush Mount (optional)
 Fixture Connector: CMC Male Direct Connector
 Wiring: Removable 3' CMC-CC Y-Cable (not included)
 Warranty: LED Module and Specialty Finishes (5 Years)
 Brass Parts (Lifetime)

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LS-3

COASTAL SOURCE

MATCH L PATH LIGHT

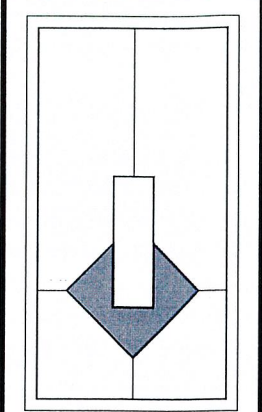
The Match L Path Light is part of our contemporary styled high performance lighting fixture line with simple, clean, and elegant lines without the typical compromises to functionality, performance flexibility, and serviceability. The Coastal Source Match Contemporary fixtures consist of three fixture styles, but can be assembled and reconfigured into many different fixtures with many applications.

MATCH L PATH LIGHT SPECIFICATIONS

Size (H x W): 24in x 2.35in
 Weight: 2.65 lbs
 Construction: Anodized Aluminum Extrusion
 Voltage: 7-18VAC/7-24VDC
 Finish: Anodized Clear, Anodized Black
 Lamp: Adjustable Gimbale Niche LED Module
 Wattage: 5 Watts (400lm)
 Lens: Clear Flat Borosilicate Glass
 Mounting: Direct Mount for Hardscape
 Tri-Stake for Landscape (not included)
 Wiring: 18" CMC Pigtail + 7.5' CMC Cable
 Warranty: LED Module (5 Years)
 Housing (Lifetime)

OUTDOOR LIGHTING AND AUDIO [ENGINEERED] FOR LIFE

coastalsource.com



Digitally signed by James B. Fuell on 2024.01.29 05:00

PROJECT NAME & LOCATION:
PRIVATE CLIENT
 TWO STORY HOME ADDITION AND RENOVATION
 2362 S. OCEAN BLVD.
 HIGHLAND BEACH, FL 33487

DISTRIBUTION:	DATE:
PERMIT REVISION	01-15-24

DRAWING NAME:
 LANDSCAPE LIGHTING PLAN AND DETAILS

DRAWING NUMBER:
L-410

CALL "SUNSHINE STATE ONE CALL" PRIOR TO DIG AT 811 OR (800) 432-4770

FLOOD ZONE INFORMATION

FLOOD INFORMATION:
 COMMUNITY NUMBER: 120192
 PANEL NUMBER: 12099C0987
 FIRM DATE: 10-05-2017
 FIRM EFFECT./REV DATE: 10-05-2017
 FLOOD ZONE:"AE"
 BASE FLOOD ELEVATION: 6.00' NAVD 1988
 BENCH MARK INFORMATION:
 Palm Beach County Benchmark: "M 310"
 NAVD Elevation: 5.17'

SITE INFORMATION OBTAINED FROM SURVEY:
 PREPARED BY: KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR & MAPPER: #6415
 STATE OF FLORIDA - LB #6415

REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR LANDSCAPE, GRADING, PAVING, DRAINAGE INFORMATION AND SEWER CONNECTIONS.

SITE REGULATIONS

ZONING: RS-RESIDENTIAL SINGLE FAMILY
 FUTURE LAND USE: SINGLE FAMILY

HORIZONTAL RESTRAINTS	MIN. REQUIRED	PROVIDED
FRONT SETBACK:	25'	24.8' MIN. EXISTING
L & R (SIDE) SETBACK:	12'	12.4' & 12.1' MIN. EXISTING
REAR SETBACK:	20'	20.1' MIN. EXISTING
POOL SETBACK (REAR/RIGHT SIDE):	10'	11.07' & 12.38' MIN.

VERTICAL RESTRAINTS	MAXIMUM	PROVIDED
MAX. NUMBER OF STORIES:	TWO	EXISTING TWO
MAX. HEIGHT:	35'	32'-37" EXISTING ROOF

SCOPE OF WORK

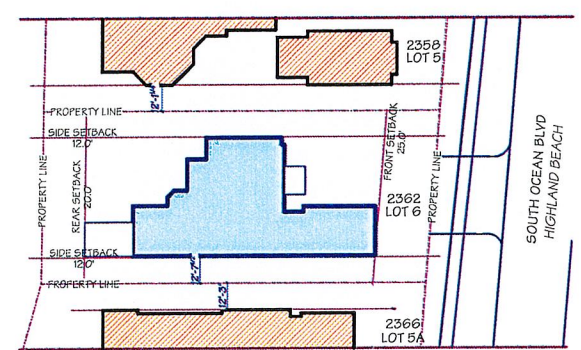
SUMMARY

THE SCOPE OF WORK CONSISTS OF THE ADDITION AND RENOVATION OF AN EXISTING 2 STORY HOME. THE LEVEL OF ALTERATION IS LEVEL 2 (INCLUDES THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT; AND SHALL APPLY WHERE THE WORK AREA IS EQUAL TO OR LESS THAN 50 PERCENT OF THE BUILDING AREA).

THE EXISTING FINISH FLOOR ELEVATION WILL REMAIN EXISTING (6.61' NAVD).

EXTERIOR IMPROVEMENTS INCLUDE NEW: DRIVEWAY (PAVERS ON SAND), POOL & SPA, POOL DECK, POOL EQUIPMENT & CONCRETE PAD, SYNTHETIC TURF THROUGHOUT LOT, SIDE PATHWAY (PAVERS ON SAND), MAIN ENTRANCE, EXTERIOR LIGHTING FIXTURES, WINDOWS & DOORS (PARTIAL), FACADE CLADDING & STUCCO PAINT, BAHAMA SHUTTERS, MODERN RAILINGS, DECORATIVE ARCHITECTURAL FEATURES THROUGHOUT FACADE (MOLDINGS, BRACKETS), PRE-ENGINEERED ALUMINUM TRELLIS, CONCRETE PAD FOR FUTURE GAS GENERATOR, EXTERIOR SHOWER, CMU WALL FENCE, THE ADDITION OF NEW A/C AREA, ADDING A NEW CABANA & EXTENDING THE AREA OF THE MAIN ENTRANCE FOYER (TOTAL NEW A/C AREA 131.44 SF).

INTERIOR IMPROVEMENTS: WILL ALSO BE MADE, BUT ARE NOT PART OF THIS PRESENTATION.



03 SP-01 SKETCH OF ADJACENT STRUCTURES SCALE: 1" = 40'

TWO STORY HOME ADDITION AND RENOVATION PROJECT

CURRENT USE OF PROPERTY:
 EXISTING RESIDENTIAL
 EXISTING ZONING: RS RESIDENTIAL SINGLE FAMILY

ADDRESS:
 2362 S. OCEAN BLVD HIGHLAND BEACH FL. 33487 US

LEGAL DESCRIPTION:

LOT 5 AND PLAT NO. 1, CAMELOT ON THE ATLANTIC, ACCORDING TO THE MAP OR PLAN THEREOF AS RECORDED IN PLAT BOOK 39, PAGE 160, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH A PORTION OF TRACTS A-2 AND B-2 OF SAID PLAT, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINS AT THE NORTHEAST CORNER OF SAID LOT; THENCE NORTH 89°33'00" EAST, ALONG THE EASTERLY PROJECTION OF THE NORTH BOUNDARY OF SAID LOT, 87.49 FEET TO A POINT ON THE EAST BOUNDARY OF PLAT; THENCE SOUTH 04°01'00" WEST, ALONG SAID EAST BOUNDARY, 80.24 FEET TO THE SOUTHEAST CORNER OF SAID PLAT; THENCE NORTH 27°43'24" WEST, ALONG THE EASTERLY BOUNDARY OF SAID LOT, 30.00 FEET TO A POINT ON THE ARC OF A RADIALLY TANGENT CURVE; THENCE NORTHWESTERLY, ALONG SAID EAST BOUNDARY AND ALONG THE ARC OF SAID CURVE BEING CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 40.00 FEET, A DELTA OF 117°16'24", AND AN ARC DISTANCE OF 81.87 FEET TO THE POINT OF BEGINNING OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ELEVATIONS LISTED HERE ARE FROM THE ARCHITECTURAL PROJECT FOR EXTERIOR ELEVATIONS (DRAINAGE) FOLLOW THOSE FROM CIVIL ENGINEERS' PLANS.

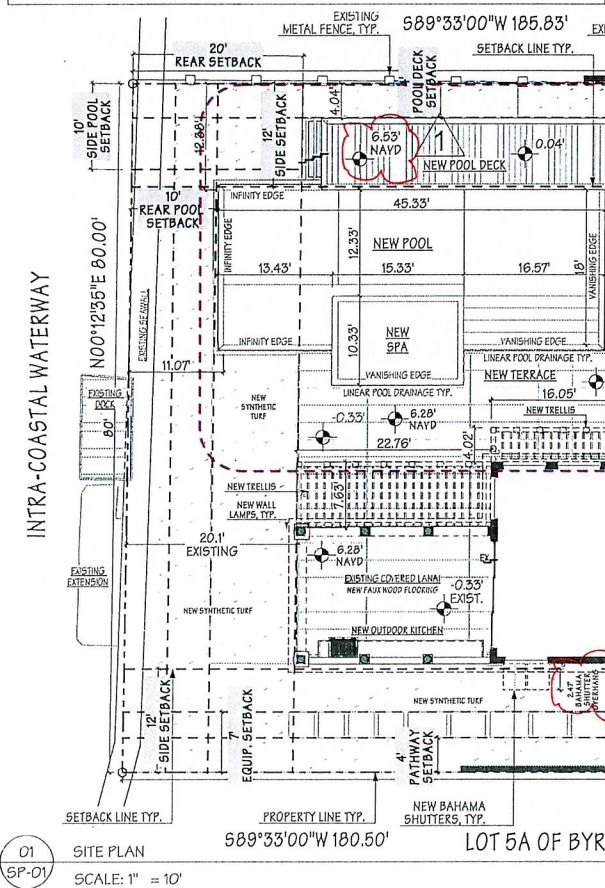
EXISTING PROJECT ZERO (T.O.S.) = 6.485'
EXISTING F.F. EL = 6.485 T.O.S. + 0.125' F.F. = 6.61' NAVD

(MINIMUM DESIGN ELEVATION: BFE 6.0 + 1' FBC FREEBOARD = 7' NAVD)

SITE GRADING

1. GRADING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CHAPTER 33 OF THE FLORIDA BUILDING CODE. ALL EXCAVATED MATERIAL RESULTING FROM GRADING SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR EXCEPT SOIL TO BE STOCKPILED FOR REDISTRIBUTION ON SITE AS DIRECTED.

2. LIMIT SITE GRADING TO THE BUILDING PAD AND SURROUNDING BUILDING ENVELOPE. ALL AC PAVING AND CONCRETE SHALL SLOPE AWAY FROM THE BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AT A MIN. SLOPE OF 1/8" PER FOOT FOR CONCRETE AND AC AND 1/4" PER FOOT FOR NATURAL SOILS.



01 SP-01 SITE PLAN SCALE: 1" = 10'



PERVIOUS & IMPERVIOUS FOR 2362 S. OCEAN BLVD HIGHLAND BEACH FL. 33487 US

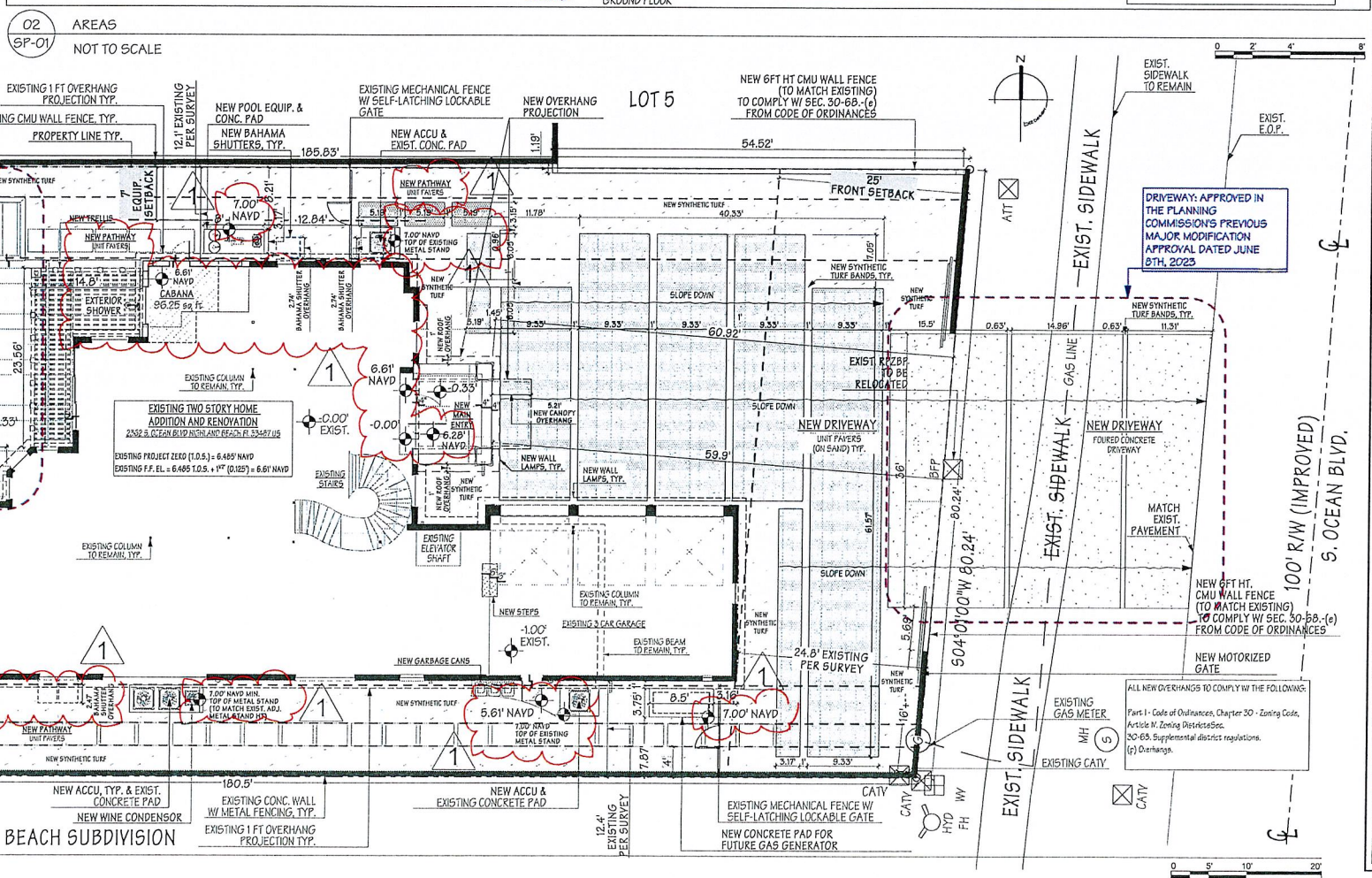
	IMPERVIOUS sq ft	PERVIOUS sq ft
FOOT PRINT	4,517	
DRIVEWAY & PATHWAY	2,712.5	
POOL & SPA	919	
POOL DECK	1,309	
SLAB EQUIPMENT	167.56	
LANDSCAPE		5,026.96
TOTAL	9,625.06	5,026.96
%	66%	34%
TOTAL LOT	14,652.02	

REFERENCE

- FOOT PRINT
- DRIVEWAY & PATHWAY
- POOL & SPA
- POOL DECK
- EQUIPMENT SLABS
- LANDSCAPE

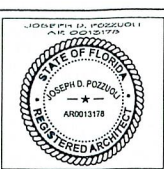
SITE PLAN WALL LEGEND

- EXISTING CMU WALL
- NEW CMU WALL



02 SP-01 AREAS NOT TO SCALE

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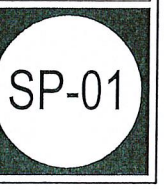
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01/17/2024	AK	PERMITS PLAN REVIEW	
01/20/2024	AK	PERMITS PLAN REVIEW	
01/22/2024	AK	PERMITS PLAN REVIEW	
01/24/2024	AK	PERMITS PLAN REVIEW	
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01/26/2024	AK	PERMITS PLAN REVIEW	
01/27/2024	AK	PERMITS PLAN REVIEW	
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02/30/2024	AK	PERMITS PLAN REVIEW	

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 TWO STORY HOME ADDITION AND RENOVATION
 2362 S. OCEAN BLVD HIGHLAND BEACH FL. 33487 US

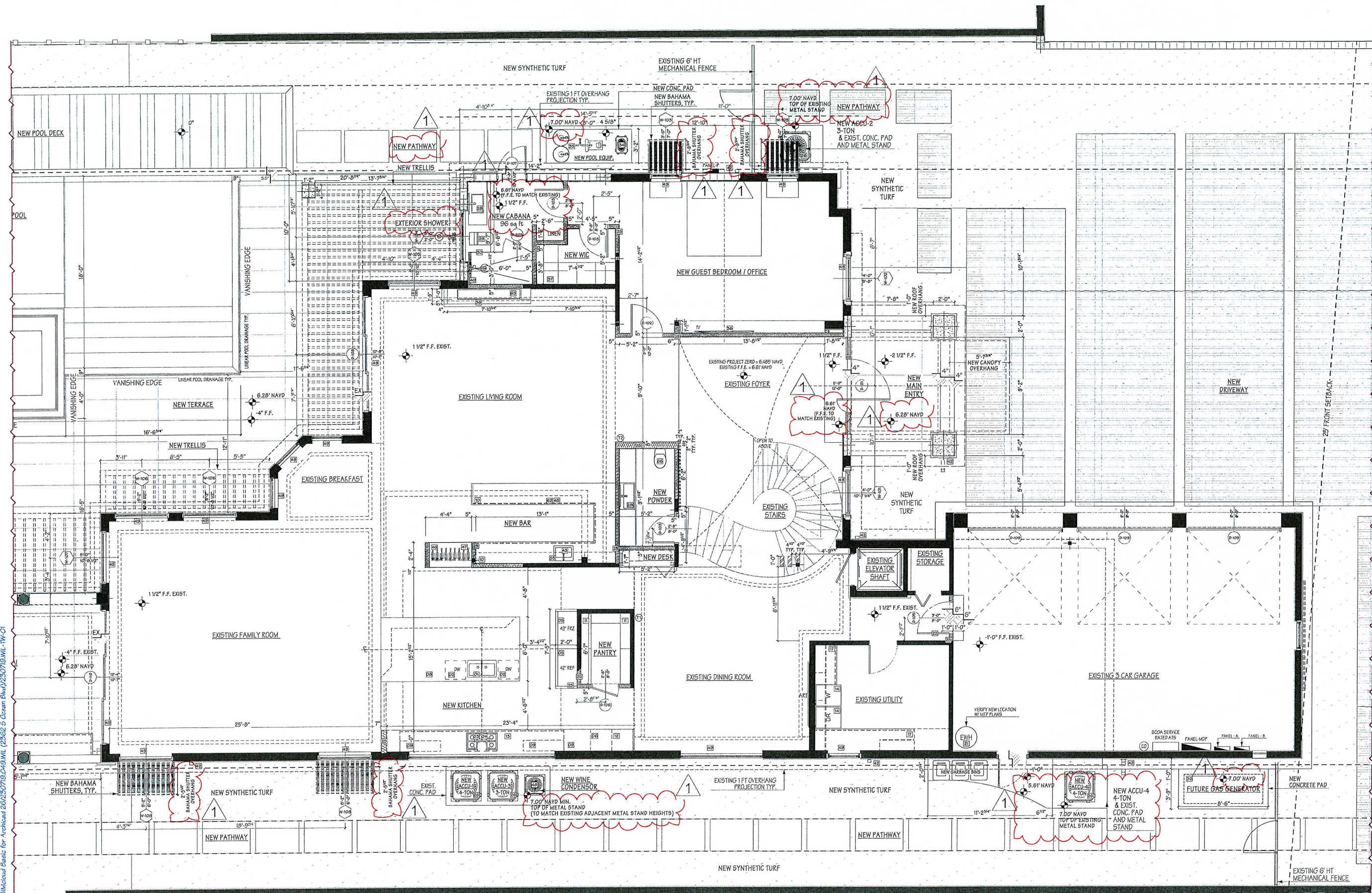
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 SITE PLAN

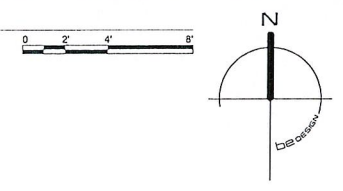


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1 FIRST FLOOR
A-02 SCALE: 1/4" = 1'-0"

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WALL LEGEND

	EXISTING CMU WALL
	EXISTING INT. PARTITION
	NEW CMU WALL
	NEW INTERIOR PARTITION W/ SOUND INSULATION
	NEW MASONRY FENCE
	NEW CMU WALL W/ STONE FINISH
	NEW STEEL STRUCTURE W/ FINISH



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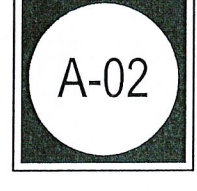
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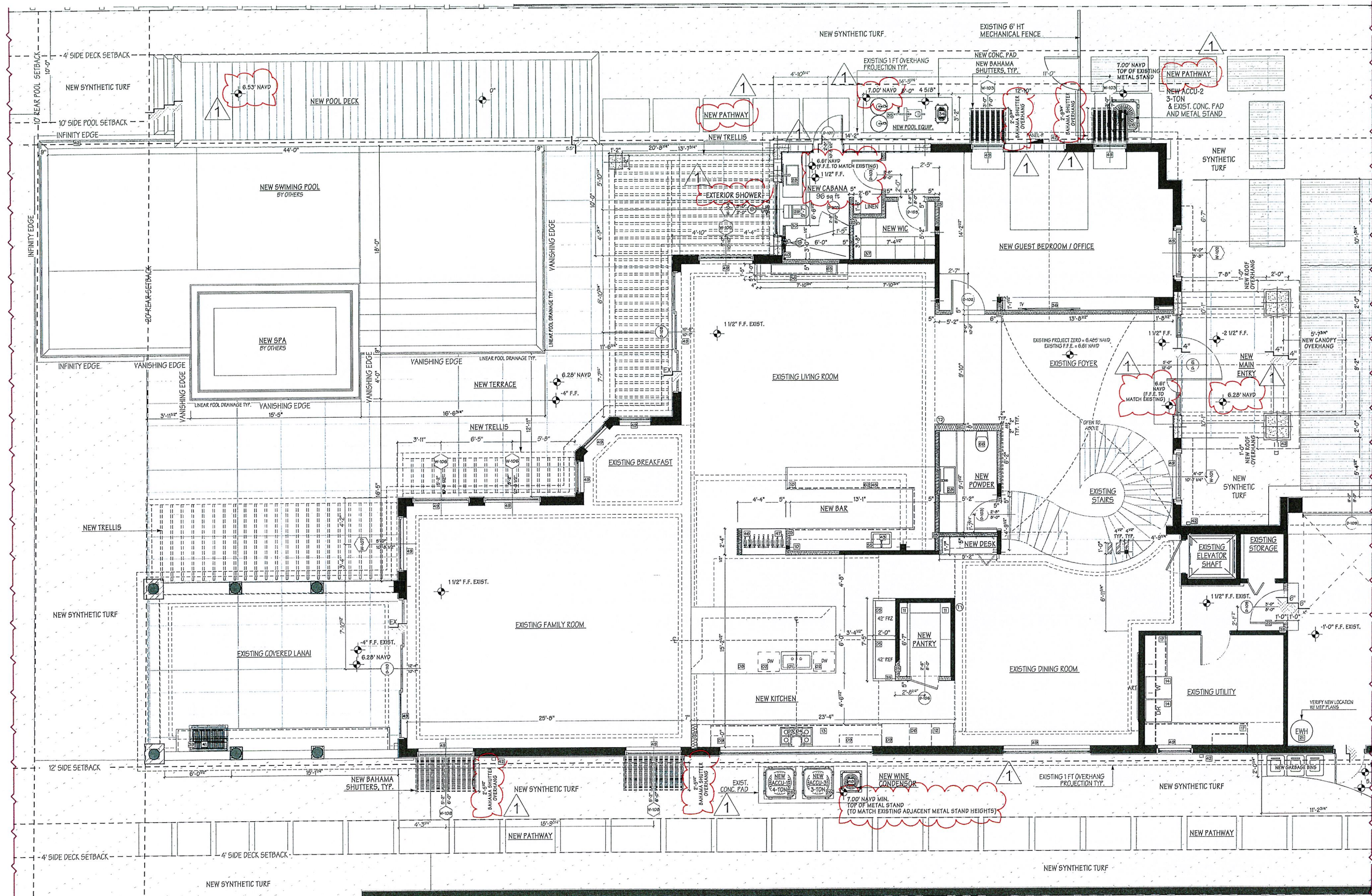
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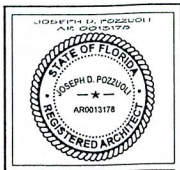


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1 FIRST FLOOR
A-02.1 SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING CMU WALL
	EXISTING INT. PARTITION
	NEW CMU WALL
	NEW INTERIOR PARTITION W/ SOUND INSULATION
	NEW MASONRY FENCE WALL
	NEW CMU WALL W/ STONE FINISH
	NEW STEEL STRUCTURE W/ FINISH



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Professional Engineer
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State of Florida

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REVISION 8	07/17/2023	
REVISION 9	07/17/2023	
REVISION 10	07/17/2023	

WILLENS' RESIDENCE
TWO STORY HOME ADDITION AND RENOVATION
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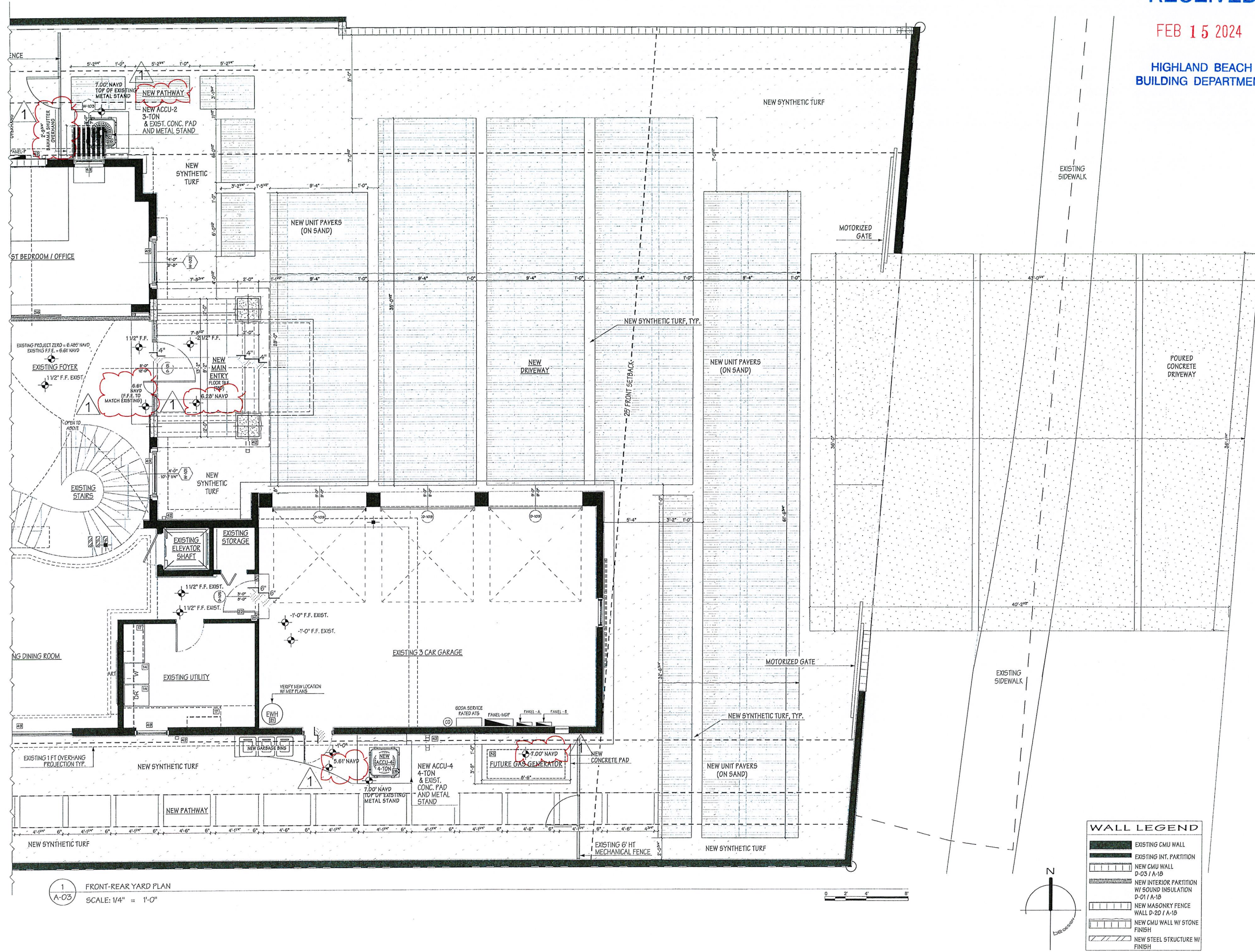
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11/14/2023	
11/16/2023	
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FRONT AND REAR YARD - A	

A-03

WALL LEGEND

- EXISTING CMU WALL
- EXISTING INT. PARTITION
- NEW CMU WALL D-03 / A-10
- NEW INTERIOR PARTITION W/ SOUND INSULATION D-01 / A-10
- NEW MASONRY FENCE WALL D-20 / A-10
- NEW CMU WALL W/ STONE FINISH
- NEW STEEL STRUCTURE W/ FINISH

1 FRONT-REAR YARD PLAN
 A-03 SCALE: 1/4" = 1'-0"

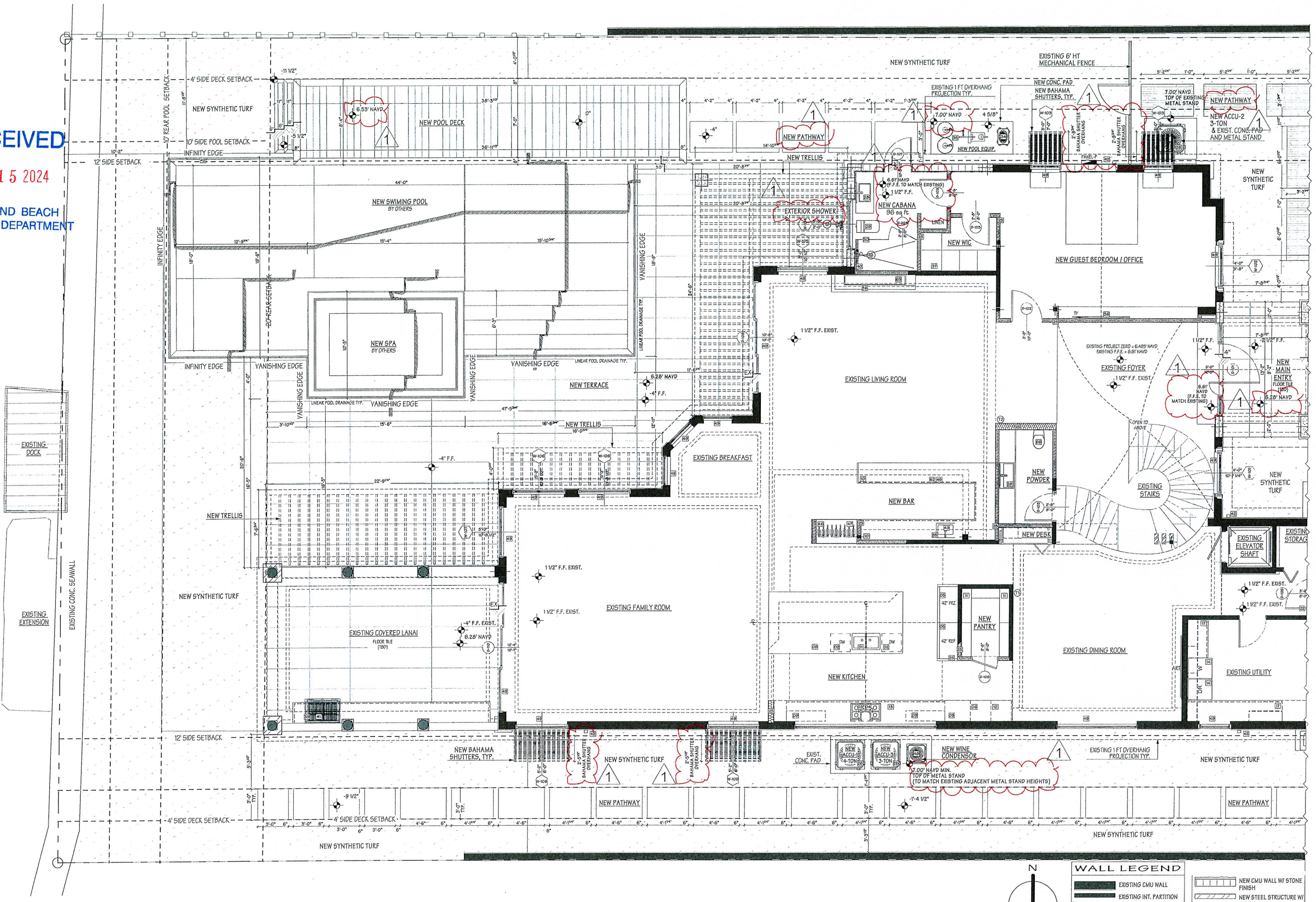
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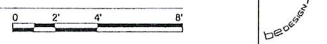
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1 FRONT-REAR YARD PLAN
 A-03.1 SCALE: 1/4" = 1'-0"



WALL LEGEND

[Symbol]	EXISTING CMU WALL	[Symbol]	NEW CMU WALL W/ STONE FINISH
[Symbol]	EXISTING INT. PARTITION	[Symbol]	NEW CMU WALL P-03 / A-10
[Symbol]	NEW CMU WALL P-03 / A-10	[Symbol]	NEW INTERIOR PARTITION W/ SOUND INSULATION P-01 / A-10
[Symbol]	NEW INTERIOR PARTITION W/ SOUND INSULATION P-01 / A-10	[Symbol]	NEW MASONRY FENCE WALL P-20 / A-10
[Symbol]	NEW MASONRY FENCE WALL P-20 / A-10	[Symbol]	NEW STEEL STRUCTURE W/ FINISH



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1/16/2024		2/15/2024	

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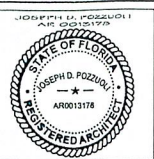
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DRAWING EDITION	230719.WIL-TW-01
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Joseph D. Pozzuol
Architect

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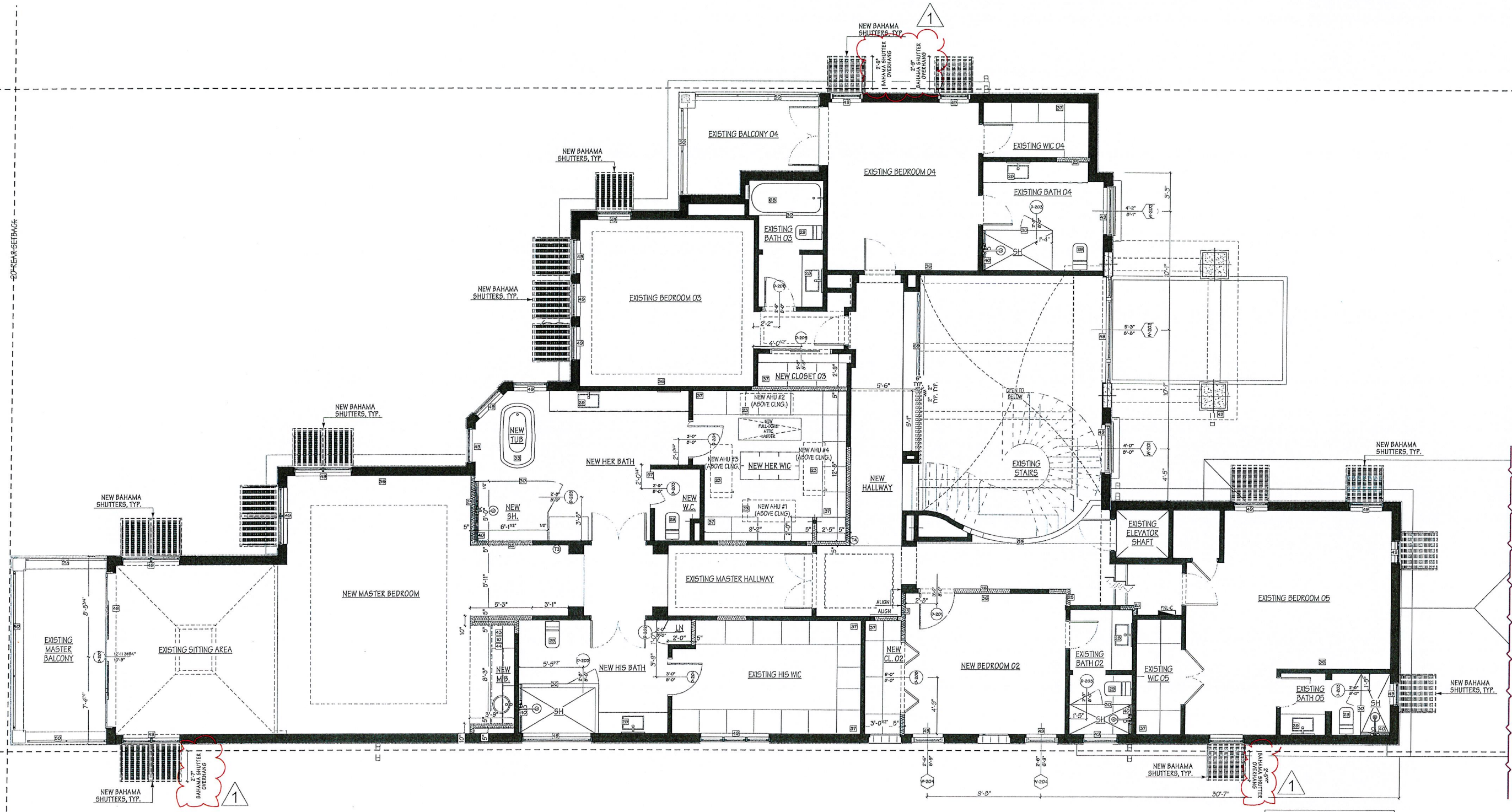
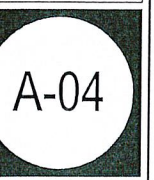
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FOR PRELIMINARY REVIEW	10/01/2023		PRELIMINARY PLAN REVIEW		07/11/2024
FOR PERMITS DESIGN	02/07/2024		PERMITS PLAN REVIEW		07/11/2024
FOR PERMITS SCHEMATIC DESIGN	11/14/2023				
FOR PERMITS DESIGN DEVELOPMENT	11/14/2023				
FOR PERMITS CONSTRUCTION PERMITS	12/07/2023				

WILLENS' RESIDENCE
TWO STORY HOME ADDITION
AND RENOVATION
23072 S. OCEAN BLVD HIGHLAND BEACH
FL 33487 US

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SECOND FLOOR



1 SECOND FLOOR PLAN
A-04 SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING CMU WALL
	EXISTING INT. PARTITION
	NEW CMU WALL D-05 / A-1B
	NEW INTERIOR PARTITION W/ SOUND INSULATION D-01 / A-1B
	NEW MASONRY FENCE WALL D-20 / A-1B
	NEW CMU WALL W/ STONE FINISH
	NEW STEEL STRUCTURE W/ FINISH



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ISSUE / COMMENT	BY	DATE
DEVELOPMENT PLAN ENTRY	AS	07/14/2023
DEVELOPMENT PLAN ENTRY	AS	07/17/2024

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FOR FINAL DESIGN DEVELOPMENT	11/16/2023	11/16/2023
FOR PRELIMINARY CONSTRUCTION PERMITS	07/02/2024	
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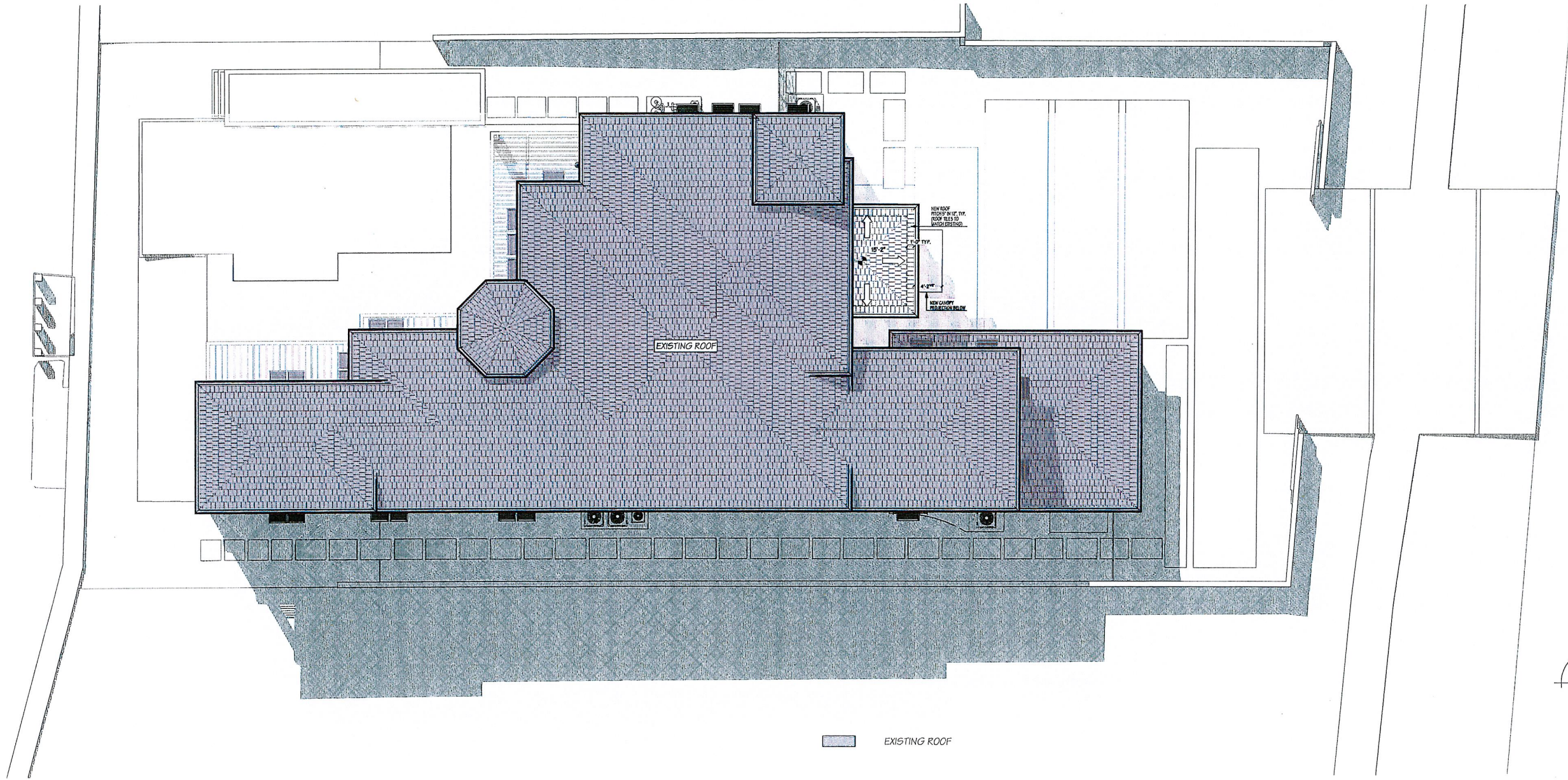
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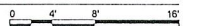
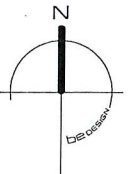


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ROOF PLAN	

A-05



EXISTING ROOF



A-05 EXISTING ROOF PLAN
 SCALE: 1/8" = 1'-0"

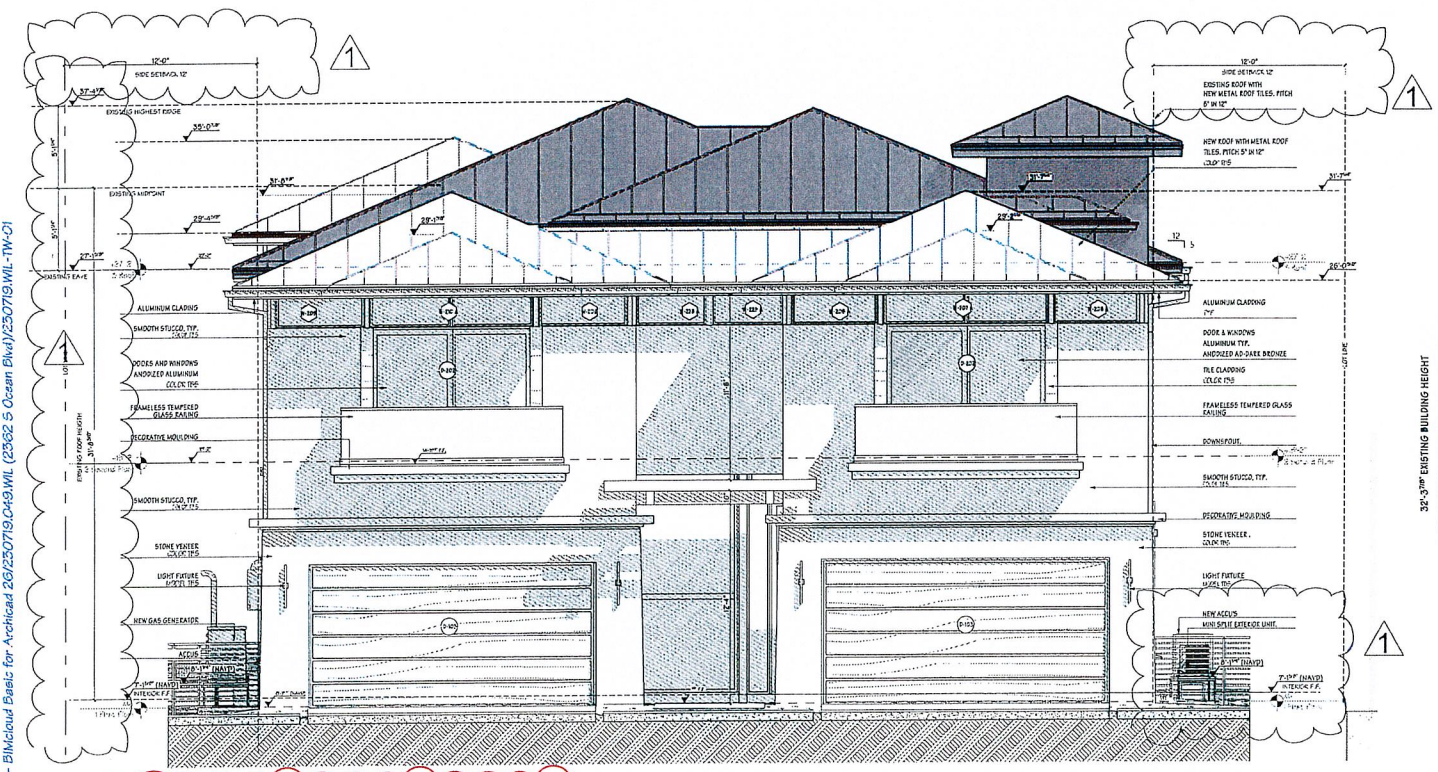
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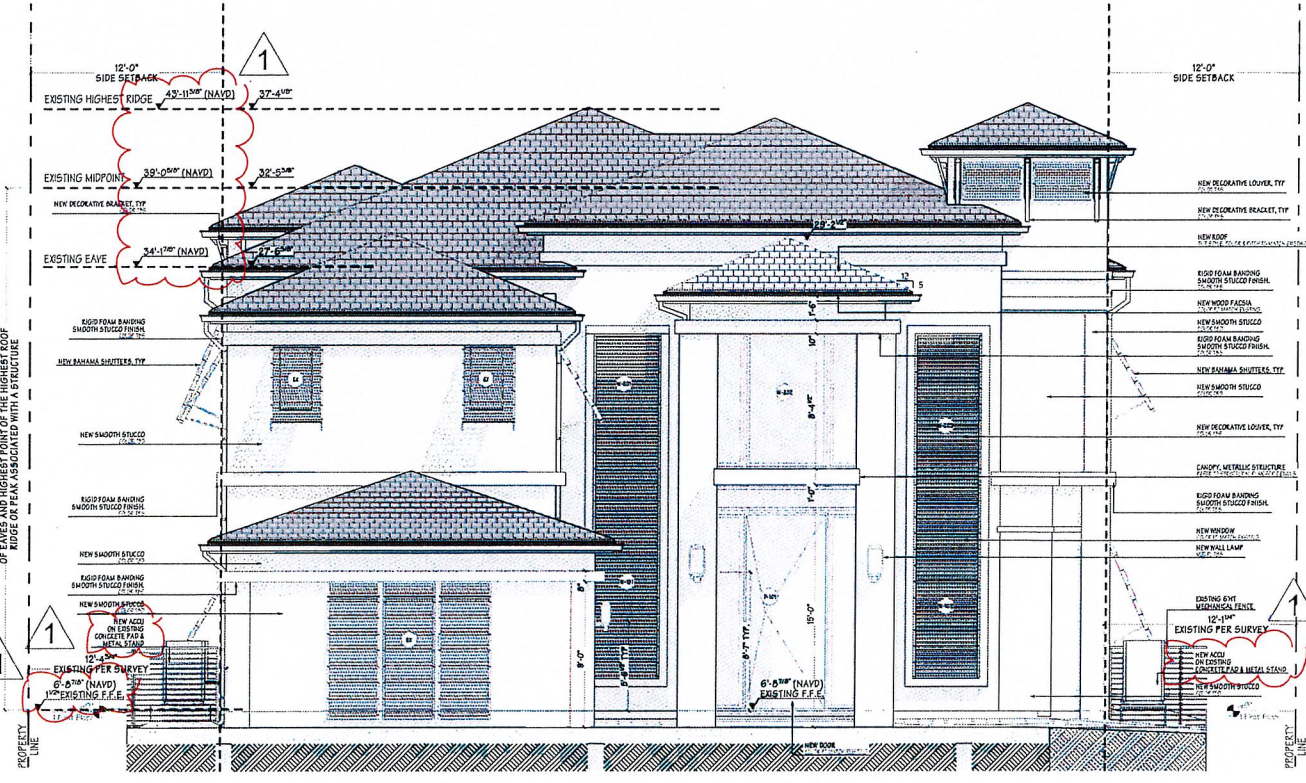
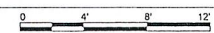
HIGHLAND BEACH BUILDING DEPARTMENT



1 EXISTING FRONT ELEVATION (EAST)
E-01 SCALE: 3/16" = 1'-0"



2 APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 DATED JUNE 8, 2023 - FRONT ELEVATION (EAST)
E-01 SCALE: 3/16" = 1'-0"



3 NEW FRONT ELEVATION (EAST)
E-01 SCALE: 3/16" = 1'-0"



EXISTING ROOF



Joseph D. Pozzuol



DATE	ISSUE / COMMENT	APPROVAL
05/07/2023	PRELIMINARY REVIEW	
07/14/2023	FOR FINAL SCHEMATIC DESIGN	
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02/02/2024	FOR FINAL CONSTRUCTION PERMITS	

WILLENS' RESIDENCE
TWO STORY HOME ADDITION
AND RENOVATION
2362 S. OCEAN BLVD HIGHLAND BEACH
FL 33487 US

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JOB #: 230719.049.WIL
DRAWING EDITION: 230719.WIL-TW-01
PRINTING DATE: 2/6/2024
DRAWN BY: E. B. - R. R.
FRONT ELEVATION (EAST)

E-01

Blindout: GraphicsArt-Server - Blindout Basic for Architectural 2012/2019/2021/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/2524/2525/2526/2527/2528/2529/2530/2531/2532/2533/2534/2535/2536/2537/2538/2539/2540/2541/2542/2543/2544/2545/2546/2547/2548/2549/2550/2551/2552/2553/2554/2555/2556/2557/2558/2559/2560/2561/2562/2563/2564/2565/2566/2567/2568/2569/2570/2571/2572/2573/2574/2575/2576/2577/2578/2579/2580/2581/2582/2583/2584/2585/2586/2587/2588/2589/2590/2591/2592/2593/2594/2595/2596/2597/2598/2599/2600/2601/2602/2603/2604/2605/2606/2607/2608/2609/2610/2611/2612/2613/2614/2615/2616/2617/2618/2619/2620/2621/2622/2623/2624/2625/2626/2627/2628/2629/2630/2631/2632/2633/2634/2635/2636/2637/2638/2639/2640/2641/2642/2643/2644/2645/2646/2647/2648/2649/2650/2651/2652/2653/2654/2655/2656/2657/2658/2659/2660/2661/2662/2663/2664/2665/2666/2667/2668/2669/2670/2671/2672/2673/2674/2675/2676/2677/2678/2679/2680/2681/2682/2683/2684/2685/2686/2687/2688/2689/2690/2691/2692/2693/2694/2695/2696/2697/2698/2699/2700/2701/2702/2703/2704/2705/2706/2707/2708/2709/2710/2711/2712/2713/2714/2715/2716/2717/2718/2719/2720/2721/2722/2723/2724/2725/2726/2727/2728/2729/2730/2731/2732/2733/2734/2735/2736/2737/2738/2739/2740/2741/2742/2743/2744/2745/2746/2747/2748/2749/2750/2751/2752/2753/2754/2755/2756/2757/2758/2759/2760/2761/2762/2763/2764/2765/2766/2767/2768/2769/2770/2771/2772/2773/2774/2775/2776/2777/2778/2779/2780/2781/2782/2783/2784/2785/2786/2787/2788/2789/2790/2791/2792/2793/2794/2795/2796/2797/2798/2799/2800/2801/2802/2803/2804/2805/2806/2807/2808/2809/2810/2811/2812/2813/2814/2815/2816/2817/2818/2819/2820/2821/2822/2823/2824/2825/2826/2827/2828/2829/2830/2831/2832/2833/2834/2835/2836/2837/2838/2839/2840/2841/2842/2843/2844/2845/2846/2847/2848/2849/2850/2851/2852/2853/2854/2855/2856/2857/2858/2859/2860/2861/2862/2863/2864/2865/2866/2867/2868/2869/2870/2871/2872/2873/2874/2875/2876/2877/2878/2879/2880/2881/2882/2883/2884/2885/2886/2887/2888/2889/2890/2891/2892/2893/2894/2895/2896/2897/2898/2899/2900/2901/2902/2903/2904/2905/2906/2907/2908/2909/2910/2911/2912/2913/2914/2915/2916/2917/2918/2919/2920/2921/2922/2923/2924/2925/2926/2927/2928/2929/2930/2931/2932/2933/2934/2935/2936/2937/2938/2939/2940/2941/2942/2943/2944/2945/2946/2947/2948/2949/2950/2951/2952/2953/2954/2955/2956/2957/2958/2959/2960/2961/2962/2963/2964/2965/2966/2967/2968/2969/2970/2971/2972/2973/2974/2975/2976/2977/2978/2979/2980/2981/2982/2983/2984/2985/2986/2987/2988/2989/2990/2991/2992/2993/2994/2995/2996/2997/2998/2999/3000

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PRELIMINARY REVIEW		01/11/2024			
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WILLENS' RESIDENCE
TWO STORY HOME ADDITION AND RENOVATION
 2362 S. OCEAN BLVD HIGHLAND BEACH
 FL 33487 US

150 E Boca Raton Rd.
 Boca Raton, Florida 33432
 Phone: 561 365 6408
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JOB NO: 230719.049.WIL
 DRAWING EDITION: 230719.WIL-TW-01
 PRINTING DATE: 2/6/2024
 DRAWN BY: E.B. - R.R.
 REAR ELEVATION (WEST)

E-02.1



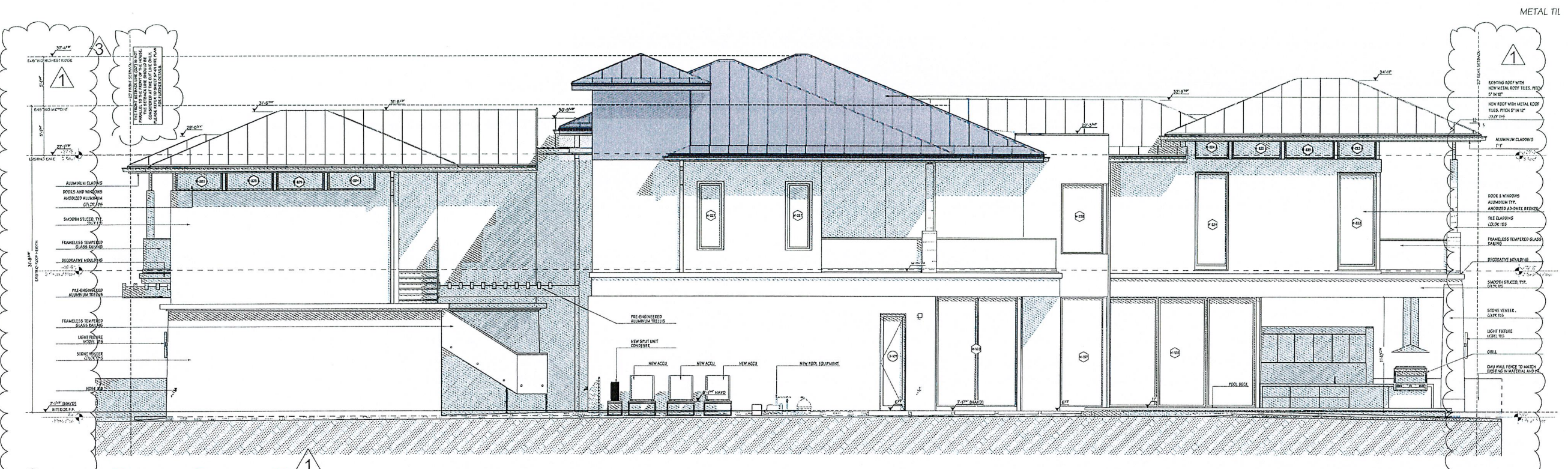
1 APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 DATED JUNE 8, 2023 - REAR COLOR ELEVATION (WEST)
 SCALE: 3/16" = 1'-0"

2 NEW REAR COLOR ELEVATION (WEST)
 SCALE: 3/16" = 1'-0"



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1 APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 DATED JUNE 8, 2023 - RIGHT SIDE VIEW (NORTH)
SCALE: 3/16" = 1'-0"



2 EXISTING RIGHT SIDE VIEW (NORTH)
SCALE: 3/16" = 1'-0"

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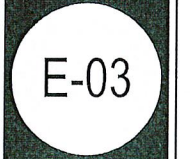
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FOR REVISION	01/17/2023	
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FOR REVISION	01/17/2023	
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TWO STORY HOME ADDITION
AND RENOVATION
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RIGHT SIDE ELEVATION (NORTH)	



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FOR THE DESIGN DEVELOPMENT		01/14/2023	
FOR THE CONSTRUCTION PERMITS		02/09/2023	

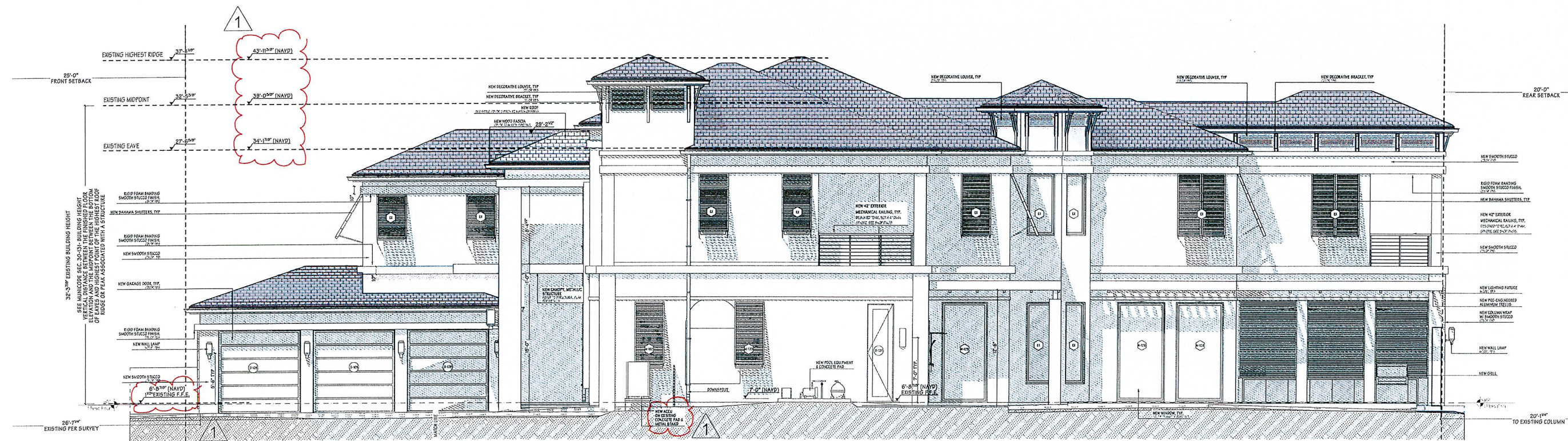
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FL 33487 US

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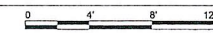
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PRINTING DATE: 2/6/2024
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RIGHT SIDE ELEVATION (NORTH)

E-03.1



1 NEW RIGHT SIDE ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



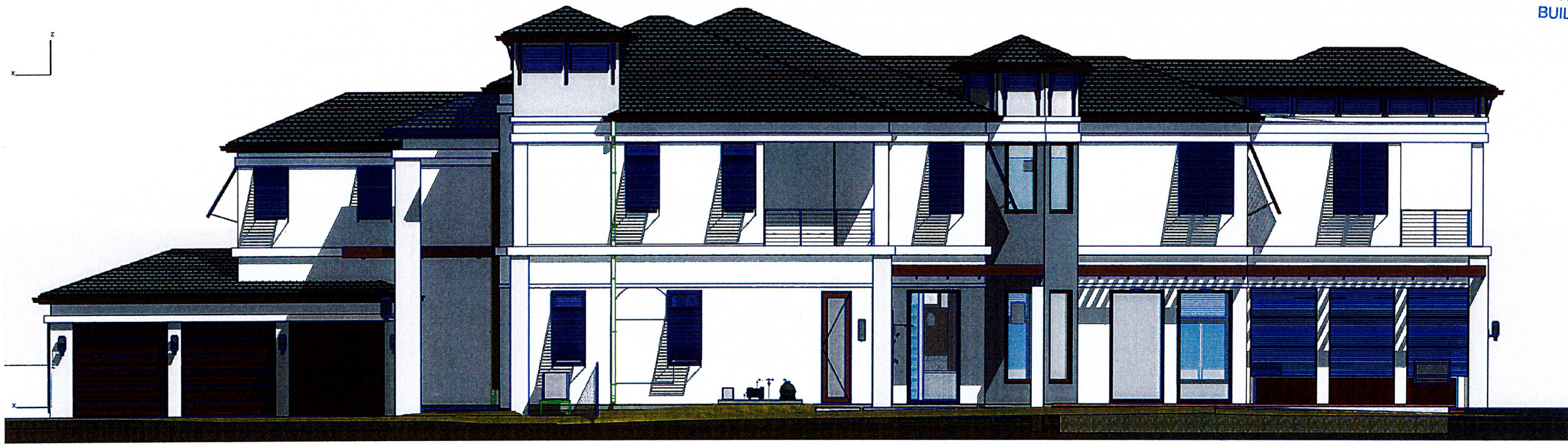
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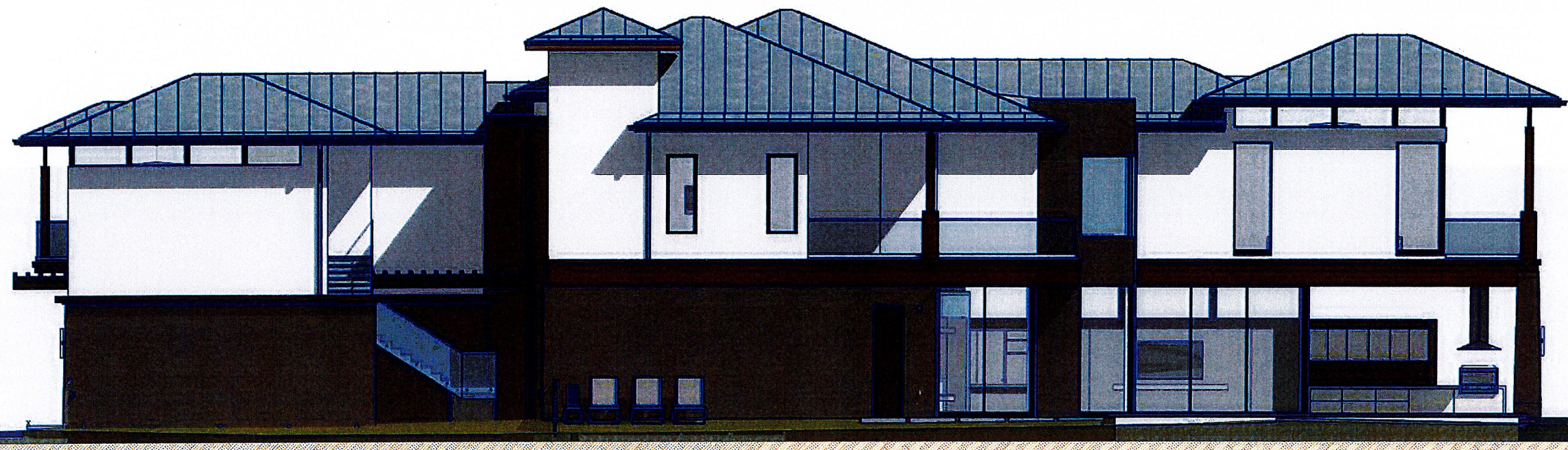
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2 NEW RIGHT SIDE COLOR ELEVATION (NORTH)
E-03.2 SCALE: 3/16" = 1'-0"



1 APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 DATED JUNE 8, 2023 - RIGHT SIDE COLOR ELEVATION (NORTH)
E-03.2 SCALE: 3/16" = 1'-0"



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Architect
180813178

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ISSUE / COMMENT	BY	DATE	APPROVAL
PRELIMINARY REVIEW	AD	12/14/2023	
PERMIT PLAN REVIEW	AD	01/11/2024	

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FOR PRELIMINARY ANALYSIS	06/07/2023	
FOR PRELIMINARY DESIGN	09/07/2023	
FOR PRELIMINARY SCHEMATIC DESIGN	1/4/2024	1/11/2024
FOR PRELIMINARY DEVELOPMENT	1/19/2024	
FOR PRELIMINARY CONSTRUCTION PERMITS	2/12/2024	
FOR PRELIMINARY CONSTRUCTION PERMITS		
FOR PRELIMINARY CONSTRUCTION PERMITS		

WILLENS' RESIDENCE
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AND RENOVATION
25662 S. OCEAN BLVD HIGHLAND BEACH
FL 33487 US

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JOB #: 230719.049.WIL
DRAWING EDITION: 230719.WIL-TW-01
PRINTING DATE: 2/6/2024
DRAWN BY: E.B. - R.R.
RIGHT SIDE ELEVATION (NORTH)

E-03.2

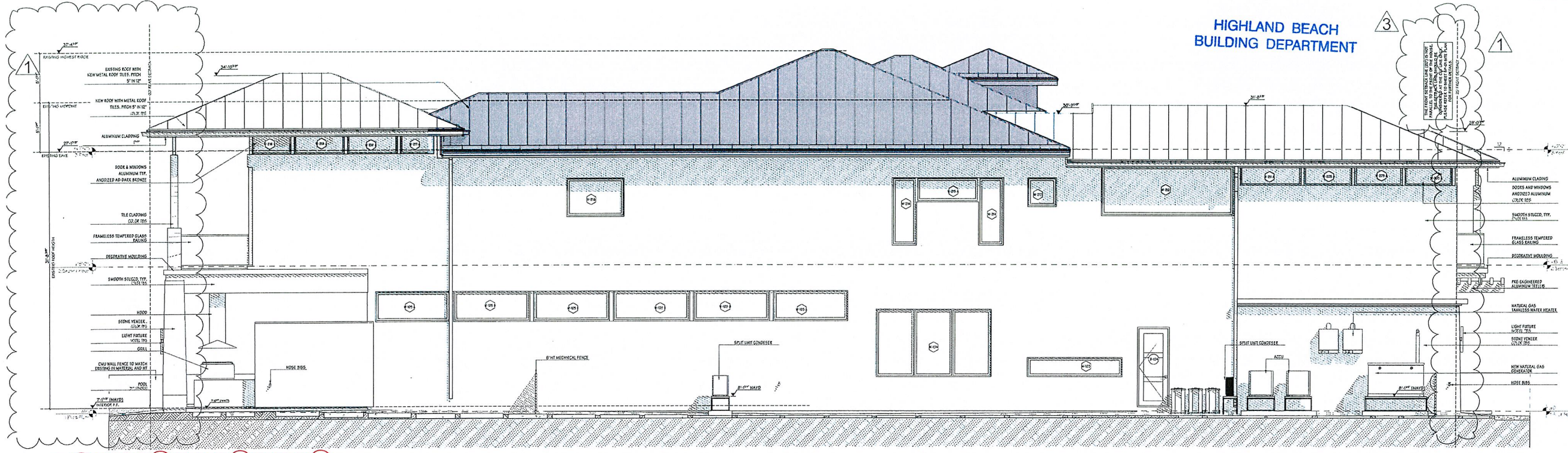
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EXISTING ROOF WITH NEW
METAL TILES FINISH



2
E-04 APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 DATED JUNE 8, 2023 - RIGHT SIDE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



1
E-04 EXISTING LEFT SIDE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



Joseph D. Pozzuoli
Registered Architect
No. AR0013178



ISSUE / COMMENT	BY	DATE	APPROVAL
PERFORMANCE PLAN REVIEW	AS	02/14/2024	
PERFORMANCE PLAN REVIEW	AS	02/14/2024	

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DATE	FOR
02/07/2024	FOR PERMITS ANALYSIS
02/07/2024	FOR PERMITS DESIGN
02/07/2024	FOR PERMITS SCHEDULE DESIGN
02/07/2024	FOR PERMITS CONSTRUCTION
02/07/2024	FOR PERMITS CONSTRUCTION
02/07/2024	FOR PERMITS CONSTRUCTION

WILLENS' RESIDENCE
TWO STORY HOME ADDITION
AND RENOVATION
2362 S. OCEAN BLVD HIGHLAND BEACH
FL 33487 US

150 E Boca Raton Rd.
Boca Raton, Florida 33432
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JOB NO	230719.049.WIL
DRAWING EDITION	230719.WIL-TW-01
PRINTING DATE	2/6/2024
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LEFT SIDE ELEVATION (SOUTH)	

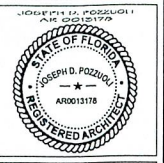
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PRELIMINARY PLAN REVIEW	A	07/11/2023
PERMITS PLAN REVIEW	A	07/17/2023

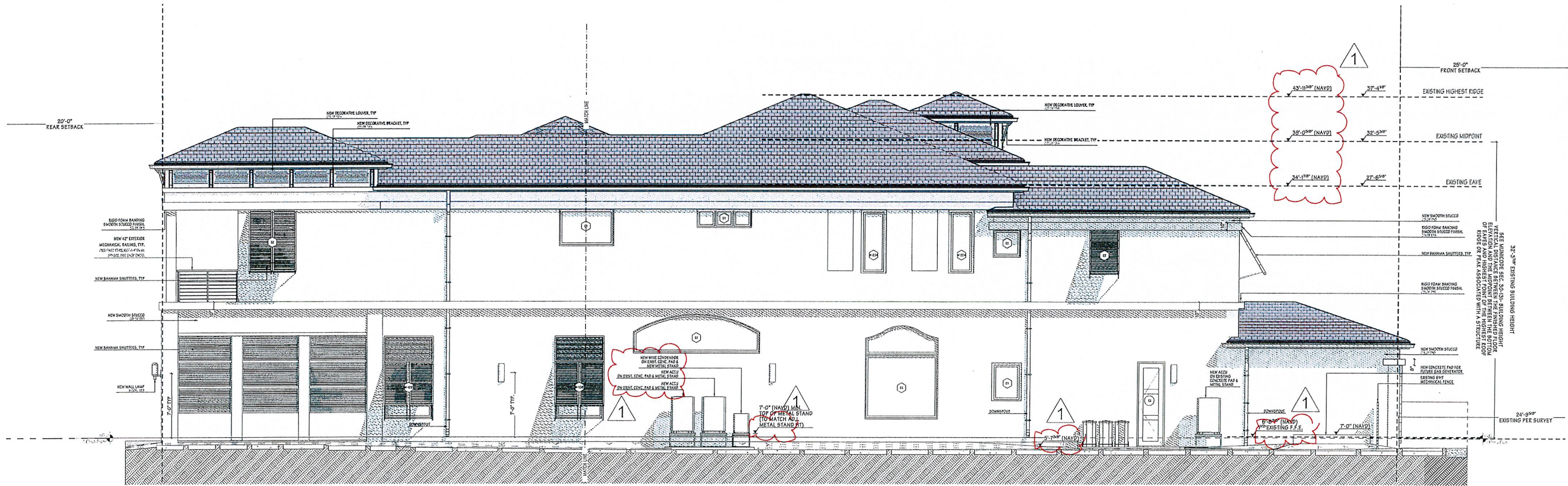
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LEFT SIDE ELEVATION (SOUTH)	

E-04.1

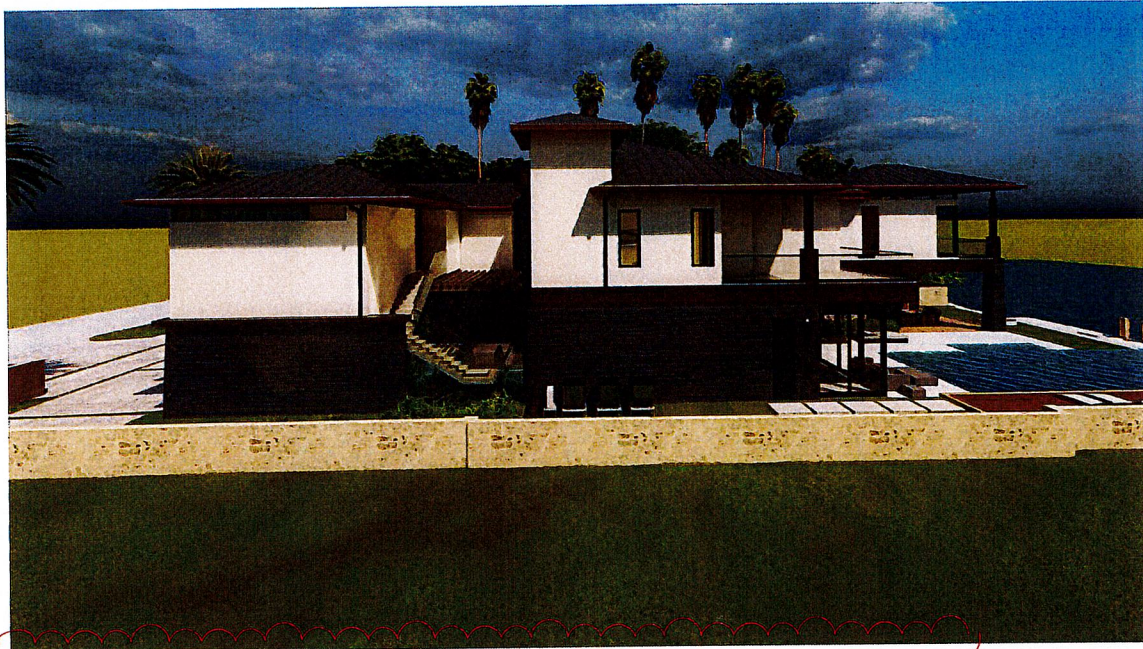


1 NEW LEFT SIDE ELEVATION (SOUTH)
 E-04.1 SCALE: 3/16" = 1'-0"



BIMcloud: Graphisoft-Server - BIMcloud Base for Archicad 26/230719.049.WIL (25662 S Ocean Blvd)/230719.WIL-TW-01

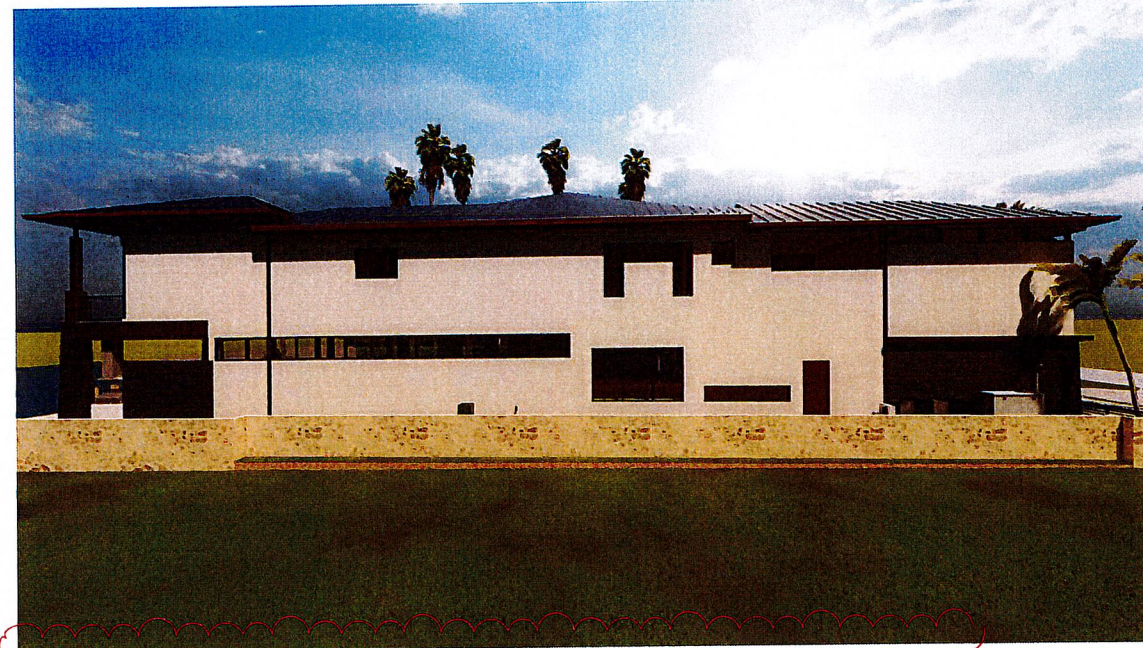
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APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 JUNE 8, 2023 - RIGHT SIDE VIEW (NORTH)



NEW RIGHT SIDE VIEW (NORTH)

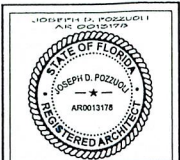


APPROVED MAJOR MODIFICATION-DEVELOPMENT ORDER 23-0002 JUNE 8, 2023 - LEFT SIDE VIEW (SOUTH)



NEW LEFT SIDE VIEW (SOUTH)

Blindout: GraphicsPc-Server - BlMindout Basic for Archicad 26/230719.C49.WIL (2362 S Ocean Blvd)/230719.WIL-TW-01



Joseph D. Pozzuoli
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