

THIS AGREEMENT, made and entered into this 20th day of July 2017, by and between the **STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION**, a component agency of the State of Florida, hereinafter called the DEPARTMENT and the **Town of Highland Beach**, a municipal corporation of the State of Florida, existing under the Laws of Florida, hereinafter called the AGENCY.

WHEREAS, the DEPARTMENT has jurisdiction over State Road A1A (South Ocean Boulevard) as part of the State Highway System as described in **Exhibit "A"**; and

WHEREAS, the AGENCY seeks to install, has installed and maintains certain landscape improvements within the right of way of State Road A1A (South Ocean Boulevard) as described within **Exhibit "B"**, and **"C"**; and

WHEREAS, as part of the continual updating of the State of Florida Highway System, the DEPARTMENT, for the purpose of safety, protection of the investment and other reasons, has constructed and does maintain the highway facilities as State Road A1A (South Ocean Boulevard) described further in **Exhibit "A"** attached hereto and incorporated by reference herein; and

WHEREAS, it is the intent of the AGENCY and the DEPARTMENT that the AGENCY shall maintain all right of way within the medians, outside the travelway and improvements made to the travelway that were made at the request of the AGENCY; and

WHEREAS, as designated to be superseded, the AGENCY and DEPARTMENT intend for this agreement to replace and supersede the landscape agreements described within **Exhibit "D"** designated to be superseded, except as otherwise provided in this Agreement; and

WHEREAS, the parties hereto mutually recognize the need for entering into an Agreement designating and setting forth the responsibilities of each party; and

WHEREAS, the AGENCY by Resolution No. 17-012 R dated July 5, 2017, attached hereto and by this reference made a part hereof, desires to enter into this Agreement and authorizes its officers to do so;

NOW THEREFORE, for and in consideration of the mutual benefits to flow each to the other, the parties covenant and agree as follows:

1. RECITALS

The recitals set forth above are true and correct and are deemed incorporated herein.

2. INSTALLATION OF FACILITIES BY AGENCY

The AGENCY has installed certain *landscape improvements* described herein as: plant materials, irrigation and/or hardscape on the highway facilities substantially as specified in plans and specifications hereinafter referenced to as the Project(s) and incorporated herein as **Exhibit "C"**. *Hardscape* shall mean, but not be limited to, site furnishings, landscape accent lighting, fountain, tree grates, decorative free standing or retaining wall(s), and/or any sidewalk, median and roadway specialty surfacing, such as concrete pavers, color stained stamped concrete, and/or asphalt patterned pavement, but excludes standard concrete sidewalk.

When the AGENCY is installing or will install the PROJECT, they shall comply with the following criteria.

- (a) All plant materials shall be installed and maintained in strict accordance with sound nursery practice prescribed by the International Society of Arboriculture (ISA). All plant materials installed shall be Florida #1 or better according to the most current edition of Florida Department of Agriculture, Florida Grades and Standards for Nursery Stock; and all trees shall meet Florida Power & Light, Right Tree, Right Place, South Florida.
- (b) Trees and palms within the right of way shall be installed and pruned to prevent encroachment to roadways, clear zones and sidewalks. Definition of these criteria is included in the most current editions of FDOT standards for design, construction, maintenance, and utility operations on the state highway system and the Maintenance Plan, **Exhibit "E"**.
- (c) Tree and palm pruning shall be supervised by properly trained and certified personnel and shall meet the most current standards set forth by the International Society of Arboriculture (ISA) and the American National Standard Institute (ANSI) Part A-300.

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- (d) Irrigation installation and maintenance activities shall conform to the most current standards set forth by the Florida Irrigation Society (FIS), Standards and Specifications for Turf and Landscape Irrigation Systems.
- (e) The AGENCY shall provide the DEPARTMENT accurate as-built plans of the irrigation system so in the future, if there is a need for the DEPARTMENT to perform work in the area, the system can be accommodated as much as possible.
- (f) If it becomes necessary to provide utilities (water/electricity) to the median or side areas, for these improvements it shall be the AGENCY'S responsibility to obtain a permit for such work through the local maintenance office and the AGENCY shall be responsible for all associated fees for the installation and maintenance of these utilities.
- (g) Patterned Pavement (if applicable) shall be installed and maintained as described in Exhibit "F" and Exhibit "G".
- (h) All hardscape shall be installed and maintained in strict accordance with the most current edition of the Florida Accessibility Code for Building Construction and the Interlocking Concrete Pavement institute (ICPI).
- (i) All activities, including landscape improvements installation and future maintenance operations performed on State highway right of way, must be in conformity with the most current edition of the Manual on Uniform Traffic Control (MUTCD) and FDOT Design Standards, Index 600 Series, Traffic Control through Work Zones.
- (j) The most current edition of FDOT Design Standards (Sight Distance at Intersections), Index 546 must be adhered to.
- (k) Horizontal and Clear Zone as specified in the FDOT Plans Preparation Manual, Volume 1, Chapters 2 and 4 and FDOT Design Standards, Index 700 must be adhered to in all activities performed on the State Highway right of way.
- (l) Landscape improvements shall not obstruct roadside signs, traffic signals or permitted outdoor advertising signs (see Florida Administrative Code [F.A.C.] Rule Chapter 14-40, Part I and Part III.)
- (m) The AGENCY shall provide the local FDOT Operation Center, Palm Beach Operations, 7900 Forest Hill Boulevard, West Palm Beach 33413 (561) 432-4966 a twenty-four (24) hour telephone number and the name of a responsible person that the DEPARTMENT may contact. The AGENCY shall notify the local FDOT Operations Center forty-eight (48) hours prior to the start of the project.
- (n) If there is a need to restrict the normal flow of traffic, it shall be done on off-peak hours (9 AM to 3 PM), and the party performing such work shall give notice to the local law enforcement agency within whose jurisdiction such road is located prior to commencing work on the project. The DEPARTMENT'S Public Information Office shall also be notified.

- (o) The AGENCY shall be responsible to clear all utilities within the landscape improvement limits before construction commences.
- (p) The AGENCY shall follow the minimum level of maintenance guidelines as set forth in FDOT's Rule Chapter 14-40 *Highway Beautification and Landscape Management*, the FDOT *Guide to Roadside Mowing and Maintenance Management System*, FDOT *Maintenance Rating Program Standards* and **Exhibit "E"**, the Maintenance Plan for maintenance activities for landscape improvements as well as the superseded landscape agreement's Maintenance Plan's Part II, **Exhibit "E"**, and **Exhibit "G"**, the Patterned Pavement Maintenance.

3. MAINTENANCE OF FACILITIES

- A. The AGENCY agrees to maintain the landscape improvements, as existing and those to be installed, within the physical limits described in **Exhibit "A"**. The landscape improvements outside the travelway shall be maintained by the AGENCY regardless if the said improvement was made by the DEPARTMENT, the AGENCY, or others authorized pursuant to Section 7, by periodic mowing, pruning, fertilizing, weeding, curb and sidewalk edging, litter pickup, necessary replanting, irrigation system repair and/ or repair of any median concrete replacement associated with the specialty surfacing (if applicable) following the DEPARTMENT'S landscape safety and maintenance guidelines, **Exhibit "E"**, the Maintenance Plan and **Exhibit "G"** the Patterned Pavement Maintenance. The AGENCY'S responsibility for maintenance shall include all landscaped, turf and hardscape areas within the median and areas outside the travelway to the right of way and areas within the travelway containing non-standard surfacing. It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway caused by the differential characteristics of non-standard travelway surfacing and the associated header curb and concrete areas (if applicable) on DEPARTMENT right of way within the limits of this Agreement.
- B. Such maintenance to be provided by the AGENCY is specifically set out as follows: to maintain, which means to properly water and fertilize all plants; to keep them as free as practicable from disease and harmful insects; to properly mulch the planting beds; to keep the premises free of weeds; to mow the turf to the proper height; to properly prune all plants which at a minimum includes: (1) removing dead or diseased parts of plants, (2) pruning such parts thereof to provide clear visibility to signage and permitted outdoor advertising signs (per Florida Statute 479.106), and for those using the roadway and/or sidewalk; (3) preventing any other potential roadway hazards. *Plant materials* shall be those items which would be scientifically classified as plants and include trees, palms, shrubs, groundcover and turf. To maintain also means to remove or replace dead or diseased plants in their entirety, or to remove or replace those that fall below original project standards. Palms shall be kept fruit free year round. To maintain also means to keep the header curbs that contain the specialty surfacing treatment, in optimum condition. To maintain also means to keep the hardscape areas clean, free from weeds and to repair said hardscape as is necessary to prevent a safety hazard. To maintain also means to keep litter removed from the median and areas outside the travel way to the right of way line. All plants removed for whatever reason shall be replaced by plants of the same species type, size, and

grade as specified in the original plans and specifications. Any changes to the original plans shall be submitted by permit application to the DEPARTMENT for review and approval.

- C. If it becomes necessary to provide utilities (water/electricity) to the medians or areas outside the travelway for these improvements, all costs associated with the utilities associated with landscape accent lighting and/or irrigation including, but not limited to the impact and connection fees, and the on-going cost of utility usage for water and electrical, are the maintaining AGENCY'S responsibility.

(1) The AGENCY shall be directly responsible for impact and connection fees.

AND

- (2) If installed by the DEPARTMENT the AGENCY shall become responsible for the above named utility costs upon final acceptance of the construction project by the DEPARTMENT and thereafter. The construction project is accepted prior to the start of the Specification 580 Plant Establishment Period.

AND

- (3) The AGENCY shall be responsible for all the improvements immediately after final acceptance of the construction project by the DEPARTMENT except for the plant materials. The AGENCY shall be responsible for the maintenance of all landscape improvements after the completion of the Specification 580 Plant Establishment Period.
- D. The above named functions to be performed by the AGENCY may be subject to periodic inspections by the DEPARTMENT at the discretion of the DEPARTMENT. Such inspection findings will be shared with the AGENCY and shall be the basis of all decisions regarding, repayment, reworking or Agreement termination. The AGENCY shall not change or deviate from said plans without written approval of the DEPARTMENT.

4. NOTICE OF MAINTENANCE DEFICIENCIES

- A. If at any time after the AGENCY has undertaken the landscape improvement installation and/or maintenance responsibility mentioned above, it shall come to the attention of the DEPARTMENT'S District Secretary that the limits, or a part thereof, are not properly maintained pursuant to the terms of this Agreement, said District Secretary, may at his/her option, issue a written notice that a deficiency or deficiencies exist(s), by sending a certified letter to the AGENCY, to placing said AGENCY on notice thereof. Thereafter, the AGENCY shall have a period of thirty (30) calendar days within which to correct the cited deficiencies. If said deficiencies are not corrected within this time period, the DEPARTMENT may, at its option, proceed as follows:

- (1) Complete the installation, or part thereof, with DEPARTMENT or Contractor's personnel and deduct the cost of such work from the final payment for said work or part thereof, or,
- (2) Maintain the landscape improvements or any part thereof, with the DEPARTMENT or Contractor's personnel and invoice the AGENCY for expenses incurred, and / or,
- (3) At the discretion of the DEPARTMENT terminate the Agreement in accordance with Paragraph 10, and remove, by the DEPARTMENT or private Contractor's personnel, all of the landscape improvements installed under this Agreement or any preceding Agreements except as to trees and palms, and charge the AGENCY the reasonable cost of such removal.

5. FUTURE DEPARTMENT IMPROVEMENTS

In the event the DEPARTMENT decides to construct additional landscape improvements or modify these improvements within the limits of the rights of way herein previously identified, the DEPARTMENT and the AGENCY shall agree in writing and require signature from the AGENCY'S Town Mayor or designee approval signature, who will have approval signature for the new landscape improvements and maintenance plan thereof. If the AGENCY and the DEPARTMENT are unable to come to an agreement, the DEPARTMENT, in its sole discretion, may install sod and the agency shall be required, pursuant to this Agreement, to continue maintaining said landscape improvements.

It is understood between the parties hereto that the landscape improvements covered by this Agreement may be removed, relocated, or adjusted at any time in the future, as determined to be necessary by the DEPARTMENT in order that the adjacent state road(s) be widened, altered, or otherwise changed to meet with future criteria or planning of the DEPARTMENT.

The AGENCY shall be given sixty (60) calendar days notice to remove said landscape improvements after which time the DEPARTMENT may remove same. All permits (including tree permits), fees, and any mitigation associated with the removal, relocation or adjustments of these improvements are the maintaining AGENCY'S responsibility.

6. FUTURE AGENCY IMPROVEMENTS

The AGENCY may construct additional landscape improvements within the limits of the rights of ways identified as a result of this document, subject to the following conditions:

- (a) Plans for any new landscape improvements shall be subject to approval by the DEPARTMENT. The AGENCY shall not change or deviate from said plans without written approval by the DEPARTMENT.
- (b) The AGENCY shall procure a permit from the DEPARTMENT.
- (c) All landscape improvements shall be developed and implemented in accordance with appropriate state safety and roadway design standards.

- (d) The AGENCY agrees to comply with the requirements of this Agreement with regard to any additional landscape improvements it chooses to have installed and there will be no cost to the DEPARTMENT.
- (e) If the AGENCY'S landscape improvements include additional maintenance requirements, the DEPARTMENT and the AGENCY shall agree in writing and require signature from the responsible AGENCY'S City Manager or designee approval signature, and the DEPARTMENT shall enter into an Agreement Amendment describing the additional requirements.

7. ADJACENT PROPERTY OWNER IMPROVEMENTS

The DEPARTMENT may allow an adjacent property owner to construct additional landscape improvements within the limits of the right of way identified in **Exhibit "A"** of this Agreement that the AGENCY shall be responsible for maintaining under this Agreement subject to the following conditions:

- (a) Plans for any new landscape improvements shall be subject to approval by the DEPARTMENT and shall require a valid permit attached with a letter of consent to said plans by the AGENCY. The plans shall not be changed or deviated from without written approval by the DEPARTMENT and the AGENCY.
- (b) All landscape improvements shall be developed and implemented in accordance with appropriate state safety and roadway design standards.
- (c) The AGENCY agrees to comply with the requirements of the Agreement with regard to any additional landscape improvements installed by an adjacent owner.
- (d) If the Adjacent Property Owner's landscape improvements include additional maintenance requirements, the DEPARTMENT and the AGENCY shall agree in writing and require signature from the responsible AGENCY'S Town Mayor or designee approval signature, and the DEPARTMENT shall enter into an Agreement Amendment describing the additional requirements.

8. AGREEMENT TERMINATION

In addition to those conditions otherwise contained herein, this Agreement may be terminated under any one (1) of the following conditions:

- (a) By the DEPARTMENT, if the AGENCY fails to perform its duties under this Agreement, following ten (10) days written notice.
- (b) By the DEPARTMENT, for refusal by the AGENCY to allow public access to all documents, papers, letters, or other material subject to the provisions of Chapter 119, Florida Statutes, and made or received by the AGENCY in conjunction with this Agreement.

11. E-VERIFY REQUIREMENTS

The AGENCY shall:

- (a) Utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the AGENCY during the term of the contract; and
- (b) Expressly require any subcontractors performing work or providing services pursuant to the state contract to likewise utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the subcontractor during the contract term.

12. SUPERSEDED PRECEDING LANDSCAPE AGREEMENTS

This Agreement shall replace and supersede any and all preceding landscape agreements as listed in **Exhibit "D"** except as specifically excepted out. The landscape improvement plans and the associated Maintenance Plan Part II attached to the referenced agreements and project costs shall by reference become a part of this agreement as if they were attached hereto unless superseded by later plans. The AGENCY shall have the same duty to maintain those landscape improvements under this Agreement as the AGENCY did under the previous landscape agreements, and as more specifically detailed in this Agreement.

This writing embodies the entire Agreement and understanding between the parties hereto and there are no other Agreements and understanding, oral or written, with reference to the subject matter hereof that are not merged herein.

13. FISCAL TERMS

The DEPARTMENT, during any fiscal year, shall not expend money, incur any liability, nor enter into any contract which, by its terms, involves the expenditure of money in excess of the amounts budgeted as available for expenditure during such fiscal year. Any contract, verbal or written, made in violation of this subsection is null and void, and no money may be paid on such contract. The DEPARTMENT shall require a statement from the Comptroller of the DEPARTMENT that funds are available prior to entering into any such contract or other binding commitment of funds. Nothing herein contained shall prevent the making of contracts for periods exceeding one (1) year, but any contract so made shall be executory only for the value of the services to be rendered or agreed to be paid for in succeeding fiscal years; and this paragraph shall be incorporated verbatim in all contracts of the DEPARTMENT which are for an amount in excess of TWENTY-FIVE THOUSAND DOLLARS (\$25,000.00) and which have a term for a period of more than one year.

14. DISPUTES

The DEPARTMENT'S District Secretary shall decide all questions, difficulties, and disputes of any nature whatsoever that may arise under or by reason of this Agreement, the prosecution or fulfillment of the service hereunder and the character, quality, amount and value thereof; and his decision upon all claims, questions, and disputes shall be final and conclusive upon the parties hereto.

15. ASSIGNMENT

This Agreement may not be assigned or transferred by the AGENCY, in whole or in part, without the prior written consent of the DEPARTMENT.

16. LAWS GOVERNING

This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. In the event of a conflict between any portion of the contract and Florida law, the laws of Florida shall prevail. The Agency agrees to waive forum and venue and that the Department shall determine the forum and venue in which any dispute under this agreement is decided.

17. EXCEPTION TO SUPERSEDED PRECEDING LANDSCAPE AGREEMENTS

This Agreement constitutes the complete and final expression of parties with respect to the subject matter hereof and supersedes all prior landscape agreements, understandings, or negotiations with respect thereto, with the exception of the landscape improvements plans and the associated Maintenance Plan, Part II.

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18. NOTICES

Any and all notices given or required under this Agreement shall be in writing and either personally delivered with receipt acknowledgement or sent by certified mail, return receipt requested. All notices shall be sent to the following addresses:

If to the DEPARTMENT:

**State of Florida Department of Transportation
3400 West Commercial Blvd.
Ft. Lauderdale, FL 33309-3421
Attention: Elisabeth A. Hassett, R.L.A.
FDOT District IV Landscape Architect**

If to the AGENCY:

**Town of Highland Beach
3614 South Ocean Boulevard
Highland Beach, Florida
Attention: Valarie Oakes
Title: Town Manager**

LIST OF EXHIBITS

- | | |
|-------------------|---|
| Exhibit A: | Landscape Improvements Limits & Maintenance Boundaries List, Table and Graphic |
| Exhibit B: | Pending Permit Project Landscape Agreement(s) |
| Exhibit C: | Pending Permit Projects Landscape Improvement Plans |
| Exhibit D: | Preceding Landscape Agreement Description(s) and Other Agreement Descriptions |
| Exhibit E: | Maintenance Plan for Landscape Improvements |
| Exhibit F: | Agency Patterned Pavement Installation |
| Exhibit G: | Patterned Pavement Maintenance |

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IN WITNESS WHEREOF, the parties hereto have executed this Agreement effective the day and year first above written.

TOWN OF HIGHLAND BEACH

By:

Cal Feldman
Chairperson/Mayor/Manager

Attest:

Lanell Gaski
Clerk

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By:

Stacy H. Otter
Transportation Development Director

Attest:

Annexa Hine
Executive Secretary

Legal Review

Date

[Signature]

7-5-17

Legal Review

Date

David Raduaw
Office of the General Counsel

7/18/2017

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT A

TOWN OF HIGHLAND BEACH

LANDSCAPE IMPROVEMENT

LIMITS AND MAINTENANCE BOUNDARIES LIST

All state rights of way within the limits of the **TOWN OF HIGHLAND BEACH** to be maintained are from:

State Road A1A from approximately 1/4 mile North of Spanish River Boulevard (M.P. 4.868) to approximately 1/2 mile South of Linton Boulevard (M.P. 7.711)

SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT A

TOWN OF HIGHLAND BEACH

LANDSCAPE MAINTENANCE LIMITS TABLE

**The following are State Road(s) to be maintained within the limits of the
Town of Highland Beach**

STATE ROAD	BEGIN ROAD NAME	BEGIN MILEPOST	END ROAD NAME	END MILEPOST	MAINTENANCE LIMITS
A1A (S. Ocean Boulevard)	¼ mile North of Spanish River Blvd.	4.868	½ mile South of Linton Blvd.	7.711	ROW to ROW according to the Town Limits

**Areas to be maintained by the Agency pursuant to this Landscape Maintenance Memorandum
of Agreement (MOA).**

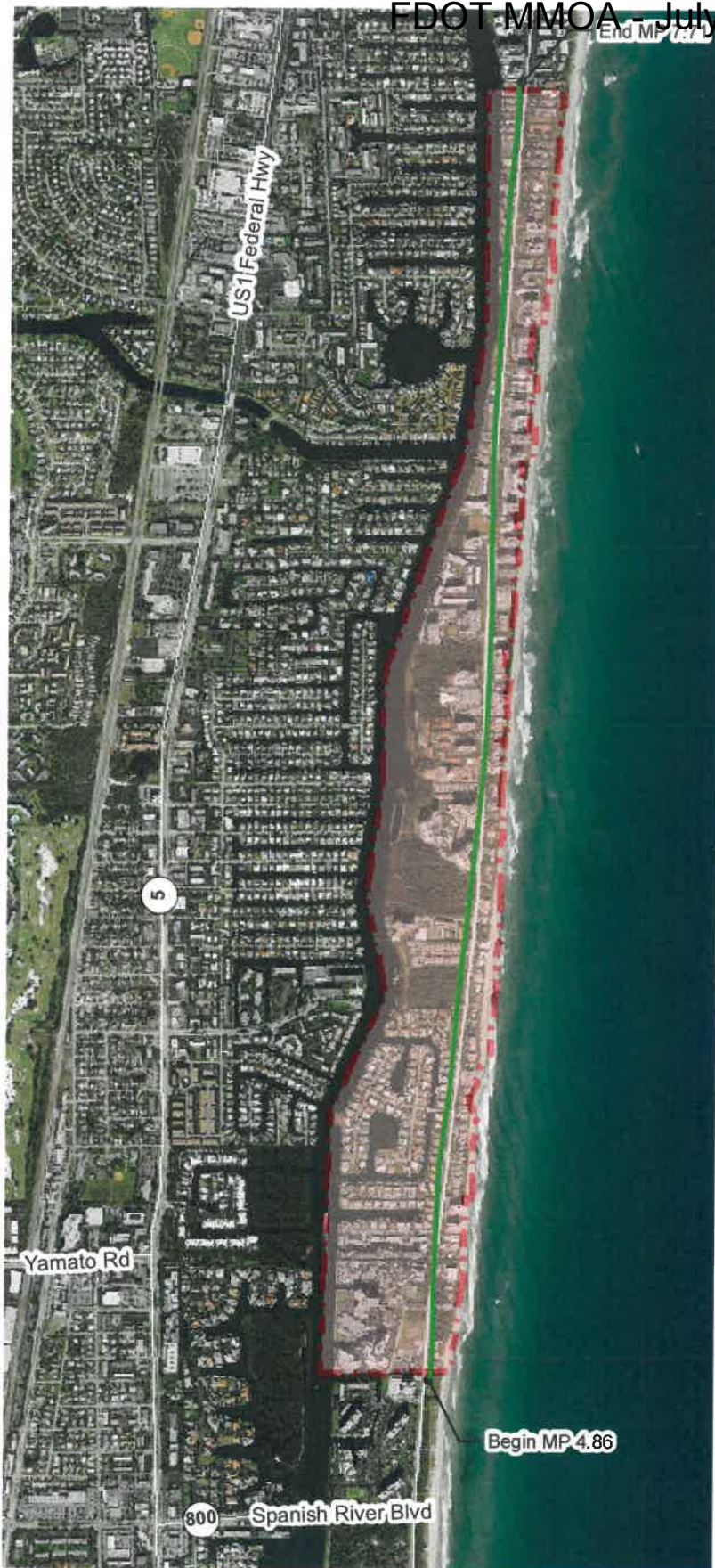
SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT A

TOWN OF HIGHLAND BEACH

LANDSCAPE MAINTENANCE LIMITS GRAPHIC

***See Attached Graphic of State Road(s) to be maintained within the limits of the
Town of Highland Beach***



Legend

-  Highland Beach City Limits
-  Inclusive Agreement

Town of Highland Beach

Inclusive Landscape Maintenance Memorandum of Agreement

Maintenance Boundary Graphic

SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT B

PENDING PERMIT PROJECTS

LANDSCAPE AGREEMENT(S)

PERMIT PROJECTS DESCRIPTION:

Permit 2016-L-496-0014

4111 S. Ocean Drive

State Road A1A (S. Ocean Boulevard) from (M.P. 5.46) to (M.P. 5.665)

Permit 2016-A-496-0093 and 2016-L-496-0015

2624 South Ocean Boulevard

State Road A1A (S. Ocean Boulevard) from (M.P. 7.327) to (M.P. 7.342)

Permit 2017-L-496-0001

2445 S. Ocean Boulevard

State Road A1A (S. Ocean Boulevard) from (M.P. 7.513) to (M.P. 7.538)

SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT C
PENDING PERMIT PROJECT
LANDSCAPE IMPROVEMENT PLANS

Please see attached plans by:

Permit Projects Plans

Permit 2016-L-496-0014

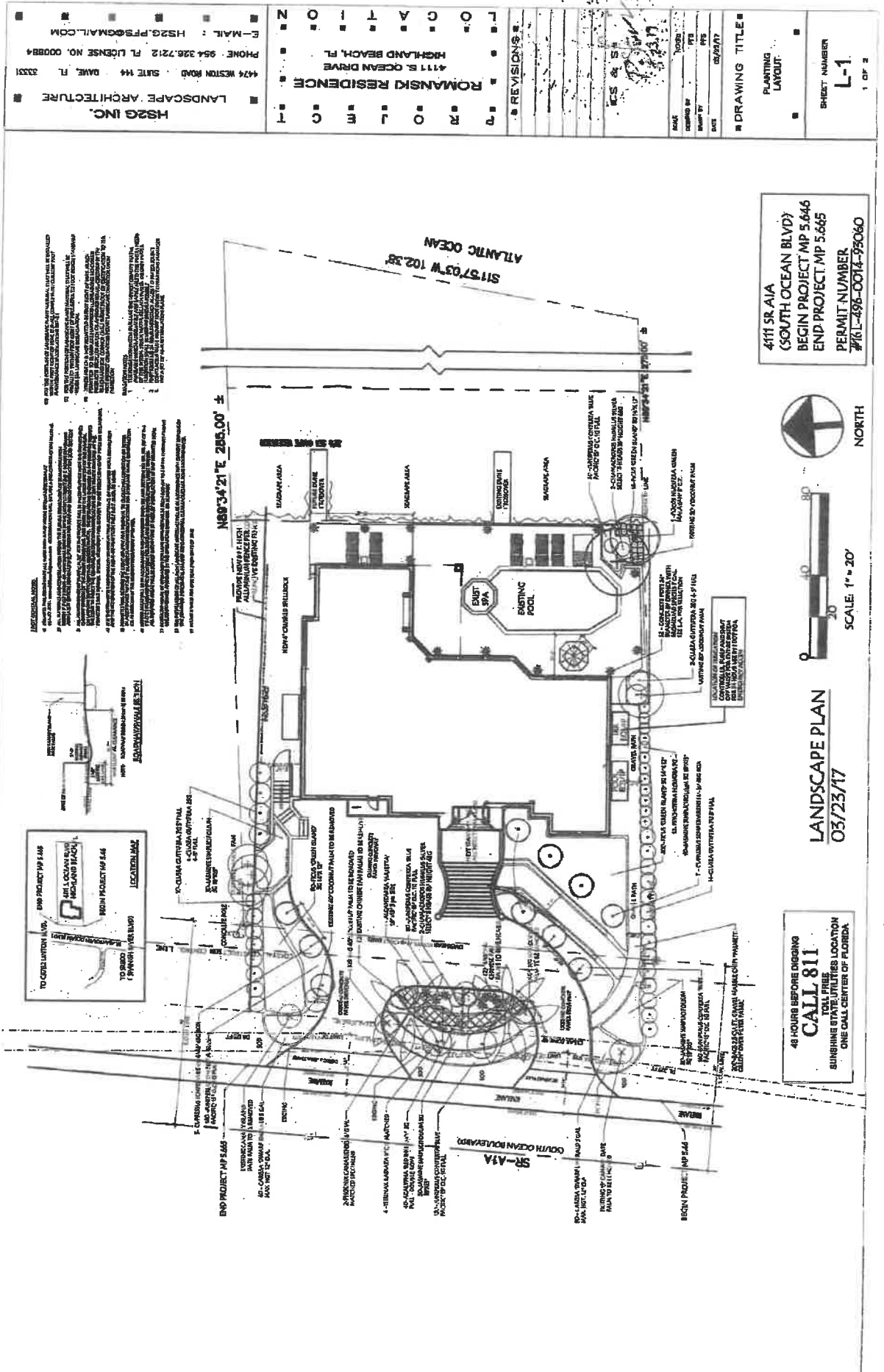
***Romanski Residence**
4111 S. Ocean Drive
State Road A1A (S. Ocean Boulevard) from (M.P. 5.46) to (M.P. 5.665)
Peter Strelkow, LA
HS2G, Inc., Landscape Architecture
Date: March 23, 2017
Sheet L-1

Permit 2016-A-496-0093 and 2016-L-496-0015

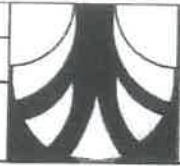
***Ogilbee Residence**
2624 South Ocean Boulevard
State Road A1A (S. Ocean Boulevard) from (M.P. 7.327) to (M.P. 7.342)
Louis Vlahos, LA
Majestic View Landscape Architects
Date: March 3, 2017
Sheets CO- 1 & 2, LP- 1 to 5 & IR – 1 & 2

Permit 2017-L-496-0001

***Hamister Residence**
2445 S. Ocean Boulevard
State Road A1A (S. Ocean Boulevard) from (M.P. 7.513) to (M.P. 7.538)
Krent L. Wieland, LA
KWD Landacape Architecture
Date: May 4, 2017
Sheets L – 1 to 4



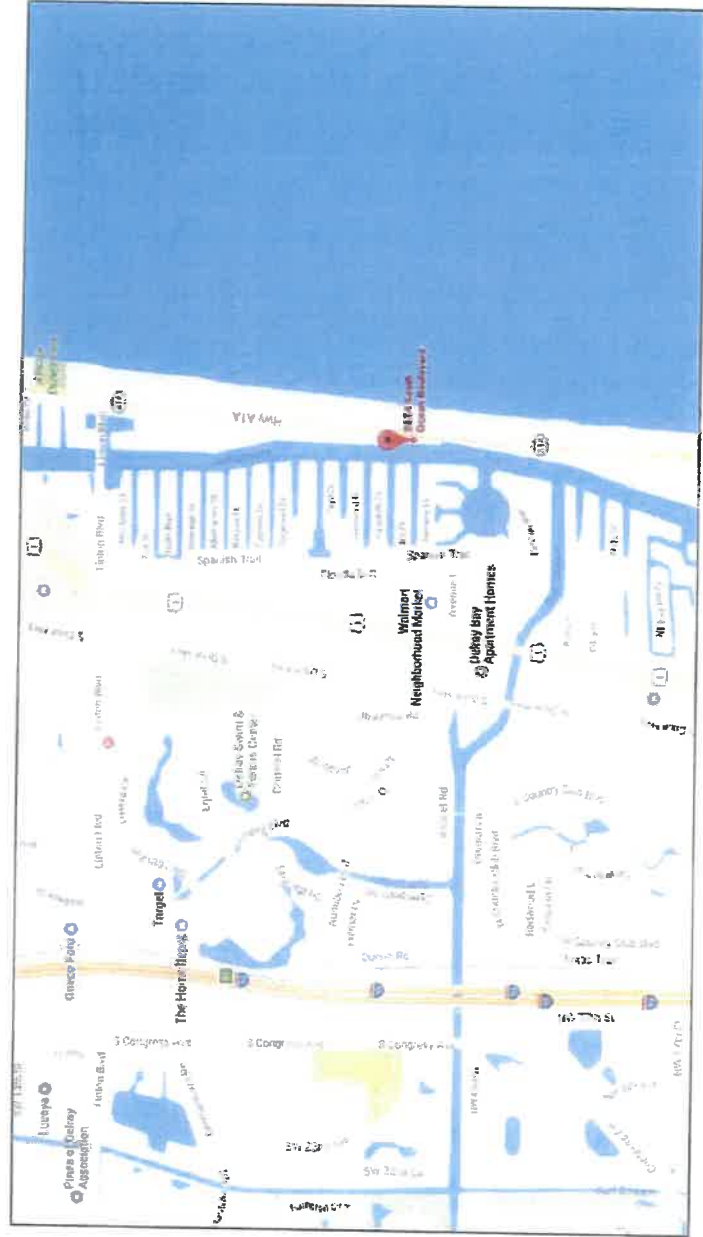
MAJESTIC VIEWS LANDSCAPE ARCHITECTS
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33436
 Phone: (561) 752-9333 Fax: (561) 752-4110
OGILBEE RESIDENCE
 2624 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL
 D.O.T. COVER SHEET



REV. NO.	DATE
# 1	03.05.17
JOB NO.	
DRAWN BY: LV	
DATE: 02.08.17	
SCALE: NTS	
SHEET NO.	
CO-1	

F.D.O.T. SUBMITTAL DOCUMENTS

2624 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FLORIDA
 FDOT PERMIT NO. 16L-496-0015-83080



MAJESTIC VIEWS LANDSCAPE ARCHITECTS Landscape Architecture - Construction Management 4711 Cypress Drive South, Boynton Beach, FL 33436 Phone (561) 752-9535 Fax (561) 752-4110		OGILBEE RESIDENCE 2624 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL		D.O.T. COVER SHEET, GENERAL NOTES	
		REV. NO. 1		DATE 03.03.17	
JOB NO.		DRAWN BY: LY		DATE: 02.06.17	
SCALE: NTS		SHEET NO.		CO-2	

MAINTENANCE AGREEMENT NOTES

- Any non-standard component specified on FDOT right of way in addition to trees and soil such as planting structures, groundcover, hardscape, and/or an irrigation system requires an executed Maintenance Memorandum of Agreement (MMOA) prior to final permit approval for this project. Please submit MMOA documents with next submittal and contact Mary Ann Hendon (MaryAnn.Hendon@dot.state.fl.us - 904-677-7887) for the MMOA process and submittal requirements.

F.D.O.T. SAFETY NOTES

- Design speed for South Ocean Blvd. SR-41A (South Ocean Blvd.) is indicated as 35 MPH.
- Clear Sight Limits is indicated on plans per FDOT Design Standard Index 546.
- Reference: <http://www.fdot.state.fl.us/roadsigns/SDS/13/DO0546.pdf>

F.D.O.T. PLANTING NOTES

- * Landscape Installation shall comply with current FDOT Standard Specifications 680. Reference: <http://www.fdot.state.fl.us/roadsigns/SDS/13/DO0546.pdf>
- * Planting Details use FDOT Standard Index 544 Details. Online Reference: <http://www.fdot.state.fl.us/roadsigns/SDS/13/DO0544.pdf>
- * Sod areas are existing and proposed as part of this project.
- * Sodded areas will be in accordance with Standard Index 105 and sections 192, 575, 981, 982, 983, 987 of the Department's Standard Specifications for Road and Bridge Construction, latest edition. All disturbed areas will be sodded within one (1) week of installation of said permitted work.

F.D.O.T. IRRIGATION NOTES

- The Irrigation system shall use the lowest quality water available which adequately and safely meets the water needs of the system. Storm water, recirculated water, or grey water irrigation shall be used whenever possible.
- Irrigation and its water source must be indicated for proposed landscapes. Irrigation contractor will provide as built Irrigation Plan prior to final inspection.
- COOT requires 24 hour emergency access to water source.
- Irrigation plan need to indicate water connection points and electrical connection for proposed controllers and pumps.
- Verify that above-ground irrigation lines such as backflow preventers, pumps and controllers are not located within the Horizontal Clearance Zone.
- Contractor shall provide FDOT District Operations Manager with a set of "As-Built" irrigation plans.

DISCLAIMER

- The Landscape Architects plans and calculation are based on information provided by the Surveyor, Civil Engineer and Architect. See Engineering Plans for any roadway & driveway construction, grading & drainage, utilities, etc. The Landscape Plans are solely for approval of landscape and irrigation improvements and their relationship w/ exist elements within the ROW, required DOT Sight Lines and FPL, Right Tree Right Place requirements.

F.D.O.T. GENERAL NOTES

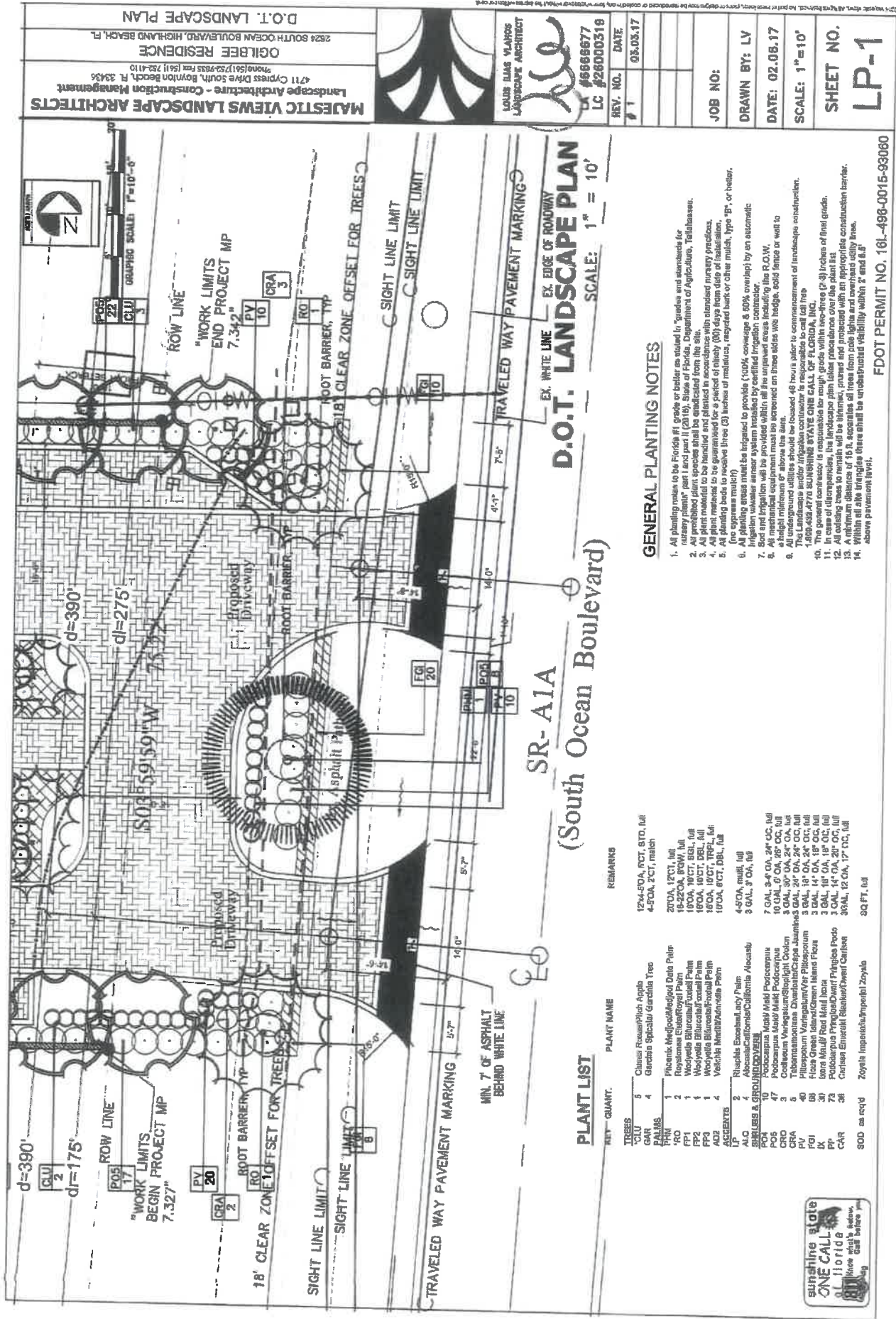
- All materials and construction within the Florida Department of Transportation Design (F.D.O.T.) Right-of-Way shall conform to the latest edition F.D.O.T. Design Standards & latest edition Standard Specifications for Road and Bridge Construction 2016.
- Contractor shall repair any and all damage done to FDOT property during demolition, relocation &/or installation activities at his sole expense.
- Ownership of all suitable excavated materials, as determined by the Department, shall remain in the Department until a final acceptance of the permitted project is fulfilled. Excavated materials shall be hauled by the Permittee, at their cost & expense from the site to the Palm Beach Operations Center or stockpiled in those areas as directed by the Department, including asphalt millings.
- Maintenance of Traffic M.O.T. for this project will comply with the FDOT Standard Index (600 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). Special attention will be given to FDOT Design Standard Index 611, 612, 613, and 660.
- It is the Permittee's responsibility to obtain final acceptance of permitted work (completed) and the restoration of the Right-of-Way from the FDOT prior to usage. Permittee will restore the Right-of-Way as a minimum, to its original condition or better in accordance with FDOT's latest Standard Specifications for Road & Bridge Construction or as directed by the Resident Operations Engineer.
- Sodded areas will be in accordance with Standard Index 105 and sections 192, 981, 982, 983, 987 of the FDOT's Standard Specifications and Bridge Construction, latest edition 2016. All disturbed areas will be sodded within one (1) week of installation of said permitted work.
- For the portion of landscape plant material that will be installed within the FDOT Right of Way landscape installation shall comply w/ current FDOT Maintenance Specifications 580-2.1. Online Reference: <http://www.fdot.state.fl.us/roadsigns/SDS/13/DO0546.pdf>
- For the portion of landscape plant material that will be installed within the FDOT Right of Way refer to FDOT Design Standard Index 644 Landscape Installation. Online Reference: <http://www.fdot.state.fl.us/roadsigns/SDS/13/DO0544.pdf>
- Architectural Features Installation for sidewalks and/or driveways within FDOT Right of Way shall comply with current FDOT Standards Specifications 680. Online Reference: <http://www.fdot.state.fl.us/roadsigns/SDS/13/DO0546.pdf>
- Restricted hours of operation will be from 8:00am-3:30pm, (Monday-Friday), unless otherwise approved by the Operations Engineer, or designee.
- Permittee will coordinate all work with David Moore of Transfield Services at 954-317-8044, dmoores@transfieldusa.com. Coordination will include a Pre-Construction meeting.

PERMITTEE: PLEASE NOTE:

- Permittee's contractors that are performing permitted work activities shall provide the FDOT (Permit Office) proof of a proper state contractor's license and certification of liability insurance prior to any commencement of permitted work.
- The installation of all new landscape materials will be in accordance with current editions 2016 of the Standard Index 546, 544 and 700 (horizontal clearance/clear zone requirements).
- Permittee will provide the FDOT with certified "As-Built" plans prior to final

FDOT PERMIT NO. 16L-496-0015-93060





GENERAL NOTES:

REQUIRED NOTES FOR LANDSCAPE PLANS

1. All the plant material shall be Florida #1 or better, as set forth by the current edition of the Florida Department of Agriculture grades and standards for nursery plants.
2. All plantings shall be done in accordance with municipal codes and use sound horticultural practices, as provided by the International Society of Arboriculture (ISA). All plants shall be installed so that the top of the root ball remains even with the soil grade. All trees and palms are to be banded in with water at the time of installation to eliminate any air pockets. Trees and palms shall be properly banded and/or staked at the time of planting as per detail. Stakes and braces are to remain for a minimum of 12 months. The Contractor is responsible for the maintenance and removal of stakes and braces after a 12-month period. When applicable, existing trees to be saved should be banded prior to the construction as per detail. Protected areas shall remain clear of construction debris, vehicles, storage of materials and chemicals, etc., and barricades are to remain until final job acceptance. The Contractor is responsible for the maintenance and removal of the barricades.
3. The project's Landscapes Contractor shall contact the Town of Highland Beach Landscape Inspector to schedule a Pre-Construction Meeting prior to the landscape installation. Landscaping and Irrigation permits are required prior to the issuance of any commercial (i.e., non-residential) building permits. For residential projects, landscape and irrigation permits must be issued prior to the commencement of any landscaping installation and the work must be approved through a Final Landscape Field Inspection, prior to the issuance of a Final Certificate of Occupancy (CO) for the entire project. Tree Relocation/Removal permits, if necessary, are required prior to the issuance of any building permits.
4. Planting soil shall be a weed-free and debris-free 60/40 mix, to be mixed with existing soil, free from rocks and debris, and backfilled into planting pits by winning in.
 - Shrub shall receive 6" of planting soil around the root ball.
 - Trees shall receive 12" of planting soil around the root ball.
 - Sodded areas shall receive 2" of planting soil beneath the sod.
 - All arid palms are to be backfilled with sand.
5. All landscape islands in parking lots and around buildings shall be excavated to a depth of 3' and backfilled with weed- and debris-free 60/40 planting soil, to the top of the curb.
6. All trees and palms in sodded areas shall have a minimum of 26" in diameter ring, covered with a 3" layer of mulch over the surface of the root ball and mulched back as to avoid touching the trunk. Cover the entire hedge and shrub beds with a 3" layer of mulch. Avoid piling around the trunk areas. Pine trees shall have pine needle mulch covering all trees in groupings. Where planting areas include a catch basin, install erosion control matting (per manufacturer's specs) 25' from the inner pit fabric to basal shrubs and apply 3" layer of mulch. Mulch shall be Grade A, weed-free, *Eriocaulis* or *Melaleuca*.
7. All landscape material shall maintain clearance around all fire hydrants, check valves, backflow preventers, Fire Department Equipment, etc., of at least 7' in the front and on the sides and 4' in the rear.
8. All shade trees shall be planted a minimum of 15' clearance from light poles; and may be 7'-6" away for small trees and palms only.
9. Site preparation shall include the eradication and removal of any exotic nuisance vegetation, weeds, grasses and the clean-up of any dead material, debris and rubbish.
10. All synthetic burlap, synthetic string/cords or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. *bagging tape*, *staple tape*) shall be removed from the trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole, before the trees are backfilled.
11. All ground cover requires 75% coverage at the time of planting and 100% within 3 months of installation.
12. All trees installed within 6' of curbs shall be installed with root barriers.
13. Substitutions of plant material shall be permitted only after written approval of the Landscape Architect and the Town of Highland Beach Landscape Inspector. For any substitutions of plant material within the SR-ALIA right of way will also need written approval by the FDOT District Operations Manager.
14. All owners of the land or their agents shall be responsible for the maintenance of all landscaping pursuant to LDC Sections 901.14-901.15.
15. All plant material shall be guaranteed for a period of 12 months after final inspection by the Town of Highland Beach Landscape Inspector and the owner's acceptance.

16. All landscaped areas will be provided with a 100% irrigation coverage, 50% overlap, from a fully automatic irrigation system with a rain sensor shut-off, and pump and rust control and rust inhibitor devices. Adjust the system to avoid overspray onto structures or paving. Preserved ecological communities shall not be irrigated. All watering restrictions shall conform to restrictions and regulations of the South Florida Water Management District and local watering restrictions. Landscape landscape principles shall be applied in all sites as specified in the South Florida Water Management District's *Waterkeeper Plant Guide II*, updated as required.

17. The Contractor is required to submit certified as-built of the landscape berm to the Engineering Services Department for review and approval. Prior to planting the soil and installing the trees, the as-built must include the design elevations and as-built elevations, taken at least every 50' of the berm. The right-of-way lines, property lines and landscape buffer, etc., must be labeled on the as-built plan. Cross-sections must be provided at least every 50' of the berm and must indicate the slope, width and height of the berm and also label the right-of-way line, buffer width and property line. No sod or trees/palms shall be placed on the berm until the Engineering Services Department approves the as-built.

18. The Landscape Contractor shall be aware of the location of all easements and utilities above and below the ground and shall call for Utility Statement forty-eight (48) hours before any digging operations begin. All plant pits located in the easements shall be hand dug. The Landscape Contractor shall repair all the damage to the underground utilities caused by digging, at no cost to the owner.

19. All trees will be located a minimum of 4' from underground utility lines.

20. The Landscape Contractor shall verify estimated quantities of the material shown on the drawing prior to submitting his bid. The City-approved Planting Plan shall take precedence over the Plant List.

21. All plant material symbols shown on the Landscape Plan shall be considered diagrammatic and should be adjusted in the field by the Contractor to avoid all utilities and any other obstructions.

22. All areas disturbed during the construction shall be sodded with *St. Augustine "Phonetic"*, unless otherwise noted, i.e., sodded, gravel.

23. All sizes shown for the plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shapes or other as noted on the plan shall also be required for acceptance. All the trees shall be single-trunk, unless otherwise noted on the plans. All Royal Palms must be *Florida Fancy*.

24. The scope of work includes all plants, materials, equipment and labor necessary to fulfill these plans and specifications. All work associated with staking, guying, burlap, burlap, fertilization, overwatering, top-soil layer, mulch, water source, watering, removal of excess construction material and work-site clean-up, are to be included in the price. Unless otherwise indicated, any other requirements necessary for complete acceptance of the job shall be considered incidental to the work involved. Pruning of all trees shall meet standards set forth by the *National Arborist Association, Inc.*

25. All mechanical equipment, air conditioning units, generators, irrigation pumps, FPL transmitters, pool pumps, etc., must be removed on June 30th with landscaping. If a fence or wall is also required, then the landscaping shall be installed on the outside of the fence/wall. Plant material shall be to the height of each above ground element, with branches touching each other.

26. Trees and shrubs shall be fertilized with a general purpose fertilizer with a 1:1:1 ratio of Nitrogen, Phosphorus, and Potassium Fertilizer. Application rates are to be according to manufacturer's recommendations for installation of newly-established plant material. Palms shall be fertilized with a palm special fertilizer that is 100% Organic, a 2:1:1 ratio, containing Nitrogen, Phosphorus, and Potassium as major elements and containing minor elements, including Iron, Manganese, Magnesium, and Zinc. Application shall be according to the manufacturer's specifications for newly-established plant material. Areas to be sodded shall be fertilized with a 100% Organic General Purpose Fertilizer at a ratio of 1:1:1, containing Nitrogen, Phosphorus, and Potassium analysis with Iron, Magnesium and Manganese as minor elements. Application shall be at the rate of 1 pound of actual Nitrogen per one thousand square feet and shall be fully incorporated into the top two inches of soil. There will be no fertilization during the winter months of December, January, and February.

27. The Landscape Contractor shall be responsible for the maintenance of the landscaped area until the final job has been issued. The owner or his agent shall do watering to keep the plant root masses and planting soil uniformly moist to maintain a healthy growing condition until final job acceptance. The plant beds shall be free of debris and mowed. Sod shall be maintained between 3" and 5".

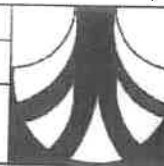
28. Final acceptance of this planting plan will not be given until:

- a. A final walk-through by the Landscape Architect is performed (for commercial properties only).
- b. Completion of all punch list items.
- c. Submission of a written guarantee has been obtained and reviewed.
- d. All FDOT Standards have been met and FDOT acceptance has been issued.

FDOT PERMIT NO. 16L-498-0015-93080

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architecture - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33436
Phone: 561-293-0000 Fax: 561-293-0110

OGILBEE RESIDENCE
2824 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL




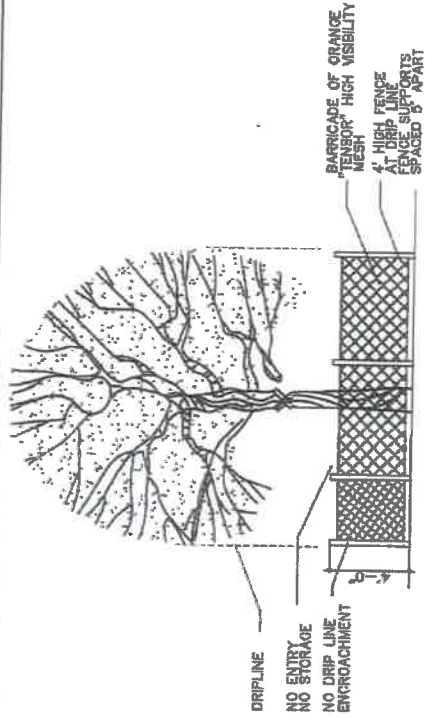
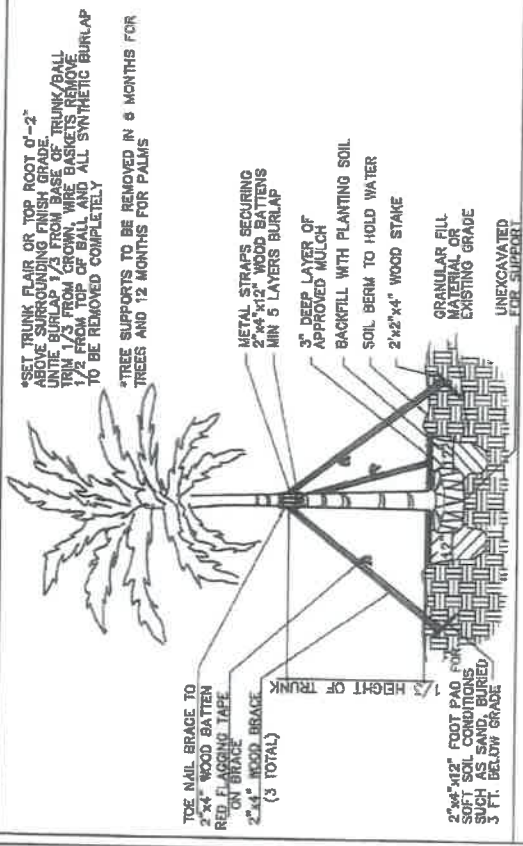
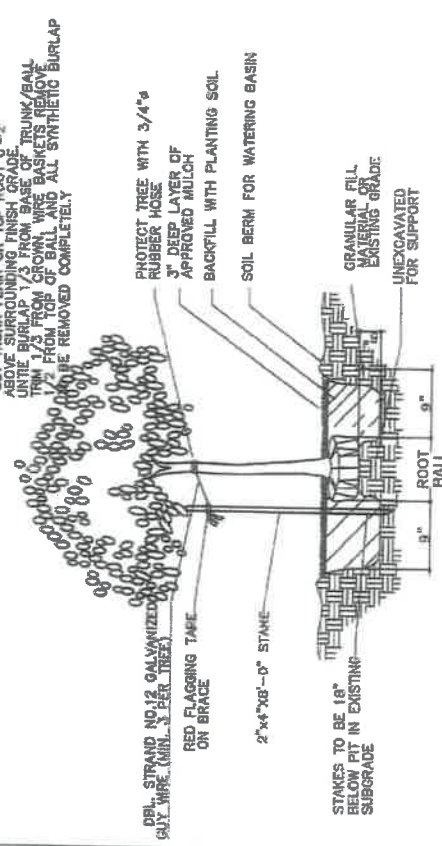
REV. NO. DATE
1 03.03.17
2 03.24.17

JOB NO:

DRAWN BY: LV
DATE: 02.06.17

SCALE: NTS

SHEET NO.
LP-2

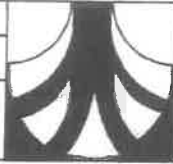
<p>MAJESTIC VIEWS LANDSCAPE ARCHITECTS Landscape Architecture - Construction Management 4711 Cypress Drive South, Boynton Beach, FL 33436 Phone: (561) 732-8885 Fax: (561) 732-4110</p> <p>OGBREE RESIDENCE 3524 SOUTH OCEAN BOULEVARD, NIGHT AND BEACH, FL D.O.T. PLANTING DETAILS</p>		 <p>REV. NO. 1 DATE 03.05.17</p> <p>JOB NO. _____</p> <p>DRAWN BY: LV</p> <p>DATE: 02.06.17</p> <p>SCALE: NTS</p> <p>SHEET NO. LP-4</p>	
 <p>— A BARRIER SHALL BE INSTALLED AROUND THE TREES IN ORDER TO PROTECT THEM DURING CONSTRUCTION</p> <p>— THE BARRIER SHALL EXTEND TO THE DRIPLINE.</p> <p>— THE SOIL WITHIN THE DRIPLINE SHALL BE KEPT FREE OF BUILDING MATERIALS</p> <p>— CLEANING OF ANY EQUIPMENT WITHIN THE PROTECTIVE BARRIER IS PROHIBITED</p>		<p>TREE PRESERVATION BARRICADE FENCING DETAIL</p> <p>*PLANTING HOLES TO BE 3 TIMES THE DIAMETER OF ROOT BALL AT THE SURFACE AND 2 TIMES THE DIAMETER OF ROOT BALL AT THE BOTTOM/DEPTH PER CITY OF WEST PALM BEACH REQUIREMENTS</p>	
 <p>*SET TRUNK FLAIR OR TOP ROOT 6'-2" ABOVE SURROUNDING FINISH GRADE, UNTIL 1/3 FROM BASE OF TRUNK/BALL, UNTIL 1/3 FROM CROWN, WIRE BASKETS REMOVED 1/2 FROM TOP OF BALL AND ALL SYNTHETIC BURLAP TO BE REMOVED COMPLETELY</p> <p>*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS</p>		<p>PALM PLANTING DETAIL</p> <p>*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS</p>	
 <p>*SET TRUNK FLAIR OR TOP ROOT 6'-2" ABOVE SURROUNDING FINISH GRADE, UNTIL 1/3 FROM BASE OF TRUNK/BALL, UNTIL 1/3 FROM CROWN, WIRE BASKETS REMOVED 1/2 FROM TOP OF BALL AND ALL SYNTHETIC BURLAP TO BE REMOVED COMPLETELY</p> <p>*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS</p>		<p>SMALL TREE (2" cal. and under) PLANTING DETAIL.</p> <p>*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS</p>	



FDOT PERMIT NO. 16L-486-0015-93060

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architecture - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33436
Phone: (561) 728-8833 Fax: (561) 728-1170

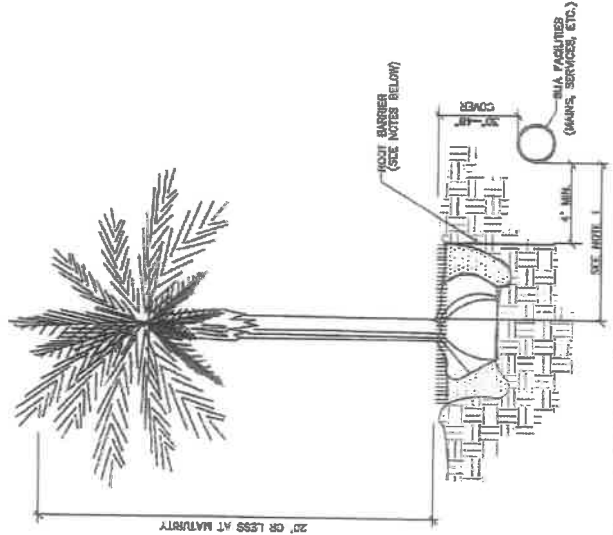
OGLBEE RESIDENCE
2824 SOUTH OCEAN BOULEVARD, HIGHWAY AND BEACH, FL
D.O.T. PLANTING DETAILS



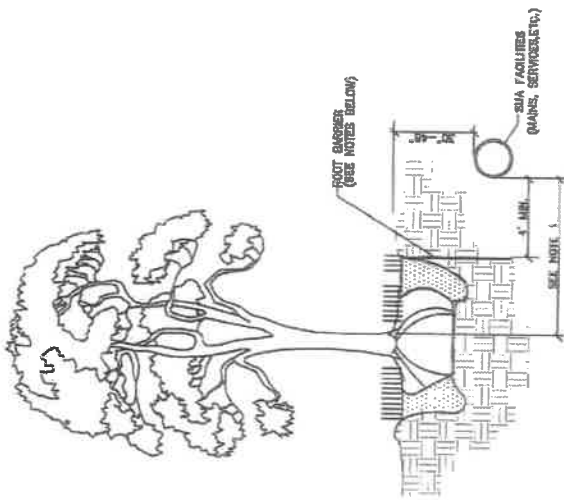
REV. NO. DATE
1. 03.03.17

JOB NO:
DRAWN BY: LV
DATE: 02.06.17
SCALE: NTS
SHEET NO.

LP-5



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL SIDEWALK FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEAWALL AND INSPECTED BY SEAWALL PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 30" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 30" PANELS MANUFACTURED BY EMBARRAS.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL SIDEWALK FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEAWALL AND INSPECTED BY SEAWALL PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 30" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 30" PANELS MANUFACTURED BY EMBARRAS.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 6. LARGE PALM TREES INCLUDE ROYAL PALM, WASHINGTONIA, BISMARCK AND SIMILAR SIZED SPECIES.

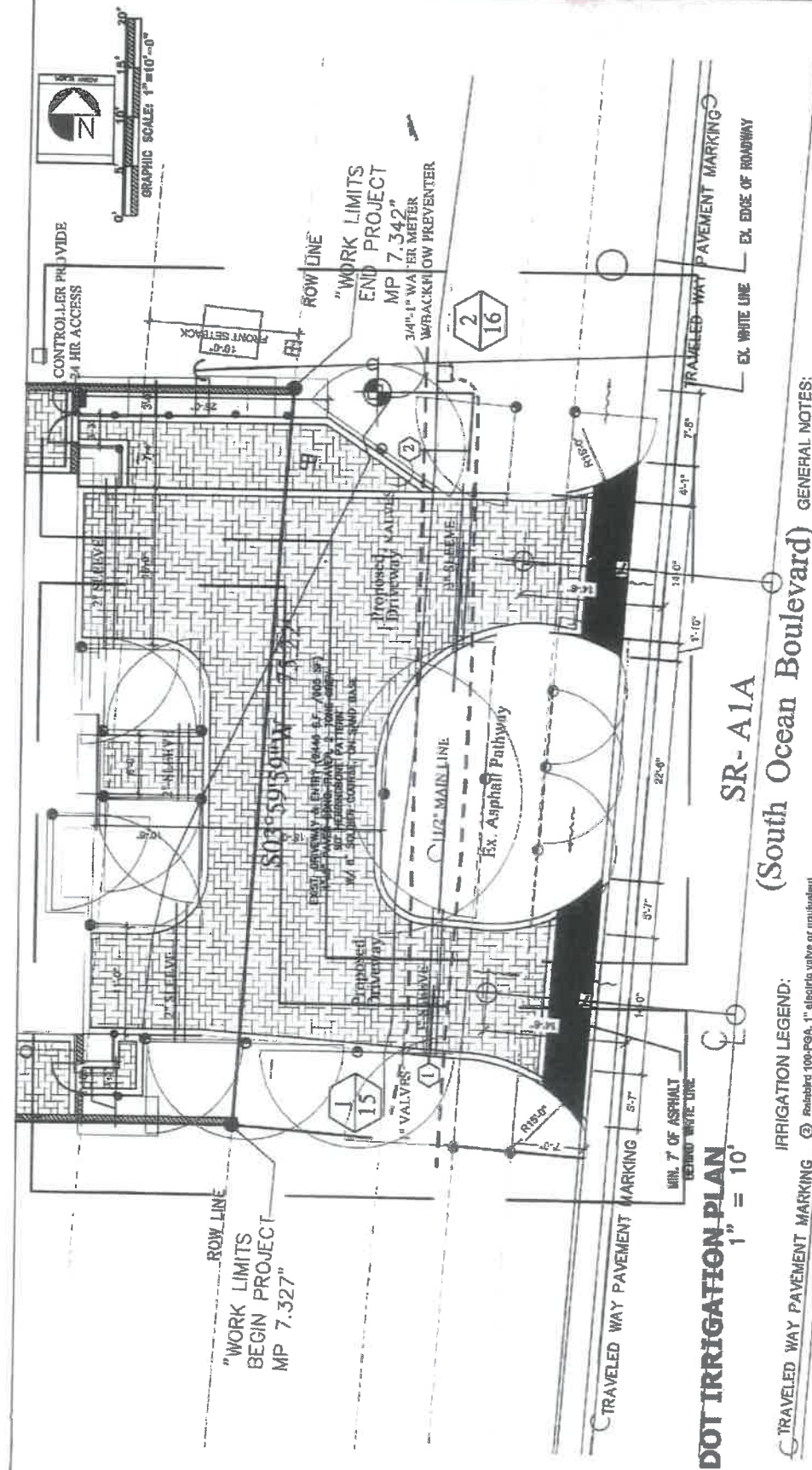
Typical Small Tree or Palm Tree with Root Barrier Typ. Canopy Tree, Large or Exotic Palm Tree with Root Barrier



FDOT PERMIT NO. 16L-496-0015-93060

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architecture - Construction Management
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Phone/Fax 1/252-983-8838 Fax 1/561/252-4110
OGILBEE RESIDENCE
2824 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL
DOT IRRIGATION PLAN

JOB NO:
 DRAWN BY: LV
 DATE: 02.06.17
 SCALE: 1"=10'
 SHEET NO.
 IR-1



GENERAL NOTES:

All landscaped areas shall be provided with an automatic water supply system as approved through a final development permit. A proposed irrigation system is 70% xeriscape drip irrigation system thus justifying use of city water as water source.

Irrigation contractor to provide seasonal operating schedule and average precipitation rates for each zone by system controller.

Nozzle precipitation rates for all heads within each valve circuit must be matched to within 20% of one another.

A regular irrigation maintenance schedule shall include but not be limited to checking, adjusting, and repairing irrigation equipment; and resetting the automatic controller according to the season;

irrigation system plans and specifications shall under an final testing and adjustments to achieve design specifications prior to completion of the system and acceptance by the owner's representative and the City. An as built plan shall be submitted if different than irrigation plan.

FDOT PERMIT NO. 16L-496-0015-93060

sunshine state
ONE CALL
FLORIDA
800-955-5867
Call toll-free for
any information

IRRIGATION NOTES:

NOTES

Automatic Irrigation System
Water Demand Zone 3/4" water meter, 22-24 GPM @ 45-50 psi w/ backflow preventer/
vacuum breaker, and ET manager, inground moisture sensing device

GENERAL

System shall be installed in accordance with local codes. Contract drawings and Contract specifications.

Irrigation design based on Majestic Views, dated 03.03.17 Contractor shall refer to the landscape plan to coordinate sprinkler location and pipe routing with new and existing landscaping.

The purpose of this irrigation plan is to show sprinkler locations for new locations for new landscaping. The Contractor considering the size of the source, the location and size of piping, and the size of existing valves shall zone system in the field.

Contractor shall adjust sprinkler locations to insure proper coverage in common areas between new and existing landscaping.

Irrigation contractor to provide 100 % coverage with a 50% overlap and as built drawings.

Irrigation plan is for bid, permit purposes, and shall not be utilized as a construction document.

Irrigation contractor will provide shop drawings and product specifications (cut sheets) and installation documents, to the Landscape Architect for review, comment and approvals.

A licensed contractor who installs or performs work on an automatic landscape irrigation system must install system per manufacturers specifications and test for the correct operation of each inhibiting or interrupting device or switch on the system. If such devices are not installed, or are not functioning properly, the contractor must install new devices or repair the existing ones and insure that each is operating properly before completing other work on the system.

All contractors performing work on irrigation systems within the town shall be licensed or registered under F.S. ch. 489, and shall hold a municipally-issued license or business tax certificate that permits work on irrigation systems.

PIPING

Pipe shall be installed in accordance with local codes and pipe manufacturer's recommendations.

Pipe routed under pavement and patio shall be sleeved in SCH 40 PVC. Contractor shall utilize existing sleeves.

Main line shall be scheduled 40 PVC.

All pipes shall be type 1120 PVC. Lateral sized 1" and larger shall be SDR 26, Class 160. Laterals sized 3/4" shall be SDR 21, Class 200.

Pipe shall be installed so backfill depths are maintained at 18" for the main line and all lateral routed under pavement, and at 12" for all other laterals.

Backfill shall be of suitable material free of rocks, stones, or other debris that would damage irrigation systems components.

SPRINKLERS

Sprinkler locations shall be adjusted for wind, landscaping and mounding to insure proper coverage with minimal undesirable overthrow. In order to prevent overthrow, low trajectory heads or low volume water distributing devices shall be used when irrigating confined areas. No more than ten percent of spray radius shall be allowed onto impervious areas.

Sprinkler heads irrigating lawns or other high water requirement landscape areas shall be selected so that they are on a separate sector from those irrigating trees, shrubbery or other reduced water requirement areas.

Pop-up rotors Rainbird 5000-PRS series w/ adjustable nozzles or equivalent, 25'-50' radius.

Pop-up mistheads Rainbird 1800-SAM-P45 series w/ R-13-18 rotary nozzles or equivalent, 12'-24' radius. Shrub type mistheads shall be installed a uniform height of 6" above plant material and shall be located to be concealed from view and inaccessible from traffic.

Rainbird XPCN- Xerl PCN series nozzle, 2.5' & 4' 1/4, 1/2 or full spray on Xerl-pop 4-6" pop-up or SCH 80 riser as required.

Rainbird Xerl Bubblers shall be installed on SCH 80 risers to the best height for the most effective irrigation of the plants to be watered. Bubblers are required for trees and palms.

All SCH 80 PVC risers shall be painted green to blend in with plant material.

All sprinklers located adjacent to pavement, walkways, patios, etc., shall be installed from the edge to minimize the chance of damage to vehicles, pedestrians and lawn maintenance personnel. Pop-up heads shall be installed in 6" and shrub type heads shall be installed in 16".

Adjustment features of sprinklers specified shall be utilized to insure proper coverage while minimizing overthrow.

VALVES

Rainbird 100-PGA 1" angle electric valve w/ pressure regulator or equivalent, with timer and rain sensor device.

WATER SOURCE

3/4" water meter, 22-24 GPM @ 45-50 psi w/ backflow preventer/ vacuum breaker, and ET manager inground moisture sensing device and pressure regulator as required and approved by City of Delray Beach. All connections and installation of backflow shall be made by a licensed plumber.

CONTROL SYSTEM

Rainbird ESP-MC series automatic outdoor controller will be exterior wall mount or equivalent w/ Rainbird ET-Manager in ground soil moisture sensor. Verify location on site. Rainfall or moisture sensing devices shall be used to avoid operation of the system during periods of increased rainfall. Evapotranspiration-based (ET) controllers are recommended but optional on any automatic landscape irrigation system will be installed per manufacturers specifications. All electrical connections to be made by a licensed electrician.

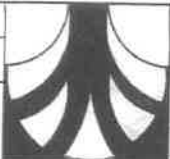
FLOW	PIPE DIAMETER (INCH)
0-3	3/4"
3-9	1"
10-16	1 1/4"
17-28	1 3/4"
27-40	2"
40-60	

Automatic underground irrigation with Rainbird ET-Manager in ground soil moisture sensor shall be designed and installed in compliance with the South Florida Building Code and city code requirements. The system shall provide a minimum coverage of 100% with 50% overlap.

FDOT PERMIT NO. 16L-496-0015-83060

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architecture - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33435
Phone (561) 529-8835 Fax (561) 752-1170

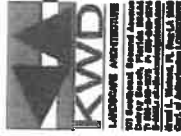
OGILBEE RESIDENCE
2624 SOUTH OCEAN BOULEVARD, HIGH AND BEACH PL.
GENERAL IRRIGATION SPECIFICATIONS



REV. NO. DATE
1 03.03.17
LC #20000319

JOB NO:
DRAWN BY: LV
DATE: 02.06.17
SCALE: NTS
SHEET NO.

IR-2



Harnister Residence
3445 S Ocean Boulevard
Hyland Beach, FL 33447

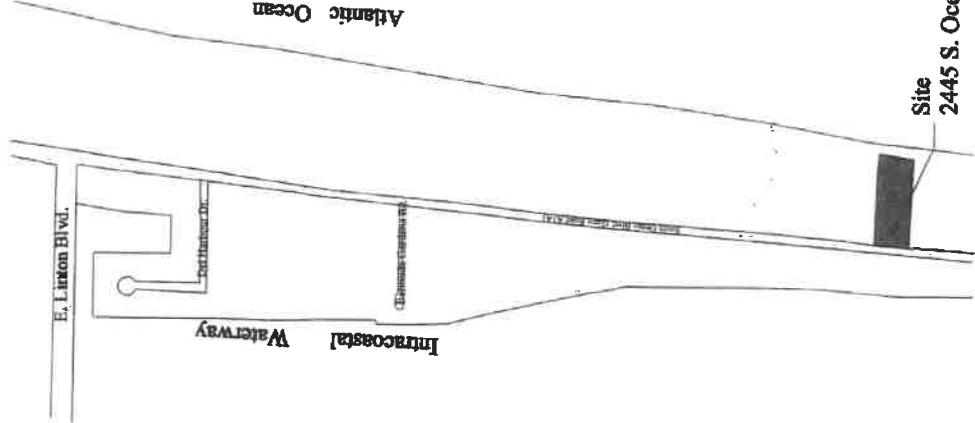
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DESIGNED BY: KWD
CHECKED BY: KWD
DATE: 07/20/17

ROW LANDSCAPE PLANS AND NOTES	L-1
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FDOT Submission
08/30/2017

PERMIT NUMBER: FL-488-0000-0000 HARNISTER RESIDENCE



FDOT GENERAL NOTES

NOTE: CHECKS DUE FOR ENTIRE PROJECT TO JUNE 7 LANE INDICATED

NOTES

1. It is the responsibility of the contractor to prepare a work zone traffic control plan. This plan shall be reviewed by FDOT and the owner prior to construction of construction.

2. All work shall be completed within the time frame specified in the contract. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate agencies.

3. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate agencies.

4. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate agencies.

NOTES

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8. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate agencies.

9. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate agencies.

10. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate agencies.

CAUTION: PLEASE NOTE

THE DRAWINGS AND NOTICES ARE PREPARED BY A PROFESSIONAL ENGINEER AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

FOR INFORMATION: THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE PROJECT SITE AND HAS NOT OBSERVED THE CONSTRUCTION OF THE PROJECT. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE PROJECT SITE AND HAS NOT OBSERVED THE CONSTRUCTION OF THE PROJECT.

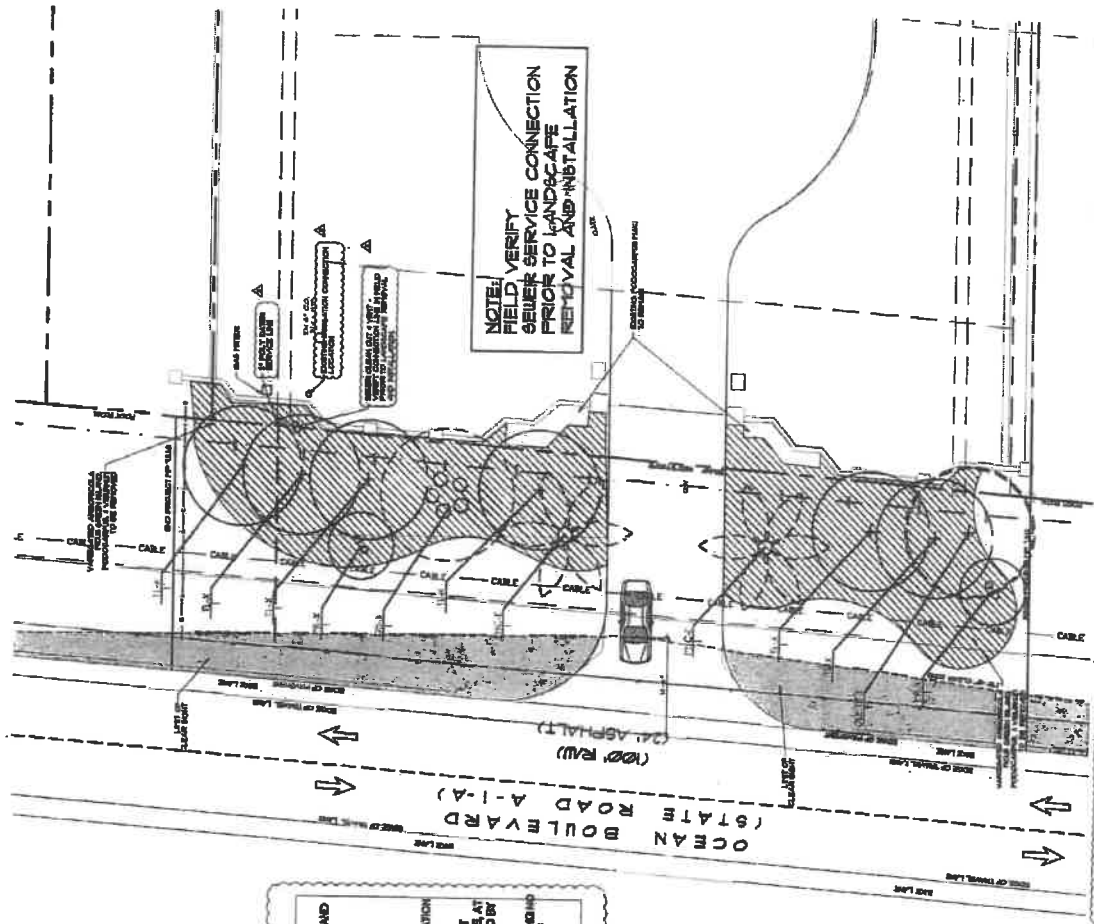


Hamister Residence
 2445 S Ocean Boulevard
 Highland Beach, FL 33480

Handwritten signature

FOR FDOT APPROVAL
 CONTRACT NO. 17-0000000000
 CONTRACT DATE 03/30/2017
 CHECKED BY
 DATE

ROW Landscape Plan
 Sheet **L-2**



FDOT Submission
 03/30/2017

PERMIT NUMBER 17-000-0000-0000 HAMISTER RESIDENCE

Scale
 0 4 8 12 16 20
 SCALE 1" = 8'

North Arrow
 NORTH

Call 811 or www.surecall11.com
 before any excavation or drilling to locate underground utilities.
 Call 811 or www.surecall11.com before any excavation or drilling to locate underground utilities.

PLANT SCHEDULE EXISTING LANDSCAPE TO BE REMOVED

PLANT NAME	QUANTITY	REMARKS	DATE
1. 10' DBH PALM	1	EXISTING TO REMAIN	03/30/2017
2. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
3. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
4. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
5. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
6. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
7. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
8. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
9. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017
10. 10' DBH PALM	1	EXISTING TO BE REMOVED	03/30/2017

FOOT GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FDOT DESIGN STANDARDS AND THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. REFER TO FOOT STANDARD NO. 644 FOR INSTALLATION OF VEGETATION.
3. REFER TO FOOT STANDARD NO. 644 FOR INSTALLATION OF VEGETATION.
4. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE DONE TO FOOT PROPERTY DURING CONSTRUCTION, RELOCATION AND/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
5. CONSTRUCTION OF ALL DETAIL EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNITS, A FIRM, AND SHALL BE REMOVED FROM THE PROJECT SITE. EXCAVATED MATERIALS SHALL BE Hauled BY THE PERMITTEE, AT THEIR COST AND EXPENSE, FROM THE SITE TO THE PALM BEACH OPERATIONS CENTER OR STOCKPILE IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLING.
6. EXCESS MILLING IS NOT PERMITTED ON FOOT RIGHT-OF-WAY. MILLING PERMITTED TO BE USED ARE HANDWOOD MULCH/COMPOSTING AND CERTIFICATION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.

NOTE: PERSON OFFERED FOR
 NOTE: PERSON OFFERED FOR
 NOTE: PERSON OFFERED FOR

FOOT IRRIGATION NOTES

1. FOOT REQUIRED 24 HOUR EMERGENCY ACCESS TO WATER SOURCE.
2. CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLAN.

CAUTION: PLEASE NOTE

THIS DRAWING HAS NOT BEEN REVISIONED BY A PROFESSIONAL ENGINEER. THE DRAWING IS FOR INFORMATION ONLY. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

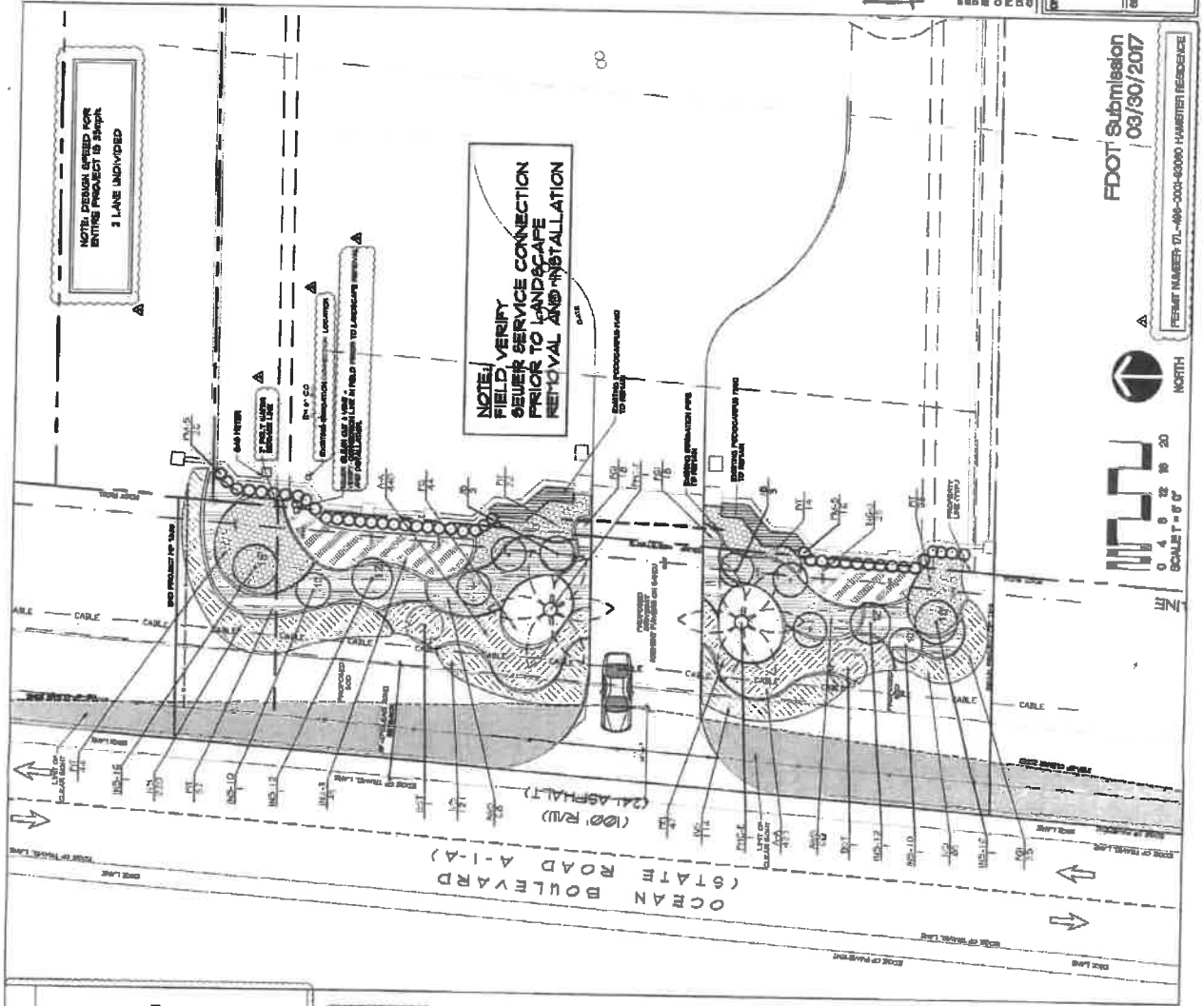


Harmister Residence
 2445 Ocean Boulevard
 Highland Beach, FL 33487

Handwritten signature/initials

REVISIONS
 1. 03/30/2017
 2. 03/30/2017
 3. 03/30/2017
 4. 03/30/2017
 5. 03/30/2017
 6. 03/30/2017
 7. 03/30/2017
 8. 03/30/2017
 9. 03/30/2017
 10. 03/30/2017

ROW Landscape Plan
 Sheet
L-3



FOOT GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. REFER TO FOOT STANDARD SPECIFICATION 644 FOR INSTALLATION OF VEGETATION.
3. REFER TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 640 FOR LANDSCAPE INSTALLATION SPECIFICATIONS.
4. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE DONE TO FOOT PROPERTY DURING DEMOLITION, RELOCATION AND/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
5. OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNTIL A FINAL ADJUSTMENT OF THE PERMITTED PROJECT IS FULFILLED. EXCAVATED MATERIALS SHALL BE MAINTAINED AT THEIR COST AND EXPENSE FROM THE SITE TO THE PALM BEACH OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DETERMINED BY THE DEPARTMENT, INCLUDING ASPHALT MILLING.
6. CURBSIDE MULCH IS NOT PERMITTED ON FOOT RIGHT OF WAY. MULCH PERMITTED TO BE USED ARE UNWEEDWOOD MULCH CONTAINING NO OTHER PRODUCTS, RECYCLED MULCH ON APPROVED EQUAL, LIMITED IN THE MULCH AND SOIL. CONTRACTOR SHALL SUBMIT PROOF OF CERTIFICATION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON REQUEST.

FOOT IRRIGATION NOTES

1. FOOT REQUIRE 24 HOUR EMERGENCY ACCESS TO WATER SOURCE.
2. CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.

PLANT SCHEDULE PLANTING PLANS

PLANT	COMMON NAME	SIZE	QTY	QTY	QTY
100-12	Red Tip Palm	10' x 12'	12	12	12
100-16	Red Tip Palm	10' x 16'	12	12	12
100-18	Red Tip Palm	10' x 18'	12	12	12
100-20	Red Tip Palm	10' x 20'	12	12	12
100-22	Red Tip Palm	10' x 22'	12	12	12
100-24	Red Tip Palm	10' x 24'	12	12	12
100-26	Red Tip Palm	10' x 26'	12	12	12
100-28	Red Tip Palm	10' x 28'	12	12	12
100-30	Red Tip Palm	10' x 30'	12	12	12
100-32	Red Tip Palm	10' x 32'	12	12	12
100-34	Red Tip Palm	10' x 34'	12	12	12
100-36	Red Tip Palm	10' x 36'	12	12	12
100-38	Red Tip Palm	10' x 38'	12	12	12
100-40	Red Tip Palm	10' x 40'	12	12	12
100-42	Red Tip Palm	10' x 42'	12	12	12
100-44	Red Tip Palm	10' x 44'	12	12	12
100-46	Red Tip Palm	10' x 46'	12	12	12
100-48	Red Tip Palm	10' x 48'	12	12	12
100-50	Red Tip Palm	10' x 50'	12	12	12
100-52	Red Tip Palm	10' x 52'	12	12	12
100-54	Red Tip Palm	10' x 54'	12	12	12
100-56	Red Tip Palm	10' x 56'	12	12	12
100-58	Red Tip Palm	10' x 58'	12	12	12
100-60	Red Tip Palm	10' x 60'	12	12	12
100-62	Red Tip Palm	10' x 62'	12	12	12
100-64	Red Tip Palm	10' x 64'	12	12	12
100-66	Red Tip Palm	10' x 66'	12	12	12
100-68	Red Tip Palm	10' x 68'	12	12	12
100-70	Red Tip Palm	10' x 70'	12	12	12
100-72	Red Tip Palm	10' x 72'	12	12	12
100-74	Red Tip Palm	10' x 74'	12	12	12
100-76	Red Tip Palm	10' x 76'	12	12	12
100-78	Red Tip Palm	10' x 78'	12	12	12
100-80	Red Tip Palm	10' x 80'	12	12	12
100-82	Red Tip Palm	10' x 82'	12	12	12
100-84	Red Tip Palm	10' x 84'	12	12	12
100-86	Red Tip Palm	10' x 86'	12	12	12
100-88	Red Tip Palm	10' x 88'	12	12	12
100-90	Red Tip Palm	10' x 90'	12	12	12
100-92	Red Tip Palm	10' x 92'	12	12	12
100-94	Red Tip Palm	10' x 94'	12	12	12
100-96	Red Tip Palm	10' x 96'	12	12	12
100-98	Red Tip Palm	10' x 98'	12	12	12
100-100	Red Tip Palm	10' x 100'	12	12	12

CAUTION: PLEASE NOTE

THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER. VERIFY PRIOR TO CONSTRUCTION.

1. All Plant Material/Plantings to be installed at 10' x 12'.

2. All Plant Material/Plantings to be installed at 10' x 14'.

3. All Plant Material/Plantings to be installed at 10' x 16'.

4. All Plant Material/Plantings to be installed at 10' x 18'.

5. All Plant Material/Plantings to be installed at 10' x 20'.

6. All Plant Material/Plantings to be installed at 10' x 22'.

7. All Plant Material/Plantings to be installed at 10' x 24'.

8. All Plant Material/Plantings to be installed at 10' x 26'.

9. All Plant Material/Plantings to be installed at 10' x 28'.

10. All Plant Material/Plantings to be installed at 10' x 30'.

11. All Plant Material/Plantings to be installed at 10' x 32'.

12. All Plant Material/Plantings to be installed at 10' x 34'.

13. All Plant Material/Plantings to be installed at 10' x 36'.

14. All Plant Material/Plantings to be installed at 10' x 38'.

15. All Plant Material/Plantings to be installed at 10' x 40'.

16. All Plant Material/Plantings to be installed at 10' x 42'.

17. All Plant Material/Plantings to be installed at 10' x 44'.

18. All Plant Material/Plantings to be installed at 10' x 46'.

19. All Plant Material/Plantings to be installed at 10' x 48'.

20. All Plant Material/Plantings to be installed at 10' x 50'.

21. All Plant Material/Plantings to be installed at 10' x 52'.

22. All Plant Material/Plantings to be installed at 10' x 54'.

23. All Plant Material/Plantings to be installed at 10' x 56'.

24. All Plant Material/Plantings to be installed at 10' x 58'.

25. All Plant Material/Plantings to be installed at 10' x 60'.

26. All Plant Material/Plantings to be installed at 10' x 62'.

27. All Plant Material/Plantings to be installed at 10' x 64'.

28. All Plant Material/Plantings to be installed at 10' x 66'.

29. All Plant Material/Plantings to be installed at 10' x 68'.

30. All Plant Material/Plantings to be installed at 10' x 70'.

31. All Plant Material/Plantings to be installed at 10' x 72'.

32. All Plant Material/Plantings to be installed at 10' x 74'.

33. All Plant Material/Plantings to be installed at 10' x 76'.

34. All Plant Material/Plantings to be installed at 10' x 78'.

35. All Plant Material/Plantings to be installed at 10' x 80'.

36. All Plant Material/Plantings to be installed at 10' x 82'.

37. All Plant Material/Plantings to be installed at 10' x 84'.

38. All Plant Material/Plantings to be installed at 10' x 86'.

39. All Plant Material/Plantings to be installed at 10' x 88'.

40. All Plant Material/Plantings to be installed at 10' x 90'.

41. All Plant Material/Plantings to be installed at 10' x 92'.

42. All Plant Material/Plantings to be installed at 10' x 94'.

43. All Plant Material/Plantings to be installed at 10' x 96'.

44. All Plant Material/Plantings to be installed at 10' x 98'.

45. All Plant Material/Plantings to be installed at 10' x 100'.

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT D

**PRECEDING LANDSCAPE AGREEMENT DESCRIPTION(S)
AND OTHER AGREEMENT DESCRIPTIONS**

The following Landscape agreements have previously been executed for projects that have been installed in accordance with the plans and specifications attached thereto and incorporated herein but not exclusive to the following agreement descriptions:

LANDSCAPE AGREEMENTS SUPERSEDED BY THIS AGREEMENT

7/10/08 - State Road A1A from 1/2 Mile north of Spanish River Boulevard to 1/2 mile South of Linton Boulevard, from (M.P. 4.540) to (M.P. 7.441). (\$400,006.03) Landscape improvements which include plant material and hardscape pavers. Section No. 93060, FM No.: 423845-1-58-01, Connected Contract No. AP751, Resolution No. 08-004 (6/9/08).

3/2/07 - State Road A1A (Town limits of Highland Beach) from (M.P. 4.540) to (M.P. 7.441). (\$202,138.00) Plant material only. Section No. 93060, FM# 421216-1-58-01, Connected Contract No. AOP79, Resolution No. 07-002R (2/6/07).

7/2/02 - State Road A1A from (M.P. 4.54) to (M.P. 7.41). (\$283,000.00) Landscape improvements not described. Section 93060, FM No. 229785-1-52-01, Resolution No. 792 (7/2/02).

This Agreement, pursuant to paragraph number 14, page 9., shall supersede all other above agreements except as to the actual landscape plans and project cost that have not been replanted by subsequent FDOT approved projects and those that are "excepted out". The terms of this agreement shall apply to those landscape plans.

SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT E
MAINTENANCE PLAN
FOR LANDSCAPE IMPROVEMENTS

This Exhibit forms and integral part of the DISTRICT FOUR (4) LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY

Please See Attached

MAINTENANCE PLAN

Landscape Improvements

I. GENERAL MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

The purpose of a plan for the landscape improvements maintenance practices is to allow the plant material on your project to thrive in a safe and vigorous manner while fulfilling their intended purpose and conserving our natural resources. Plantings and all other landscape improvements shall be maintained to avoid potential roadway hazards and to provide required clear visibility, accessibility, clearance, and setbacks as set forth by Florida Department of Transportation (FDOT) governing standards and specifications: *FDOT Design Standards*, *FDOT Plans Preparation Manual Vol. 1, Chapter 2.11* and *FDOT Standard Specifications for Road and Bridge Construction*, as amended by contract documents, and all other requirements set forth by the District 4 Operations Maintenance Engineer. The initial portion of the Maintenance Plan describes general maintenance requirements and recommendations. **The concluding section provides recommendations prepared by the Registered Landscape Architect of Record specific to the attached approved plans.**

WATERING REQUIREMENTS

Watering is a critical concern for not only the maintenance of healthy plant material but also for observing water conservation practices. The amount of water to apply at any one time varies with the weather, drainage conditions and water holding capacity of the soil. For plant materials that have been established, it is imperative that any mandated water restrictions be fully conformed to on FDOT roadways.

Proper watering techniques should provide even and thorough water dispersal to wet the entire root zone, but not saturate the soil or over-spray onto travel lanes.

IRRIGATION SYSTEM

The Agency shall ensure there are no roadway overspray or irrigation activities during daytime hours (most notably "rush hour" traffic periods). It is imperative the irrigation controller is properly set to run early enough that the watering process will be entirely completed before high traffic periods, while adhering to mandated water restrictions. To ensure water conservation, the Agency shall monitor the system for water leaks and the rain sensors to ensure they are functioning properly so that the system shuts down when there is sufficient rainfall.

INTEGRATED PLANT MANAGEMENT

An assessment of each planting area's soil is recommended to periodically determine the nutrient levels needed to sustain healthy, vigorous plant growth.

Palms, shrubs, trees and turf areas shall be fertilized in such a manner and frequency to ensure that the plant material remains healthy and vigorously growing. Please be alert to changes in fertilization types per University of Florida, Institute of Food and Agricultural Services (I.F.A.S.) recommendations. Establishment of an integrated pest management program is encouraged to ensure healthy plants, which are free of disease and pests.

MULCHING

Mulch planting beds in such a manner as to prevent weed growth, retain moisture to the plants, protect against soil erosion and nutrient loss, maintain a more uniform soil temperature, and improve the appearance of the planting beds. Avoid mulch mounded up on the trunks of trees, palms, and the base of shrubs to encourage air movement in this area which aids in lowering disease susceptibility. Cypress mulch is prohibited on state right of way.

PRUNING

All pruning, and the associated safety criteria, shall be performed according to American National Standard Institute (ANSI) A300 standards and shall be supervised by an International Society of Arboriculture (ISA) Certified Arborist. Pruning shall be carried out with the health and natural growth of plant materials in mind, to specific pruning heights maintaining clear visibility for motorists, and provide vertical clearance for pedestrian, bicyclist, and truck traffic where applicable. Visibility windows must be maintained free of view obstructions, and all trees and palms must be maintained to prevent potential roadway and pedestrian hazards, all palms are to be kept fruit free. The specific pruning heights are determined by understanding the designer's intent when selecting and placing the plants. The intended mature maintained height and spread of plants are noted on the plans (See Exhibit B.) and see Part II. Specific Requirements and Recommendations for guidelines. The understory plant materials selected for use within the restricted planting areas (Limits of Clear Sight) are to be maintained at a height in compliance with *FDOT Design Standards* Index 546; Page 6 of 6, Window Detail. Vertical tree heights must meet *FDOT Maintenance Rating Program* (MRP) standards.

STAKING AND GUYING

All staking materials, except for replacements, are to be removed by the completion of FDOT warranty period or at one year (whichever comes first). Any subsequent staking and guying activities by the Agency must adhere to *FDOT Design Standards* guidelines (See Index 544). The Agency shall closely monitor staking and guying attachment materials so that they are securely fastened to avoid potential roadway hazards.

TURF MOWING:

All grassed areas are to be mowed and trimmed with sufficient frequency to maintain a deep, healthy root system while providing a neat and clean appearance to the urban landscape. All turf efforts, mowing, curb/sidewalk edging and turf condition, must at a minimum, meet *FDOT Maintenance Rating Program* (MRP).

LITTER CONTROL:

The project site shall remain as litter free as practicable. It is recommended to recycle this litter to avoid unnecessary waste by its reuse. Litter removal efforts must meet *FDOT Maintenance Rating Program* (MRP) standards.

WEEDING/HERBICIDE

All planting areas shall be maintained as weed free as practicable by enlisting integrated pest management practices in areas specified on the plans and maintaining proper mulch levels. Extreme care is recommended when using a chemical herbicide to avoid overspray onto plant materials. It is the applicator's responsibility to restore any damage, resulting from overspray to the plantings, per the approved plans.

PLANT REPLACEMENT

Plant replacement shall be the same species and specification as the approved plan. Move and replace all plant materials that may conflict with utility relocations and service. Only plants graded Florida #1 or better, per the *Florida Department of Agriculture and Consumer Services, Grades and Standards for Nursery Plants* are permitted on FDOT roadways. Should it become necessary to change the species, a permit is required from FDOT for approval by the FDOT District Landscape Architect.

HARDSCAPE (SPECIALTY SURFACING)

All tree grates and specialty surfacing shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the surfacing and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current FDOT Maintenance Rating Program Handbook Pages 43-47; ADA accessible sidewalk; and FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on The State Highway System. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

Or Use When Concrete Pavers

All tree grates and specialty surfacing (if applicable) shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the pavers and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current *Interlocking Concrete Pavement Institute (ICPI), Guide Specifications for Pavers on an Aggregate Base, Section 23 14 13 Interlocking Concrete Pavers, Part 3.05*. If the specialty surfacing or tree grates become damaged, they shall be replace with the same type and specification as the approved plan.

HARDSCAPE (NON-STANDARD) TRAVELWAY SURFACING

It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway, including asphalt pavement (if applicable), caused or contributed by the installation or failure of non-standard surfacing, and/or the header curb, on the Department of Transportation right of way within the limits of this Agreement. Pavement restoration areas or "patches" will have a minimum length of 10-ft, measured from the edge of the header curb, and a width to cover full lanes for each lane affected by the restoration.

Pavement restoration will be performed in accordance with the most current edition of the *FDOT Standard Specifications for Road and Bridge Construction*, and the *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System*.

It shall be the responsibility of the AGENCY to maintain all signs located within a non-standard surfacing area. Such maintenance to be provided by the AGENCY shall include repair and replacement of the sign panel, post, and base.

**HARDSCAPE (LANDSCAPE ACCENT LIGHTING)
(IF APPLICABLE)**

Landscape accent lighting shall be maintained in such a manner as to prolong the life of the lighting fixture and prevent potential safety hazards. If the lighting fixtures and their system become damaged, they shall be replaced with the same type and specification as the approved plan. Landscape lighting shall meet requirements for the sea turtle nesting and hatching.

MAINTENANCE OF TRAFFIC CONTROL

Reference the FDOT website regarding the selection of the proper traffic control requirements to be provided during routine maintenance and / or new installations of this DOT roadway.

**VEGETATION MANAGEMENT AT OUTDOOR ADVERTISING (ODA)
(IF APPLICABLE)**

To avoid conflicts with permitted outdoor advertising, please reference the State of Florida website regarding the vegetation management of outdoor advertising. This website provides a portal to search the FDOT Outdoor Advertising Inventory Management System Database. The database contains an inventory of outdoor advertising structures, permits and other related information maintained by the Department.

Also, reference the *Florida Highway Beautification Program* website link for “*Vegetation Management at ODA signs*” “*Florida Statutes*” and “*Florida Administrative Code*” related to vegetation management at outdoor advertising sign, permit applications for vegetation management and determining mitigation value of roadside vegetation.

II. SPECIFIC PROJECT SITE MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS

Superseded agreements' Maintenance Plans and any specific project site maintenance requirements continue to apply.

REFERENCES

This reference list is provided as a courtesy. The list may not contain the most current websites. The most current references must be accessed for up to date information.

Accessible Sidewalk (ADA)

<http://www.access-board.gov/guidelines-and-standards/streets-sidewalks>

Americans with Disabilities Act (ADA) (ADAAG)

http://www.ada.gov/2010ADAstandards_index.htm

American National Standard Institute, *ANSI A300, (Part 1) for Tree Care Operations – Trees, Shrub, and Other Woody Plant Maintenance – Standard Practices (Pruning)*, available for purchase

<http://webstore.ansi.org>

Florida Department of Agriculture and Consumer Services, Division of Plant Industry, *Florida Grades and Standards for Nursery Plants 2015*

<http://www.freshfromflorida.com/Divisions-Offices/Plant-Industry/Bureaus-and-Services/Bureau-of-Plant-and-Apiary-Inspection>

Florida Department of Community Affairs (DCA), *Florida Board of Building Codes & Standards, 2010 Florida Building Code, Chapter 11 Florida Accessibility Code for Building Construction Part A*

http://www2.iccsafe.org/states/florida_codes/

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 544 Landscape Installation*

<http://www.dot.state.fl.us/rddesign/DS/16/IDx/00544.pdf>

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 546 Sight Distance at Intersections*

<http://www.dot.state.fl.us/rddesign/DS/16/IDx/00546.pdf>

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 600 Traffic Control through Work Zones*

<http://www.dot.state.fl.us/rddesign/DS/16/IDx/00600.pdf>

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 700 Roadside Offsets*

Florida Department of Transportation, *FDOT Plans Preparation Manual (PPM) Vol. I Chapter 2.11 Lateral Offset*

Table 2.11.5 Lateral Offset Clearance to Trees

Table 2.11.11 Recoverable Terrain

<http://www.dot.state.fl.us/rddesign/PPMManual/2016PPM.shtm>

FDOT MMOA - July 20, 2017

Florida Department of Transportation, *FDOT Standard Specifications for Road and Bridge Construction, Section 580 Landscape Installation*

<http://www.dot.state.fl.us/specificationsoffice/Maintenance/Jul14/Files/SS5800000.doc>

<http://www.dot.state.fl.us/specificationsoffice/Implemented/Workbooks/JulWorkbook2014/Files/S5800000FA.pdf>

Florida Department of Transportation, Landscape Architecture Website
www.MyFloridaBeautiful.com

Florida Department of Transportation, *Maintenance Rating Program Handbook*
<http://www.dot.state.fl.us/statemaintenanceoffice/MaintRatingProgram.shtm>

Florida Department of Transportation Outdoor Advertising Database
<http://www2.dot.state.fl.us/rightofway/>

Florida Exotic Pest Plant Council Invasive Plant Lists
<http://www.fleppc.org/list/iist.htm>

Florida Irrigation Society
<http://www.fisstate.org>

Florida Power and Light (FPL), *Plant the Right Tree in the Right Place*
http://www.fpl.com/residential/trees/right_tree_right_place.shtml

A Guide to Roadside Vegetation Management
[http://www.dot.state.fl.us/statemaintenanceoffice/RDW/DOT%20Final%20\(3\)Turf%20Management%20Guide%20UF.pdf](http://www.dot.state.fl.us/statemaintenanceoffice/RDW/DOT%20Final%20(3)Turf%20Management%20Guide%20UF.pdf)

Interlocking Concrete Pavement Institute (ICPI)
<http://www.icpi.org/>

International Society of Arboriculture (ISA)
www.isa-arbor.com

UF IFAS: *Selecting Tropical and Subtropical Tree Species for Wind Resistance*
<http://edis.ifas.ufl.edu/pdf/FR/FR17500.pdf>

UF IFAS: *Fertilization of Field-grown and Landscape Palms in Florida*
<http://edis.ifas.ufl.edu/ep261>

U.S. Department of Transportation, Federal Highway Administration, *Manual on Uniform Traffic Control Devices*
<http://www.mutcd.fhwa.dot.gov>

SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT F

PATTERNED PAVEMENT INSTALLATION

(If Applicable)

This Exhibit forms an integral part of the DISTRICT FOUR (4) MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

- (1) Prior to acceptance by the DEPARTMENT, all lanes for each of the stamped asphalt crossings projects shall be tested for friction in accordance with ASTM E 274-06. All costs for friction testing will be the responsibility of the AGENCY. The initial friction resistance shall be at least 35 obtained at 40 mph with a ribbed test tire (FN40R) or equivalent. Failure to achieve this minimum resistance shall require all deficient crosswalk areas to be removed to their full extent (lane-by-lane) and replaced with the same product installed initially. If more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the Qualified Products List (QPL). All lanes receiving new installations shall again be friction tested within 60-90 days of their acceptance by the local AGENCY. The initial friction resistance of each new installation shall be at least 35 (FN40R) or equivalent. Failure to achieve this minimum resistance shall require all deficient areas be removed to their full extent (lane-by-lane) and replaced with the same product installed initially. If more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the DEPARTMENT 'S Qualified Products List (QPL), or replaced with conventional pavement.
- (2) The results of all friction tests and condition surveys shall be sent to the **Operations Engineer** at the local FDOT District Four Operations Center located at Palm Beach Operations, 7900 Forest Hill Boulevard, West Palm Beach 33413 (561) 432-4966, with a cover letter either certifying that the crosswalks comply with the above stated requirements; or what remedial action will be taken to restore the friction and/or integrity of the crosswalk area.
- (3) When remedial action is required in accordance with the above requirements, the local AGENCY at its own expense shall complete all necessary repairs within 90 days of the date the deficiency was identified.

- (4) Should the local AGENCY fail to satisfactorily perform any required remedial work or testing in accordance with this agreement, the DEPARTMENT reserves the right to replace the patterned pavement with conventional pavement and bill the local AGENCY for this cost. No more than two full stamped asphalt pavement depth repairs shall be made to an area without first resurfacing the pavement to its full depth.

SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH

EXHIBIT G

PATTERNED PAVEMENT MAINTENANCE

(When Applicable)

This Exhibit forms an integral part of the DISTRICT FOUR (4) MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

"Maintenance" of all patterned pavement crosswalks in these Agreements shall be defined, as a minimum, to include its frictional characteristics and integrity as follows:

- (1) Within 60 days of project acceptance by the Department, all lanes of each patterned crosswalk shall be evaluated for surface friction. The friction test shall be conducted using either a locked wheel tester in accordance with **FM 5-592 (Florida Test Method for Friction Measuring Protocol for Patterned Pavements)** or Dynamic Friction Tester in accordance with **ASTM E1911**. **All costs for friction testing are the responsibility of the AGENCY.**
- (2) The initial friction resistance shall be at least 35 obtained at 40 mph with a ribbed tire test (FN40R) or equivalent (FM 5-592 attached). Failure to achieve this minimum resistance shall require all deficient crosswalk areas to be removed to their full extent (land-by-land) and replaced with the same product installed initially. The AGENCY is responsible for all costs associated with the removal and replacement of the crosswalk. If the Department determines that more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the Qualified Products List (QPL) or replaced with conventional pavement.
- (3) Approximately **one year** after project acceptance and **one year** thereafter and for the life of the adjacent pavement, only the outside traffic lane areas of each patterned crosswalk shall be tested for friction resistance in accordance with **ASTM E274** or **ASTME 1911**. Friction resistance shall, at a minimum, have a FN40R value of 35 (or equivalent).
- (4) The results of all friction tests shall be sent to the **Operations Engineer** at the local FDOT District Four Operations Center located at Palm Beach Operations, 7900 Forest Hill Boulevard, West Palm Beach 33413 (561) 432-4966, with a cover letter either certifying, that the crosswalks comply with the minimum friction criteria, or stating what remedial action will be taken to restore the friction.

- (5) Failure to achieve the minimum resistance shall require all lanes of the crosswalk to be friction tested to determine the extent of the deficiency. All deficient areas shall be removed to their full extent (lane-by-lane) and replaced with the same product installed initially. If the Department determines that more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the QPL, or replaced with conventional pavement.
- (6) When remedial action is required in accordance with the above requirements, the local agency shall complete all necessary repairs at its own expense within 90 days of the date when the deficiency was identified. No more than two full depth patterned pavement repairs shall be made to an area without first resurfacing the underlying pavement to 1" minimum depth.
- (7) The Department will not be responsible for replacing the treatment following any construction activities by the Department in the vicinity of the treatment, or any costs for testing.
- (8) Should the local agency fail to satisfactorily perform any required remedial work or testing in accordance with this agreement, the Department reserves the right to replace the patterned pavement with conventional pavement (matching the adjacent pavement) and bill the local agency for this cost.



RESOLUTION NO. 17-012 R

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF HIGHLAND BEACH, FLORIDA, AUTHORIZING THE MAYOR TO EXECUTE THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT FOUR INCLUSIVE LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT ON BEHALF OF THE TOWN OF HIGHLAND BEACH, FLORIDA, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Florida Department of Transportation (FDOT) has advised the Town that in order for landscaping to be placed in the FDOT right-of-way the Town must execute the attached State of Florida Department of Transportation District Four Inclusive Landscape Maintenance Memorandum of Agreement; and

WHEREAS, the purpose of this Resolution is to authorize the Mayor to execute on behalf of the Town the Agreement attached to this Resolution.

NOW, THEREFORE, BE IT RESOLVED by the Town Commission of the Town of Highland Beach, Florida, that:

Section 1. The recitations set forth above are true, accurate and correct and are incorporated herein.

Section 2. That the Mayor is authorized to execute the State of Florida Department of Transportation District Four Inclusive Landscape Maintenance Memorandum of Agreement attached to this Resolution and made a part hereof.

Section 3. That all resolutions or parts of resolutions in conflict with this Resolution are repealed to the extent of such conflict.

FDOT MMOA - July 20, 2017

Resolution No. 17-012 R

Section 4. This Resolution shall take effect immediately upon its adoption.

PASSED AND ADOPTED THIS 5TH DAY OF JULY, 2017.



Carl Feldman, Mayor



William Weitz, Vice Mayor



Rhoda Zelniker, Commissioner



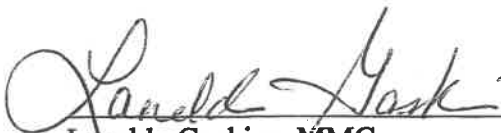
George Kelvin, Commissioner



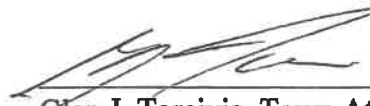
Elyse Riesa, Commissioner

ATTEST:

REVIEWED FOR LEGAL SUFFICIENCY



Lanelda Gaskins, MMC
Town Clerk



Glen J. Torcivia, Town Attorney
Florida Bar No. 343374

Approved as to form and legal sufficiency