

WHEREAS, as designated to be superseded, the AGENCY and DEPARTMENT intend for this agreement to replace and supersede the landscape agreements described within **Exhibit "D"** designated to be superseded, except as otherwise provided in this Agreement; and

WHEREAS, the parties hereto mutually recognize the need for entering into an Agreement designating and setting forth the responsibilities of each party; and

WHEREAS, the AGENCY by Resolution No. 17-012 R dated July 5, 2017, attached hereto and by this reference made a part hereof, desires to enter into this Agreement and authorizes its officers to do so;

NOW THEREFORE, for and in consideration of the mutual benefits to flow each to the other, the parties covenant and agree as follows:

1. RECITALS

The recitals set forth above are true and correct and are deemed incorporated herein.

2. INSTALLATION OF FACILITIES BY AGENCY

The AGENCY has installed certain *landscape improvements* described herein as: plant materials, irrigation and/or hardscape on the highway facilities substantially as specified in plans and specifications hereinafter referenced to as the Project(s) and incorporated herein as **Exhibit "C"**. *Hardscape* shall mean, but not be limited to, site furnishings, landscape accent lighting, fountain, tree grates, decorative free standing or retaining wall(s), and/or any sidewalk, median and roadway specialty surfacing, such as concrete pavers, color stained stamped concrete, and/or asphalt patterned pavement, but excludes standard concrete sidewalk.

When the AGENCY is installing or will install the PROJECT, they shall comply with the following criteria.

- (a) All plant materials shall be installed and maintained in strict accordance with sound nursery practice prescribed by the International Society of Arboriculture (ISA). All plant materials installed shall be Florida #1 or better according to the most current edition of Florida Department of Agriculture, Florida Grades and Standards for Nursery Stock; and all trees shall meet Florida Power & Light, Right Tree, Right Place, South Florida.
- (b) Trees and palms within the right of way shall be installed and pruned to prevent encroachment to roadways, clear zones and sidewalks. Definition of these criteria is included in the most current editions of FDOT standards for design, construction, maintenance, and utility operations on the state highway system and the Maintenance Plan, **Exhibit "E"**.
- (c) Tree and palm pruning shall be supervised by properly trained and certified personnel and shall meet the most current standards set forth by the International Society of Arboriculture (ISA) and the American National Standard Institute (ANSI) Part A-300.

- (d) Irrigation installation and maintenance activities shall conform to the most current standards set forth by the Florida Irrigation Society (FIS), Standards and Specifications for Turf and Landscape Irrigation Systems.
- (e) The AGENCY shall provide the DEPARTMENT accurate as-built plans of the irrigation system so in the future, if there is a need for the DEPARTMENT to perform work in the area, the system can be accommodated as much as possible.
- (f) If it becomes necessary to provide utilities (water/electricity) to the median or side areas, for these improvements it shall be the AGENCY'S responsibility to obtain a permit for such work through the local maintenance office and the AGENCY shall be responsible for all associated fees for the installation and maintenance of these utilities.
- (g) Patterned Pavement (if applicable) shall be installed and maintained as described in Exhibit "F" and Exhibit "G".
- (h) All hardscape shall be installed and maintained in strict accordance with the most current edition of the Florida Accessibility Code for Building Construction and the Interlocking Concrete Pavement institute (ICPI).
- (i) All activities, including landscape improvements installation and future maintenance operations performed on State highway right of way, must be in conformity with the most current edition of the Manual on Uniform Traffic Control (MUTCD) and FDOT Design Standards, Index 600 Series, Traffic Control through Work Zones.
- (j) The most current edition of FDOT Design Standards (Sight Distance at Intersections), Index 546 must be adhered to.
- (k) Horizontal and Clear Zone as specified in the FDOT Plans Preparation Manual, Volume 1, Chapters 2 and 4 and FDOT Design Standards, Index 700 must be adhered to in all activities performed on the State Highway right of way.
- (l) Landscape improvements shall not obstruct roadside signs, traffic signals or permitted outdoor advertising signs (see Florida Administrative Code [F.A.C.] Rule Chapter 14-40, Part I and Part III.)
- (m) The AGENCY shall provide the local FDOT Operation Center, Palm Beach Operations, 7900 Forest Hill Boulevard, West Palm Beach 33413 (561) 432-4966 a twenty-four (24) hour telephone number and the name of a responsible person that the DEPARTMENT may contact. The AGENCY shall notify the local FDOT Operations Center forty-eight (48) hours prior to the start of the project.
- (n) If there is a need to restrict the normal flow of traffic, it shall be done on off-peak hours (9 AM to 3 PM), and the party performing such work shall give notice to the local law enforcement agency within whose jurisdiction such road is located prior to commencing work on the project. The DEPARTMENT'S Public Information Office shall also be notified.

- (o) The AGENCY shall be responsible to clear all utilities within the landscape improvement limits before construction commences.
- (p) The AGENCY shall follow the minimum level of maintenance guidelines as set forth in FDOT's Rule Chapter 14-40 *Highway Beautification and Landscape Management*, the FDOT *Guide to Roadside Mowing and Maintenance Management System*, FDOT *Maintenance Rating Program Standards* and **Exhibit "E"**, the Maintenance Plan for maintenance activities for landscape improvements as well as the superseded landscape agreement's Maintenance Plan's Part II, **Exhibit "E"**, and **Exhibit "G"**, the Patterned Pavement Maintenance.

3. MAINTENANCE OF FACILITIES

- A. The AGENCY agrees to maintain the landscape improvements, as existing and those to be installed, within the physical limits described in **Exhibit "A"**. The landscape improvements outside the travelway shall be maintained by the AGENCY regardless if the said improvement was made by the DEPARTMENT, the AGENCY, or others authorized pursuant to Section 7, by periodic mowing, pruning, fertilizing, weeding, curb and sidewalk edging, litter pickup, necessary replanting, irrigation system repair and/ or repair of any median concrete replacement associated with the specialty surfacing (if applicable) following the DEPARTMENT'S landscape safety and maintenance guidelines, **Exhibit "E"**, the Maintenance Plan and **Exhibit "G"** the Patterned Pavement Maintenance. The AGENCY'S responsibility for maintenance shall include all landscaped, turfed and hardscape areas within the median and areas outside the travelway to the right of way and areas within the travelway containing non-standard surfacing. It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway caused by the differential characteristics of non-standard travelway surfacing and the associated header curb and concrete areas (if applicable) on DEPARTMENT right of way within the limits of this Agreement.
- B. Such maintenance to be provided by the AGENCY is specifically set out as follows: to maintain, which means to properly water and fertilize all plants; to keep them as free as practicable from disease and harmful insects; to properly mulch the planting beds; to keep the premises free of weeds; to mow the turf to the proper height; to properly prune all plants which at a minimum includes: (1) removing dead or diseased parts of plants, (2) pruning such parts thereof to provide clear visibility to signage and permitted outdoor advertising signs (per Florida Statute 479.106), and for those using the roadway and/or sidewalk; (3) preventing any other potential roadway hazards. *Plant materials* shall be those items which would be scientifically classified as plants and include trees, palms, shrubs, groundcover and turf. To maintain also means to remove or replace dead or diseased plants in their entirety, or to remove or replace those that fall below original project standards. Palms shall be kept fruit free year round. To maintain also means to keep the header curbs that contain the specialty surfacing treatment, in optimum condition. To maintain also means to keep the hardscape areas clean, free from weeds and to repair said hardscape as is necessary to prevent a safety hazard. To maintain also means to keep litter removed from the median and areas outside the travel way to the right of way line. All plants removed for whatever reason shall be replaced by plants of the same species type, size, and

grade as specified in the original plans and specifications. Any changes to the original plans shall be submitted by permit application to the DEPARTMENT for review and approval.

- C. If it becomes necessary to provide utilities (water/electricity) to the medians or areas outside the travelway for these improvements, all costs associated with the utilities associated with landscape accent lighting and/or irrigation including, but not limited to the impact and connection fees, and the on-going cost of utility usage for water and electrical, are the maintaining AGENCY'S responsibility.

(1) The AGENCY shall be directly responsible for impact and connection fees.

AND

(2) If installed by the DEPARTMENT the AGENCY shall become responsible for the above named utility costs upon final acceptance of the construction project by the DEPARTMENT and thereafter. The construction project is accepted prior to the start of the Specification 580 Plant Establishment Period.

AND

(3) The AGENCY shall be responsible for all the improvements immediately after final acceptance of the construction project by the DEPARTMENT except for the plant materials. The AGENCY shall be responsible for the maintenance of all landscape improvements after the completion of the Specification 580 Plant Establishment Period.

- D. The above named functions to be performed by the AGENCY may be subject to periodic inspections by the DEPARTMENT at the discretion of the DEPARTMENT. Such inspection findings will be shared with the AGENCY and shall be the basis of all decisions regarding, repayment, reworking or Agreement termination. The AGENCY shall not change or deviate from said plans without written approval of the DEPARTMENT.

4. NOTICE OF MAINTENANCE DEFICIENCIES

- A. If at any time after the AGENCY has undertaken the landscape improvement installation and/or maintenance responsibility mentioned above, it shall come to the attention of the DEPARTMENT'S District Secretary that the limits, or a part thereof, are not properly maintained pursuant to the terms of this Agreement, said District Secretary, may at his/her option, issue a written notice that a deficiency or deficiencies exist(s), by sending a certified letter to the AGENCY, to placing said AGENCY on notice thereof. Thereafter, the AGENCY shall have a period of thirty (30) calendar days within which to correct the cited deficiencies. If said deficiencies are not corrected within this time period, the DEPARTMENT may, at its option, proceed as follows:

- (1) Complete the installation, or part thereof, with DEPARTMENT or Contractor's personnel and deduct the cost of such work from the final payment for said work or part thereof, or,
- (2) Maintain the landscape improvements or any part thereof, with the DEPARTMENT or Contractor's personnel and invoice the AGENCY for expenses incurred, and / or,
- (3) At the discretion of the DEPARTMENT terminate the Agreement in accordance with Paragraph 10, and remove, by the DEPARTMENT or private Contractor's personnel, all of the landscape improvements installed under this Agreement or any preceding Agreements except as to trees and palms, and charge the AGENCY the reasonable cost of such removal.

5. FUTURE DEPARTMENT IMPROVEMENTS

In the event the DEPARTMENT decides to construct additional landscape improvements or modify these improvements within the limits of the rights of way herein previously identified, the DEPARTMENT and the AGENCY shall agree in writing and require signature from the AGENCY'S Town Mayor or designee approval signature, who will have approval signature for the new landscape improvements and maintenance plan thereof. If the AGENCY and the DEPARTMENT are unable to come to an agreement, the DEPARTMENT, in its sole discretion, may install sod and the agency shall be required, pursuant to this Agreement, to continue maintaining said landscape improvements.

It is understood between the parties hereto that the landscape improvements covered by this Agreement may be removed, relocated, or adjusted at any time in the future, as determined to be necessary by the DEPARTMENT in order that the adjacent state road(s) be widened, altered, or otherwise changed to meet with future criteria or planning of the DEPARTMENT.

The AGENCY shall be given sixty (60) calendar days notice to remove said landscape improvements after which time the DEPARTMENT may remove same. All permits (including tree permits), fees, and any mitigation associated with the removal, relocation or adjustments of these improvements are the maintaining AGENCY'S responsibility.

6. FUTURE AGENCY IMPROVEMENTS

The AGENCY may construct additional landscape improvements within the limits of the rights of ways identified as a result of this document, subject to the following conditions:

- (a) Plans for any new landscape improvements shall be subject to approval by the DEPARTMENT. The AGENCY shall not change or deviate from said plans without written approval by the DEPARTMENT.
- (b) The AGENCY shall procure a permit from the DEPARTMENT.
- (c) All landscape improvements shall be developed and implemented in accordance with appropriate state safety and roadway design standards.

- (d) The AGENCY agrees to comply with the requirements of this Agreement with regard to any additional landscape improvements it chooses to have installed and there will be no cost to the DEPARTMENT.
- (e) If the AGENCY'S landscape improvements include additional maintenance requirements, the DEPARTMENT and the AGENCY shall agree in writing and require signature from the responsible AGENCY'S City Manager or designee approval signature, and the DEPARTMENT shall enter into an Agreement Amendment describing the additional requirements.

7. ADJACENT PROPERTY OWNER IMPROVEMENTS

The DEPARTMENT may allow an adjacent property owner to construct additional landscape improvements within the limits of the right of way identified in **Exhibit "A"** of this Agreement that the AGENCY shall be responsible for maintaining under this Agreement subject to the following conditions:

- (a) Plans for any new landscape improvements shall be subject to approval by the DEPARTMENT and shall require a valid permit attached with a letter of consent to said plans by the AGENCY. The plans shall not be changed or deviated from without written approval by the DEPARTMENT and the AGENCY.
- (b) All landscape improvements shall be developed and implemented in accordance with appropriate state safety and roadway design standards.
- (c) The AGENCY agrees to comply with the requirements of the Agreement with regard to any additional landscape improvements installed by an adjacent owner.
- (d) If the Adjacent Property Owner's landscape improvements include additional maintenance requirements, the DEPARTMENT and the AGENCY shall agree in writing and require signature from the responsible AGENCY'S Town Mayor or designee approval signature, and the DEPARTMENT shall enter into an Agreement Amendment describing the additional requirements.

8. AGREEMENT TERMINATION

In addition to those conditions otherwise contained herein, this Agreement may be terminated under any one (1) of the following conditions:

- (a) By the DEPARTMENT, if the AGENCY fails to perform its duties under this Agreement, following ten (10) days written notice.
- (b) By the DEPARTMENT, for refusal by the AGENCY to allow public access to all documents, papers, letters, or other material subject to the provisions of Chapter 119, Florida Statutes, and made or received by the AGENCY in conjunction with this Agreement.

9. AGREEMENT TERM

- A. The term of this Agreement commences upon execution by all parties. The term of this Agreement shall remain in effect for twenty-five (25) years.
- B. If the DEPARTMENT cancels one or all the landscape improvements described in Exhibit "B", this Agreement shall still be valid.

10. LIABILITY AND INSURANCE REQUIREMENTS

- A. With respect to any of the AGENCY'S agents, consultants, sub-consultants, contractors, and/or sub-contractors, such party in any contract for this landscape improvements shall agree to indemnify, defend, save and hold harmless the DEPARTMENT from all claims, demands, liabilities, and suits of any nature arising out of, because of or due to any intentional and/or negligent act or occurrence, omission or commission of such agents, consultants, subconsultants, contractors and/or subcontractors. The AGENCY shall provide to the DEPARTMENT written evidence of the foregoing upon the request of the DEPARTMENT. It is specifically understood and agreed that this indemnification clause does not cover or indemnify the DEPARTMENT for its own negligence.
- B. In the event that AGENCY contracts with a third party to provide the services set forth herein, any contract with such third party shall include the following provisions:
 - (1) AGENCY'S contractor shall at all times during the term of this Agreement keep and maintain in full force and effect, at contractor's sole cost and expense, Comprehensive General Liability with minimum limits of \$1,000,000.00 per occurrence combined single limit for Bodily Injury Liability and Property Damage Liability and Worker's Compensation insurance with minimum limits of \$500,000.00 per Liability. Coverage must be afforded on a form no more restrictive than the latest edition of the Comprehensive General Liability and Worker's Compensation policy without restrictive endorsements, as filed by the Insurance Services Office and shall name the DEPARTMENT as an additional insured.
 - (2) AGENCY'S contractor shall furnish AGENCY with Certificates of Insurance of Endorsements evidencing the insurance coverage specified herein prior to the beginning performance of work under this Agreement.
 - (3) Coverage is not to cease and is to remain in full force and effect (subject to cancellation notice) until all performance required of AGENCY'S contractor is completed. All policies must be endorsed to provide the DEPARTMENT with at least thirty (30) day notice of cancellation and or/or restriction. If any of the insurance coverages will expire prior to the completion of work, copies of renewal policies shall be furnished at least (30) days prior to the date of expiration.

15. ASSIGNMENT

This Agreement may not be assigned or transferred by the AGENCY, in whole or in part, without the prior written consent of the DEPARTMENT.

16. LAWS GOVERNING

This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. In the event of a conflict between any portion of the contract and Florida law, the laws of Florida shall prevail. The Agency agrees to waive forum and venue and that the Department shall determine the forum and venue in which any dispute under this agreement is decided.

17. EXCEPTION TO SUPERSEDED PRECEDING LANDSCAPE AGREEMENTS

This Agreement constitutes the complete and final expression of parties with respect to the subject matter hereof and supersedes all prior landscape agreements, understandings, or negotiations with respect thereto, with the exception of the landscape improvements plans and the associated Maintenance Plan, Part II.

18. NOTICES

Any and all notices given or required under this Agreement shall be in writing and either personally delivered with receipt acknowledgement or sent by certified mail, return receipt requested. All notices shall be sent to the following addresses:

If to the DEPARTMENT:

State of Florida Department of Transportation
3400 West Commercial Blvd.
Ft. Lauderdale, FL 33309-3421
Attention: Elisabeth A. Hassett, R.L.A.
FDOT District IV Landscape Architect

If to the AGENCY:

Town of Highland Beach
3614 South Ocean Boulevard
Highland Beach, Florida
Attention: Valarie Oakes
Title: Town Manager

LIST OF EXHIBITS

- Exhibit A: Landscape Improvements Limits & Maintenance Boundaries List, Table and Graphic
- Exhibit B: Pending Permit Project Landscape Agreement(s)
- Exhibit C: Pending Permit Projects Landscape Improvement Plans
- Exhibit D: Preceding Landscape Agreement Description(s) and Other Agreement Descriptions
- Exhibit E: Maintenance Plan for Landscape Improvements
- Exhibit F: Agency Patterned Pavement Installation
- Exhibit G: Patterned Pavement Maintenance

IN WITNESS WHEREOF, the parties hereto have executed this Agreement effective the day and year first above written.

TOWN OF HIGHLAND BEACH

By: *Cal Feldman*
Chairperson/Mayor/Manager

Attest: *Lanell Gaski* (SEAL)
Clerk

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: *Stacy Ottler*
Transportation Development Director

Attest: *Annatahne* (SEAL)
Executive Secretary

Legal Review _____ Date 7-5-17

Legal Review _____ Date 7/18/2017
Office of the General Counsel



**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT A

TOWN OF HIGHLAND BEACH

LANDSCAPE IMPROVEMENT

LIMITS AND MAINTENANCE BOUNDARIES LIST

All state rights of way within the limits of the **TOWN OF HIGHLAND BEACH** to be maintained are from:

State Road A1A from approximately 1/4 mile North of Spanish River Boulevard (M.P. 4.868) to approximately 1/2 mile South of Linton Boulevard (M.P. 7.711)

**SECTION No.: 93060
 S.R. No.: A1A
 COUNTY: PALM BEACH**

EXHIBIT A

TOWN OF HIGHLAND BEACH

LANDSCAPE MAINTENANCE LIMITS TABLE

**The following are State Road(s) to be maintained within the limits of the
 Town of Highland Beach**

STATE ROAD	BEGIN ROAD NAME	BEGIN MILEPOST	END ROAD NAME	END MILEPOST	MAINTENANCE LIMITS
A1A (S. Ocean Boulevard)	¼ mile North of Spanish River Blvd.	4.868	½ mile South of Linton Blvd.	7.711	ROW to ROW according to the Town Limits

Areas to be maintained by the Agency pursuant to this Landscape Maintenance Memorandum of Agreement (MOA).

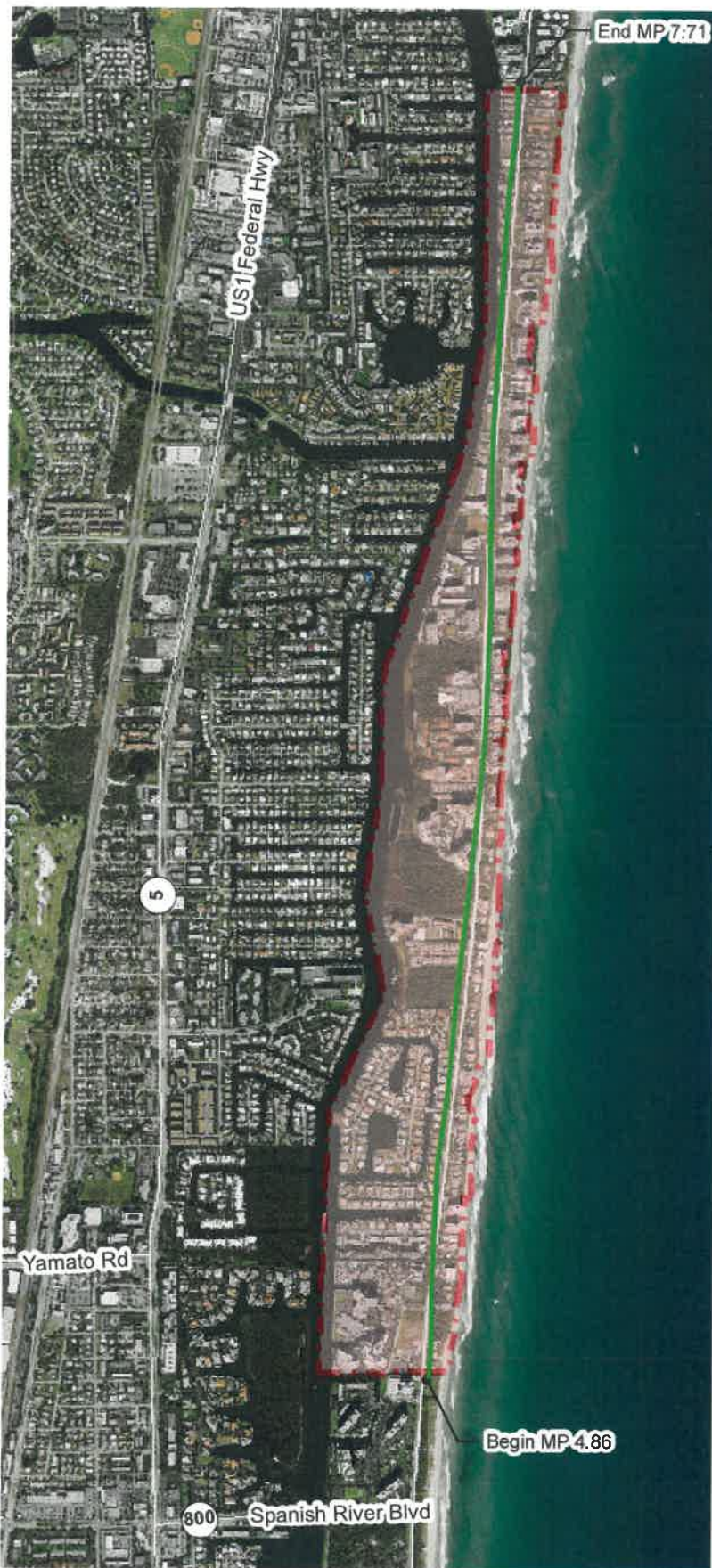
**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT A

TOWN OF HIGHLAND BEACH

LANDSCAPE MAINTENANCE LIMITS GRAPHIC

***See Attached Graphic of State Road(s) to be maintained within the limits of the
Town of Highland Beach***



Legend

-  Highland Beach City Limits
-  Inclusive Agreement

Town of Highland Beach

Inclusive Landscape Maintenance Memorandum of Agreement

Maintenance Boundary Graphic



**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

**EXHIBIT B
PENDING PERMIT PROJECTS
LANDSCAPE AGREEMENT(S)**

PERMIT PROJECTS DESCRIPTION:

Permit 2016-L-496-0014

4111 S. Ocean Drive
State Road A1A (S. Ocean Boulevard) from (M.P. 5.46) to (M.P. 5.665)

Permit 2016-A-496-0093 and 2016-L-496-0015

2624 South Ocean Boulevard
State Road A1A (S. Ocean Boulevard) from (M.P. 7.327) to (M.P. 7.342)

Permit 2017-L-496-0001

2445 S. Ocean Boulevard
State Road A1A (S. Ocean Boulevard) from (M.P. 7.513) to (M.P. 7.538)

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

**EXHIBIT C
PENDING PERMIT PROJECT
LANDSCAPE IMPROVEMENT PLANS**

Please see attached plans by:

Permit Projects Plans

Permit 2016-L-496-0014

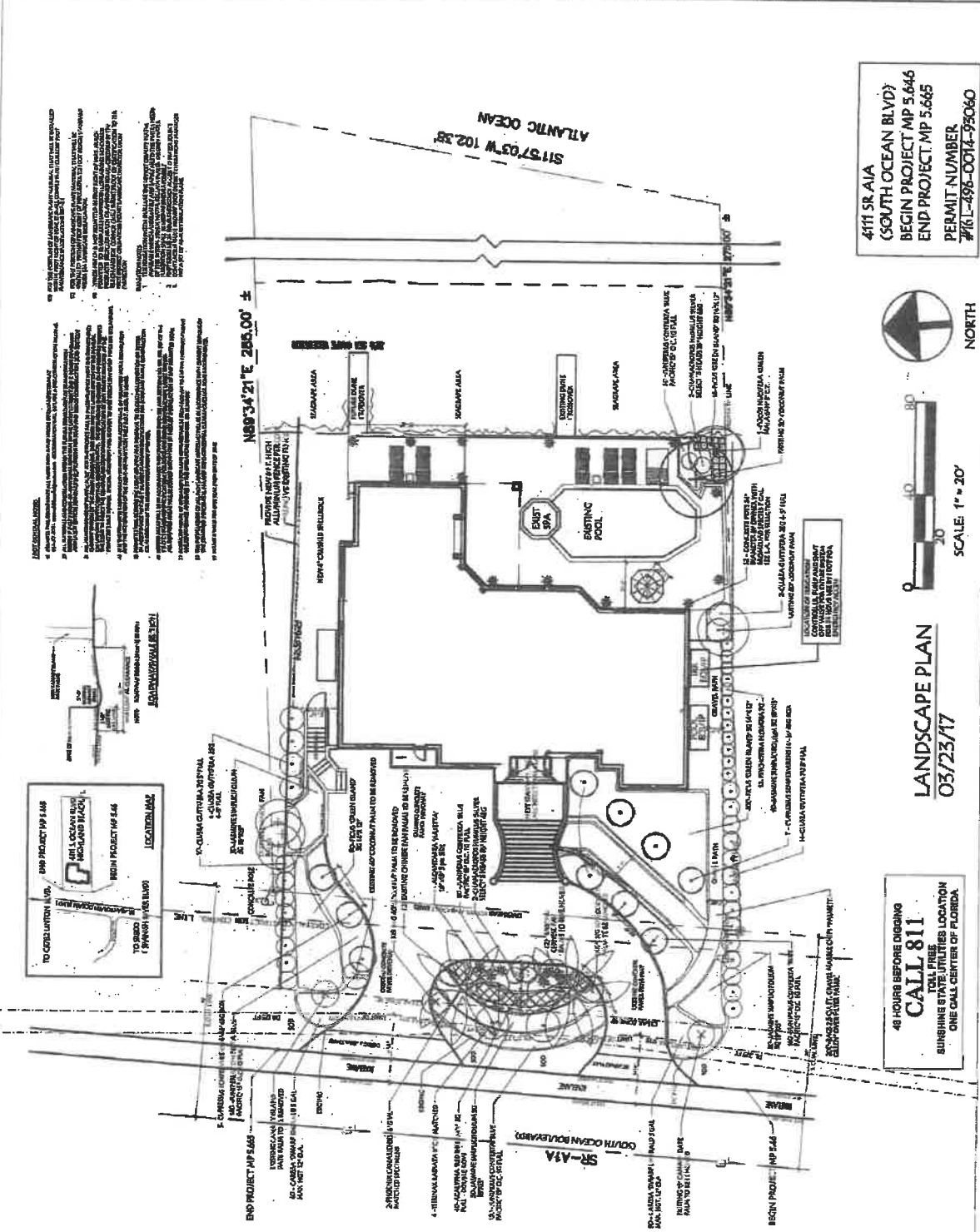
*Romanski Residence
4111 S. Ocean Drive
State Road A1A (S. Ocean Boulevard) from (M.P. 5.46) to (M.P. 5.665)
Peter Strelkow, LA
HS2G, Inc., Landscape Architecture
Date: March 23, 2017
Sheet L-1

Permit 2016-A-496-0093 and 2016-L-496-0015

*Ogilbee Residence
2624 South Ocean Boulevard
State Road A1A (S. Ocean Boulevard) from (M.P. 7.327) to (M.P. 7.342)
Louis Vlahos, LA
Majestic View Landscape Architects
Date: March 3, 2017
Sheets CO- 1 & 2, LP- 1 to 5 & IR – 1 & 2

Permit 2017-L-496-0001

*Hamister Residence
2445 S. Ocean Boulevard
State Road A1A (S. Ocean Boulevard) from (M.P. 7.513) to (M.P. 7.538)
Krent L. Wieland, LA
KWD Landacape Architecture
Date: May 4, 2017
Sheets L – 1 to 4



4111 SR A1A (SOUTH OCEAN BLVD)
BEGIN PROJECT MP 5.646
END PROJECT MP 5.665
PERMIT NUMBER
#16L-498-0014-98060

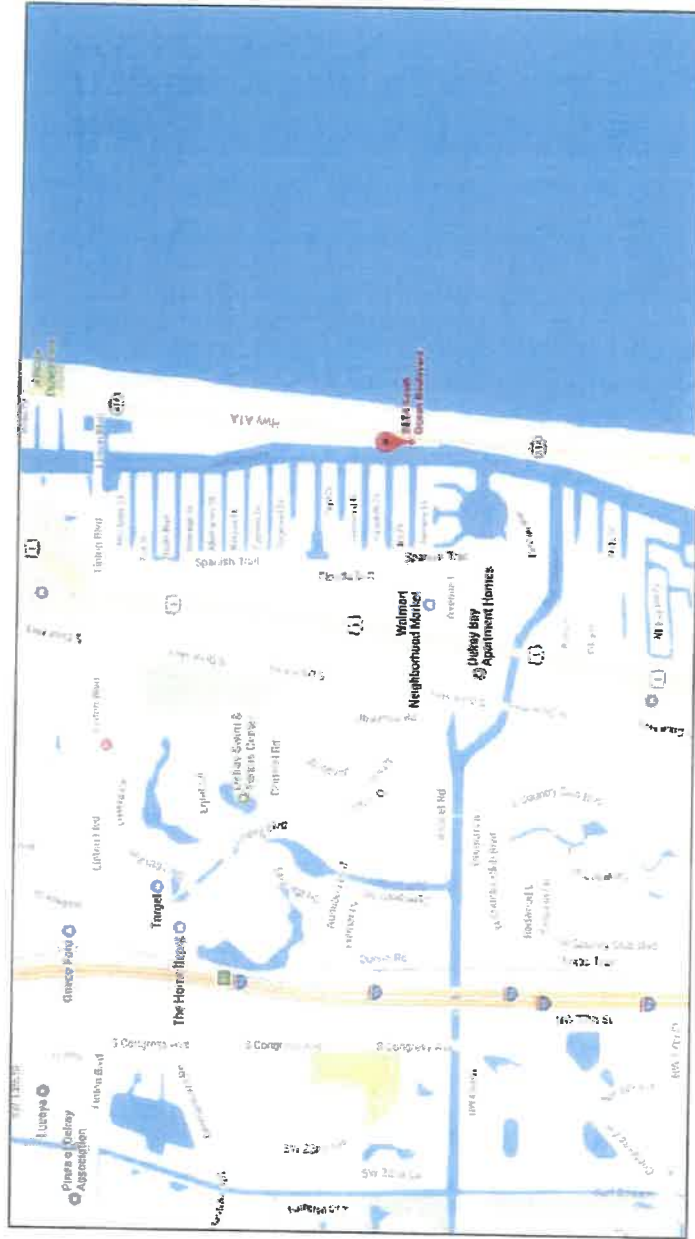
LANDSCAPE PLAN
03/23/17

SCALE: 1" = 20'

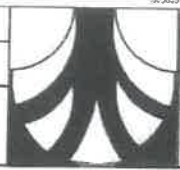
48 HOURS BEFORE DIGGING
CALL 811
 BUSHING STAKE THE LOCATION
 ONE CALL CENTER OF FLORIDA

F.D.O.T. SUBMITTAL DOCUMENTS

2624 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FLORIDA
FDOT PERMIT NO. 16L-496-0015-83060



MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architecture - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33466
Phone: 561-752-9835 Fax: (561) 752-4110



REV. NO. # 1
DATE 03.05.17

JOB NO.:

DRAWN BY: LV

DATE: 02.08.17

SCALE: NTS

SHEET NO.
CO-1

F.D.O.T. GENERAL NOTES

- All materials and construction within the Florida Department of Transportation Design (F.D.O.T.) Right-of-way shall conform to the latest edition F.D.O.T. Design Standards & latest edition Standard Specifications for Road and Bridge Construction 2016.
 - Contractor shall repair any and all damage done to FDOT property during demolition, relocation &/or installation activities at his sole expense.
 - Ownership of all suitable excavated materials, as determined by the Department, shall remain in the Department until a final acceptance of the permitted project is fulfilled. Excavated materials shall be hauled by the Permittee, at their cost & expense from the site to the Palm Beach Operations Center or stockpiled in those areas as directed by the Department, including asphalt millings.
 - Maintenance of Traffic M.O.T. for this project will comply with the FDOT Standard Index (800 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). Special attention will be given to FDOT Design Standard Index 611, 612, 613, and 660.
 - It is the Permittee's responsibility to obtain final acceptance of permitted work (completed) and the restoration of the Right-of-way from the FDOT prior to usage. Permittee will restore the Right-of-way as a minimum to its original condition or better in accordance with FDOT's latest Standard Specifications for Road & Bridge Construction or as directed by the Resident Operations Engineer.
 - Sodded areas will be in accordance with Standard Index 105 and sections 162, 981, 982, 983, 987 of the FDOT's Standard Specifications and Bridge Construction, latest edition 2016. All disturbed areas will be sodded within one (1) week of installation of said permitted work.
 - For the portion of landscape plant material that will be installed within the FDOT Right of Way landscape installation shall comply w/ current FDOT Maintenance Specifications 580-2.1. Online Reference: <http://www.dot.state.fl.us/transportation/maintenance/2016/02/16/0544.pdf>
 - For the portion of landscape plant material that will be installed within the FDOT Right of Way refer to FDOT Design Standards Index 644 Landscape Installation. Online Reference: <http://www.dot.state.fl.us/transportation/2016/02/16/0544.pdf>
 - Architectural Fountains Installation for sidewalks and/or driveways within FDOT Right of Way shall comply with current FDOT Standards Specifications 628. Online Reference: <http://www.dot.state.fl.us/transportation/maintenance/2016/02/16/0544.pdf>
 - Restriated hours of operation will be from 8:00am-3:30pm, (Monday-Friday), unless otherwise approved by the Operations Engineer, or assignee.
 - Permittee will coordinate all work with David Moore of Transfield Services at 954-317-8044. dmoores@transfieldusa.com. Coordination will include a Pre-Construction meeting.
- PERMITTEE: PLEASE NOTE:
- Permittee's contractors that are performing permitted work activities shall provide the FDOT (Permit Office) proof of a proper state contractor's license and certificate of liability insurance prior to any commencement of permitted work.
 - The installation of all new landscape materials will be in accordance with current editions 2016 of the Standard Indexes #546, 544 and 700 (horizontal clearance/clear zone requirements).
 - Permittee will provide the FDOT with certified "As-Built" plans prior to final

MAINTENANCE AGREEMENT NOTES

- Any non-standard component specified on FDOT right of way in addition to trees and soil such as planting shrubs, groundcover, hardscape, and/or an irrigation system requires an executed Maintenance Memorandum of Agreement (MMOA) prior to final permit approval for this project. Please submit MOOA documents with next submittal and contact Mary Ann Fienobor (MaryAnn.Fienobor@dot.state.fl.us - 904-677-7897) for the MOOA process and submittal requirements.

F.D.O.T. SAFETY NOTES

- Design speed for South Ocean Blvd. SR-A1A (South Ocean Blvd.) is indicated as 35 MPH.
- Clear Sight Limits is indicated on plans per FDOT Design Standard Index 546. Reference: <http://www.dot.state.fl.us/transportation/2016/02/16/0544.pdf>

F.D.O.T. PLANTING NOTES

- Landscape installation shall comply with current FDOT Standard Specifications 580. Reference: <http://www.dot.state.fl.us/transportation/maintenance/2016/02/16/0544.pdf>
- Planting details use FDOT Standard Index 644 Details. Online Reference: <http://www.dot.state.fl.us/transportation/2016/02/16/0544.pdf>
- Sod areas are existing and proposed as part of this project.
- Sodded areas will be in accordance with Standard Index 105 and sections 162, 575, 981, 982, 983, 987 of the Department's Standard Specifications for Road and Bridge Construction, latest edition. All disturbed areas will be sodded within one (1) week of installation of said permitted work.

F.D.O.T. IRRIGATION NOTES

- The Irrigation system shall use the lowest quality water available which adequately and safely meets the water needs of the system. Storm water, reclean water, or grey water irrigation shall be used whenever possible.
- Irrigation and its water source must be indicated for proposed landscapes. Irrigation contractor will provide a built Irrigation Plan prior to final inspection.
- COOT requires 24 hour emergency access to water source.
- Irrigation plan need to indicate water connection points and electrical connection for proposed controllers and pumps.
- Verify that above-ground irrigation items such as backflow preventers, pumps and controllers are not located within the Horizontal Clearance Zone.
- Contractor shall provide FDOT District Operations Manager with a set of "As-Built" irrigation plans.

DISCLAIMER

- The Landscape Architects plans and calculation are based on information provided by the Surveyor, Civil Engineer and Architect. See Engineering Plans for any roadway & driveway construction, grading & drainage, utilities, etc. The Landscape Plans are solely for approval of landscape and irrigation improvements and their relationship w/ exist elements within the ROW, required DOT Sight Lines and FPL, Right Tree Right Place requirements.

FDOT PERMIT NO. 16L-496-0015-93060



MAJESTIC VIEWS LANDSCAPE ARCHITECTS
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33435
 Phone: (561) 724-9333 Fax: (561) 724-1110

OGILBEE RESIDENCE
 2524 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL
 D.O.T. LANDSCAPE PLAN

LOUIS BULLS VLANDS
 LANDSCAPE ARCHITECT
 #6686677
 LC #260000518

REV. NO. DATE
 1 03.03.17

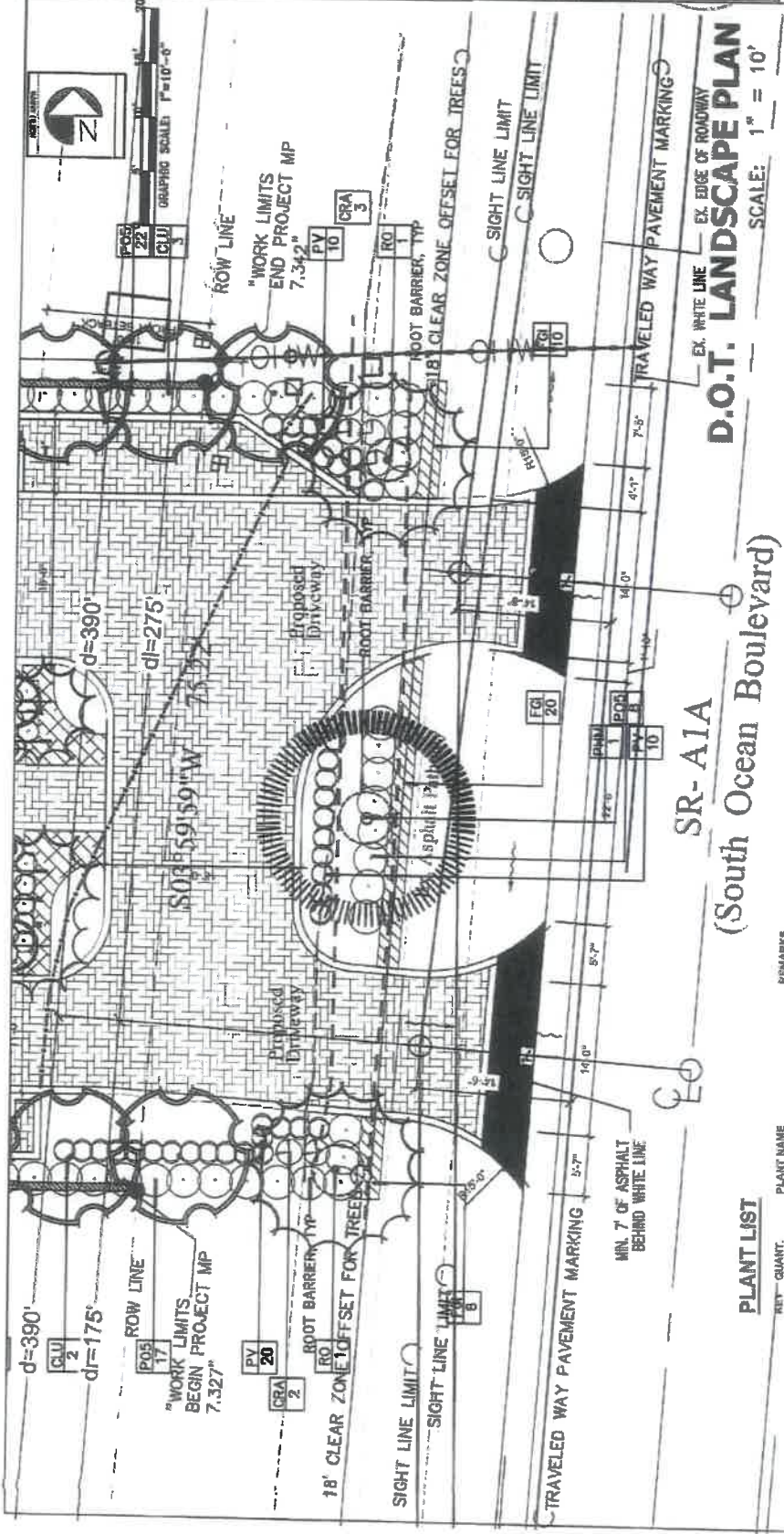
JOB NO:

DRAWN BY: LY

DATE: 02.08.17

SCALE: 1" = 10'

SHEET NO.
 LP-1



D.O.T. LANDSCAPE PLAN
 SR-A1A
 (South Ocean Boulevard)
 SCALE: 1" = 10'

GENERAL PLANTING NOTES

- All planting notes to the Florida #1 grade or better, as indicated by "grades and standards for nursery plants", part 1 and part II (2016), State of Florida, Department of Agriculture, Tallahassee.
- All prohibited plant species shall be indicated from the site.
- All plant material to be handled and planted in accordance with standard nursery practices.
- All plant material to be guaranteed for a period of ninety (90) days from date of installation.
- For planting beds to receive three (3) inches of mulch, recycled bark or other mulch, type "B", or better.
- All planting areas must be irrigated to provide 100% coverage & 50% overlap by an automatic irrigation water system installed by certified Irrigation.
- Soil and irrigation will be provided within all the unshaded areas including the R.O.W.
- All mechanical equipment must be screened on these sites with hedge, solid fence or wall to a height minimum of 6' above the lawn.
- The Landscaping and Irrigation should be focused 48 hours prior to commencement of landscape construction.
- 1-800-454-4778 SUNSHINE STATE ONE CALL FOR FLORIDA No. 11011018
- The general contractor is responsible for rough grade within two-three (2-3) inches of final grade.
- In case of unforeseen, the landscape plan takes precedence over the plan set.
- All existing trees to remain will be staked, chained and protected with an appropriate construction barrier.
- Minimum clearance of 15 ft. separates all trees from pole lights and overhead utility lines.
- Minimum clearance of 15 ft. separates all trees from unobstructed visibility within 2' and 6.5' above pavement level.

PLANT LIST

PLANT NAME	REMARKS
12M-FOA, RCT, 8' D, full	
4-50A, RCT, match	
20DA, 12CT, full	
18-22CA, 8' SW, full	
19CA, 10CT, 8' SL, full	
18DA, 10CT, DBL, full	
18DA, 10CT, DBL, full	
18DA, 8CT, DBL, full	
4-50A, milk, full	
9 GAL, 3' CA, full	
7 GAL, 3' CA, 24' CC, full	
10 GAL, 0' CA, 18' CA, full	
3 GAL, 30' DA, 24' CA, full	
5 GAL, 14' DA, 24' CC, full	
3 GAL, 14' DA, 18' CC, full	
3 GAL, 14' CA, 18' CC, full	
3 GAL, 14' CA, 30' CC, full	
36AL, 12 CA, 17' CC, full	
3Q FT, full	

PLANT LIST

NET QUANT.	PLANT NAME	REMARKS
8	Quercus Roseum/Pilch Apple	
4	Garcinia Spicatali/Garcinia Tree	
1	Phoenix/Melipodium/Dato Palm	
1	Yucca filamentosa/Palm	
1	Wax Palm	
1	Woolly Yucca/Boissier Palm	
1	Yucca filamentosa/Palm	
2	Rhaphis Excelsa/Lany Palm	
2	Albizia/Callitriche/Coffinbush/Albizia	
10	Podocarpus Neri/Weed Podocarpus	
47	Podocarpus Neri/Weed Podocarpus	
3	Podocarpus Neri/Weed Podocarpus	
6	Tibouchina/Divi-divi/Croton	
30	Podocarpus Neri/Weed Podocarpus	
30	Podocarpus Neri/Weed Podocarpus	
30	Podocarpus Neri/Weed Podocarpus	
73	Podocarpus Neri/Weed Podocarpus	
36	Podocarpus Neri/Weed Podocarpus	
SOD as req'd	Zoysia tenuifolia/Pyrosetal Zoysia	



FDOT PERMIT NO. 16L-496-0015-93060

GENERAL NOTES:


REQUIRED NOTES FOR LANDSCAPE PLANS

- All the plant material shall be Florida #1 or better, as set forth by the current edition of the Florida Department of Agriculture grades and standards for nursery plants.
- All plantings shall be done in accordance with municipal codes and use some horticultural practices, as provided by the International Society of Arboriculture (ISA). All plants shall be installed so that the top of the root ball remains even with the soil grade. All trees and palms are to be banded with water at the time of installation to eliminate any air pockets. Trees and palms shall be properly banded and/or staked at the time of planting as per detail. Stakes and braces are to remain for a minimum of 12 months. The Contractor is responsible for the maintenance and removal of stakes and braces after a 12-month period. When applicable, existing trees to be saved should be banded prior to the construction as per detail. Protected areas shall remain clear of construction debris, vehicles, storage of materials and chemicals, etc., and barricades are to remain until final job acceptance. The Contractor is responsible for the maintenance and removal of the barricades.
- The project's Landscape Contractor shall contact the Town of Highland Beach Landscape Inspector to schedule a Pre-Construction Meeting prior to the landscape installation. Landscape and Irrigation permits are required prior to the issuance of any commercial (i.e., non-residential) building permits. For residential projects, landscape and irrigation permits must be issued prior to the commencement of any landscaping installation and the work must be approved through a Final Landscape Field Inspection, prior to the issuance of a Final Certificate of Occupancy (FCO) for the entire project. Tree Relocation/Removal permits, if necessary, are required prior to the issuance of any building permits.
- Planting soil shall be a weed-free and debris-free 60/40 mix, to be mixed with existing soil, free from rocks and debris, and backfilled into planting pits by washing in.
 - Shrubs shall receive 6" of planting soil around the root ball.
 - Trees shall receive 12" of planting soil around the root ball.
 - Sodded areas shall receive 2" of planting soil beneath the sod.
 - All arid plants are to be backfilled with sand.
- All landscape islands in parking lots and around buildings shall be excavated to a depth of 3" and backfilled with weed- and debris-free 60/40 planting soil, to the top of the curb.
- All trees and palms in sodded areas shall have a minimum of 26" in diameter ring, covered with a 3" layer of mulch over the surface of the root ball and to avoid touching the crown of the trunk. Cover the entire hedge and shrub beds with a 3" layer of mulch. Avoid piling around the trunk areas. Pine trees shall have pine needles mulch covering all trees in groupings. Where planting areas include a catch basin, install erosion control matting (or per manufacturer's specs) 25' from the inner side failure to install shrubs and apply 3" layer of mulch. Mulch shall be Grade A, weed-free, *Erica/Myrica* or *Melaleuca*.
- All landscape material shall maintain clearances around all fire hydrants, check valves, backflow preventions, Fire Department Equipment, etc., of at least 7' in the front and on the sides and 4' in the rear.
- All shade trees shall be planted a minimum of 15' clearance from light poles; and may be 7'-6" away for small trees and palms only.
- Site preparation shall include the eradication and removal of any exotic nuisance vegetation, weeds, grasses and the clean-up of any dead material, debris and rubbish.
- All synthetic banding, synthetic string/cords or wire baskets shall be removed before any trees are planted. All synthetic rope (i.e. *roping rope, nursery rope*) shall be removed from the trunks, branches, etc. before inspection. The top 1/3 of any natural turp shall be removed or bucked into the planting hole, before the trees are backfilled.
- All ground cover requires 75% coverage at the time of planting and 100% within 3 months of installation.
- All trees installed within 6' of curbs shall be installed with root barriers.
- Substitutions of plant material shall be permitted only after written approval of the Landscape Architect and the Town of Highland Beach Landscape Inspector. For any substitutions of plant material within the SIK-ALA right of way will also need written approval by the FDOT District Operations Manager.
- All owners of the land or their agents shall be responsible for the maintenance of all landscaping pursuant to LDC Sections 901.14-901.15.
- All plant material shall be guaranteed for a period of 12 months after final inspection by the Town of Highland Beach Landscape Inspector and the owner's acceptance.

- All landscaped areas will be provided with a 100% irrigation coverage, 50% overlap, from a fully automatic irrigation system with a rain sensor shut-off, and pump and rust control and rust inhibitor devices. Adjust the system to avoid overspray onto structures or paving. Preserved ecological communities shall not be irrigated. All watering procedures shall conform to restrictions and regulations of the South Florida Water Management District and local watering restrictions. Xeriscaping landscape principles shall be applied in all sites as specified in the South Florida Water Management District *Xeriscaping Plant Guide II*, updated as required.
- The Contractor is required to submit certified as-built of the landscape to the Engineering Services Department for review and approval. Prior to planting the trees, the as-builts must include the design elevations and the design elevations, taken at least every 50' of the berm. The right-of-way lines, property lines and landscape buffer, etc., must be clearly shown on the as-built plan. Cross-sections must be provided at least every 50' of the berm and must indicate the slope, width and height of the berm and also label the right-of-way line, buffer width and property line. No sod or reseed/peaks shall be placed on the berm until the Engineering Services Department approves the as-built.
- The Landscape Contractor shall be aware of the location of all easements and utilities above and below the ground and shall call for Utility Statement forty-eight (48) hours before any digging operations begin. All plant pits located in the easements shall be hand dug. The Landscape Contractor shall repair all the damage to the underground utilities caused by digging, at no cost to the owner.
- All trees will be located a minimum of 4' from underground utility lines.
- The Landscape Contractor shall verify estimated quantities of the material shown on the drawing prior to submitting his bid. The City-approved Planting Plan shall take precedence over the Plant I, II.
- All plant material symbols shown on the Landscape Plan shall be considered diagrammatic and should be adjusted in the field by the Contractor to avoid all utilities and any other obstructions.
- All areas disturbed during the construction shall be sodded with *St. Augustine "Platinum"*, unless otherwise noted, i.e., sodded, paved.
- All sizes shown for the plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific steps or other as noted on the plan shall also be required for acceptance. All the trees shall be shrub-crank, unless otherwise noted on the plans. All Royal Palms must be *Florida Fancy*.
- The scope of work includes all plants, materials, equipment and labor necessary to fulfill these plans and specifications. All costs associated with staking, guying, banded, fertilizers, overwatering, top-soil layer, mulch, water source, watering, pruning, removal of excess excavation material and work-site clean-up, are to be included in the price. Unless otherwise indicated, any other requirements necessary for complete acceptance of the job shall be considered incidental to the work involved. Pruning of all trees shall meet standards set forth by the *National Arborist Association, Inc.*
- All mechanical equipment, air conditioning units, generators, irrigation pumps, FPL transformers, pool pumps, etc., must be removed to three (3) sides with landscaping; if a fence or wall is also required, then the landscaping shall be installed on the outside of the fence/wall. Plant material shall be to the height of each above ground element, with branches touching each other.
- Trees and shrubs shall be fertilized with a general purpose fertilizer with a 1:1:1 ratio of Nitrogen, Phosphorous, and Potassium Fertilizer. Application rates are to be according to manufacturer's recommendations for installation of newly-established plant material. Palms shall be fertilized with a palm special fertilizer that is 100% Organic, a 2:1:1 ratio, containing Nitrogen, Phosphorous, and Potassium as major elements and containing minor elements, including Iron, Manganese, Magnesium, and Zinc. Application shall be according to the manufacturer's specifications for newly-established plant material. Areas to be sodded shall be fertilized with a 100% Organic General Purpose Fertilizer at a ratio of 1:1:1, containing Nitrogen, Phosphorous, and Potassium analysis with Iron, Magnesium and Manganese as minor elements. Applications shall be at the rate of 1 pound of actual Nitrogen per one thousand square feet and shall be fully incorporated into the top two inches of soil. There will be no fertilization during the winter months of December, January, and February.
- The Landscape Contractor shall be responsible for the maintenance of the landscaped area until the final job has been issued. The owner or his agent shall do watering to keep the plant root masses and planting soil uniformly moist to maintain a healthy growing condition until final job acceptance. The plant beds shall be free of debris and mowed. Sod shall be maintained between 3" and 5".
- Final acceptance of this planting plan will not be given until:
 - A final walk-through by the Landscape Architect in performed (for commercial properties only).
 - Completion of all punch list items.
 - Submission of a written guarantee has been obtained and reviewed.
 - All FDOT Standards have been met and FDOT acceptance has been issued.

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architecture - Construction Management
4711 Cypress Grove South, Boynton Beach, FL 33436
Phone/Fax: 561-753-1110

OGLBEE RESIDENCE
2834 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL
D.O.T. LANDSCAPE SPECIFICATIONS



REV. NO.	DATE
# 1	03.03.17
# 2	03.24.17

JOB NO:

DRAWN BY: LV

DATE: 02.06.17

SCALE: NTS

SHEET NO.

LP-2

FDOT PERMIT NO. 16L-496-0015-63060

DO NOT CUT LEADER PRUNE DAMAGED OR DEAD TOPS WITH RUBBER HOSE TO BE REMOVED BY THE LANDSCAPE ARCHITECT

DOUBLE STRAND #12 GAUGE WIRE WITH 3/4" RUBBER HOSE 3 PER TREE AT EQUAL SPACING.

MULCH, 3" DEEP

3" BASIN FOR WATERING.

1/2"x2" FLUORESCENT ORANGE MARKER

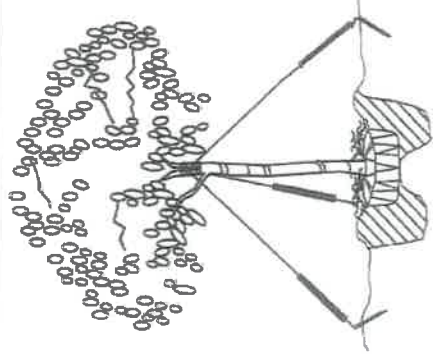
*SET TRUNK FLAIR OR TOP ROOT 0'-2" ABOVE SURROUNDING FINISH GRADE UNTIE BURLAP 1/3 FROM BASE OF TRUNK/BALL TRIM 1/3 FROM CROWN. WIRE BASKETS REMOVE 1/2 FROM TOP OF BALL AND ALL SYNTHETIC BURLAP TO BE REMOVED COMPLETELY

2"x2"x2" STAKE TOP TO BE 2" MIN BELOW FINISH GRADE

BACKFILL WITH PLANTING SOIL.

SET ROOTBALL ON UNDISTURBED SOIL.

*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS

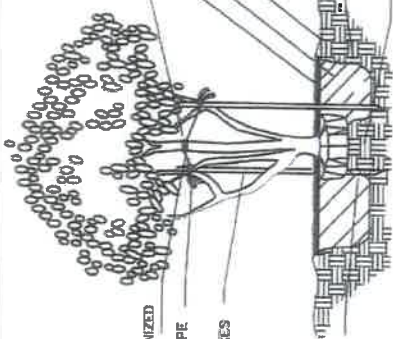


LARGE TREE
(2" cal. and over) PLANTING DETAIL

DBL. STRAND NO.12 GALVANIZED CUI WIRE (MIN. 3 PER TREE) RED FLAGGING TAPE ON BRACE

2"x2"x0" STAKES (3 PER TREE)

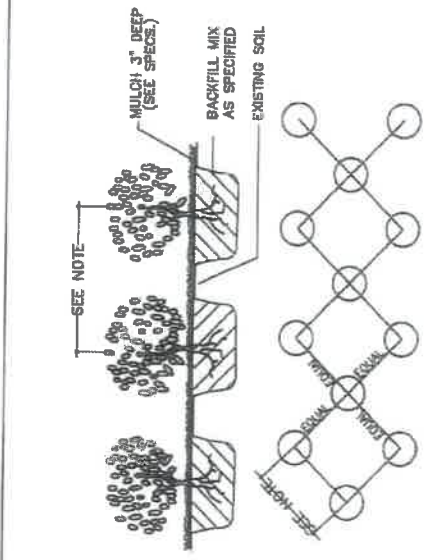
STAKES TO BE 18" BELOW PIT IN EXISTING SUBGRADE



*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS

*SET TRUNK FLAIR OR TOP ROOT 0'-2" ABOVE SURROUNDING FINISH GRADE. UNTIE BURLAP 1/3 FROM BASE OF TRUNK/BALL TRIM 1/3 FROM CROWN. WIRE BASKETS REMOVE 1/2 FROM TOP OF BALL AND ALL SYNTHETIC BURLAP TO BE REMOVED COMPLETELY

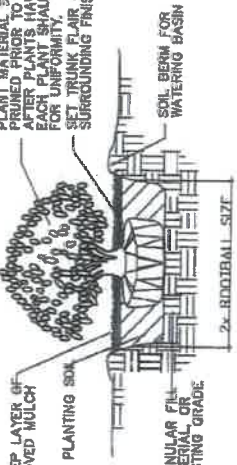
MULTI- TRUNK AND SMALL TREE
(2" cal. and under) PLANTING DETAIL



NOTE: DISTANCE BETWEEN PLANTS SHOULD BE FAR ENOUGH TO ALLOW PLANTS TO REACH NATURE SIZE WITHOUT INTERFERING WITH GROWTH OF ADJACENT PLANT MATERIALS. DISTANCE TO CENTERLINE WILL VARY ACCORDING TO SPECIES AND HABITAT OF GROWTH SO THAT NATURE PLANTS WILL NOT OVER LAP ONTO SIDE SIDEWALK STRUCTURES, PAVED AREAS, ETC.

SHRUB/ GROUNDCOVER SPACING DETAIL

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANT MATERIAL IS INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY. SET TRUNK FLAIR OR TOP ROOT 0'-1" ABOVE SURROUNDING FINISH GRADE.



SHRUB PLANTING DETAIL

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architects - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33435
Phone: (561) 752-9835 Fax: (561) 752-4110

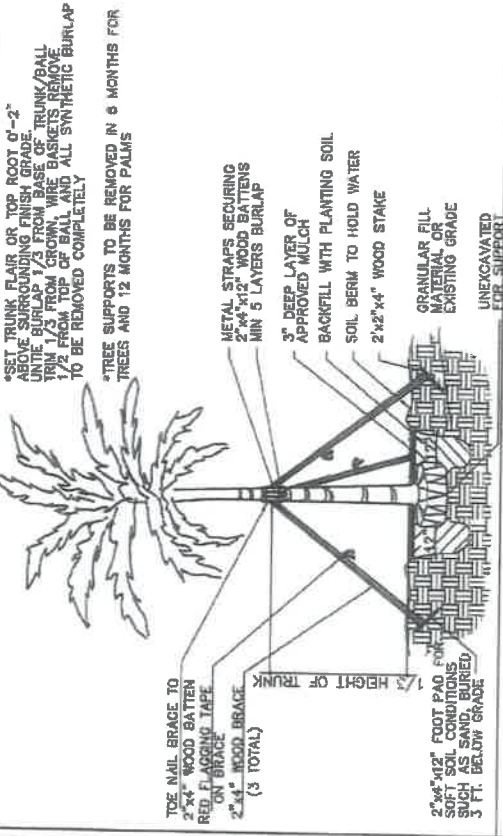
OGLBEE RESIDENCE
2524 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL
D.O.T. PLANTING DETAILS



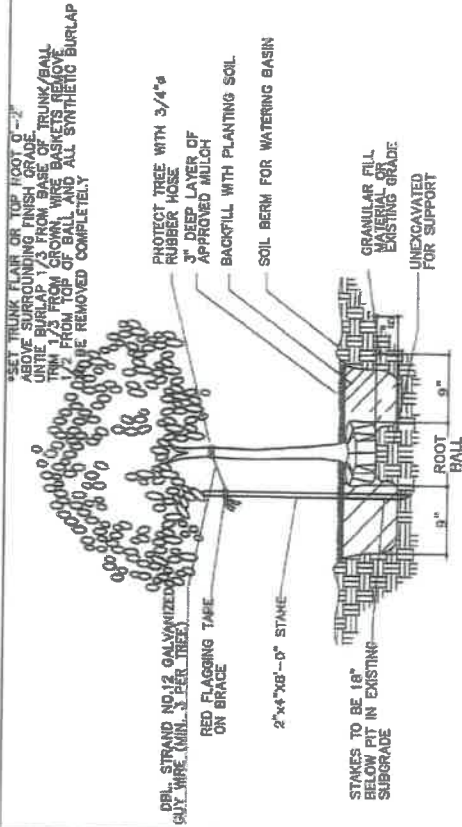
REV. NO.	DATE
# 1	03.03.17
JOB NO:	
DRAWN BY: LV	
DATE: 02.06.17	
SCALE: NTS	

SHEET NO.
LP-3

FDOT PERMIT NO. 161-496-0015-93060

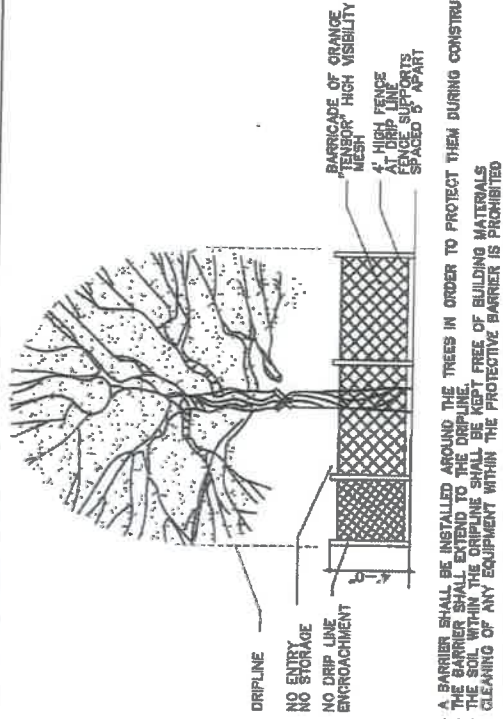


PALM PLANTING DETAIL



*TREE SUPPORTS TO BE REMOVED IN 6 MONTHS FOR TREES AND 12 MONTHS FOR PALMS

**SMALL TREE
(2" cal. and under) PLANTING DETAIL.**



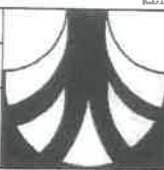
**TREE PRESERVATION
BARRICADE FENCING DETAIL**

*PLANTING HOLES TO BE 3 TIMES THE DIAMETER OF ROOT BALL AT THE SURFACE AND 2 TIMES THE DIAMETER OF ROOT BALL AT THE BOTTOM/DEPTH PER CITY OF WEST PALM BEACH REQUIREMENTS

- A BARRIER SHALL BE INSTALLED AROUND THE TREES IN ORDER TO PROTECT THEM DURING CONSTRUCTION
- THE BARRIER SHALL EXTEND TO THE DRIPLINE.
- THE SOIL WITHIN THE DRIPLINE SHALL BE KEPT FREE OF BUILDING MATERIALS
- CLEANING OF ANY EQUIPMENT WITHIN THE PROTECTIVE BARRIER IS PROHIBITED

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33466
 Phone: (561) 752-8835 Fax: (561) 752-1110

OGLBEE RESIDENCE
 3274 SOUTH OCEAN BOULEVARD, NIGHT AND BEACH, FL
 D.O.T. PLANTING DETAILS



REV. NO.	DATE
# 1	03.05.17
JOB NO.:	
DRAWN BY: LV	
DATE: 02.06.17	
SCALE: NTS	

SHEET NO.
LP-4

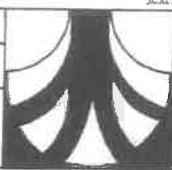


FDOT PERMIT NO. 16L-486-0015-93060

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33436
 Phone: (561) 728-8833 Fax: (561) 728-1170

OGLIBEE RESIDENCE
 2824 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL

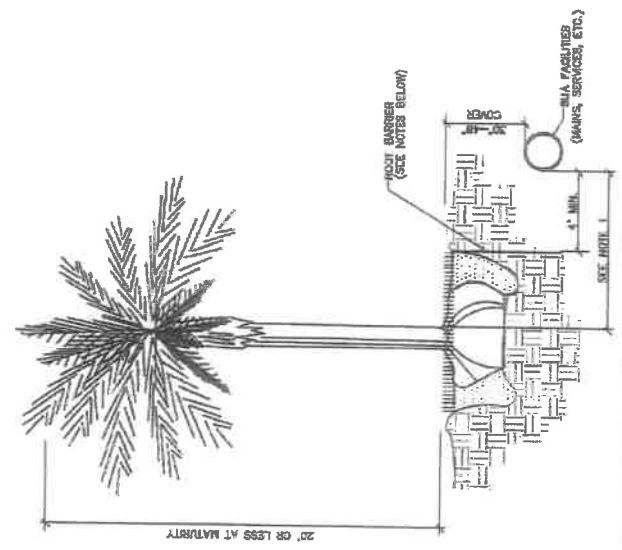
D.O.T. PLANTING DETAILS



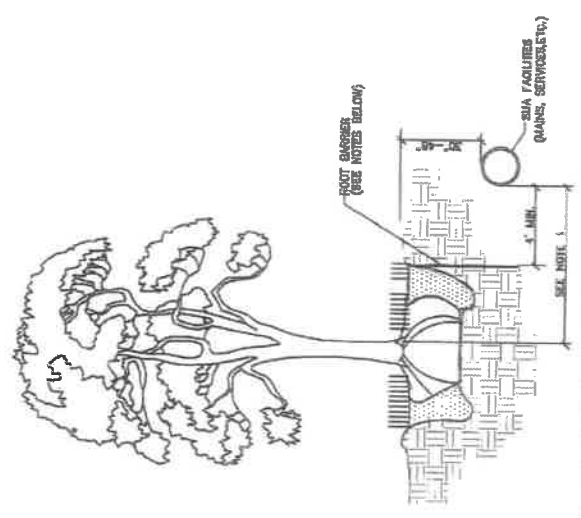
REV. NO. DATE
 # 1. 03.03.17

JOB NO:
 DRAWN BY: LV
 DATE: 02.06.17
 SCALE: NTS

SHEET NO.
LP-5



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEAWOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEAWOAST AND INSPECTED BY SEAWOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 30" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 3/4" PANELS MANUFACTURED BY GROWBARRIER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEAWOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEAWOAST AND INSPECTED BY SEAWOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 30" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 3/4" PANELS MANUFACTURED BY GROWBARRIER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 6. LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARCK AND SIMILAR SIZED SPECIES.

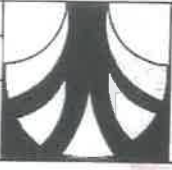
Typical Small Tree or Palm Tree with Root Barrier Typ. Canopy Tree with Root Barrier

FDOT PERMIT NO. 16L-496-0015-930660

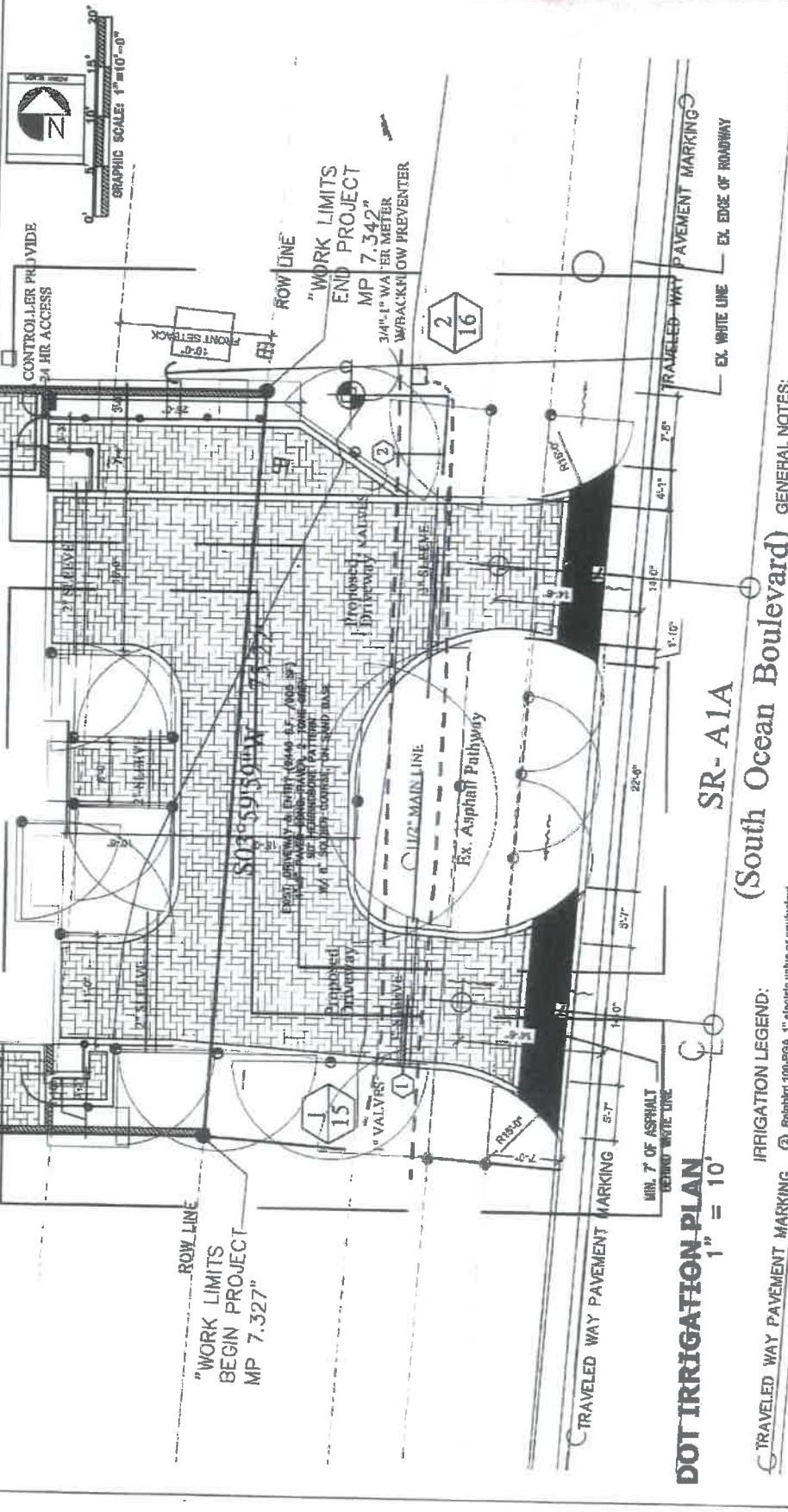
MAJESTIC VIEWS LANDSCAPE ARCHITECTS
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33435
 Phone: (561) 722-9835 Fax: (561) 252-4119

OGILBEE RESIDENCE
 2824 SOUTH OCEAN BOULEVARD, HIGHLAND BEACH, FL

DOT IRRIGATION PLAN



REV. NO.	DATE
# 1	03.03.17
JOB NO:	
DRAWN BY: LV	
DATE: 02.06.17	
SCALE: 1" = 10'	
SHEET NO.	
IR-1	



GENERAL NOTES:

All landscaped areas shall be provided with an automatic water supply system as approved through a local development permit. Proposed irrigation system is 70% wet/dry irrigation system clarifying use of city water as water source.

Irrigation contractor to provide seasonal operating schedule and average precipitation rates for each zone by system controller.

Normal precipitation rates for all hours within each valve circuit must be attached to within 20% of one another.

A regular irrigation maintenance schedule shall include but not be limited to checking, adjusting, and repairing irrigation equipment and resetting the automatic controller according to the section.

Irrigation system plus and specifications shall include but not be limited to testing and adjustment to achieve design specifications prior to completion of the system and acceptance by the owner's representative and the City. An as-built plan shall be submitted if different than irrigation plan.

FDOT PERMIT NO. 16L-496-0015-93060

IRRIGATION LEGEND:

① Rainbird 100-PGA, 1" electric valve or equivalent.

② Rainbird 100-PGA, 1" electric valve or equivalent.

③ Rainbird 100-PGA, 1" electric valve or equivalent.

④ Rainbird 100-PGA, 1" electric valve or equivalent.

⑤ Rainbird 100-PGA, 1" electric valve or equivalent.

⑥ Rainbird 100-PGA, 1" electric valve or equivalent.

⑦ Rainbird 100-PGA, 1" electric valve or equivalent.

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㊺ Rainbird 100-PGA, 1" electric valve or equivalent.

㊻ Rainbird 100-PGA, 1" electric valve or equivalent.

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㊿ Rainbird 100-PGA, 1" electric valve or equivalent.

DOT IRRIGATION PLAN
 1" = 10'

DOT IRRIGATION PLAN
 1" = 10'



IRRIGATION NOTES:

NOTES

Automatic Irrigation System
Water Demand Zone 3/4" water meter, 22-24 GPM @ 45-50 psi w/ backflow preventor/
vacuum breaker,
and ET manager, in-ground moisture sensing device

GENERAL

System shall be installed in accordance with local codes. Contract drawings and Contract specifications.
Irrigation design based on Majestic Views, dated 03.03.17. Contractor shall refer to the landscape plan to coordinate sprinkler location and pipe routing with new and existing landscaping.

The purpose of this irrigation plan is to show sprinkler locations for new locations for new landscaping. The Contractor considering the size of the source, the location and size of piping, and the size of existing valves shall zone system in the field.

Contractor shall adjust sprinkler locations to insure proper coverage in common areas between new and existing landscaping.

Irrigation contractor to provide 100% coverage with a 50% overlap and as built drawings.

Irrigation plan is for bid, permit purposes, and shall not be utilized as a construction document.

Irrigation contractor will provide shop drawings and product specifications (cut sheets) and installation documents, to the Landscape Architect for review, comment and approvals.

A licensed contractor who installs or performs work on an automatic landscape irrigation system must install system per manufacturer's specifications and test for the correct operation of each inhibiting or interrupting device or switch on the system. If such devices are not installed or are not functioning properly, the contractor must install new devices or repair the existing ones and insure that each is operating properly before completing other work on the system.

All contractors performing work on irrigation systems within the town shall be licensed or registered under F.S. ch. 489, and shall hold a municipally-issued license or business tax certificate that permits work on irrigation systems.

PIPING

Pipe shall be installed in accordance with local codes and pipe manufacturer's recommendations. Pipe routed under pavement and patio shall be sleeved in SCH 40 PVC. Contractor shall utilize existing sleeves.

Main line shall be scheduled 40 PVC.

All pipes shall be type 1120 PVC. Lateral sized 1" and larger shall be SDR 26, Class 160. Laterals sized 3/4" shall be SDR 21, Class 200.

Pipe shall be installed so backfill depths are maintained at 18" for the main line and all lateral routed under pavement, and at 12" for all other laterals.

Backfill shall be of suitable material free of rocks, stones, or other debris that would damage irrigation systems components.

SPRINKLERS

Sprinkler locations shall be adjusted for wind, landscaping and mounding to insure proper coverage with minimal undesirable overthrow, in order to prevent overthrow, low trajectory heads or low volume water distributing devices shall be used when irrigating confined areas. No more than ten percent of spray radius shall be allowed onto impervious areas.

Sprinkler heads irrigating lawns or other high water requirement landscapes areas shall be selected so that they are on a separate sector from those irrigating trees, shrubbery or other reduced water requirement areas.

Pop-up rotors Rainbird 5000-PRS series w/ adjustable nozzles or equivalent, 29'-50" radius.

Pop-up mistheads Rainbird 1800-SAM-P45 series w/ R-13-18 rotary nozzles or equivalent, 12'-24" radius. Shrub type mistheads shall be installed a uniform height of 6" above plant material and shall be located to be concealed from view and inaccessible from traffic.

Rainbird XPCN- Xerl PCN series nozzles, 2.5' & 4' 1/4, 1/2 or full spray on Xerl-pop 4'-6" pop-up or SCH 80 riser as required.

Rainbird Xerl Bubblers shall be installed on SCH 80 risers to the best height for the most effective irrigation of the plants to be watered. Bubblers are required for trees and palms.

All SCH 80 PVC risers shall be painted green to blend in with plant material.

All sprinklers located adjacent to pavement, walkways, patios, etc., shall be installed from the edge to minimize the chance of damage to vehicles, pedestrians and lawn maintenance personnel. Pop-up heads shall be installed in 6" and shrub type heads shall be installed in 16".

Adjustment features of sprinklers specified shall be utilized to insure proper coverage while minimizing overthrow.

VALVES

Rainbird 100-PGA 1" angle electric valve w/ pressure regulator or equivalent, with timer and rain sensor device.

WATER SOURCE

3/4" water meter, 22-24 GPM @ 45-50 psi w/ backflow preventor/ vacuum breaker, and ET manager in-ground moisture sensing device and pressure regulator as required and approved by City of Delray Beach. All connections and installation of backflow shall be made by a licensed plumber.

CONTROL SYSTEM

Rainbird ESP-MC series automatic outdoor controller will be exterior wall mount or equivalent w/ Rainbird ET-Manager in ground soil moisture sensor. Verify location of the sensor during periods of increased rainfall. Evapotranspiration-based (ET) controllers are recommended but optional on any automatic landscape irrigation system will be installed per manufacturer's specifications. All electrical connections to be made by a licensed electrician.

FLOW	PIPE DIAMETER (INCH)
0-3	3/8"
3-9	1/2"
10-16	3/4"
17-28	1"
27-40	1 1/4"
40-60	2"

Automatic underground irrigation with Rainbird ET-Manager in ground soil moisture sensor shall be designed and installed in compliance with the South Florida Building Code and city code requirements. The system shall provide a minimum coverage of 100% with 50% overlap.

MAJESTIC VIEWS LANDSCAPE ARCHITECTS
Landscape Architect - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33436
Phone: (561) 752-8855 Fax: (561) 752-1170

OGILBEE RESIDENCE
2824 SOUTH OCEAN BOULEVARD, HIGH AND BEACH PL.
GENERAL IRRIGATION SPECIFICATIONS

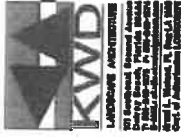


REV. NO.	DATE
# 1	03.03.17

JOB NO:
DRAWN BY: LV
DATE: 02.06.17
SCALE: NTS

SHEET NO.
IR-2

FDOT PERMIT NO. 16L-496-0015-83060



Harnister Residence
3445 S Ocean Boulevard
Hyland Beach, FL 33487

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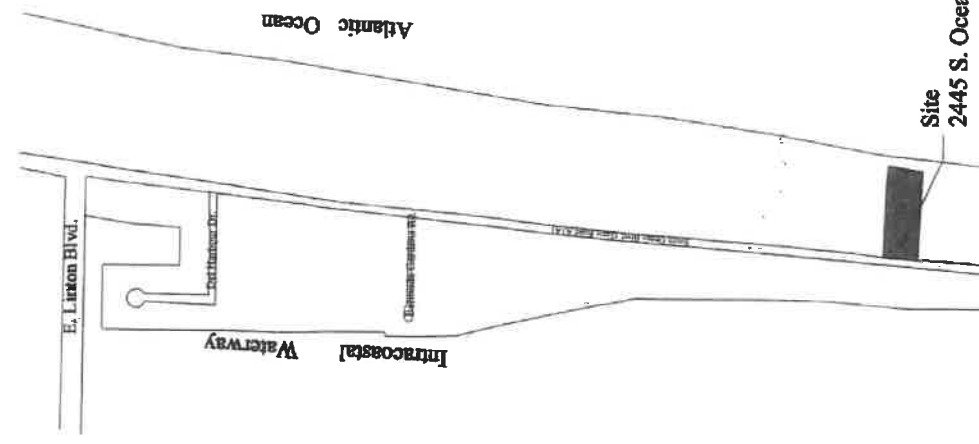
PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF FLORIDA
NO. 12000
KYLE W. HARNISTER
12000
12000
12000
12000

PROJECT NO.	12000
DATE	03/30/2017
SCALE	AS SHOWN
DATE	03/30/2017
SCALE	AS SHOWN
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DATE	03/30/2017
SCALE	AS SHOWN
DATE	03/30/2017
SCALE	AS SHOWN



FDOT Submission
03/30/2017

PROJECT ADDRESS: 3445 S OCEAN BLVD - HYLAND BEACH, FLORIDA



FOOT GENERAL NOTES

Note: It is the responsibility of the contractor to prepare a work area traffic control plan. Plan shall be reviewed by FDOT and the owner prior to start of construction.

All traffic control plans will be certified pursuant to be used during construction and be shown clearly on the work area prepared work area traffic control plan.

DOT is the responsibility of the contractor to control vehicles and pedestrian traffic in the work area.

42-inch-wide steel tubular pipe shall be used for all work area traffic control barriers. The barrier shall be placed and located to prevent entry into the work area.

A top-down view of the work area shall be provided to the contractor.

Contractor shall provide a site plan showing the location of the work area and the location of the barriers.

Contractor shall provide a site plan showing the location of the work area and the location of the barriers.

NOTE: CHECKS REQUIRED FOR
SERVICE PROJECT TO JUMP
7 LANE INVOICED

NOTES

Provision of all materials and work shall be in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.01, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.02.

All materials and construction within the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.01, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.02.

All materials and construction within the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.01, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.02.

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All materials and construction within the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.01, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2012 Edition, Section 709.02.

CAUTION: PLEASE NOTE

THE DRAWINGS AND NOTES ARE PREPARED BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

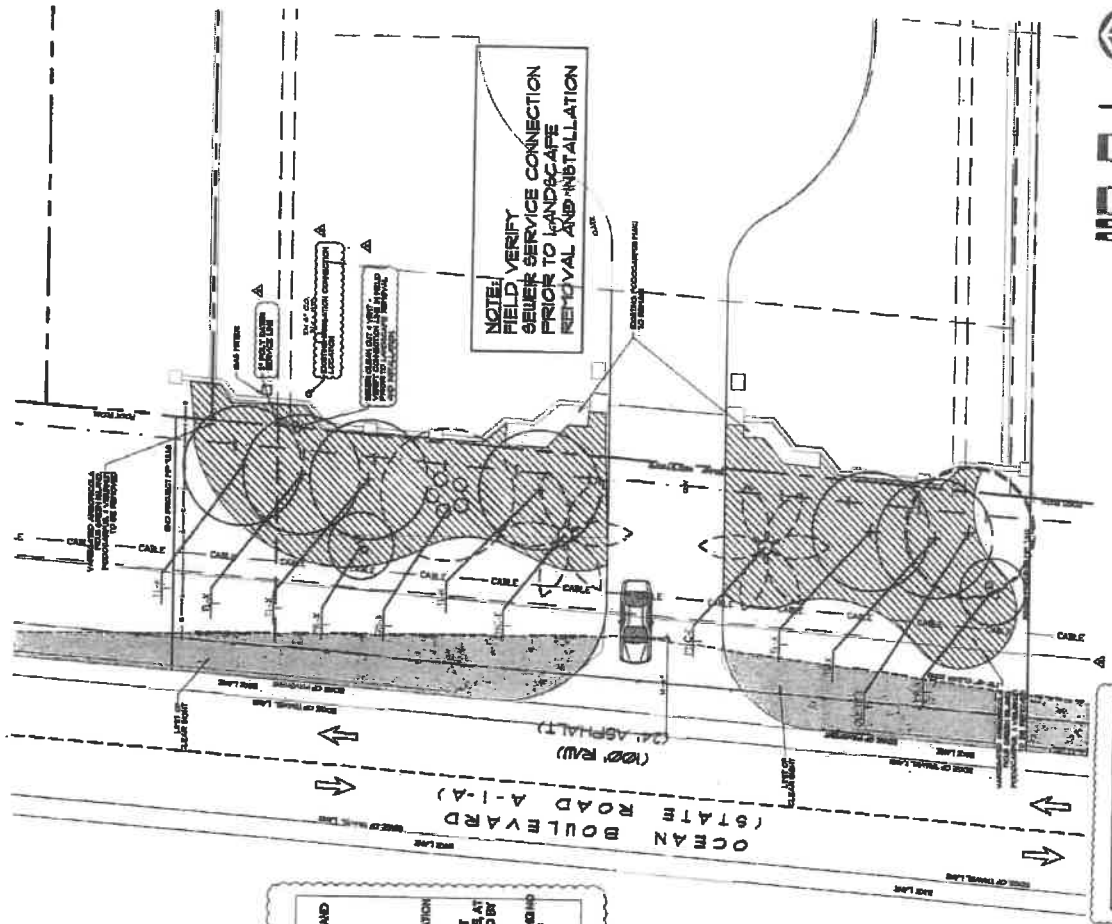
CAUTION: PLEASE NOTE

THE DRAWINGS AND NOTES ARE PREPARED BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

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PROFESSIONAL SEAL
STATE OF FLORIDA
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
NO. 12345
EXPIRES 12/31/2017

PROJECT TITLE
ROW Landscape Plans
Sheet
L-2



GRAPHIC SCALE
0 4 8 12 16 20
SCALE 1" = 8'-0"

NORTH

FDOT Submission
03/30/2017

PERMIT NUMBER: FL-485-0007-45000 HAMISTER RESIDENCE

PLANT SCHEDULE EXISTING LANDSCAPE TO BE REMOVED

PLANT	QUANTITY	REMARKS	DATE
1. 12" DB H. PALM	10	TO BE REMOVED	03/30/17
2. 18" DB H. PALM	5	TO BE REMOVED	03/30/17
3. 24" DB H. PALM	3	TO BE REMOVED	03/30/17
4. 30" DB H. PALM	2	TO BE REMOVED	03/30/17
5. 36" DB H. PALM	1	TO BE REMOVED	03/30/17
6. 42" DB H. PALM	1	TO BE REMOVED	03/30/17
7. 48" DB H. PALM	1	TO BE REMOVED	03/30/17
8. 54" DB H. PALM	1	TO BE REMOVED	03/30/17
9. 60" DB H. PALM	1	TO BE REMOVED	03/30/17
10. 66" DB H. PALM	1	TO BE REMOVED	03/30/17
11. 72" DB H. PALM	1	TO BE REMOVED	03/30/17
12. 78" DB H. PALM	1	TO BE REMOVED	03/30/17
13. 84" DB H. PALM	1	TO BE REMOVED	03/30/17
14. 90" DB H. PALM	1	TO BE REMOVED	03/30/17
15. 96" DB H. PALM	1	TO BE REMOVED	03/30/17
16. 102" DB H. PALM	1	TO BE REMOVED	03/30/17
17. 108" DB H. PALM	1	TO BE REMOVED	03/30/17
18. 114" DB H. PALM	1	TO BE REMOVED	03/30/17
19. 120" DB H. PALM	1	TO BE REMOVED	03/30/17
20. 126" DB H. PALM	1	TO BE REMOVED	03/30/17
21. 132" DB H. PALM	1	TO BE REMOVED	03/30/17
22. 138" DB H. PALM	1	TO BE REMOVED	03/30/17
23. 144" DB H. PALM	1	TO BE REMOVED	03/30/17
24. 150" DB H. PALM	1	TO BE REMOVED	03/30/17
25. 156" DB H. PALM	1	TO BE REMOVED	03/30/17
26. 162" DB H. PALM	1	TO BE REMOVED	03/30/17
27. 168" DB H. PALM	1	TO BE REMOVED	03/30/17
28. 174" DB H. PALM	1	TO BE REMOVED	03/30/17
29. 180" DB H. PALM	1	TO BE REMOVED	03/30/17
30. 186" DB H. PALM	1	TO BE REMOVED	03/30/17
31. 192" DB H. PALM	1	TO BE REMOVED	03/30/17
32. 198" DB H. PALM	1	TO BE REMOVED	03/30/17
33. 204" DB H. PALM	1	TO BE REMOVED	03/30/17
34. 210" DB H. PALM	1	TO BE REMOVED	03/30/17
35. 216" DB H. PALM	1	TO BE REMOVED	03/30/17
36. 222" DB H. PALM	1	TO BE REMOVED	03/30/17
37. 228" DB H. PALM	1	TO BE REMOVED	03/30/17
38. 234" DB H. PALM	1	TO BE REMOVED	03/30/17
39. 240" DB H. PALM	1	TO BE REMOVED	03/30/17
40. 246" DB H. PALM	1	TO BE REMOVED	03/30/17
41. 252" DB H. PALM	1	TO BE REMOVED	03/30/17
42. 258" DB H. PALM	1	TO BE REMOVED	03/30/17
43. 264" DB H. PALM	1	TO BE REMOVED	03/30/17
44. 270" DB H. PALM	1	TO BE REMOVED	03/30/17
45. 276" DB H. PALM	1	TO BE REMOVED	03/30/17
46. 282" DB H. PALM	1	TO BE REMOVED	03/30/17
47. 288" DB H. PALM	1	TO BE REMOVED	03/30/17
48. 294" DB H. PALM	1	TO BE REMOVED	03/30/17
49. 300" DB H. PALM	1	TO BE REMOVED	03/30/17
50. 306" DB H. PALM	1	TO BE REMOVED	03/30/17
51. 312" DB H. PALM	1	TO BE REMOVED	03/30/17
52. 318" DB H. PALM	1	TO BE REMOVED	03/30/17
53. 324" DB H. PALM	1	TO BE REMOVED	03/30/17
54. 330" DB H. PALM	1	TO BE REMOVED	03/30/17
55. 336" DB H. PALM	1	TO BE REMOVED	03/30/17
56. 342" DB H. PALM	1	TO BE REMOVED	03/30/17
57. 348" DB H. PALM	1	TO BE REMOVED	03/30/17
58. 354" DB H. PALM	1	TO BE REMOVED	03/30/17
59. 360" DB H. PALM	1	TO BE REMOVED	03/30/17
60. 366" DB H. PALM	1	TO BE REMOVED	03/30/17
61. 372" DB H. PALM	1	TO BE REMOVED	03/30/17
62. 378" DB H. PALM	1	TO BE REMOVED	03/30/17
63. 384" DB H. PALM	1	TO BE REMOVED	03/30/17
64. 390" DB H. PALM	1	TO BE REMOVED	03/30/17
65. 396" DB H. PALM	1	TO BE REMOVED	03/30/17
66. 402" DB H. PALM	1	TO BE REMOVED	03/30/17
67. 408" DB H. PALM	1	TO BE REMOVED	03/30/17
68. 414" DB H. PALM	1	TO BE REMOVED	03/30/17
69. 420" DB H. PALM	1	TO BE REMOVED	03/30/17
70. 426" DB H. PALM	1	TO BE REMOVED	03/30/17
71. 432" DB H. PALM	1	TO BE REMOVED	03/30/17
72. 438" DB H. PALM	1	TO BE REMOVED	03/30/17
73. 444" DB H. PALM	1	TO BE REMOVED	03/30/17
74. 450" DB H. PALM	1	TO BE REMOVED	03/30/17
75. 456" DB H. PALM	1	TO BE REMOVED	03/30/17
76. 462" DB H. PALM	1	TO BE REMOVED	03/30/17
77. 468" DB H. PALM	1	TO BE REMOVED	03/30/17
78. 474" DB H. PALM	1	TO BE REMOVED	03/30/17
79. 480" DB H. PALM	1	TO BE REMOVED	03/30/17
80. 486" DB H. PALM	1	TO BE REMOVED	03/30/17
81. 492" DB H. PALM	1	TO BE REMOVED	03/30/17
82. 498" DB H. PALM	1	TO BE REMOVED	03/30/17
83. 504" DB H. PALM	1	TO BE REMOVED	03/30/17
84. 510" DB H. PALM	1	TO BE REMOVED	03/30/17
85. 516" DB H. PALM	1	TO BE REMOVED	03/30/17
86. 522" DB H. PALM	1	TO BE REMOVED	03/30/17
87. 528" DB H. PALM	1	TO BE REMOVED	03/30/17
88. 534" DB H. PALM	1	TO BE REMOVED	03/30/17
89. 540" DB H. PALM	1	TO BE REMOVED	03/30/17
90. 546" DB H. PALM	1	TO BE REMOVED	03/30/17
91. 552" DB H. PALM	1	TO BE REMOVED	03/30/17
92. 558" DB H. PALM	1	TO BE REMOVED	03/30/17
93. 564" DB H. PALM	1	TO BE REMOVED	03/30/17
94. 570" DB H. PALM	1	TO BE REMOVED	03/30/17
95. 576" DB H. PALM	1	TO BE REMOVED	03/30/17
96. 582" DB H. PALM	1	TO BE REMOVED	03/30/17
97. 588" DB H. PALM	1	TO BE REMOVED	03/30/17
98. 594" DB H. PALM	1	TO BE REMOVED	03/30/17
99. 600" DB H. PALM	1	TO BE REMOVED	03/30/17
100. 606" DB H. PALM	1	TO BE REMOVED	03/30/17

FOOT GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

2. REFER TO FOOT STANDARD INDEX 444 FOR INSTALLATION OF VEGETATION.

3. REFER TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 650 FOR LANDSCAPE INSTALLATION SPECIFICATIONS.

4. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE DONE TO FOOT PROPERTY DURING CONSTRUCTION, RELOCATION AND/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.

5. CONCRETE OF ALL DETAIL EXCAVATED MATERIALS AS DETERMINED BY THE DEPARTMENT SHALL REMAIN IN THE DEPARTMENT WITH A VIEW TO BE REUSED FOR FUTURE PROJECTS. UNEXCAVATED MATERIALS SHALL BE Hauled BY THE PERMITTEE AT THEIR COST AND EXPENSE FROM THE SITE TO THE PALM BEACH OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLING.

6. CURBS SHALL NOT BE PERMITTED ON FOOT RIGHT OF WAY. MILLING PERMITTED TO BE USED ARE HANDWOOD MULCH/COMPOSTING AND OTHER RECYCLED MULCH OR APPROVED SOIL, CERTIFIED BY THE MILLER AND SOIL CONSULTANT. SUBMIT PROOF OF CONTRIBUTION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.

NOTE: PERSON OBTAINING FOR DRIVE PROTECT IS SUBJECT TO LANE UNDIVIDED

FOOT IRRIGATION NOTES

1. FOOT IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST FOOT DESIGN STANDARDS AND THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

2. CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.

CAUTION: PLEASE NOTE

THIS DRAWING HAS NOT BEEN REVIEWED BY A PROFESSIONAL ENGINEER. VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

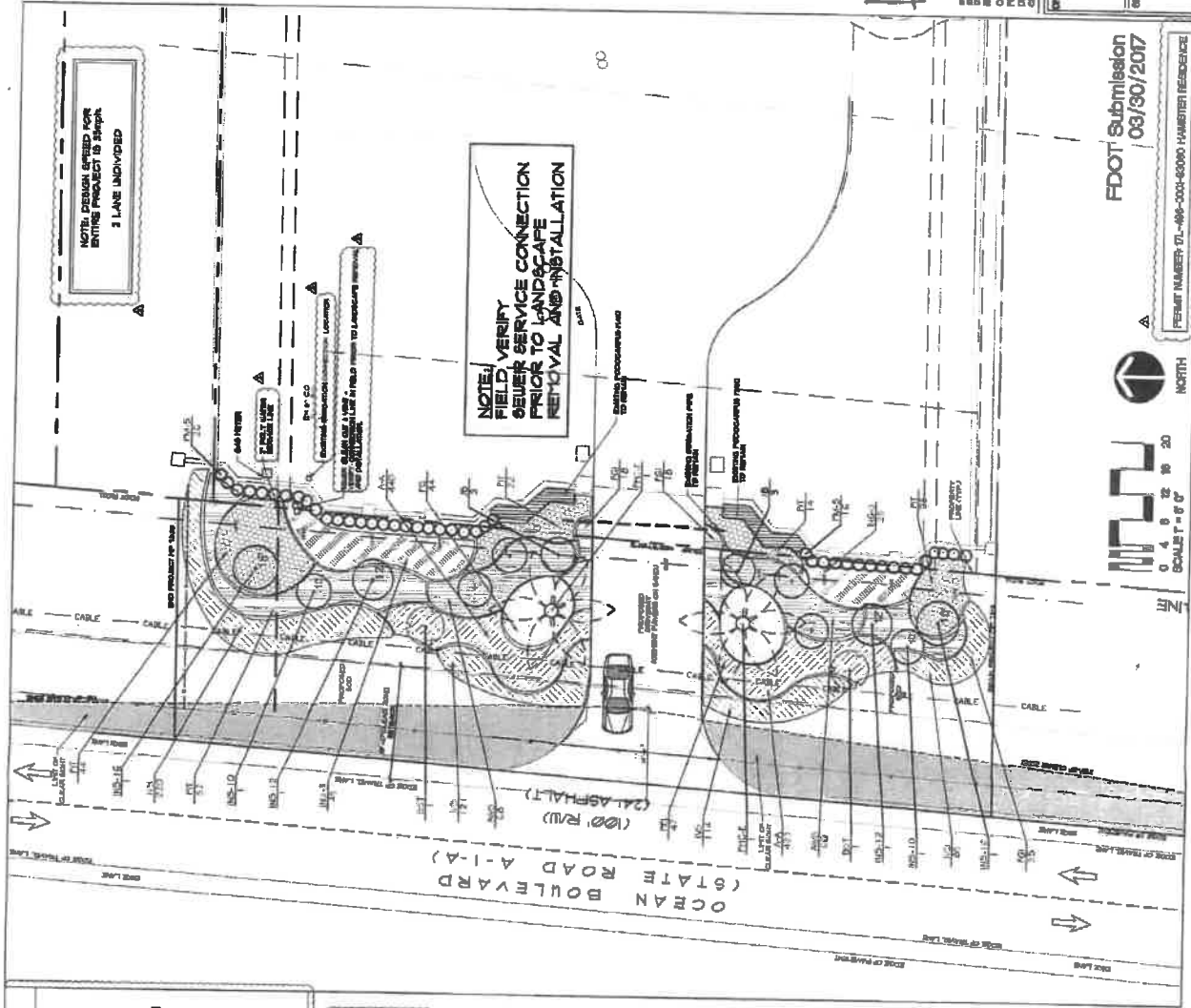
CALL 811 OR WWW.811FL.COM FOR ALL BUSINESS DAYS BEFORE DIGGING TO HAVE UTILITIES LOCATED AND MARKED.

Check possible response codes on page 049.

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REGISTERED PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECT
FLORIDA
LICENSE NO. 11111
ISSUED BY
COMMERCE
PROFESSIONAL
REGULATION BOARD

PROJECT TITLE
**FLORIDA
Landscape
Plans**
Sheet
L-3



FDOT Submission
03/30/2017

SCALE: 1" = 6' 0"
0 4 8 12 16 20
NORTH

PERMIT NUMBER: 07-486-000-8000 HAMISTER RESIDENCE

FOOT GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. REFER TO FOOT STANDARD SPECIFICATION 664 FOR INSTALLATION OF VEGETATION.
3. REFER TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 660 FOR LANDSCAPE INSTALLATION SPECIFICATIONS.
4. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE DONE TO FOOT PROPERTY DURING DEMOLITION, RELOCATION AND/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
5. OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE CONTRACTOR'S POSSESSION UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS FULLY OBTAINED. EXCAVATED MATERIALS SHALL BE MAINTAINED AT THEIR COST AND EXPENSE FROM THE SITE TO THE PALM BEACH OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DETERMINED BY THE DEPARTMENT, INCLUDING ASPHALT MILLING.
6. CURBSIDE MULCH IS NOT PERMITTED ON FOOT RIGHT OF WAY. MULCH PERMITTED TO BE USED ARE UNWEEDED MULCH CONTAINING NO OTHER PRODUCTS, RECYCLED MULCH OR APPROVED SOIL. COMBUSTIBLE MULCH SHALL BE REMOVED. CONTRACTOR SHALL SUBMIT PROOF OF CERTIFICATION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON REQUEST.

FOOT IRRIGATION NOTES

1. FOOT REQUIRES 24 HOUR EMERGENCY ACCESS TO WATER SOURCE.
2. CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS MANAGER WITH A SET OF 'AS-BUILT' IRRIGATION PLANS.

PLANT SCHEDULE PLANTING PLANS

PLANT CODE	COMMON NAME	SIZE	QTY	QTY
100-12	Red Top 'Mild & Sweet'	12" H	5-7"	2
100-16	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-18	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-19	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-20	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-21	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-22	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-23	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-24	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-25	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-26	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-27	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-28	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-29	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-30	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-31	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-32	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-33	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-34	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-35	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-36	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-37	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-38	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-39	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-40	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-41	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-42	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-43	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-44	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-45	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-46	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-47	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-48	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-49	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-50	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-51	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-52	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-53	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-54	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-55	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-56	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-57	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-58	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-59	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-60	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
100-61	PA, Dwarf, Symmetrical Fungal To Blue	12" H	5-7"	2
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CAUTION: PLEASE NOTE

THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER. VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.

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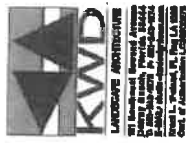
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KWD LANDSCAPE ARCHITECTURE
 1101 UNIVERSITY BLVD, SUITE 100
 MIAMI BEACH, FL 33139
 TEL: 305-866-1000
 WWW.KWDLANDSCAPE.COM
 PROJECT NO. 17-000000-0000
 DATE: 03/20/2017

Hamister Residence
 3425 S Ocean Boulevard
 Highland Beach, FL 33447

Handwritten signature: L. J. ...

CONTRACT NO. 17-000000-0000
 DRAWING NO. 17-000000-0000-004
 DATE: 03/20/2017
 CHECKED BY: [Signature]
 DESIGNED BY: [Signature]

ROW Landscape Section
 Sheet **L-4**

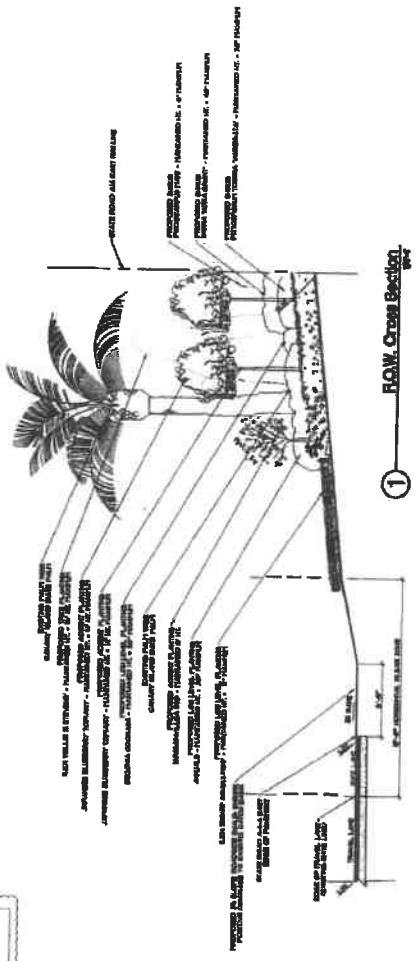
FOOT GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. REFER TO FOOT GRADING INDEX ON FOR INSTALLATION OF VEGETATION.
3. REFER TO FOOT GRADING SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 800 FOR LANDSCAPE INSTALLATION SPECIFICATIONS.
4. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE DONE TO FOOT PROPERTY DURING DEMOLITION, RELOCATION AND/OR INSTALLATION ACTIVITIES AT THE SOLE EXPENSE.
5. CONVEYANCE OF ALL DEBRIS AND EXCAVATED MATERIALS AS DETERMINED BY THE DEPARTMENT SHALL BE MADE AT THE DEPARTMENT UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS ISSUED. DEBRIS SHALL BE DELIVERED TO THE FACILITY SCHEDULED BY THE PERMITTEE, AT THEIR COST AND EXPENSE FROM THE SITE TO THE PALM BEACH OPERATIONS CENTER OR STOCKPILE IN THOSE AREAS AS DETERMINED BY THE DEPARTMENT, INCLUDING APHALT MILLING.
6. CUTTERS MACHINERY IS NOT PERMITTED ON FOOT RIGHT OF WAY. MACHINERY PERMITTED TO BE USED WITH HARDWOOD MULCH/CHIPPINGS NO OTHER FUELS/OILS, RECYCLED MULCH OR APPROVED SOILS. TO BE USED WITHIN THE FOOT DISTRICT. SUBMIT PROOF OF CONTRIBUTION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTION CHECK SHEET.

FOOT IRRIGATION NOTES

NOTES

1. FOOT REQUIRED BY HOUR EMERGENCY ACCESS TO WATER SOURCE.
2. CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLAN.



NOTES

1. All Foot District Building, structures to be installed at 20' ft.
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CAUTION: PLEASE NOTE

THIS DRAWING HAS NOT BEEN REVIEWED BY AN ARCHITECTURAL ENGINEER PRIOR TO CONSTRUCTION.

CALL 311 OR www.laneshow.com FOR ALL BUSINESS SIGNS BEFORE OBTAINING UTILITY LOCATED AND MARKED.

Checklist number: 17-000000-0000-004

FOOT Submission
03/30/2017

PERMIT NUMBER: 17L-485-001-0000 HAMISTER RESIDENCE

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT D

**PRECEDING LANDSCAPE AGREEMENT DESCRIPTION(S)
AND OTHER AGREEMENT DESCRIPTIONS**

The following Landscape agreements have previously been executed for projects that have been installed in accordance with the plans and specifications attached thereto and incorporated herein but not exclusive to the following agreement descriptions:

LANDSCAPE AGREEMENTS SUPERSEDED BY THIS AGREEMENT

7/10/08 - State Road A1A from 1/2 Mile north of Spanish River Boulevard to 1/2 mile South of Linton Boulevard, from (M.P. 4.540) to (M.P. 7.441). (\$400,006.03) Landscape improvements which include plant material and hardscape pavers. Section No. 93060, FM No.: 423845-1-58-01, Connected Contract No. AP751, Resolution No. 08-004 (6/9/08).

3/2/07 - State Road A1A (Town limits of Highland Beach) from (M.P. 4.540) to (M.P. 7.441). (\$202,138.00) Plant material only. Section No. 93060, FM# 421216-1-58-01, Connected Contract No. AOP79, Resolution No. 07-002R (2/6/07).

7/2/02 - State Road A1A from (M.P. 4.54) to (M.P. 7.41). (\$283,000.00) Landscape improvements not described. Section 93060, FM No. 229785-1-52-01, Resolution No. 792 (7/2/02).

This Agreement, pursuant to paragraph number 14, page 9., shall supersede all other above agreements except as to the actual landscape plans and project cost that have not been replanted by subsequent FDOT approved projects and those that are "excepted out". The terms of this agreement shall apply to those landscape plans.

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

**EXHIBIT E
MAINTENANCE PLAN
FOR LANDSCAPE IMPROVEMENTS**

This Exhibit forms and integral part of the DISTRICT FOUR (4) LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY

Please See Attached

MAINTENANCE PLAN

Landscape Improvements

I. GENERAL MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

The purpose of a plan for the landscape improvements maintenance practices is to allow the plant material on your project to thrive in a safe and vigorous manner while fulfilling their intended purpose and conserving our natural resources. Plantings and all other landscape improvements shall be maintained to avoid potential roadway hazards and to provide required clear visibility, accessibility, clearance, and setbacks as set forth by Florida Department of Transportation (FDOT) governing standards and specifications: *FDOT Design Standards, FDOT Plans Preparation Manual Vol. 1, Chapter 2.11* and *FDOT Standard Specifications for Road and Bridge Construction*, as amended by contract documents, and all other requirements set forth by the District 4 Operations Maintenance Engineer. The initial portion of the Maintenance Plan describes general maintenance requirements and recommendations. **The concluding section provides recommendations prepared by the Registered Landscape Architect of Record specific to the attached approved plans.**

WATERING REQUIREMENTS

Watering is a critical concern for not only the maintenance of healthy plant material but also for observing water conservation practices. The amount of water to apply at any one time varies with the weather, drainage conditions and water holding capacity of the soil. For plant materials that have been established, it is imperative that any mandated water restrictions be fully conformed to on FDOT roadways.

Proper watering techniques should provide even and thorough water dispersal to wet the entire root zone, but not saturate the soil or over-spray onto travel lanes.

IRRIGATION SYSTEM

The Agency shall ensure there are no roadway overspray or irrigation activities during daytime hours (most notably "rush hour" traffic periods). It is imperative the irrigation controller is properly set to run early enough that the watering process will be entirely completed before high traffic periods, while adhering to mandated water restrictions. To ensure water conservation, the Agency shall monitor the system for water leaks and the rain sensors to ensure they are functioning properly so that the system shuts down when there is sufficient rainfall.

INTEGRATED PLANT MANAGEMENT

An assessment of each planting area's soil is recommended to periodically determine the nutrient levels needed to sustain healthy, vigorous plant growth.

Palms, shrubs, trees and turf areas shall be fertilized in such a manner and frequency to ensure that the plant material remains healthy and vigorously growing. Please be alert to changes in fertilization types per University of Florida, Institute of Food and Agricultural Services (I.F.A.S.) recommendations. Establishment of an integrated pest management program is encouraged to ensure healthy plants, which are free of disease and pests.

MULCHING

Mulch planting beds in such a manner as to prevent weed growth, retain moisture to the plants, protect against soil erosion and nutrient loss, maintain a more uniform soil temperature, and improve the appearance of the planting beds. Avoid mulch mounded up on the trunks of trees, palms, and the base of shrubs to encourage air movement in this area which aids in lowering disease susceptibility. Cypress mulch is prohibited on state right of way.

PRUNING

All pruning, and the associated safety criteria, shall be performed according to American National Standard Institute (ANSI) A300 standards and shall be supervised by an International Society of Arboriculture (ISA) Certified Arborist. Pruning shall be carried out with the health and natural growth of plant materials in mind, to specific pruning heights maintaining clear visibility for motorists, and provide vertical clearance for pedestrian, bicyclist, and truck traffic where applicable. Visibility windows must be maintained free of view obstructions, and all trees and palms must be maintained to prevent potential roadway and pedestrian hazards, all palms are to be kept fruit free. The specific pruning heights are determined by understanding the designer's intent when selecting and placing the plants. The intended mature maintained height and spread of plants are noted on the plans (See Exhibit B.) and see Part II. Specific Requirements and Recommendations for guidelines. The understory plant materials selected for use within the restricted planting areas (Limits of Clear Sight) are to be maintained at a height in compliance with *FDOT Design Standards* Index 546; Page 6 of 6, Window Detail. Vertical tree heights must meet *FDOT Maintenance Rating Program* (MRP) standards.

STAKING AND GUYING

All staking materials, except for replacements, are to be removed by the completion of FDOT warranty period or at one year (whichever comes first). Any subsequent staking and guying activities by the Agency must adhere to *FDOT Design Standards* guidelines (See Index 544). The Agency shall closely monitor staking and guying attachment materials so that they are securely fastened to avoid potential roadway hazards.

TURF MOWING:

All grassed areas are to be mowed and trimmed with sufficient frequency to maintain a deep, healthy root system while providing a neat and clean appearance to the urban landscape. All turf efforts, mowing, curb/sidewalk edging and turf condition, must at a minimum, meet *FDOT Maintenance Rating Program* (MRP).

LITTER CONTROL:

The project site shall remain as litter free as practicable. It is recommended to recycle this litter to avoid unnecessary waste by its reuse. Litter removal efforts must meet *FDOT Maintenance Rating Program* (MRP) standards.

WEEDING/HERBICIDE

All planting areas shall be maintained as weed free as practicable by enlisting integrated pest management practices in areas specified on the plans and maintaining proper mulch levels. Extreme care is recommended when using a chemical herbicide to avoid overspray onto plant materials. It is the applicator's responsibility to restore any damage, resulting from overspray to the plantings, per the approved plans.

PLANT REPLACEMENT

Plant replacement shall be the same species and specification as the approved plan. Move and replace all plant materials that may conflict with utility relocations and service. Only plants graded Florida #1 or better, per the *Florida Department of Agriculture and Consumer Services, Grades and Standards for Nursery Plants* are permitted on FDOT roadways. Should it become necessary to change the species, a permit is required from FDOT for approval by the FDOT District Landscape Architect.

HARDSCAPE (SPECIALTY SURFACING)

All tree grates and specialty surfacing shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the surfacing and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current FDOT Maintenance Rating Program Handbook Pages 43-47; ADA accessible sidewalk; and FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on The State Highway System. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

Or Use When Concrete Pavers

All tree grates and specialty surfacing (if applicable) shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the pavers and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current *Interlocking Concrete Pavement Institute (ICPI), Guide Specifications for Pavers on an Aggregate Base, Section 23 14 13 Interlocking Concrete Pavers, Part 3.05*. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

HARDSCAPE (NON-STANDARD) TRAVELWAY SURFACING

It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway, including asphalt pavement (if applicable), caused or contributed by the installation or failure of non-standard surfacing, and/or the header curb, on the Department of Transportation right of way within the limits of this Agreement. Pavement restoration areas or "patches" will have a minimum length of 10-ft, measured from the edge of the header curb, and a width to cover full lanes for each lane affected by the restoration.

Pavement restoration will be performed in accordance with the most current edition of the *FDOT Standard Specifications for Road and Bridge Construction*, and the *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System*.

It shall be the responsibility of the AGENCY to maintain all signs located within a non-standard surfacing area. Such maintenance to be provided by the AGENCY shall include repair and replacement of the sign panel, post, and base.

**HARDSCAPE (LANDSCAPE ACCENT LIGHTING)
(IF APPLICABLE)**

Landscape accent lighting shall be maintained in such a manner as to prolong the life of the lighting fixture and prevent potential safety hazards. If the lighting fixtures and their system become damaged, they shall be replaced with the same type and specification as the approved plan. Landscape lighting shall meet requirements for the sea turtle nesting and hatching.

MAINTENANCE OF TRAFFIC CONTROL

Reference the FDOT website regarding the selection of the proper traffic control requirements to be provided during routine maintenance and / or new installations of this DOT roadway.

**VEGETATION MANAGEMENT AT OUTDOOR ADVERTISING (ODA)
(IF APPLICABLE)**

To avoid conflicts with permitted outdoor advertising, please reference the State of Florida website regarding the vegetation management of outdoor advertising. This website provides a portal to search the FDOT Outdoor Advertising Inventory Management System Database. The database contains an inventory of outdoor advertising structures, permits and other related information maintained by the Department.

Also, reference the *Florida Highway Beautification Program* website link for “*Vegetation Management at ODA signs*” “*Florida Statutes*” and “*Florida Administrative Code*” related to vegetation management at outdoor advertising sign, permit applications for vegetation management and determining mitigation value of roadside vegetation.

II. SPECIFIC PROJECT SITE MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS

Superseded agreements' Maintenance Plans and any specific project site maintenance requirements continue to apply.

REFERENCES

This reference list is provided as a courtesy. The list may not contain the most current websites. The most current references must be accessed for up to date information.

Accessible Sidewalk (ADA)

<http://www.access-board.gov/guidelines-and-standards/streets-sidewalks>

Americans with Disabilities Act (ADA) (ADAAG)

http://www.ada.gov/2010ADAstandards_index.htm

American National Standard Institute, *ANSI A300, (Part 1) for Tree Care Operations – Trees, Shrub, and Other Woody Plant Maintenance – Standard Practices (Pruning)*, available for purchase

<http://webstore.ansi.org>

Florida Department of Agriculture and Consumer Services, Division of Plant Industry, *Florida Grades and Standards for Nursery Plants 2015*

<http://www.freshfromflorida.com/Divisions-Offices/Plant-Industry/Bureaus-and-Services/Bureau-of-Plant-and-Apiary-Inspection>

Florida Department of Community Affairs (DCA), *Florida Board of Building Codes & Standards, 2010 Florida Building Code, Chapter 11 Florida Accessibility Code for Building Construction Part A*

http://www2.iccsafe.org/states/florida_codes/

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 544 Landscape Installation*

<http://www.dot.state.fl.us/rddesign/DS/16/IDx/00544.pdf>

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 546 Sight Distance at Intersections*

<http://www.dot.state.fl.us/rddesign/DS/16/IDx/00546.pdf>

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 600 Traffic Control through Work Zones*

<http://www.dot.state.fl.us/rddesign/DS/16/IDx/00600.pdf>

Florida Department of Transportation, *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 700 Roadside Offsets*

Florida Department of Transportation, *FDOT Plans Preparation Manual (PPM) Vol. 1 Chapter 2.11 Lateral Offset*

Table 2.11.5 Lateral Offset Clearance to Trees

Table 2.11.11 Recoverable Terrain

<http://www.dot.state.fl.us/rddesign/PPMManual/2016PPM.shtm>

Florida Department of Transportation, *FDOT Standard Specifications for Road and Bridge Construction, Section 580 Landscape Installation*
<http://www.dot.state.fl.us/specificationsoffice/Maintenance/Jul14/Files/SS5800000.doc>

<http://www.dot.state.fl.us/specificationsoffice/Implemented/Workbooks/JulWorkbook2014/Files/S5800000FA.pdf>

Florida Department of Transportation, Landscape Architecture Website
www.MyFloridaBeautiful.com

Florida Department of Transportation, *Maintenance Rating Program Handbook*
<http://www.dot.state.fl.us/statemaintenanceoffice/MaintRatingProgram.shtm>

Florida Department of Transportation Outdoor Advertising Database
<http://www2.dot.state.fl.us/rightofway/>

Florida Exotic Pest Plant Council Invasive Plant Lists
<http://www.fleppc.org/list/iist.htm>

Florida Irrigation Society
<http://www.fisstate.org>

Florida Power and Light (FPL), *Plant the Right Tree in the Right Place*
http://www.fpl.com/residential/trees/right_tree_right_place.shtml

A Guide to Roadside Vegetation Management
[http://www.dot.state.fl.us/statemaintenanceoffice/RDW/DOT%20Final%20\(3\)Turf%20Management%20Guide%20UF.pdf](http://www.dot.state.fl.us/statemaintenanceoffice/RDW/DOT%20Final%20(3)Turf%20Management%20Guide%20UF.pdf)

Interlocking Concrete Pavement Institute (ICPI)
<http://www.icpi.org/>

International Society of Arboriculture (ISA)
www.isa-arbor.com

UF IFAS: *Selecting Tropical and Subtropical Tree Species for Wind Resistance*
<http://edis.ifas.ufl.edu/pdf/FR/FR17500.pdf>

UF IFAS: *Fertilization of Field-grown and Landscape Palms in Florida*
<http://edis.ifas.ufl.edu/ep261>

U.S. Department of Transportation, Federal Highway Administration, *Manual on Uniform Traffic Control Devices*
<http://www.mutcd.fhwa.dot.gov>

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT F

PATTERNED PAVEMENT INSTALLATION

(If Applicable)

This Exhibit forms an integral part of the DISTRICT FOUR (4) MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

- (1) Prior to acceptance by the DEPARTMENT, all lanes for each of the stamped asphalt crossings projects shall be tested for friction in accordance with ASTM E 274-06. All costs for friction testing will be the responsibility of the AGENCY. The initial friction resistance shall be at least 35 obtained at 40 mph with a ribbed test tire (FN40R) or equivalent. Failure to achieve this minimum resistance shall require all deficient crosswalk areas to be removed to their full extent (lane-by-lane) and replaced with the same product installed initially. If more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the Qualified Products List (QPL). All lanes receiving new installations shall again be friction tested within 60-90 days of their acceptance by the local AGENCY. The initial friction resistance of each new installation shall be at least 35 (FN40R) or equivalent. Failure to achieve this minimum resistance shall require all deficient areas be removed to their full extent (lane-by-lane) and replaced with the same product installed initially. If more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the DEPARTMENT 'S Qualified Products List (QPL), or replaced with conventional pavement.
- (2) The results of all friction tests and condition surveys shall be sent to the **Operations Engineer** at the local FDOT District Four Operations Center located at Palm Beach Operations, 7900 Forest Hill Boulevard, West Palm Beach 33413 (561) 432-4966, with a cover letter either certifying that the crosswalks comply with the above stated requirements; or what remedial action will be taken to restore the friction and/or integrity of the crosswalk area.
- (3) When remedial action is required in accordance with the above requirements, the local AGENCY at its own expense shall complete all necessary repairs within 90 days of the date the deficiency was identified.

- (4) Should the local AGENCY fail to satisfactorily perform any required remedial work or testing in accordance with this agreement, the DEPARTMENT reserves the right to replace the patterned pavement with conventional pavement and bill the local AGENCY for this cost. No more than two full stamped asphalt pavement depth repairs shall be made to an area without first resurfacing the pavement to its full depth.

**SECTION No.: 93060
S.R. No.: A1A
COUNTY: PALM BEACH**

EXHIBIT G

PATTERNED PAVEMENT MAINTENANCE

(When Applicable)

This Exhibit forms an integral part of the DISTRICT FOUR (4) MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

"Maintenance" of all patterned pavement crosswalks in these Agreements shall be defined, as a minimum, to include its frictional characteristics and integrity as follows:

- (1) Within 60 days of project acceptance by the Department, all lanes of each patterned crosswalk shall be evaluated for surface friction. The friction test shall be conducted using either a locked wheel tester in accordance with *FM 5-592 (Florida Test Method for Friction Measuring Protocol for Patterned Pavements)* or Dynamic Friction Tester in accordance with *ASTM E1911*. **All costs for friction testing are the responsibility of the AGENCY.**
- (2) The initial friction resistance shall be at least 35 obtained at 40 mph with a ribbed tire test (FN40R) or equivalent (FM 5-592 attached). Failure to achieve this minimum resistance shall require all deficient crosswalk areas to be removed to their full extent (land-by-land) and replaced with the same product installed initially. The AGENCY is responsible for all costs associated with the removal and replacement of the crosswalk. If the Department determines that more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the Qualified Products List (QPL) or replaced with conventional pavement.
- (3) Approximately one year after project acceptance and one year thereafter and for the life of the adjacent pavement, only the outside traffic lane areas of each patterned crosswalk shall be tested for friction resistance in accordance with *ASTM E274* or *ASTME 1911*. Friction resistance shall, at a minimum, have a FN40R value of 35 (or equivalent).
- (4) The results of all friction tests shall be sent to the **Operations Engineer** at the local FDOT District Four Operations Center located at Palm Beach Operations, 7900 Forest Hill Boulevard, West Palm Beach 33413 (561) 432-4966, with a cover letter either certifying, that the crosswalks comply with the minimum friction criteria, or stating what remedial action will be taken to restore the friction.

- (5) Failure to achieve the minimum resistance shall require all lanes of the crosswalk to be friction tested to determine the extent of the deficiency. All deficient areas shall be removed to their full extent (lane-by-lane) and replaced with the same product installed initially. If the Department determines that more than 50% of the lanes in the intersection require replacement, the entire intersection installation may be reconstructed with a different product on the QPL, or replaced with conventional pavement.
- (6) When remedial action is required in accordance with the above requirements, the local agency shall complete all necessary repairs at its own expense within 90 days of the date when the deficiency was identified. No more than two full depth patterned pavement repairs shall be made to an area without first resurfacing the underlying pavement to 1" minimum depth.
- (7) The Department will not be responsible for replacing the treatment following any construction activities by the Department in the vicinity of the treatment, or any costs for testing.
- (8) Should the local agency fail to satisfactorily perform any required remedial work or testing in accordance with this agreement, the Department reserves the right to replace the patterned pavement with conventional pavement (matching the adjacent pavement) and bill the local agency for this cost.



RESOLUTION NO. 17-012 R

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF HIGHLAND BEACH, FLORIDA, AUTHORIZING THE MAYOR TO EXECUTE THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT FOUR INCLUSIVE LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT ON BEHALF OF THE TOWN OF HIGHLAND BEACH, FLORIDA, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Florida Department of Transportation (FDOT) has advised the Town that in order for landscaping to be placed in the FDOT right-of-way the Town must execute the attached State of Florida Department of Transportation District Four Inclusive Landscape Maintenance Memorandum of Agreement; and

WHEREAS, the purpose of this Resolution is to authorize the Mayor to execute on behalf of the Town the Agreement attached to this Resolution.

NOW, THEREFORE, BE IT RESOLVED by the Town Commission of the Town of Highland Beach, Florida, that:

Section 1. The recitations set forth above are true, accurate and correct and are incorporated herein.

Section 2. That the Mayor is authorized to execute the State of Florida Department of Transportation District Four Inclusive Landscape Maintenance Memorandum of Agreement attached to this Resolution and made a part hereof.

Section 3. That all resolutions or parts of resolutions in conflict with this Resolution are repealed to the extent of such conflict.

Section 4. This Resolution shall take effect immediately upon its adoption.

PASSED AND ADOPTED THIS 5TH DAY OF JULY, 2017.



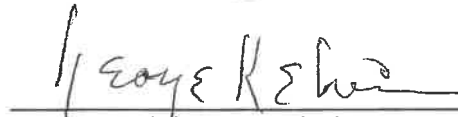
Carl Feldman, Mayor



William Weitz, Vice Mayor



Rhoda Zelniker, Commissioner




George Kelvin, Commissioner



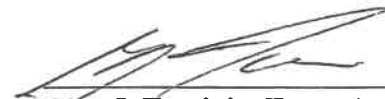
Elyse Riesa, Commissioner

ATTEST:

REVIEWED FOR LEGAL SUFFICIENCY



Lanelda Gaskins, MMC
Town Clerk



Glen J. Torcivia, Town Attorney
Florida Bar No. 343374
Approved as to form and legal sufficiency