



Town of Highland Beach

Code Compliance

3616 South Ocean Boulevard • Highland Beach, Florida 33487

NOTICE OF HEARING / APPEARANCE

CASE NO. C C - 2 5 - 3 8 8

TOWN OF HIGHLAND BEACH, FLORIDA

VS.
RAYMOND VAN DUREN

PO BOX 510

RAMSEY NJ 07446 0510

Re: 4216 S OCEAN BLVD., Highland Beach FL 33487 (PCN:
24-43-47-04-02-002-0041)

YOU ARE HEREBY NOTIFIED that pursuant to Article V, Chapter 2 (Administration) of the Town of Highland Beach's Code of Ordinances, the Code Enforcement Special Magistrate will conduct a hearing on *Wednesday, November 12, 2025, at 1:00 P.M., in the Town Commission Chambers at 3614 South Ocean Boulevard*, regarding **30-122 (B)**, (Permit 24-484-G [INSTALL A 32KW GENERATOR] has expired). During the hearing, the Special Magistrate will determine whether you have violated one or more provisions and/or sections of the Town of Highland Beach's Code, as set forth in the attached "Violation Notice," sworn to by the Code Enforcement Officer of the Town of Highland Beach.

THEREFORE, YOU ARE HEREBY COMMANDED to be and appear before the Code Enforcement Special Magistrate at the aforesaid place, date, and time. **IF YOU FAIL TO APPEAR, A JUDGMENT MAY BE RENDERED AGAINST YOU.**

ADDITIONALLY, YOU ARE ENTITLED to be represented by counsel, to present testimony and evidence, and to testify on your own behalf. Subpoenas for records, surveys, plats, and other materials and for witnesses may be requested and will be issued by the Code Enforcement Special Magistrate upon proper request.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a copy of the foregoing notice has been furnished to the above-named addressee by U.S. Postal Service Certified Mail, Return Receipt Domestic Mail, **SIGNED** this 27 day of October 2025.

Adam Osowsky
Code Compliance Officer
Certified Mail: 9589071052702309912159

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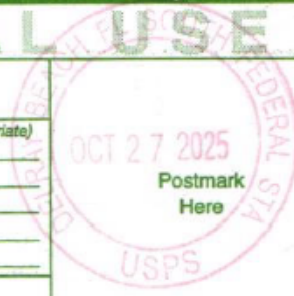
\$

Sent To

Street and Ap

City, State, Zip

CC-25-388=NOH*
VAN DUREN RAYMOND
PO BOX 510
RAMSEY NJ 07446 0510



PS Form 3800

See reverse for instructions

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Product Information



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Property Detail

Location Address : 4216 S OCEAN BLVD
Municipality : HIGHLAND BEACH
Parcel Control Number : 24-43-47-04-02-002-0041
Subdivision : BEL LIDO IN
Official Records Book/Page : 04556 / 1382
Sale Date : 05/01/1985
Legal Description : BEL LIDO S 1/2 OF LT 4 BLK 2

Owner Information

Owner(s)

VAN DUREN RAYMOND

Mailing Address

PO BOX 510
RAMSEY NJ 07446 0510

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
05/01/1985	\$168,000	04556 / 01382	WARRANTY DEED	VAN DUREN RAYMOND

Exemption Information

No Exemption Information Available.

Property Information

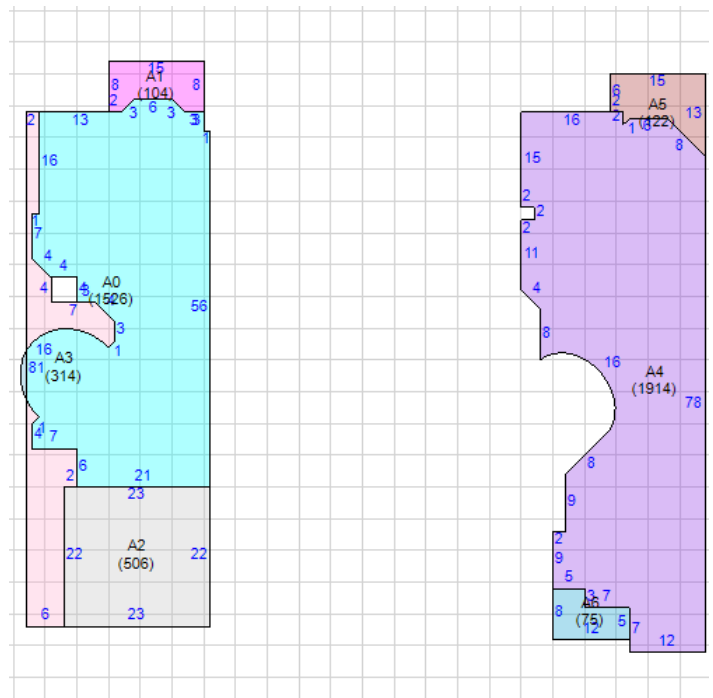
Number of Units : 1
***Total Square Feet :** 4566
Acres : .17
Property Use Code : 0100—SINGLE FAMILY
Zoning : RML—MULTI-FAMILY LOW-DENSITY (24-HIGHLAND BEACH)

Building Details

Structural Details

Structural Element for Building 1	
Bldg Type	TWNHS-VILLA
Exterior Wall 1	MSY: CB STUCCO
Year Built	1991
Air Condition Desc.	HTG & AC
Heat Type	FORCED AIR DUCT
Heat Fuel	ELECTRIC
Bed Rooms	4
Full Baths	3
Half Baths	1
Exterior Wall 2	NONE
Roof Structure	WOOD TRUSS
Roof Cover	CONCRETE TILE
Interior Wall 1	DRYWALL
Interior Wall 2	N/A
Floor Type 1	CARPETING
Floor Type 2	MARBLE
Stories	2

Sketch for Building 1



Subarea and Square Footage for Building 1

Code Description	square Footage
FUS Finished Upper Story	1919

BAS Base Area	1531
FUS Finished Upper Story	75
FOP Finished Open Porch	309
FOP Finished Open Porch	104
FOP Finished Open Porch	122
FGR Finished Garage	506
Total Square Footage	4566
Area Under Air	3525

Property Extra Feature

Description	Year Built	Units
Boat Dock	1991	182
Boat Lift	2000	1
Patio	1991	453
Patio	1991	334
Pool - In-Ground	1991	1
Bbq	2016	1

Property Land Details

Land Line #	Description	Zoning	Acres
1	INTRACOASTAL CANAL	RML	0.1723

Appraisals

Tax Year	2025	2024	2023	2022	2021
Improvement Value	\$361,107	\$361,796	\$366,695	\$306,684	\$483,286
Land Value	\$1,260,472	\$1,130,078	\$1,086,614	\$924,770	\$529,000
Total Market Value	\$1,621,579	\$1,491,874	\$1,453,309	\$1,231,454	\$1,012,286

Assessed and Taxable Values

Tax Year	2025	2024	2023	2022	2021
Assessed Value	\$1,482,089	\$1,347,354	\$1,224,867	\$1,113,515	\$1,012,286
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$1,482,089	\$1,347,354	\$1,224,867	\$1,113,515	\$1,012,286

Taxes

Tax Year	2025	2024	2023	2022	2021
AD VALOREM	\$24,369	\$22,264	\$21,060	\$19,019	\$17,159
NON AD VALOREM	\$116	\$107	\$103	\$100	\$96
TOTAL TAX	\$24,485	\$22,371	\$21,163	\$19,119	\$17,255

Dorothy Jacks, CFA, AAS PALM BEACH COUNTY PROPERTY APPRAISER www.pbcpao.gov



Town of Highland Beach

3616 South Ocean Blvd.
Highland Beach, FL 33487
Phone: 561-278-4540
Fax: 561-278-2606

NOTICE OF VIOLATION

August 28, 2025

RAYMOND VAN DUREN
PO BOX 510
RAMSEY NJ, 07446

RE: Code Compliance Case No. CC-25-388

Location: 4216 S OCEAN BLVD
HIGHLAND BEACH, FL 33487

Violation:

Permit 24-484-G [INSTALL A 32KW GENERATOR] has expired.

Correction

Contact permitting 561 278 4540 to complete this project by September 28, 2025!

30-122 (B) - Expiration of building permit.

Every building permit issued shall expire six (6) months after issuance, unless the work authorized by such permit is commenced within that time period. A building permit shall expire if the work authorized by such permit is suspended or abandoned for a period of six (6) months after the time the work is commenced. Not more than two (2) extensions of time, each for a period not exceeding ninety (90) days, may be allowed by the building official.

If the violation is corrected and then recurs or if the violation is not corrected by the above date, you are being summoned to appear before the town Code Compliance Special Magistrate, which may result in a fine against the violator & property in the amount of \$250.00 per day for each day the violation exists. Your anticipated cooperation is greatly appreciated, and simple compliance will resolve this matter easier than the formal process.

Should you have any questions or to schedule a reinspection, please contact the Code Compliance Officer for a reinspection at 561-637-2035.

Regards,

Adam Osowsky

aosowsky@highlandbeach.us
(561) 278-4540

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☐ Return Receipt (electronic) \$ _____

☐ Certified Mail Restricted Delivery \$ _____

☐ Adult Signature Required \$ _____

☐ Adult Signature Restricted Delivery \$ _____

Postage \$ 2.18

Total Postage and Fee \$ 7.48

Sent To **CC-25-388* nov**
RAYMOND VAN DUREN
PO BOX 510
RAMSEY NJ, 07446

Street and _____

City, State _____

PS Form 3800, January 2023 PSN 7530-02-000-9047

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature ☒ Agent ☐ Addressee

Victor Barcelona

B. Received by (Printed Name) *Victor Barcelona*

C. Date of Delivery _____

D. Is delivery address different from item 1? ☐ Yes ☐ No

If YES, enter delivery address below: _____

3. Service Type

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☐ Certified Mail Restricted Delivery ☐ Signature Confirmation™

☐ Collect on Delivery ☐ Signature Confirmation Restricted Delivery

☐ Collect on Delivery Restricted Delivery

☐ Insured Mail ☐ Signature Confirmation Restricted Delivery

☐ Insured Mail Restricted Delivery (over \$500)

1. Barcode

9590 9402 8110 2349 4720 43

2. Article Number (Transfer from service label)

9589 0710 5270 1731 5667 32

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt