

# HEWITT TEXAS

## PLANNING AND ZONING COMMISSION

August 02, 2022 at 6:00 PM

Hewitt City Hall, 200 Patriot Court, Hewitt, TX 76643

### AGENDA

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**CALL OF PLANNING AND ZONING COMMISSION MEETING TO ORDER FOR AUGUST 2, 2022.**

**CONSIDER APPROVAL OF MINUTES FOR THE JULY 12, 2022 PLANNING AND ZONING COMMISSION REGULAR MEETING.**

- [1.](#) Meeting minutes from July 12, 2022 for approval.

**PUBLIC HEARING:** Special Permit request for an Electrical Substation by Kimley-Horn for TXU Electric Delivery Co. and Alan Anjurn located at the Northeast corner of Old Temple Rd and Spring Valley Rd, Hewitt, Texas, known as O'Campo C A-32 Tract 1C2.

- [2.](#) Permit Application for P&Z August 2, 2022
3. Site Plan for Oncor Hewitt Substation

**DISCUSSION AND POSSIBLE ACTION:** Special Permit request for an Electrical Substation by Kimley-Horn for TXU Electric Delivery Co. and Alan Anjurn located at the Northeast corner of Old Temple Rd and Spring Valley Rd, Hewitt, Texas, known as O'Campo C A-32 Tract 1C2.

### ADJOURN

I, the undersigned authority, do hereby certify that the above Notice of Meeting of the Planning and Zoning Commission of the City of Hewitt, Texas was posted on a Public Notice Board located in front of City Hall before 5:00PM on Friday, July 29, 2022.

Brittney Cantu, City of Hewitt Zoning Secretary

**Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf or hearing impaired, readers, large print Braille, are requested to contact the Zoning Secretary at (254) 666-6173 at least 24 hours prior to the meeting, so that appropriate arrangements can be made.**

# HEWITT TEXAS

## PLANNING AND ZONING COMMISSION

July 12, 2022 at 6:00 PM

Hewitt City Hall, 200 Patriot Court, Hewitt, TX 76643

## MINUTES

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### CALL OF PLANNING AND ZONING COMMISSION MEETING TO ORDER

Chairman Walt Peterson called the meeting to order at 6pm.

### CONSIDER APPROVAL OF MINUTES FOR THE MARCH 8, 2022 PLANNING AND ZONING COMMISSION REGULAR MEETING.

Motion made by Bailey, Seconded by Hix.

Voting Yea: Chairman Peterson, Bailey, Dalrymple, Hix, Lasater

1. Meeting Minutes from 3/8/2022 for Approval

Meeting minutes approved, but allowing for corrections as needed.

**PUBLIC HEARING:** Consider a request made by David Marek P.E. to rezone a portion of property located near the intersection of Attaway Rd & Castleman Circle from C-O Outdoor Commercial District and R-1 Single Family Residential District to R-2 Duplex District more particularly described as O'Campo C A-32 Tract 24C 11.153 Acres.

2. Rezone request for intersection of Attaway and Castleman Circle from R-1 to R-2

Public hearing opened at 6:02PM. Speaking in favor - David Marek residing at 115 Bowels Spring, West, Texas. Mr. Marek said thinks this is a good transition piece for duplexes.

Speaking in favor - Fred Dewalt residing at 428 Ridgeview, Woodway, Texas. Mr. Dewalt is the owner of the property. He is wanting duplexes here over any other type of project. No one to speak against project. Public hearing closed at 6:12PM.

**DISCUSSION AND POSSIBLE ACTION:** Consider a request made by David Marek P.E. to rezone a portion of property located near the intersection of Attaway Rd & Castleman Circle from C-O Outdoor Commercial District and R-1 Single Family Residential District to R-2 Duplex District more particularly described as O'Campo C A-32 Tract 24C 11.153 Acres.

Motion to go before City Council July 18, 2022.

Motion made by Bailey, Seconded by Lasater.

Voting Yea: Chairman Peterson, Bailey, Dalrymple, Hix, Lasater

**ADJOURN**

Meeting is adjourned at 6:14PM.

# HEWITT TEXAS

## PLANNING AND ZONING SPECIAL PERMIT APPLICATION

Legal Description of Property: O'CAMPO CA-32 Tract 102

Describe the location of the property as submitted by this application. This may be in the form of a street address, general description, or nearest intersection.

Northwest corner of E Spring Valley Road + N Old Temple Road

Proposed Special Permit: Electrical Substation

Please describe the interest in property:

Current zoning is C-1. Special Permit required to allow electrical substation use. Prior determined substation required to serve current and future Hewitt customers.  
Existing Building(s) on Property: Vacant

Total square feet of all Buildings on Property: Nonhabitable control centers = 432 sf

Please provide the following recording information and a copy of the document(s) listed below with this application:

Ownership (deed): Doc. #/MCC No.: \_\_\_\_\_

Please provide the proposed meeting date for this application to be considered (See Meeting Schedule): 8/2/22

The rezoning application must be completed along with the following information:

1. A notarized letter from the property owner authorizing applicant to present the request, if the property owner will not be presenting the request and stating reasons for request.
2. Submit one (1) PDF file, one (1) hardcopy, one (1) CAD file of plat for review purposes – Must be in State Plane Coordinates using the Texas Central Zone NAD 83.
3. Submit one (1) copy of building plans, if existing building(s) exist.
4. Non-refundable application fee (see Fee Schedule)
5. Application, fee, documents, etc., in completed form must be submitted to the Planning Department before or no later than 12:00 noon on the deadline date (see schedule).

I attest that the above information is true and correct to the best of my knowledge and I am now or will be fully prepared to present the above proposal at the Planning and Zoning Commission hearing. I understand that if any of the above information is found to be wrong or inaccurate that my application may be removed from consideration prior to the time the application is voted upon by the governing body of the City.

I, understand that in the event the undersigned is not present or represented at the public hearing, the Planning and Zoning Commission shall have the power to dismiss this proposal either at the call of the case or after hearing and such dismissal shall constitute a denial by both the Planning and Zoning Commission and the City Council.

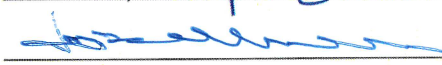
I reserve the right to withdraw this proposal. However, written withdrawals filed at any time after the giving of notice to the Planning and Zoning Commission shall constitute a denial by the Commission and City Council. I understand that the filing fee is not refundable upon withdrawal of proposal.

Name of Property Owner: Seth Sampson

Telephone Number: 817-215-6807

Mailing Address: 777 Main Street Suite 707

Email Address: Fort Worth, TX 76102  
seth.sampson@encor.com

Signature of Property Owner: 

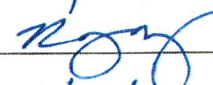
Date: 7-6-2022

Name of Applicant/Representative: Rob Myers

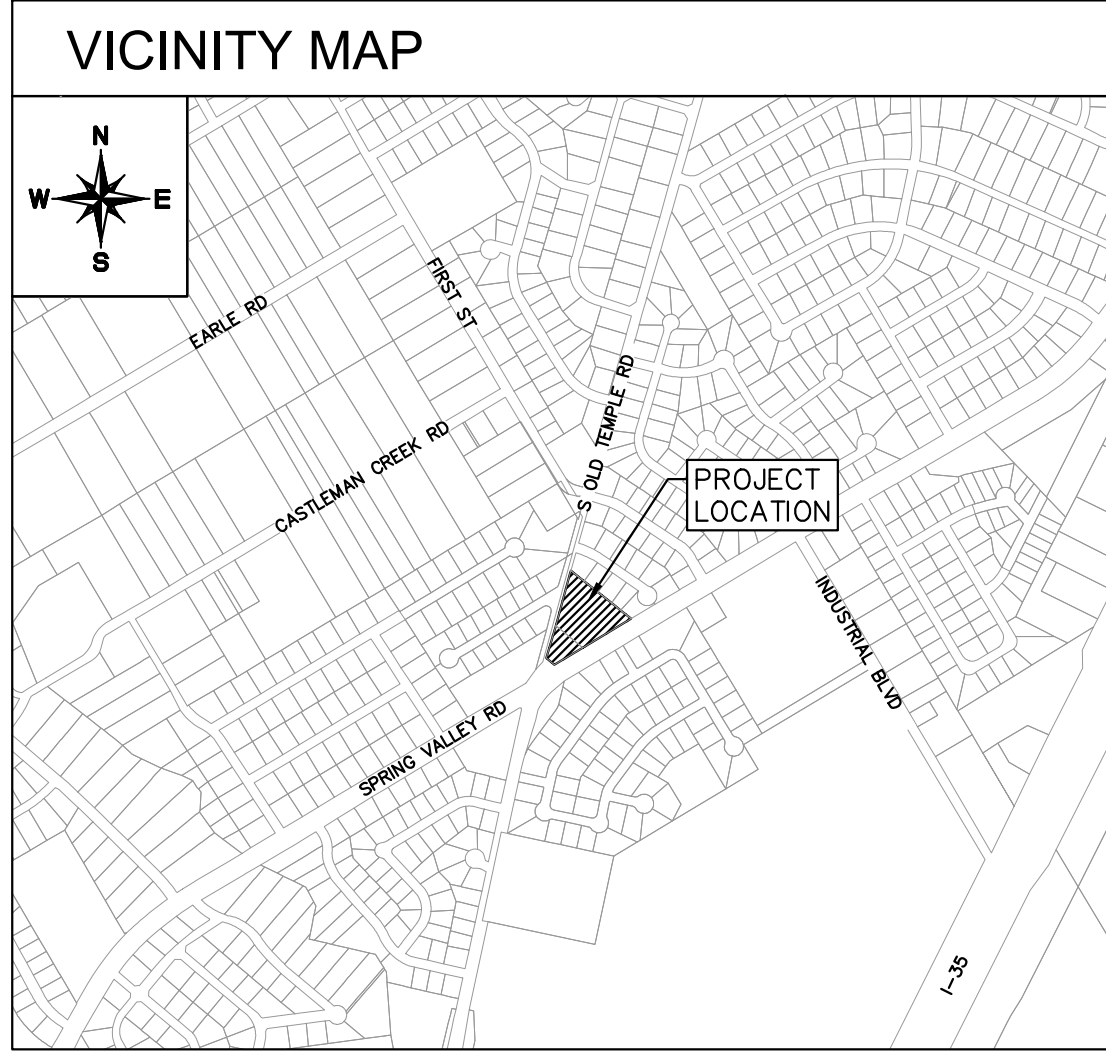
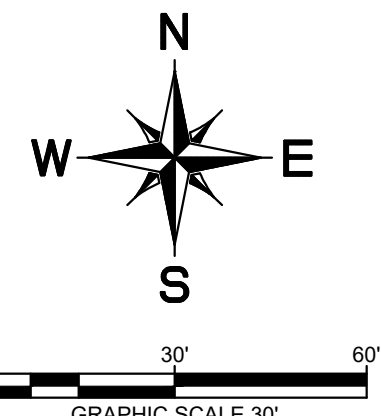
Telephone Number: 972-731-3800

Mailing Address: 6160 Warren Pkwy Suite 210, Frisco, TX 75034

Email Address: rob.myers@kimley-horn.com

Signature of Applicant/Representative: 

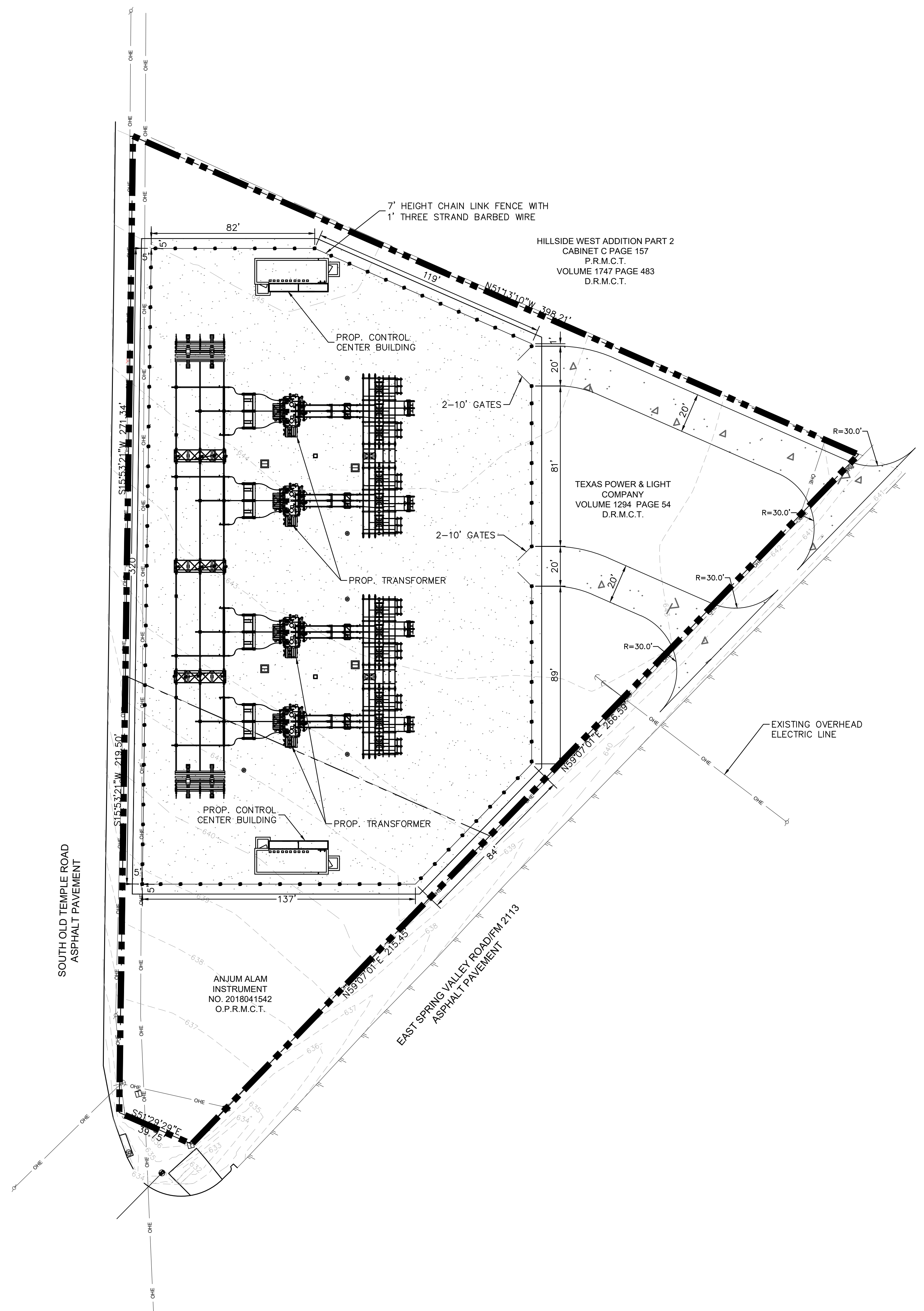
Date: 6/29/22



**LEGEND**

--- PROPERTY LINE

- - - ADJACENT PROPERTY LINE



**CONCEPTUAL SITE PLAN**  
 FOR  
**ONCOR HEWITT SUBSTATION**

ELECTRICAL SUBSTATION  
 CURRENT ZONING: C-1  
 BEING  
 2.273 ACRES OR 99,012 SQ. FEET OF  
 O'CAMPO CA-32 TRACT IC2  
 IN THE  
 CITY OF HEWITT, MCLENNAN COUNTY, TEXAS

**OWNER/DEVELOPER**  
 Oncor  
 777 Main Street, Suite 707,  
 Fort Worth, TX 76102  
 Tel: (817) 215-6807  
 Contact: Seth Sampson

**ENGINEER/SURVEYOR:**  
**Kimley-Horn**  
 6160 Warren Parkway, Suite 210  
 Frisco, TX 75034  
 Tel: (972) 335-3580  
 Contact: Rob Myers, P.E.

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.
RJM	KPH	RJM	AS SHOWN	6/29/2022	

REVISIONS: 1. DATE: 06/29/2022 10:41 AM  
 DRAWN BY: KPH  
 CHECKED BY: RJM  
 LAST SAVED: 6/29/2022 10:41 AM  
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.