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June 22, 2026

Kate Moloney  
Land Use Board Secretary  
Borough of Highlands Land Use Board  
151 Navesink Avenue  
Highlands, New Jersey 07732

Re: Completeness Review No. 2  
Preliminary Major Site Plan  
Owner/Applicant: Highlands Landing Corporation/Jack Bevins  
Block 100, Lot 27  
326 Shore Drive  
Borough of Highlands, Monmouth County, New Jersey  
Our File No.: HLPB25-06

Dear Ms. Moloney:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks approval for a Preliminary Major Site Plan for modifications to an existing parking lot and an existing seasonal use situated on a 7.66 Ac lot in the WC-2 Waterfront Commercial District.

The site is the upland portion of the Seastreak Ferry facility that includes the existing parking lot for ferry patrons and public access and the beach area in the northwest corner of the property. During the summer, the existing Sandbox beach bar and associated amenities operate on the beach with food trucks in the existing parking lot. The Sandbox is a second use on the lot. The Applicant is seeking Use Variance relief for the continued seasonal operation of the beach, including the Sandbox beach bar during the summer season with food trucks. The parking lot and bar are permitted uses in the WC-2 district.

The modifications include repaving, improved drainage, a reconfigured parking layout and traffic flow, sidewalks, ADA compliant walks and parking, concrete and gravel areas, traffic flow, signage, pedestrian safety, landscaping and lighting.

Major Site Plan checklist items and comments have been provided below by this office.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application received May 6, 2025, and signed April 28, 2025.
2. Copy of the Borough of Highlands Zoning Permit Application Checklist.
3. Copy of submission letter to Courtney Lopez, Highlands Zoning Officer from Brad Thompson, PE of Najarian Associates dated June 8, 2026.
4. Copy of a plan entitled, "Boundary and Topographic Survey, Highlands Landing Corporation, Block 100, Lot 27, Tax Map Sheet No. 19, Borough of Highlands, Monmouth County, New Jersey", prepared by Najarian Associates, signed and dated June 25, 2024.
5. Copy of a plan entitled, "Seastreak Ferry Terminal, Repaving Project for Highlands Landing Corporation, Major Site Plan, Block 100, Lot 27, 326 Shore Drive, Borough of Highlands,

Monmouth County, New Jersey”, prepared by Najarian Associates, dated April 22, 2025, last revised June 5, 2026, and signed consisting of 13 sheets.

6. Copy of a report entitled, “Stormwater Management Report for a Proposed Repaving Project, Seastreak Ferry Terminal, Block 100, Lot 27, 326 Shore Drive, Borough of Highlands, Monmouth County, New Jersey”, prepared by Najarian Associates, dated April 2025.
7. Copy of an Application for Soil Erosion and Sediment Control Plan Certification, Freehold Soil Conservation District dated April 24, 2025.
8. Copy of a submission letter to Courtney Lopez, Highlands Zoning Officer from Brad Thompson, PE of Najarian Associates, dated June 18, 2026.
9. Copy of a plan entitled, “Concept A, Seastreak Ferry Terminal, Repaving Project for Highlands Landing Corporation, Major Site Plan, Block 101, Lot 12.01, 348 Shore Drive, Borough of Highlands, Monmouth County, New Jersey”, prepared by Najarian Associates, dated June 17, 2026, and signed consisting of 1 sheet.

We offer the following comments and recommendations for the Land Use Board’s consideration:

**I. ZONING**

1. This property is located in the WC-2 Waterfront Commercial District.
2. The existing parking lot and bar (Sandbox beach bar-seasonal) are permitted uses.
3. A Major Site plan checklist was not provided.
4. The Applicant requires two (2) bulk “c” variances for maximum lot coverage and parking. To be entitled to bulk “c” variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c.

We defer to the Borough Planner’s letter for additional comments.

5. The Applicant requires Use Variance relief for the second use of the continued seasonal operation of the beach, including the Sandbox beach bar during the summer season with food trucks.

There are two existing storage containers, a shed and a large freezer associated with the beach operation.

We defer to the Borough Planner’s letter.

6. The following bulk requirement summary is provided for the Board’s reference.

Schedule I – Bulk and Area Requirements				
WC-2 Waterfront Commercial District				
	Required	Existing	Proposed	Variance
Min. Lot Area (sf)	N/A	333,717	333,717	No
Lot Frontage/Width (ft)	100	201.78	201.78	No
Lot Depth (ft)	150	870.61	870.61	No

Min. Front Yard Setback (ft)	20	828.9	828.9	No
Min. Side Yard Setback (ft)	10	173.3	173.3	No
Min. Rear Yard Setback (ft)	N/A	41.3	41.3	No
Max. Building Height (ft)	36	<36	<36	No
Max. Lot Coverage (%)	70	83.68*	83.10 (1)	Yes
Max. Building Coverage (%)	25	20	20	No
Parking				
On-Site Parking (spaces)	1,863*	957*	955 (2)	Yes
ADA Parking (spaces)	19	12*	19	No
ADA Van Parking (spaces)	3	0*	3	No
Min. Front Yard Setback	10	2.05*	0(3)	Yes
Min. Side Yard Setback	5	5.44	1(3)	Yes

\* Existing non-conformity

**VARIANCES REQUESTED**

1. Max. Lot Coverage (%) § 21-96.4

Max lot coverage is 70% whereas 83.10% is proposed.

2. The number of parking spaces required (1,863) is deficient by 908 parking spaces.

The required parking according to § 21-65.14.D.7a(2), Parking Schedule for Nonresidential Uses:

- a. Assembly hall, community building,...eating and drinking establishments:

1 for every 4 seats or 8 per 1,000 square feet of gross floor areas, whichever is larger

- b. Ferry transportation services:

0.7 space for every passenger seat on all departing boats during a regular 24-hour period.

2,660 passenger seats noted by the Applicant.

$2,660 \times 0.7 = 1,863$  spaces

- c. Public and private beaches, recreational uses:

1 space for every 250 square feet of beach or recreational area.

The Applicant accounted for the ferry service and not the secondary uses. Please refer to the General Comments regarding parking below.

3. The front yard setback for the overflow lot is 0 ft and the side yard setback for the overflow lot is 1ft.

The required minimum setback for parking spaces or access aisles, except entrance or exit drives, according to § 21-65.14D.2. is one-half (1/2) the required setback for the principal building. The minimum front yard parking setback is 10 ft and the minimum side yard parking setback is 5ft.

## II. CHECKLIST ITEMS

1. Date, name, location of site, name of owner, scale, and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. **Provided.**
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. **Provided.**
5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**
7. Specifications for and location of proposed surface paving and curbing. **Provided.**
8. Location of all structures within seventy-five (75) feet of the property. **Partially provided and acceptable.**
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Provided.**
10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Provided.**
11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **Partially provided and acceptable.**
12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths, and any other devices necessary to traffic safety and/or convenience. **Provided.**
13. The location and identification of proposed open space, parks, or other recreation areas. **Provided.**
14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Provided.**

15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**
16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **Partially provided. Additional information is required.**
17. Specific location and design of traffic control devices, signs, and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs, and lighting fixtures. **Provided.**
18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Not applicable.**
19. The present and past status use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Provided.**
20. A soil erosion and sediment control plan are required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Pending.**
21. Soil borings, when required by the Board Engineer. **Not required.**
22. Certification statement for the required municipal signatures, stating:  
  
Application No. \_\_\_\_\_ approved/disapproved by the Borough of Highlands Land Use Board as a Major Site Plan on (date). **Partially provided. Revise to Land Use Board.**

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

23. Certification statement for the County Planning Board approval/disapproval, if required. **Not applicable.**
24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Open.**

### III. **COMPLETENESS**

Adequate information has been provided to perform a technical review and therefore we recommend the application be deemed COMPLETE.

### IV. **GENERAL COMMENTS**

#### **Plan**

1. The boundary shown on the key map and the survey are not consistent. Please provide the lot lines for Lots 27.04 and 27.05 on the plan and update.
3. Lot 27.06 (apartments) is noted as R-2.03 on the 200' Radius Map shown on the Cover Sheet; however, the lot is situated in the WC-2 zone according to the zoning map. Lot 30.02 is situated in the MF zone according to the zoning map. Please revise.

4. Please indicate the Zone X500 0.2 pct annual change flood hazard area on the plan.
5. Please provide the extent of the gas easement and other utilities underlain by the pavement shading on the plans.
6. The project site is located in the Coastal Area Facilities Review Act (CAFRA) Zone. The Applicant shall comply with all applicable NJDEP requirements and should confirm any specific restrictions and/or permitting requirements accordingly.
7. Please revise the certification statement according to checklist No. 22.
8. We have concern regarding the proposed ADA ramps with landings and the flush sidewalk along the entrance to the existing employee parking area and the existing inlet. More grading information is needed to demonstrate a safe walking area for pedestrians and no flooding.

The existing inlet is not shown on the grading plan. According to the survey the grate has an elevation of 7.86. Whereas there is a proposed bottom of curb elevation of 9.07 close by. Please review.

Please indicate if the employee gravel parking lot is to be removed. The existing depressed curb is noted as being removed, the proposed grades do not indicate driveway access, and proposed landscaping is shown within the existing parking area.

9. Please provide the location of disposal dumpster(s) and recycling area. Provide no parking area striping in this area.
10. We recommend bike racks be provided based upon current bike usage. Please show on the plan.

### **Parking**

1. The proposed parking count has a deficit of 908 spaces from the required 1,863 spaces. The Applicant has indicated that overflow parking is available at an overflow parking lot located at Block 101, Lot 12.01. The submitted plan indicates an additional 221 parking spaces are available on the overflow lot.

The Applicant is required to provide additional information about the insufficient number of required spaces according to § 21-65.13.E, *Commercial Parking Deficiency Variance and Parking Deficiency Fee*.

2. The parking lot does not include any electric vehicle charging spaces. Please provide the required number of Electric Vehicle Make-Ready parking spaces according to § 21-65A.D.2, *Requirements for New Installation of EVSE and Make-Ready Parking Spaces*.
3. The Applicant has noted that food trucks will be participating during festivals at this location. Please indicate on the plan the area dedicated to the food trucks. Please provide information about if and how the food trucks will decrease the available parking.
4. Please indicate if the employee gravel parking is remaining and included in the site improvements. Provide the number of available parking spaces.
5. Please provide a parking summary consisting of the number of spaces required for employees, restaurant, employees (ferry and other), beach and recreational uses and electric vehicles for parking lots. Please provide information regarding the seasonal impact to available spaces. Please explain why the total number of parking spaces has been reduced and how this reduction may

impact the facility. The Applicant has provided Ferry passenger information for the weekdays during all months of the year. Additional information shall be provided on the remaining uses.

6. According to § 21-65.14.D.6, *In general, ninety (90) degree parking spaces shall be nine (9) feet wide by eighteen (18) feet long; and parallel parking spaces shall be eight (8) feet wide by twenty-one (21) feet long.*

The 90-degree parking is proposed as 8.50' x 18.00'. A design waiver is required.

7. Provide painted crosswalks at curb ramps/intended pedestrian routes through the parking lot.
8. The portion of the driveway with the painted 'Stop' will not be very visible without signage. We recommend an R1-1 Stop sign at the end of the opposing aisle, as done at other aisles.

R1-1 Stop signs have been added at most of the stop bar locations. However, some locations propose a R5-1 Do Not Enter sign. This should be reviewed and revised.

Proposed parking adjacent to proposed stop bars shall be eliminated. (See stop bar at the westbound aisle at the interior end of the site's egress driveway).

9. Please provide a vehicle circulation plan for emergency and commercial vehicles.
10. A fire lane is currently located along the common property line of Lot 27 and Lot 27.06. The proposed egress driveway is shown in the same area without fire zone striping. The Fire Chief must review and approve the proposed layout.
11. The Applicant shall propose an access aisle for the 2 ADA parking spaces in the overflow parking lot.

#### **Utilities**

1. A sanitary sewer manhole is shown in the parking lot. Please indicate how the site is serviced for sanitary sewer. Please provide the location of the existing sanitary sewer system along Shore Drive and along Lot 27.06 on the Grading, Drainage & Utility Plan.
3. Provide horizontal and vertical utility clearances for the proposed storm sewer relative to the sanitary system.

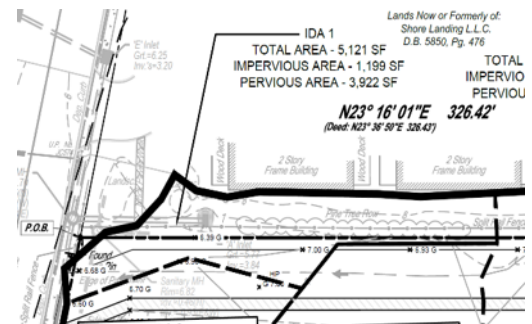
#### **Lighting**

1. According to § 21-65.11 Lighting, *The light intensity anywhere shall not exceed five-tenths (0.5) footcandle along any property line or three-tenths (0.3) footcandle if a residential property line. Light shields shall be provided, where needed to eliminate light spillover onto adjacent properties.*

The lighting intensity near adjoining Lot 30 and should be revised to increase the light intensity in this area. The Applicant should also take caution not to increase the light intensity to a point where it encroaches upon the neighboring property.. Additionally, a solid fence along the property line to further shield the lighting from the adjacent property should be considered.

### Stormwater Management

1. The Stormwater Management Report should be updated to match the current resubmission. The report cover indicates April 2025 / revised July 2025, while the site plans have been revised in 2026. The report should be revised and dated to reflect the current proposed layout.
2. The report narrative should be reviewed for consistency with the current plan. The report references existing parking counts and proposed conditions that do not appear to match the current site plan, which now indicates 734 proposed spaces. The number of spaces including the overflow parking is 955 proposed spaces. The Applicant shall revise all parking, coverage, drainage, and impervious surface references for consistency.
3. The Stormwater Management Report states that the proposed improvements reduce impervious coverage and that stormwater quantity, quality, and groundwater recharge requirements are satisfied through the reduction in impervious coverage. The Applicant shall confirm that the impervious coverage values in the report match the zoning table and site plan.
4. The report states that the proposed drainage system continues to have one inlet flooding above six inches during the 2-year storm. The Applicant shall identify that inlet on the Grading, Drainage & Utility Plan and provide the depth, duration, and operational impact of flooding.
5. The existing storm drainage pipes along Shore Drive are not shown on the drainage plans. This information is shown on the 2025 Drainage Area Maps contained in the SWM Report, but the applicant must show this information on the drainage plans, and the requested plan and profiles. This includes the 18-inch RCP and the 23-inch by 14-inch elliptical pipe on the adjacent lot.
6. Where almost all proposed Drainage Areas, that include offsite surfaces, drain back onto the property in question, IDA1 (5,121 square feet), relies on an offsite drainage structure (A-Inlet Grate Elevation 5.77). This condition must be formalized with a drainage easement, or no surface water shall be allowed to flow onto adjacent property.



7. The Applicant has not provided storm sewer profiles or a surcharge/HGL exhibit. The Applicant shall provide storm sewer profiles for the proposed drainage system, including pipe size, pipe material, slope, length, rim elevations, invert elevations, minimum cover, utility crossings, hydraulic grade line, and identification of any pipes or drainage structures that surcharge during the analyzed storm event(s). This is to include the two existing inlets at Sandy Hook Bay and the 8-inch outlet pipes.
8. The Stormwater Management Report states that the piping system was designed to reduce the impact of the 2-year storm; however, the report should clarify whether the Drainage Piping System Analysis in Appendix E was performed using the current 2-year storm, the future/projected 2-year storm, or another design storm. The applicable rainfall depth, storm distribution, tailwater condition, and design criteria should be clearly stated in Section 6 and at the beginning of Appendix E.

9. The Stormwater Management Report shall be revised to reference the current submitted plan set. Section 6 states that the piping system locations are shown on the "Grading, Drainage, and Utility Plan," prepared by Najarian Associates, April 2025. The current resubmission plans are dated April 22, 2025 and last revised in June 5, 2026. The Applicant shall update the Stormwater Management Report, drainage calculations, drainage maps, and appendices to confirm they correspond to the current submitted grading, drainage, utility, and site layout plans.
10. The Stormwater Management Report acknowledges that the site is located near a tidal water body and that portions of the drainage system discharge toward Sandy Hook Bay. However, the report does not clearly identify the tailwater elevation or downstream boundary condition used in the drainage piping analysis. The Applicant shall clarify whether Sandy Hook Bay tidal tailwater/backwater conditions were considered in the pipe design, HGL analysis, inlet flooding analysis, and surcharge calculations. The Applicant shall provide the design tailwater elevation, datum, source of tidal/flood elevation data, and revised calculations or profiles as necessary.
11. The Stormwater Management Report states that impervious surface is being reduced and that an increase in groundwater recharge will naturally occur. However, the groundwater recharge analysis in Appendix D appears to show existing impervious area of 6.080 acres, proposed impervious area of 6.049 acres, an increase in pervious area of only 0.032 acres, and 0 cubic feet of annual recharge in both existing and proposed conditions. The Applicant shall clarify how groundwater recharge is being increased if the submitted recharge analysis shows no increase in annual recharge volume.

In addition, the impervious area reduction shown in Appendix D appears to match the drainage-area calculations in the Stormwater Management Report, but it does not appear to match the lot coverage values shown in the Site Plan zoning table. The Applicant shall reconcile the impervious coverage, lot coverage, pervious area, and groundwater recharge calculations throughout the Stormwater Management Report, Appendix D, drainage-area tables, and current Site Plan zoning table.

12. The Applicant has provided NJDEP CAFRA Individual Permit No. 1317-02-0007.1 LUP250001, approved December 10, 2025. The Applicant shall provide a plan-compliance statement confirming that the current municipal site plans conform to the NJDEP-approved permit plan dated April 21, 2025, last revised December 1, 2025. If the current municipal plans differ from the NJDEP-approved plan, the Applicant shall obtain written confirmation from NJDEP that no permit modification is required, or shall obtain the required CAFRA permit modification prior to construction. The Applicant shall also demonstrate compliance with all permit conditions, including public access conservation restriction and signage, flood inundation signage, Floodplain Administrator review, Tidelands compliance, seasonal structure limitations, stormwater modification limitations, and required pre-construction notifications/recordings.
13. An Operations and Maintenance Manual or stormwater maintenance plan should be provided identifying the responsible party for maintenance of inlets, pipes, grates, outlet structures, and any other stormwater facilities.
14. The existing structures immediately upstream of the existing outfalls shall be considered for replacement with a catch basin in accordance with current NJDEP requirements.

**Construction details**

1. Please revise the concrete sidewalk detail to a 28-day strength of 4,500 psi.

2. Please provide construction details:

- a. 'A' and 'E' inlets
- b. Pipe connection
- c. Trenching
- d. Gravel section
- e. Crosswalk
- f. Solid fence
- g. Catch Basin

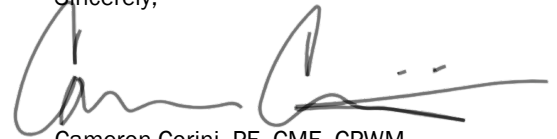
**V. APPROVALS**

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Freehold Soil Conservation
2. NJDEP FHA
3. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

Should you have any questions, please do not hesitate to contact me.

Sincerely,



Cameron Corini, PE, CME, CPWM  
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)  
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)  
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