

WILENTZ

—ATTORNEYS AT LAW—

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June 18, 2024

VIA HAND DELIVERY AND EMAIL

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, NJ 07732

**RE: 60 Bay Ave Highlands LLC
Preliminary & Final Major Site Plan Approval
60 Bay Avenue
Block 42, Lot 1**

Dear Ms. Tran:

This office represents 60 Bay Ave Highlands LLC in connection with the above-referenced application. Enclosed, for filing, please accept the following as included in the applicant's site plan application:

1. Eighteen (18) copies of the Land Use Board Application, amended to reflect updated tax payment, with Rider.
2. Eighteen (18) copies of an updated Zoning Permit Denial, dated April 23, 2024.
3. Eighteen (18) copies of a Response Letter, prepared by InSite Engineering, LLC, to the Roberts Engineering Group LLC Completeness Review No. 1, dated May 17, 2024.
4. Eighteen (18) copies of Proof of Property Taxes Paid provided by Donna Conrad, Borough Tax Clerk/Cashier, dated June 12, 2024.
5. Eighteen (18) copies of email correspondence from Kevin Rooney, Cashier, confirming sewer bill payment, dated June 18, 2024.
6. Eighteen (18) copies of Executed W-9, dated March 18, 2024.

7. Eighteen (18) copies of Stormwater Management Statement of Compliance, prepared by InSite Engineering, LLC, dated April 11, 2024.
8. Eighteen (18) copies of a sanitary sewer and water volume report, entitled "Engineer's Report," prepared by InSite Engineering, LLC, dated June 10, 2024.
9. Eighteen (18) copies of a survey, entitled "Boundary & Topographic Survey," prepared by InSite Surveying, LLC, dated November 30, 2023, last revised December 20, 2023, consisting of one (1) sheet.
10. Eighteen (18) copies of floor plans and elevations, entitled "60 Bay Ave Highland LLC Multi-Family Residence 60 Bay Avenue Highlands, New Jersey," prepared by LaFerlita Architectural Services, dated June 12, 2024.
11. Eighteen (18) copies of a preliminary & final major site plan, entitled "Proposed-Multi Family Residence," prepared by InSite Engineering, LLC, dated February 5, 2024, last revised June 5, 2024, consisting of thirteen (13) sheets.

Please be advised that the application and escrow fees were provided under separate cover. Additionally, please advise as to when this matter will be scheduled for a public hearing before the Land Use Board.

Thank you for your continued assistance in this matter. Should you require any additional information, please do not hesitate to contact this office.

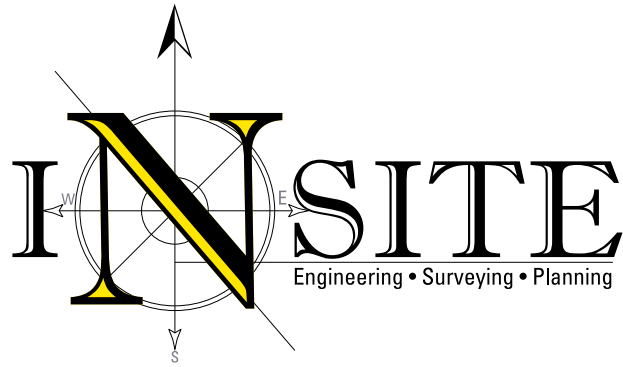
Very truly yours,


DONNA M. JENNINGS

w/encl.

CC: 60 Bay Ave Highlands, LLC
Doug Clelland, PE
Sal LaFerlita, AIA
Luke H. Policastro, Esq.

Land Use Board
Borough of Highlands
Attn: Nancy Tran
Land Use Board Secretary
151 Navesink Avenue
Highlands, New Jersey 07732



June 12, 2024

Via Hand Delivery

RE: **60 BAY AVENUE**
Response Letter (HLPB2024-02)
Block 42, Lot 1;
60 Bay Avenue
Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Owner/Applicant in response to Roberts Engineering Group Review Letter dated May 17, 2024. Each comment and response are numbered in accordance with the aforementioned review memo. *Italicized text is taken from the review memo for your ease of reference;* non-italicized text represents our responses.

Review Letter, dated May 17, 2024

III. CHECKLIST ITEMS

3. *The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. Partially provided.*

Provide existing features and information as described within seventy-five feet of the property lines.

The Location Map on the Title Sheet (C100) was revised accordingly.

4. *Location, Use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. Partially provided.*

Provide ground floor area(s) on the site plans.

A “Building Data” chart was added to the Site Layout Plan (C300).

5. *Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. Partially provided.*

Provide additional elevations on the site plans.

Additional elevations were added to the Grading, Drainage & Utility Plan (C400).

InSite Engineering, LLC

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8. *Location of all structures withing seventy-five (75) feet of the property. Partially provided.*

Provide location of all structures within seventy-five feet of the property.

The Location Map on the Title Sheet (C100) was revised accordingly.

10. *Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type, and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. Partially provided.*

Applicant has provided stormwater management report.

Provide existing and proposed sanitary sewer report, locations, and total average daily sewerage flow. Please see general comments.

An Engineer's Report is included in this submission, accordingly.

11. *Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. Partially provided.*

Provide existing contours for seventy-five (75) feet outside the property.

Provide additional proposed spot elevations in the flood hazard area.

Monmouth County topographic data was added to a key map on the Title Sheet (C100).

16. *The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. Partially provided.*

Provide location of recycling bins. Provide location of garbage disposal pick up.

The location of recycling bins and the location for garbage disposal pick up was added to the Site Layout Plan (C300).

21. *Soil borings, when required by Board Engineer. Not provided.
May be required for footings for construction.*

The Applicant agrees to comply, as required, prior to construction.

23. *Certification statement for the County Planning Board approval/disapproval, if required. Not provided. Condition of Approval.
Bay Avenue is County Route 8; therefore, County Planning Board approval will be required.*

The Applicant agrees to comply as a condition of approval, if approved.

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24. *The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. Open.*

Informational, no response required.

II. DESIGN WAIVERS

1. *Relief is requested from Ordinance Subsection 21-65.5(C)(1) Maximum Driveway Width at Curb. Eighteen (18) feet is permitted, and 19.09 feet is proposed for the site.*

Supporting testimony will be provided.

2. *Relief is requested from the Ordinance Subsection 21-65(11)(E) Minimum Lighting Level. 0.3 fc is required, and 0.1 fc is proposed for the site.*

Supporting testimony will be provided.

3. *Relief is requested from Ordinance Subsection 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc is permitted, and 1.7fc is proposed for the site.*

Supporting testimony will be provided.

V. GENERAL COMMENTS

1. *Please confirm that the existing dwelling will be moved closer to Bay Avenue.*

The Land Use Board Application, Rider, cover letter and reports do not indicate that the existing structure is to be located closer to Bay Avenue.

The Denial of Zoning Permit notes "Lift house up to flood requirements. Move forward toward Bay Avenue..." The Boundary and Topographic Survey, Existing Conditions Plan, Site Plan and architectural plans were compared, the common existing and proposed walls appear to be closer to Bay Avenue.

Please provide a note on the plans clearly indicating that the dwelling is to be relocated.

The site plan was revised accordingly (multiple sheets).

2. *The site was issued a Denial of Zoning Permit on February 14, 2024, by Courtney Lopez, Zoning Officer for the Borough of Highlands. The site was denied for non-compliance for having a building coverage of 52.4% where 35% is permitted: proposed parking spaces at 7 where 10.01 spaces are required and proposed driveway at curb is 19.09 feet where 18 feet is permitted.*

Informational, no response required.

InSite Engineering, LLC

3. *The proposed site is located in the CBD Redevelopment Overlay 2 Zone (C-RO-2) Gateway Parcels which allows for 80% building coverage. The Applicant is proposing 62%.*

Informational, no response required.

4. *Please indicate on the plans the elevation and square footage of the floors and the required minimum outdoor living per 100 sf/unit plus 50 sf/BR. Please update the bulk requirements summary.*

The architectural plans as well as the Zoning Compliance Chart on the Site Layout Plan (C300) was revised accordingly.

5. *Eleven spaces (10.1 spaces per RSIS Midrise Apartments) per C-RO-2 are required for the proposed site. Per §VIIA Vehicular Parking, residential uses are permitted to count first any available on-street parking spaces before determining the number of parking spaces that must be provided off-street. The Applicant notes that there are more than 3.1 existing on street parking spaces within the immediate vicinity and therefore the project complies.*

Bay Avenue, South Street and Shrewsbury Avenue have no parking areas that are designated by yellow painted curbing.

Please indicate and dimension the available on-street parking spaces on the plans and confirm that the parking requirement has been met. Please update the parking chart.

The existing parking spaces across Shrewsbury Avenue were added to the plan. Although not striped, parking is also available along Bay Avenue. The parking spaces that are provided on-site are indicated in the proposed column and footnote (1) describes the available parking in the immediate vicinity to demonstrate compliance.

6. *The Applicant is requesting a design waiver for the proposed 19.01 ft width driveway with apron and sidewalk accessing Shrewsbury Avenue.*

Please explain why an 18 ft width driveway is not sufficient for the proposed driveway. An 18 ft driveway is required per §21-65.5.

Please provide spot elevations for the proposed apron and sidewalk ramps. Confirm ADA compliant.

Additional spot elevations were added to the plan. The proposed driveway was made slightly wider than 18' in order to accommodate two complete parking areas fully within the driveway and on the subject property.

7. *Please provide proposed spot elevations indicating positive drainage between the rear driveway and the landscape buffer towards the roadway. Flow arrows and spot elevations are shown in the landscaped area, which cannot be relied on for long term positive flow.*

InSite Engineering, LLC

Additional spot grades were added to the plan, accordingly.

8. *There is existing 4 ft and 6 ft high fencing along Lot 15, as shown on the Boundary and Topographic Survey and the Existing Conditions Plan.*

The fencing is missing from the site plans. Please confirm ownership of the fence and place on the site plans.

The existing fence was added to the plans, testimony will be provided regarding ownership of the fence.

9. *Please provide proposed spot elevations indicating positive drainage between and along the existing fence with Lot 15, paved walkway and building to the roadway.*

Additional spot grades were added to the plan, accordingly.

10. *The ground elevations on the Architectural plans are 4.00 whereas the grading plan is 5.00. Please confirm the elevations and correct.*

The architectural plans were revised, accordingly.

11. *There are elevation five – and six contours shown in the southeast corner of the lot between the proposed dwelling, under the deck and the existing sidewalk. The ground elevation at the dwelling is 5.00. Please provide positive drainage and spot elevations.*

Existing contours are shown as shaded (grey). We leave them on the plan so that the future contractor has an indication of the earthwork necessary. There is only one proposed 5 contour which was added to the plan. The proposed elevation at the base of the building is 5 and the existing/proposed sidewalk varies between 4 and 4.5, therefore positive drainage is maintained.

12. *Provide proposed spot elevations at all the corners of the proposed building, walkways, driveway, and aprons.*

Additional spot grades were added, accordingly.

13. *Please revise the building height per architectural plans from 29.25 ft to 29.33 ft.*

The plans were revised accordingly.

14. *Plantings are shown on the northeast portion of the proposed dwelling beneath the decking and upper floors.*

Please confirm that the proposed plantings will thrive with minimum sun exposure.

Please place landscaping details on the Landscape Plan.

InSite Engineering, LLC

With the area getting southern exposure, there will be ample morning sun, with the potential for more in the spring and fall months when the sun angle is lower.

15. *Please indicate if there is lawn or stone under the proposed decking. Please update the stormwater calculation if necessary.*

The plan was revised, accordingly.

16. *Provide a note on the plans that the Applicant is responsible for any damages to any/all existing curb, sidewalk, roadway, and other off-site objects made during construction and must be repaired and/or replaced to the satisfaction of the Borough Engineer and costs paid by the Applicant.*

General Note 18 was added to the plan (C101).

17. *Indicate the pavement replacement areas for the installation of all utilities and proposed driveways.*

Update pavement details according to § 21-65.15.

The plan was revised, accordingly.

18. *Indicate the areas of concrete sidewalk and paver walkway repair for the installation of utilities and provide details.*

The plan was revised, accordingly.

19. *Indicate inverts, cleanouts, roof leader connections and splash blocks on the plans for the roof leader collection system that discharges to an existing inlet located on South Street. Provide size and material type on the plans.*

Proposed downspout locations were added, accordingly. The “Exterior Downspout Collector” detail indicates that a splash block is proposed at each downspout location. Size, material, and slope of pipe is indicated on the plans with capacity calculations.

20. *A proposed sanitary sewer connection within a proposed driveway is shown connecting to the sanitary sewer line in Bay Avenue.*

It is recommended that the lateral not be placed in the driveway and a cleanout provided near the dwelling and near the curb.

Provide the size and type of material for the lateral.

Provide cleanout protection box details for paved or unpaved areas.

The plan was revised to provide additional detail on the sanitary sewer connection.

InSite Engineering, LLC

21. *An existing cleanout is shown approximately 4.5 ft within an asphalt area of sidewalk near on of the two pairs of proposed driveways accessing Bay Ave.*

Please indicate the location of the existing sanitary sewer connection (size and material) and its intent as to whether it is to be abandoned or to serve in conjunction with the proposed sanitary lateral. Please provide note on plan.

The plan was revised accordingly.

22. *A Sanitary Sewer Connection Fee will be required for the site.*

As per N.J.S.A. 40A:26a-11.1, "A municipal sewerage facility may charge an additional connection fee for an addition, alteration, or change in use that materially increases the level of use (15% or more) and imposes a greater demand on the sewerage system but does not involve a new physical connection of the property to the sewerage system."

The additional dwelling unit and increased number of overall bedrooms is anticipated to increase the flow by over 15%.

The Applicant is requested to provide the existing and projected increased total daily sanitary sewer flow to calculate the connection fee.

The projected average daily sanitary flow shall be based on NJDEP criteria for N.J.A.C. 7:11A-23.3(a).

Please provide a table of calculations on the plan.

An Engineer's Report is included in this submission, accordingly. Demand calculations were also added to the Grading, Drainage & Utility Plan, as requested.

23. *An existing water meter is shown approximately 1.5 ft within the existing paver sidewalk near one of the two pairs of proposed driveways accessing Bay Ave.*

Please indicate the location of the existing water service (size and material) and its intent as to whether it is to be abandoned or to serve in conjunction with the proposed water service.

Please provide the size and material type for the proposed water service on the plan.

The existing service was identified as to be abandoned and the proposed service size and material have been identified on the plan. This is subject to confirmation from the project MEP, prior to construction, if approved.

24. *There is an existing gas service line in Bay Avenue on the Boundary and Topographic survey but is not shown on the site plans.*

InSite Engineering, LLC

Please indicate the location of the existing gas service and its intent as to whether it is to be abandoned or to serve in conjunction with the proposed gas service. Please provide a note on the plan.

There is a gas valve at the existing rear driveway on Shrewsbury Avenue. Provide the existing gas service line on the plans. Please provide a note regarding its service to the proposed building.

The existing service was identified as to be abandoned and the proposed service has been identified on the plan. This is subject to confirmation from the project MEP, prior to construction, if approved.

25. *There are two existing overhead services on Bay Avenue and Shrewsbury Avenue as shown on the Boundary and Topographic Survey and the Existing Conditions Plan. A proposed and existing overhead service is shown for Bay Avenue on the Grading, Drainage and Utility Plan, however the existing service on Shrewsbury is not shown.*

Please indicate the existing service on the plan and note if it is to be removed.

All proposed utilities are required to be underground per §21-65.26 B, however the section allows overhead service with the provision of:

Lots which abut existing streets where overhead electric or telephone distribution supply lines and service connections have heretofore been installed may be supplied with electric and telephone service from these overhead lines, but any new service from these overhead lines shall be installed underground.

Provide a note on the plans.

The existing service was identified as to be abandoned and the proposed service has been identified on the plan as underground. Tapping points are subject to confirmation from the project MEP, prior to construction, if approved.

26. *An existing decorative streetlight is located within one of the proposed driveway aprons along Bay Avenue. Please provide a design solution for the conflict and location for the relocated pole.*

The plans were revised to show this light as being relocated, accordingly.

27. *The Application is requesting relief from 2 Lighting Ordinances:*
- a. Subsection 21-65(11)(E) Minimum Lighting Level. 0.3 fc is required, and 0.1 fc is proposed for the site.*
 - b. Subsection 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc is permitted, and 1.7 fc is proposed for the site.*

The Applicant did not include existing lighting in the analysis.

The existing decorative streetlight (see comment above) and street lighting need to be included for an overall analysis.

It is unknown if the existing fencing along Lot 15 has factored into the analysis. The proposed light facing Lot 15 does not seem to have the same intensity as those of the other proposed lights.

There is a lighting void area for the main entrance and sidewalk to the proposed building along Bay Avenue. Please provide sufficient lighting for the entrance and sidewalk.

Please provide the manufacturer's specifications.

We recommend the applicant provide the minimum lighting level required, and a decrease in lighting levels at the property line, along with testimony of why such highlighting levels are being requested.

The existing fence along Lot 15 was factored into the analysis. Manufacturers specifications were added to the plans. Existing lighting from the ROW was added to the plan first in a standalone viewport, and secondly it was included in the proposed lighting conditions.

28. *There is a rear entrance and a doorway for a storage unit on the north side of the building which access to a lawn and gravel area, respectively. It is recommended that a sidewalk be provided to connect the rear entrance with the walkway area for the garbage bin area and the rear gravel driveway.*

A sidewalk was added, accordingly.

29. *Please indicate where the recycling bins are to be placed.*

The Site Layout Plan was revised (C300), accordingly.

30. *Please indicate if there is a dedicated area for garbage and recycling pickup.*

The Site Layout Plan was revised (C300), accordingly.

31. *Please revise the concrete vertical curb to indicate the depressed curb.*

The Construction Details (C800 & C801) were revised, accordingly.

32. *As a condition of approval, it is recommended that the Applicant provide a plot plan for review and approval at the time of obtaining the building permit.*

The Applicant agrees to comply as a condition of approval, if approved.

33. *The property is located in the AE flood zone with a Base Flood Elevation of 11 feet and the proposed finished floor elevation is 14.00.*

We defer further review to the Flood Plain Administrator and Construction Official for any applicable building requirements accordingly.

InSite Engineering, LLC

Informational, no response required.

34. According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project.

The applicant is to address this and provide testimony related to the same.

Testimony will be provided at the hearing.

V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

- 1. Monmouth County Planning Board. **WILL COMPLY***
- 2. Freehold Soil Conservation Service. **WILL COMPLY***
- 3. Coastal Area Facilities Review Act (CAFRA) Zone. **WILL COMPLY***

In accordance with the above, enclosed please find the following:

- Nineteen (19) copies of the plan entitled, "Preliminary and Final Major Site Plan", dated 02/05/24, last revised 06/05/24 (r4), totaling thirteen (13) sheets, as prepared by this office;
- Nineteen (1) copies of the survey for the project;
- Nineteen (19) copies of the Engineer's Report for the project; and,
- Nineteen (19) copies of the Stormwater Statement for the project.

Thank you for your continued courtesies regarding this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,
InSite Engineering, LLC



Douglas D. Clelland, PE

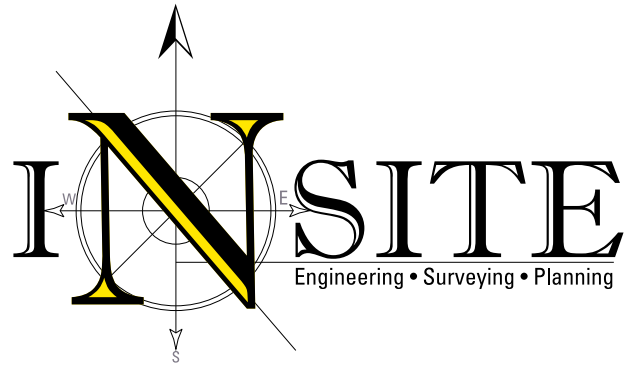
Job #23-2237-01

DDC/mn

cc: 60 Bay Ave Highlands, LLC, Applicant (via Email)
Donna Jennings, Esq., Applicant's Attorney (via Email)
Sal Laferlita, AIA, Applicant's Architect (via Email)

InSite Engineering, LLC

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This

ENGINEERS REPORT

for a

PRELIMINARY & FINAL MAJOR SITE PLAN FOR PROPOSED RESIDENTIAL USE

of

**BLOCK 42; LOT 1
60 BAY AVENUE**

in

**THE BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NJ**

has been prepared for

60 BAY AVE HIGHLANDS, LLC

60 Bay Avenue

Highlands, NJ 07732

by

InSite Engineering, LLC

1955 Route 34, Suite 1A

Wall, NJ 07719

CERTIFICATE OF AUTHORIZATION 24GA28083200

On

June 10, 2024

InSite Project No. 23-2237-01

**Douglas D. Clelland
NJPE 53310**

InSite Engineering, LLC

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InSite Engineering, LLC

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INTRODUCTION

The project site is located on Lot 1 within Block 42 (0.148 acre) that has frontage on Bay Avenue to the west, South Street to the south, Shrewsbury Ave to the east, and residential developments to the north. The 0.148 acre site is currently developed with a multi-family residential use.

The applicant, 60 Bay Ave Highlands, LLC is proposing to relocate, elevate and expand the 3 story multifamily residential building. The current building has three 2-bedroom apartments and one studio apartment. The expanded building will have four 2-bedroom apartments and one 3-bedroom apartments. Additional improvements include parking areas, lighting and landscaping measures, stormwater management facilities, and other associated site amenities.

This report analyzes the proposed sanitary sewer and water volume for the project. The analysis presented herein is intended to support applications for approval of the service connections by the Borough of Highlands and New Jersey American Water.

PROJECT SUMMARY

The project is located in a Sewer Service Area with existing service located in the Bay Avenue ROW. As part of the application, the applicant is proposing to connect to the existing sewer main with a proposed 34 LF of 4" SDR-35 PVC at a slope of 2.1%. Flow rate calculations as well as conveyance system details and specifications are in accordance with the requirements of Title 7 of the New Jersey Administrative Code and the NHSA.

Additionally, the project contains an existing water main located within the Bay Avenue ROW. The applicant is proposing to connect to this main via a wet tap. The proposed water service consists of a 2" copper domestic service lateral. Demand calculations are provided in accordance with N.J.A.C. 5:21-5.2. The proposed service line sizes are subject to a more detailed design by the project MEP Engineer. The MEP Engineer was not yet retained as of the writing of this report.

InSite Engineering, LLC

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SEWER FLOW CALCULATIONS

A. Proposed Average Daily Flow (per N.J.A.C. 7:14A-23.3):

Two-Bedroom Apartment (unit) = 4 units

Two-Bedroom Apartment (225 gpd/unit) : $Q_{avg.} = 225 \text{ gpd} \times 4 \text{ units} = 900 \text{ gpd}$

Three-Bedroom Apartment (unit) = 1 units

One-Bedroom Apartment (300 gpd/unit) : $Q_{avg.} = 300 \text{ gpd} \times \text{units} = 300 \text{ gpd}$

Total Estimated Flow: = 1,200 gpd \approx 0.0012 mgd

B. Service Connections Capacity Analysis

Proposed Service Connection: Bay Avenue

The proposed 4-inch SDR-35 PVC sanitary sewer service connection will be sufficient to convey the proposed residential flows from the building (1,050 gpd or 0.0011 mgd) as calculated below:

$$Q_d = (1.486 / n) \times A \times R^{2/3} \times S^{1/2}$$

where,

Q_d = design capacity, cfs (1/2 full)

n = Mannings roughness coefficient (PVC = 0.010)

A = flow area (1/2 full) = 0.087 S.F.

R = hydraulic radius = $A/WP = 0.083 \text{ ft.}$

S = pipe slope = 0.02 ft/ft.

$$Q_d = (1.486/0.010) \times 0.087 \times 0.083^{2/3} \times 0.02^{1/2} = 0.348 \text{ cfs}$$

$$Q_d = 0.348 \text{ cfs} \times 0.6463 \text{ mgd/cfs} = 0.225 \text{ mgd}$$

$$\text{Minimum Design Capacity} = 2 \times Q_{avg.} \text{ (flowing 1/2 full)}$$

$$\frac{Q_d}{Q_{avg.}} = \frac{0.225 \text{ mgd}}{0.0012 \text{ mgd}} = 187.5 > 2 \quad \therefore \text{OK}$$

(Capacity exceeds demand)

InSite Engineering, LLC

WATER DEMAND CALCULATIONS

A. Proposed Average Daily Demand (per N.J.A.C. 5:21-5.2):

Peak Demand

Two-Bedroom Apartment (Unit) = 4 Units

Two-Bedroom Apartment (140 Gpd/Unit: $Q/Avg. = 140 \text{ Gpd/Unit} \times 4 \text{ Units} = 560 \text{ Gpd}$)

Three-Bedroom Apartment (Unit) = 1 Units

Three-Bedroom Apartment (200 Gpd/Unit: $Q/Avg. = 200 \text{ Gpd/Unit} \times 1 \text{ Units} = 200 \text{ Gpd}$)

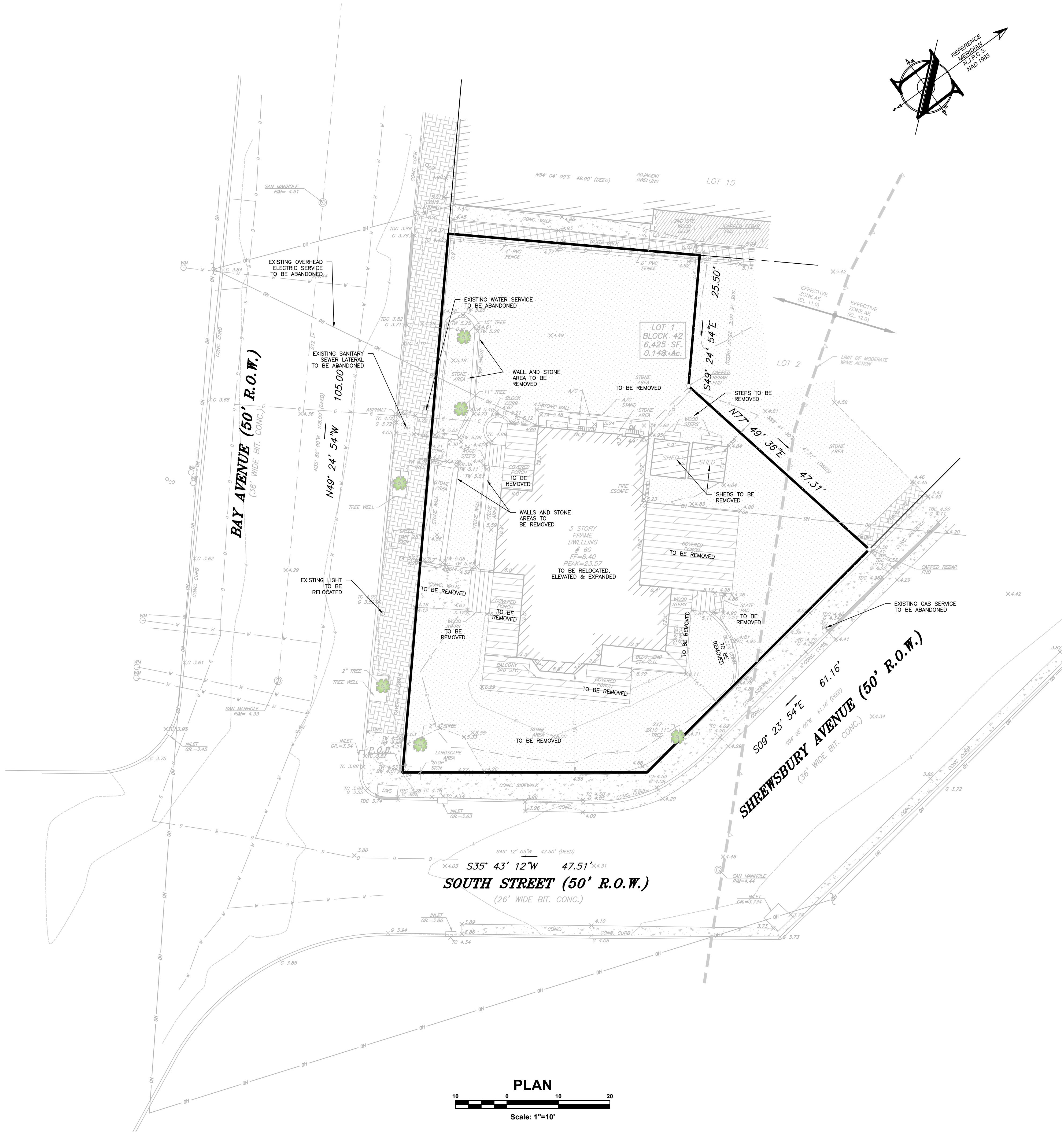
Total Proposed Average Daily Demand: = 560 Gpd + 200 Gpd = 760 Gpd \approx 0.0006 Mgd

CONCLUSION

The analysis herein demonstrates that the proposed building service connection will adequately convey wastewater and water flows from the proposed building into the existing infrastructure within Bay Avenue.

InSite Engineering, LLC

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SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED

PROJECT INFORMATION

PROJECT NAME:
**PROPOSED
MULTI -
FAMILY
RESIDENCE**

PROJECT LOCATION:
BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732


APPLICANT:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS


ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719

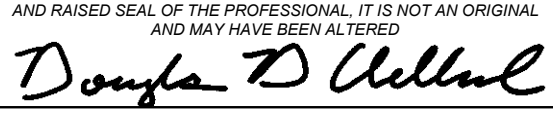

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GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE


InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

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DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev.#	Date	Comment
1	02/05/24	PER BOROUGH COMMENTS
2	03/28/24	PER ATTORNEY
3	03/28/24	PER ATTORNEY
4	03/28/24	PER ARCHITECT
5	03/28/24	INITIAL RELEASE

SCALE: 1"=10'

DATE: 02/05/24

JOB #: 23-2237-01

CAD ID: 23-2237-01r3

DESIGNED BY: DDC

DRAWN BY: AMC

CHECKED BY: DDC

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:

**EXISTING CONDITIONS &
SITE PREPARATION PLAN**

SHEET NO.:

C200



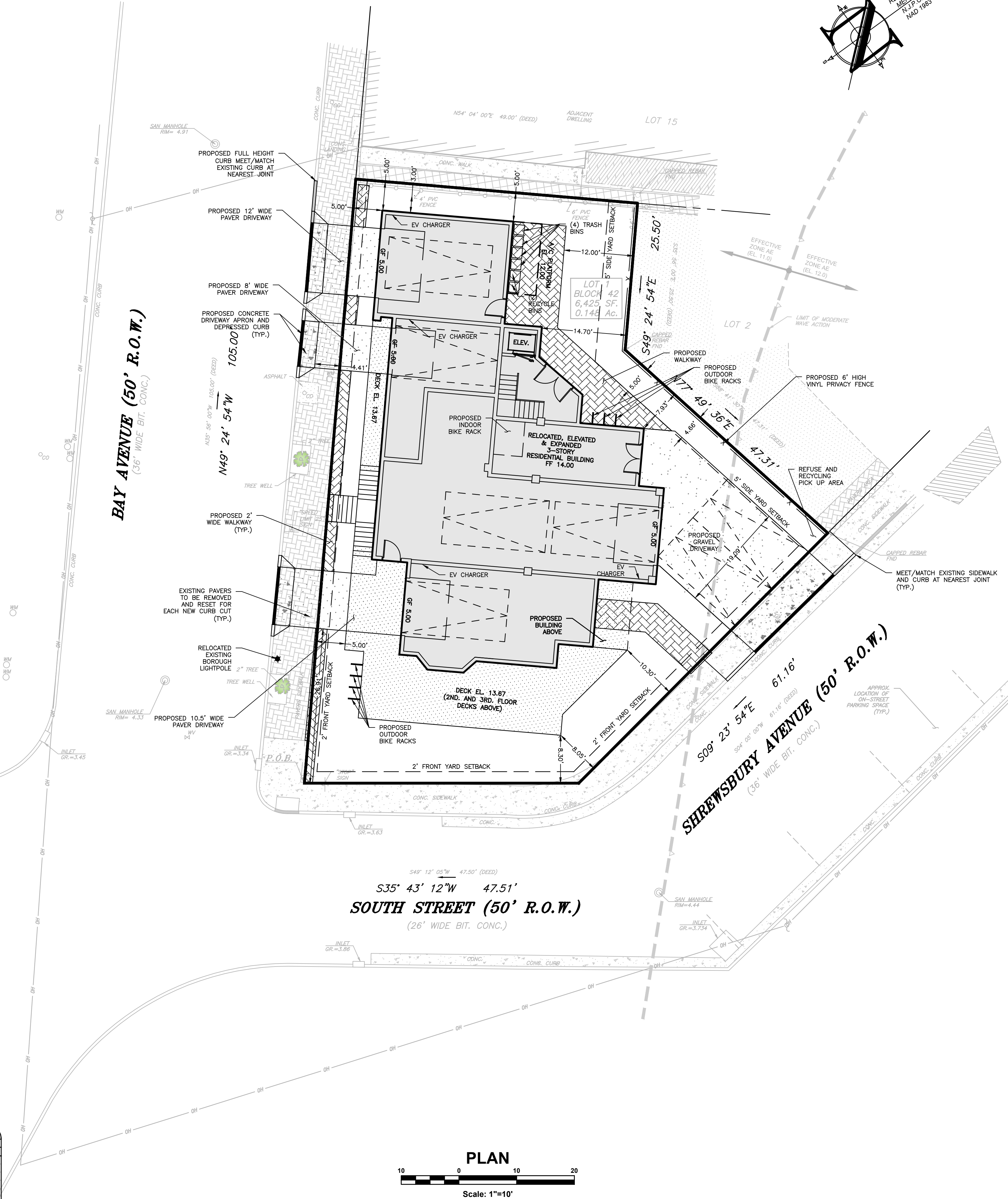
(N) EXISTING NON-CONFORMITY	(I) IMPROVED CONDITION	N/A - NOT APPLICABLE
(E) EXISTING VARIANCE	(X) VARIANCE / NON-CONFORMITY ELIMINATED	N/A - NOT SPECIFIED
(N) EXISTING PROPOSED WAIVER	(W) PROPOSED WAIVER	
<p>(1) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE</p> <p>(1) PER SIDE A SIDE YARDS, NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE. HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST 5 FEET. THE MINIMUM SIDE YARD FOR ALL OTHER RESIDENCE ZONES SHALL BE AT LEAST FIVE (5) FEET</p> <p>AND SHALL CONTAIN BUFFERING IN ACCORDANCE WITH THE REQUIREMENTS OF THIS ORDINANCE.</p> <p>(2) NO ACCESSORY STRUCTURE(S), EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVISIONS AND OTHER SUCH STRUCTURES, SHALL HAVE AN EXISTING OR PROPOSED FLOOR ELEVATION LOWER THAN THE GRADE OF THE SHORE FRONT OR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT.</p> <p>ALL ACCESSORY STRUCTURES SHALL OCCUPY NO MORE THAN FORTY (40%) PERCENT OF THE REAR YARD AREA.</p> <p>(3) THE DISTANCE FROM THE SHORE FRONT TO THE GRADE OF THE SHORE FRONT OR AREA OF THE SHORE FRONT SURFACE, IN THE CASE OF SLOPED ROADS, THE AVERAGE HEIGHT IS THE POINT BENT TO THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE, IN THE CASE OF A BUILDING THAT HAS MULTIPLE ROOF LEVELS, THE HIGHEST ROOF LEVELS MUST BE USED TO DETERMINE THE BUILDING HEIGHT.</p> <p>(4) THE REAR YARD SHALL BE A MINIMUM OF FIVE FEET WIDE. THE BUILDING SHALL BE WITHIN THE FIVE FEET WIDE REAR YARD PLANE SHALL BE THE MOST RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.</p>		

SEE SHEET C101 FOR PLAN NOTES

PARKING, DRIVEWAY & LOADING COMPLIANCE CHART				
ORD. SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
\$21-65.14	STALL SIZE (FT) NUMBER OF PARKING SPACES	9 X 18	9 X 18	YES
RSIS TABLE 4.4	RESIDENTIAL USES (2 FAMILY & MULTIFAMILY UNITS)			
	1.8 SPACES PER (1 BR UNITS)			
	2.0 SPACES PER (2 BR UNITS)			
	2.1 SPACES PER (3 BR UNITS)			
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH 2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH 3RD. FLOOR - 1 UNIT 3 BEDROOMS TOTAL PARKING SPACES (INCLUDING EV CREDIT OF 1 SPACE)	4 4 2.1 9.1	7 (1)	YES
	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	19.09 (W)	NO
\$21-65.5C.	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	17.5	YES
\$21-65.5A.	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	26.91	YES

(X) EXISTING NON-CONFORMITY	(I) IMPROVED CONDITION	N/A - NOT APPLICABLE
(V) PROPOSED VARIANCE	(W) PROPOSED WAIVER	N/S - NOT SPECIFIED
<p>(1) PURSUANT TO THE BOROUGH OF HIGHLANDS, NJ CENTRAL BUSINESS DISTRICT REDEVELOPMENT PLAN §VI.A VEHICULAR PARKING, RESIDENTIAL USES ARE PERMITTED TO COUNT FIRST ANY AVAILABLE ON-STREET PARKING SPACES BEFORE DETERMINING THE NUMBER OF PARKING SPACES THAT MUST BE PROVIDED OFF-STREET. THERE ARE MORE THAN 3 EXISTING ON-STREET PARKING SPACES WITHIN THE IMMEDIATE VICINITY, THEREFORE THE PROJECT COMPLIES.</p>		

ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)				
RESIDENTIAL ABOVE FIRST FLOOR / CBD REDEVELOPMENT OVERLAY 2 ZONE (C 40 55D-66 20 3 a (1))				
SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES 10 x 15% = 1.5 SPACES = 2	2 SPACES	YES
	MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT			
3.a.(1)(a)	@ INITIAL CONSTRUCTION	1 x MAKE-READY = 1 SPACES		YES
3.a.(1)(b)	@ 3 YEARS AFTER CERT. OF OCCUPANCY	1 x MAKE-READY = 2 SPACES	1 EV SPACES	YES
3.a.(1)(c)	@ 6 YEARS AFTER CERT. OF OCCUPANCY	1 x MAKE-READY = 2 SPACES	2 EV SPACES	YES



PROJECT INFORMATION	
<u>PROJECT NAME:</u> <div style="text-align: center; font-size: 2em; margin-top: 20px;"> PROPOSED MULTI - FAMILY RESIDENCE </div>	
<u>PROJECT LOCATION:</u> <div style="text-align: center; margin-top: 10px;"> BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ </div>	
<u>OWNER:</u> <div style="text-align: center; margin-top: 10px;"> 60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732 </div>	
<u>APPLICANT:</u> <div style="text-align: center; margin-top: 10px;"> 60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732 </div>	
APPLICANT'S PROFESSIONALS	
<u>ATTORNEY:</u> DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095	
<u>ARCHITECT:</u> SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738	
<u>SURVEYOR:</u> INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719	



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NJ PE 24GE05331000

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4	06/05/24	PER BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
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DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	
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PLAN INFORMATION			

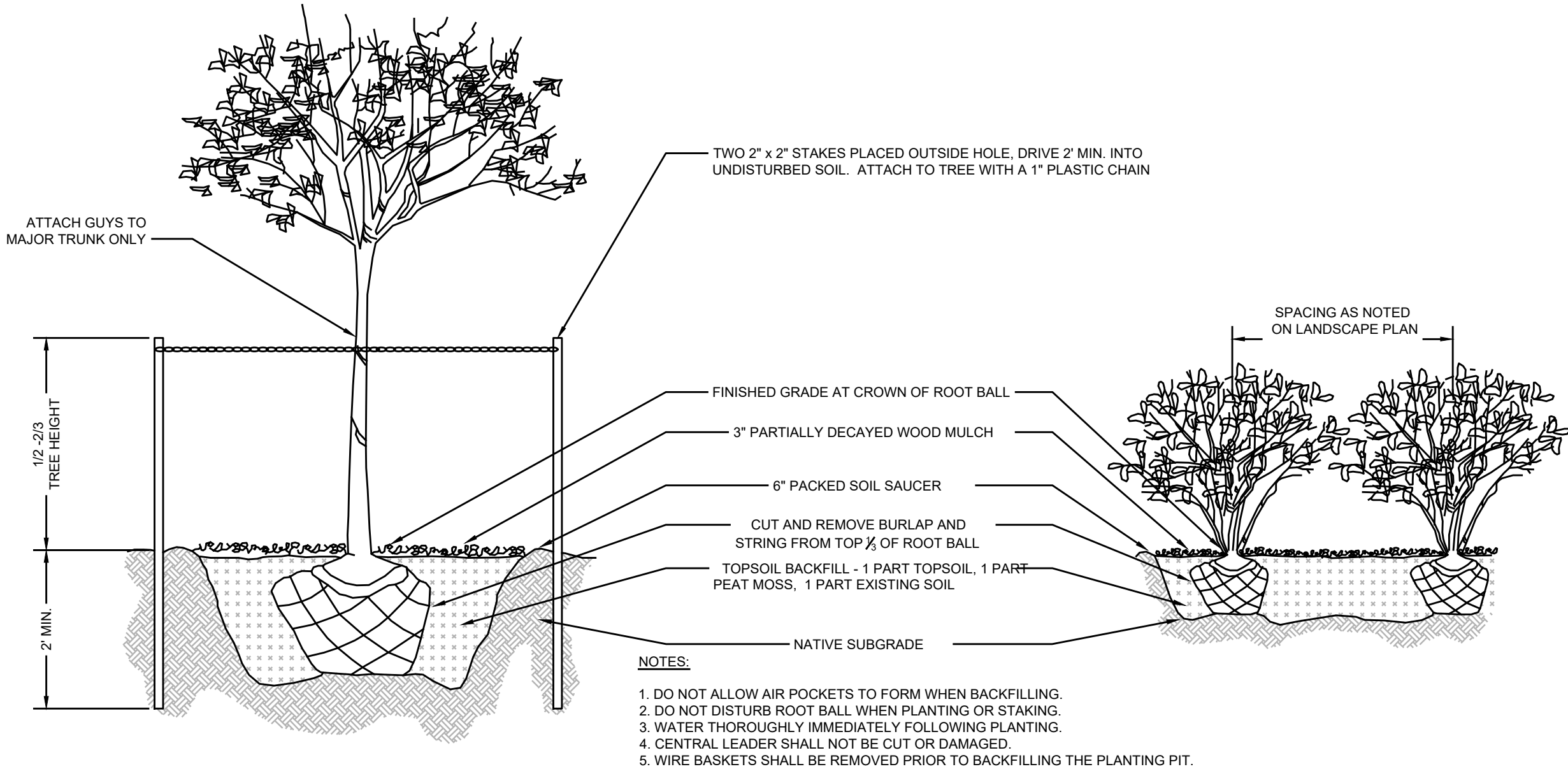
PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE:

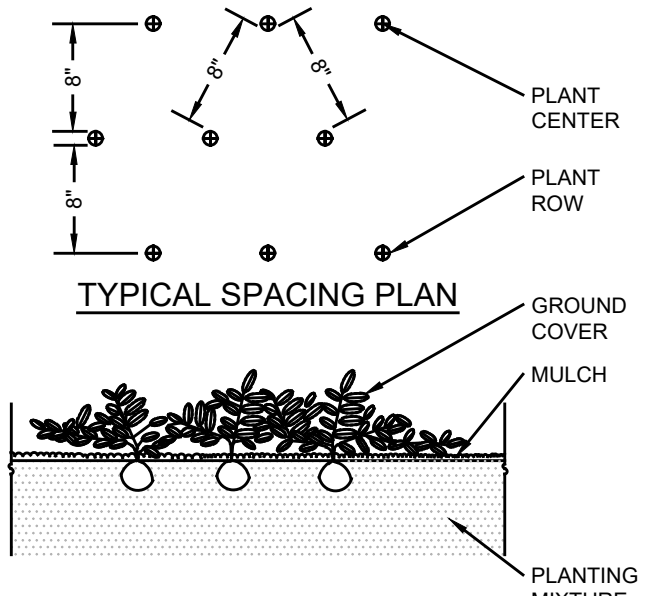
SITE LAYOUT PLAN

SHEET NO.: C300

PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT
TO	16	SHED AND ORNAMENTAL TREES			
ZS	2	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	8-10' HT.	670 GAL.
		ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNAR ZELKOVA	7-8' HT.	(B+B)
RR2	26	SHRUBS			
		ROSA RUGOSA 'KNOCKOUT'	PINK 'KNOCKOUT' ROSE	2.5-3 FT	#5 CONT.
		GRASSES, PERENNIAL FLOWER, GROUNDCOVERS			
LM	52	LIRIOPE MUSCARI	LILLYTURF	1 GAL.	(Cont.)
AX	61	AJUGA REPTANS	BUGLEWEED	3-4"	6" POT



TREE & SHRUB PLANTING & STAKING
NTS



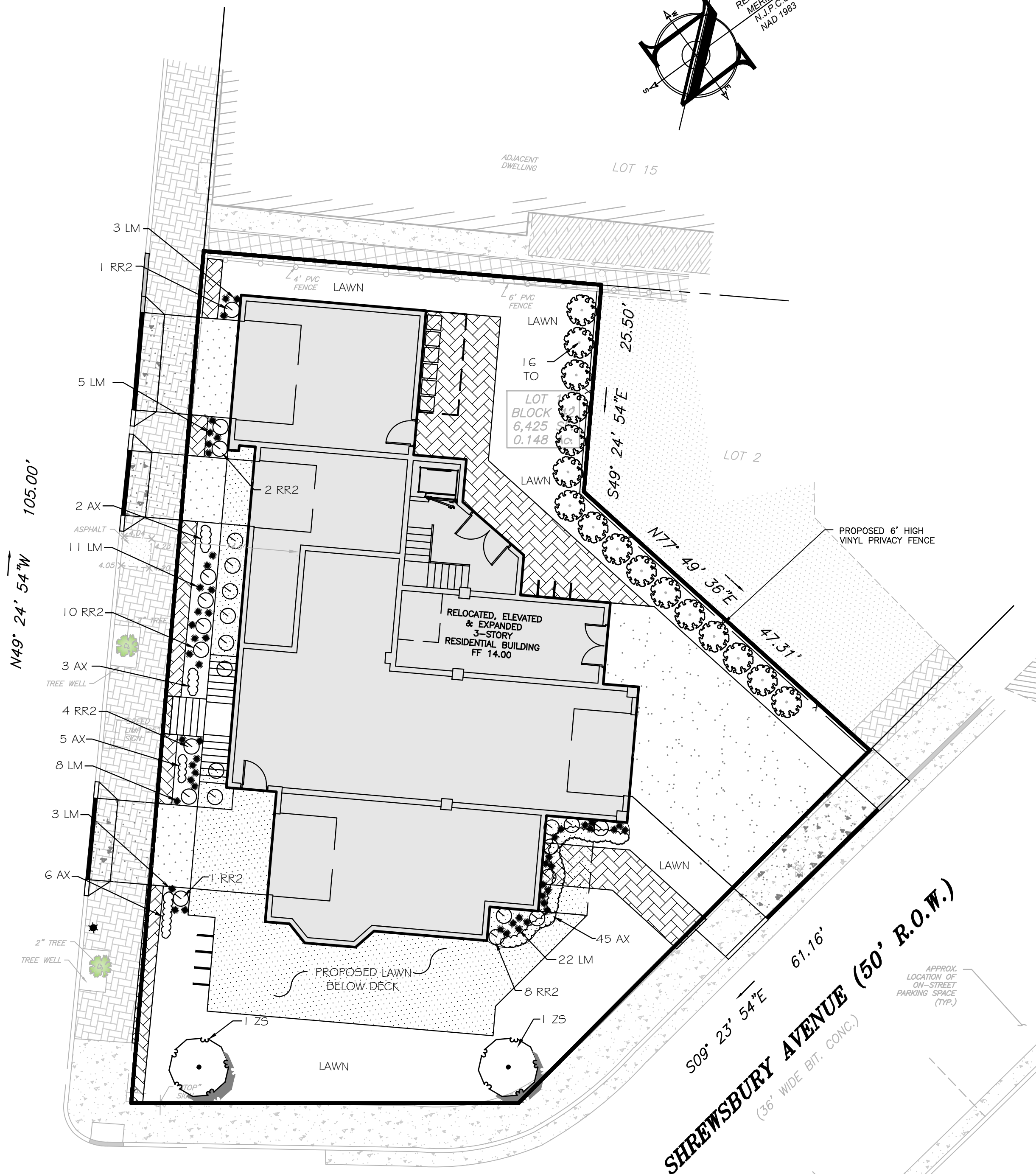
GROUND COVER PLANTING
NTS

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED

BAY AVENUE (50' R.O.W.)
(36' WIDE BIT. CONC.)

N49° 24' 54" W 105.00'



S35° 43' 12" W 47.51'
SOUTH STREET (50' R.O.W.)
(26' WIDE BIT. CONC.)

PLAN
Scale: 1"=10'

PROJECT INFORMATION

PROJECT NAME:
PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:
ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738
SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



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TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE

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PROFESSIONAL ENGINEER
NJ PE 24GE0331000

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SCALE: 1"=10'
DATE: 02/05/24
JOB #: 23-2237-01
CAD ID: 23-2237-01r3

DESIGNED BY: DDC
DRAWN BY: AMC
CHECKED BY: DDC

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PLAN INFORMATION
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:
LANDSCAPE PLAN

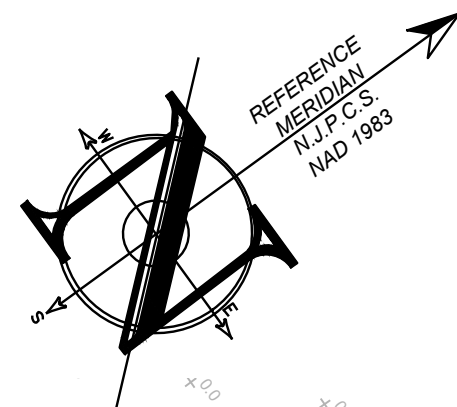
SHEET NO.:
C600

File: X:\data\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\2323270100.dwg (05-Landscape & Lighting.dwg) --> 0001 EXISTING LIGHTING
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SCHEDULE OF LIGHTING REQUIREMENTS (§ 21-65.11)					
ORD SECTION	STANDARD	PERMITTED	EXISTING	COMPLIES	
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.0 (N)	NO	
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.2 (N)	NO	
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	2.3 (N)	NO	
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	N/A	YES	

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED



PROJECT INFORMATION

PROJECT NAME:

**PROPOSED
MULTI -
FAMILY
RESIDENCE**

PROJECT LOCATION:

BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

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60 BAY AVENUE
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APPROVED BY:

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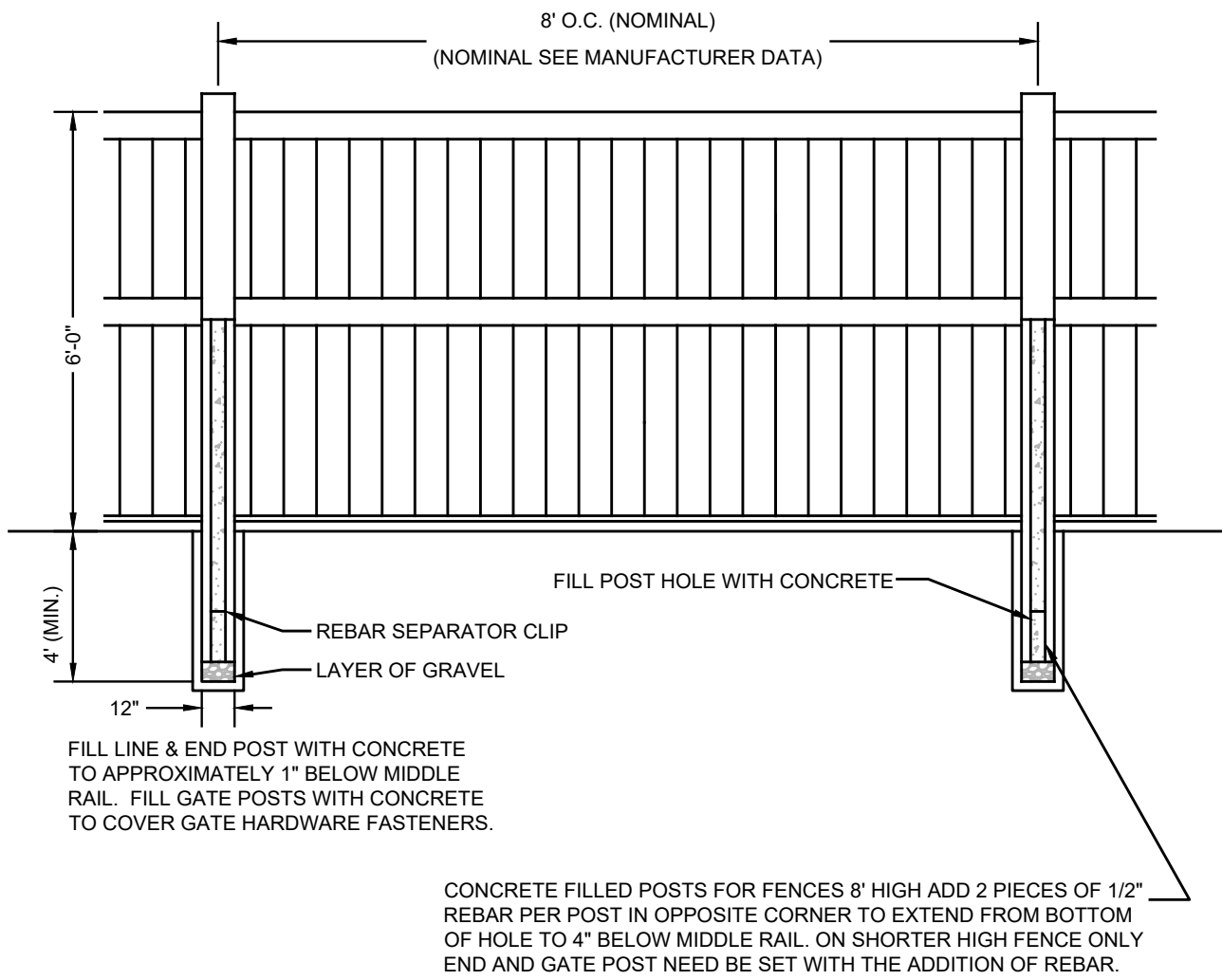
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:

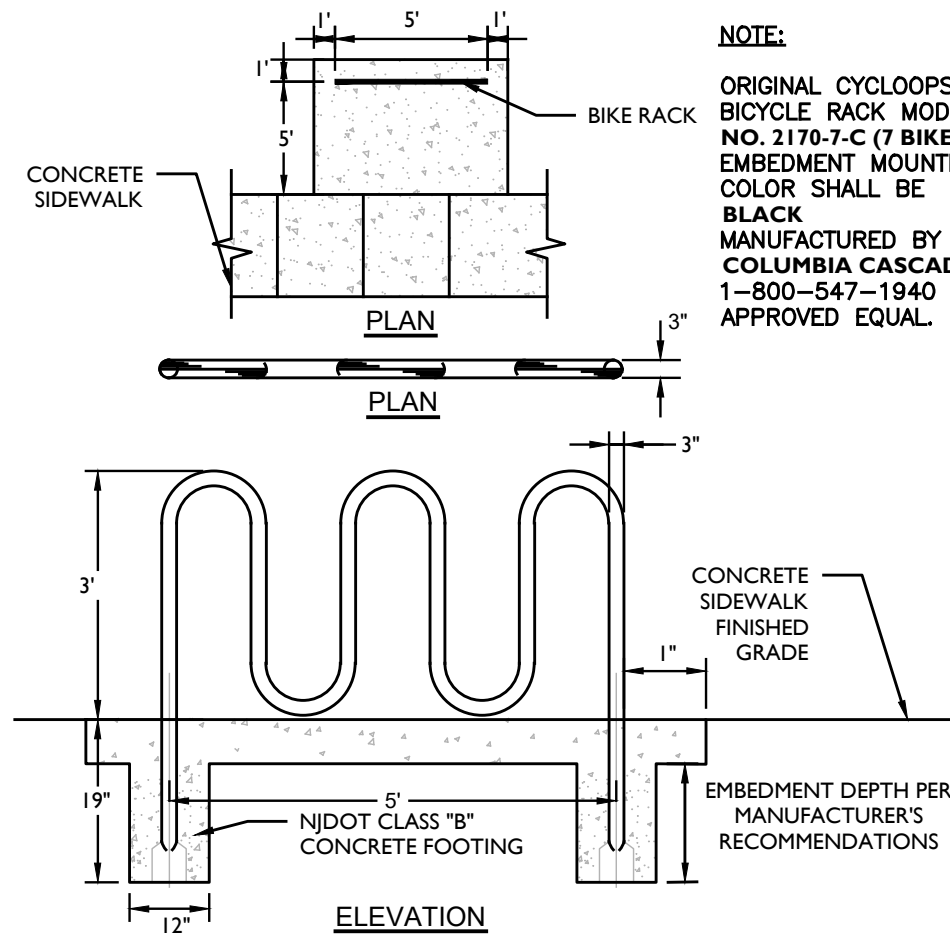
**LIGHTING PLAN - EXISTING
CONDITIONS R.O.W. ONLY**

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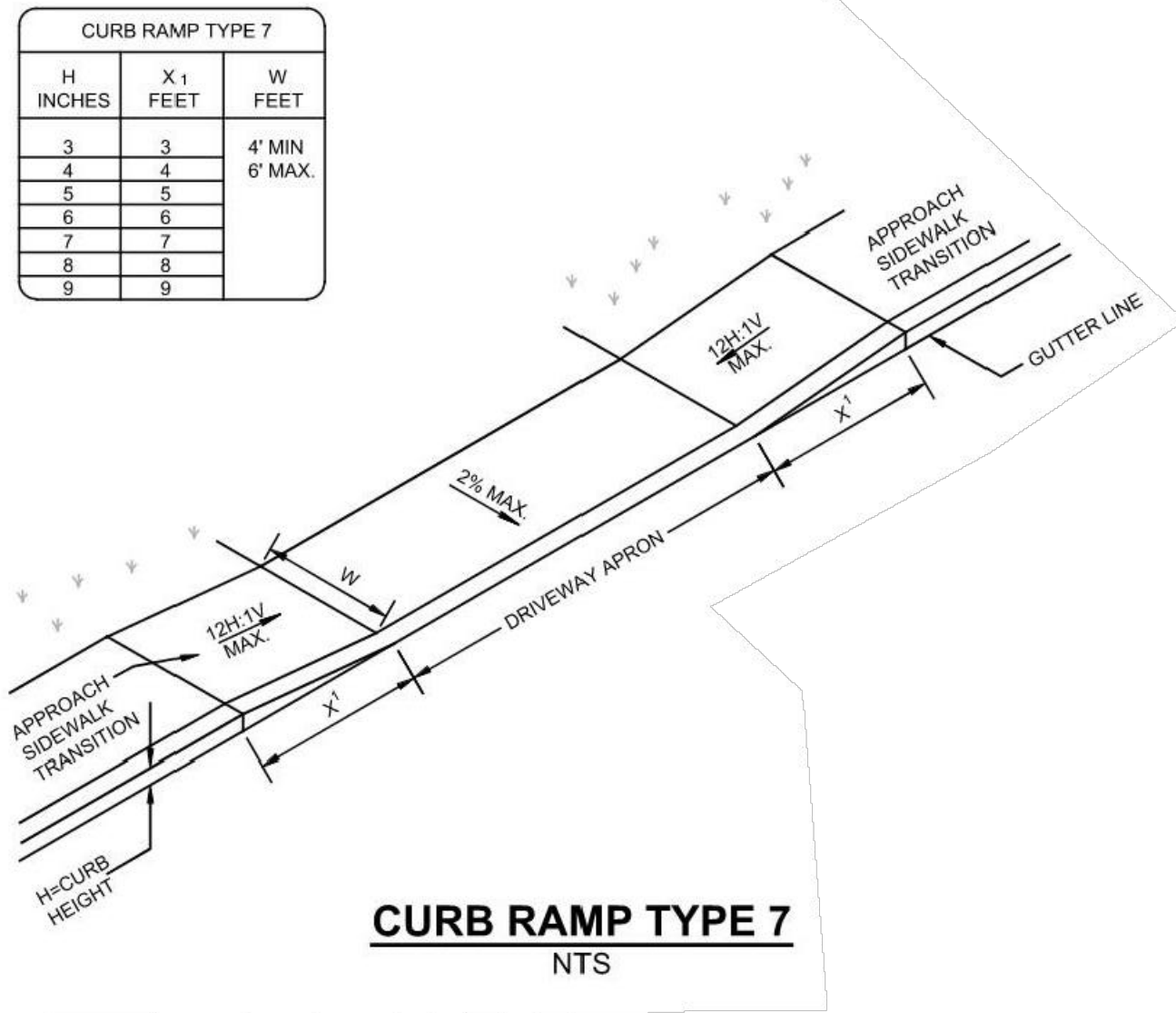
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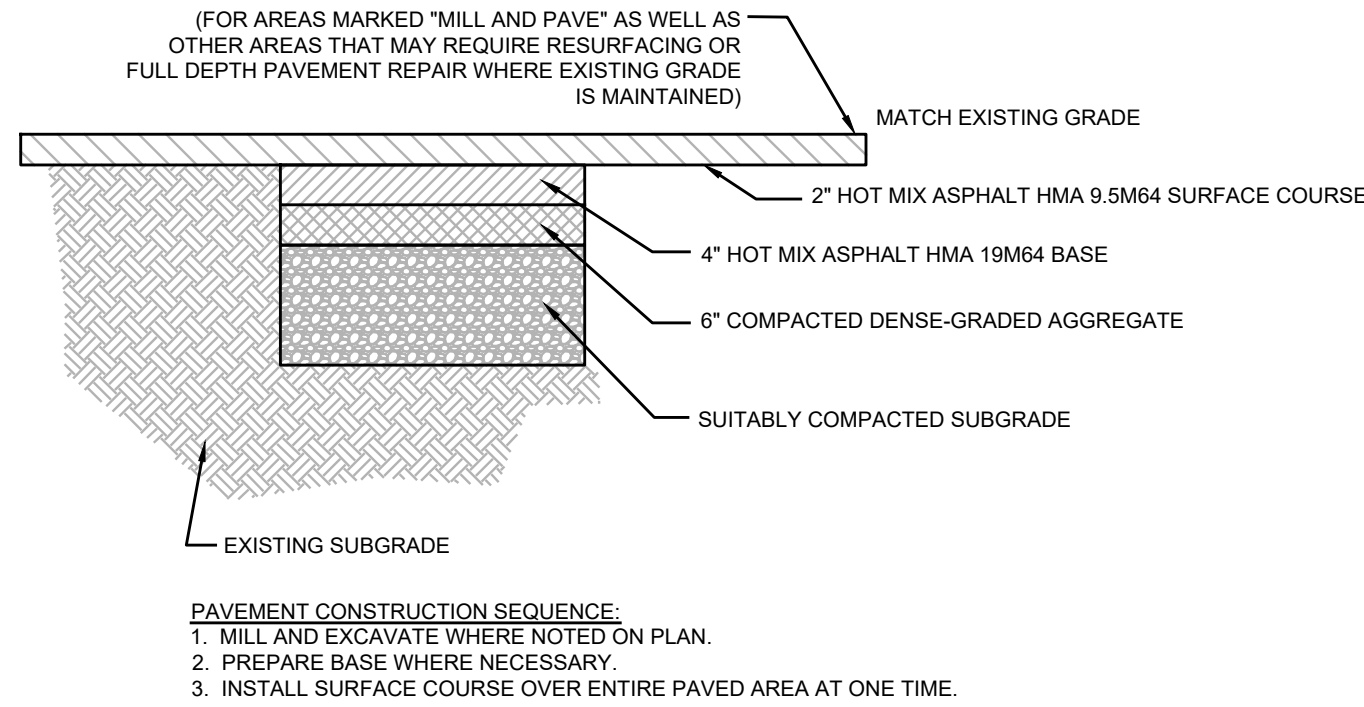
VINYL FENCE
NTS



BICYCLE RACK DETAIL
NOT TO SCALE



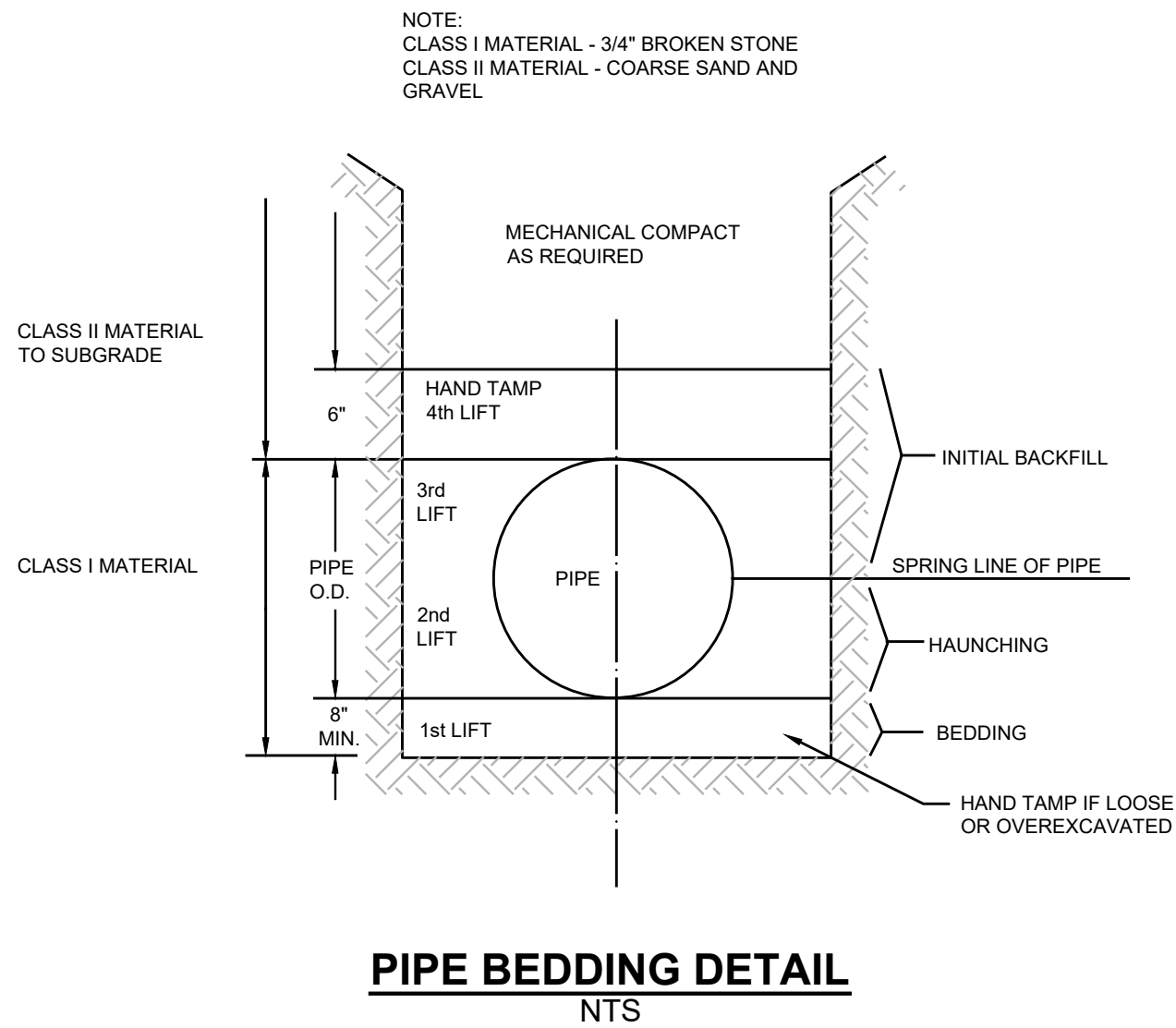
CURB RAMP TYPE 7
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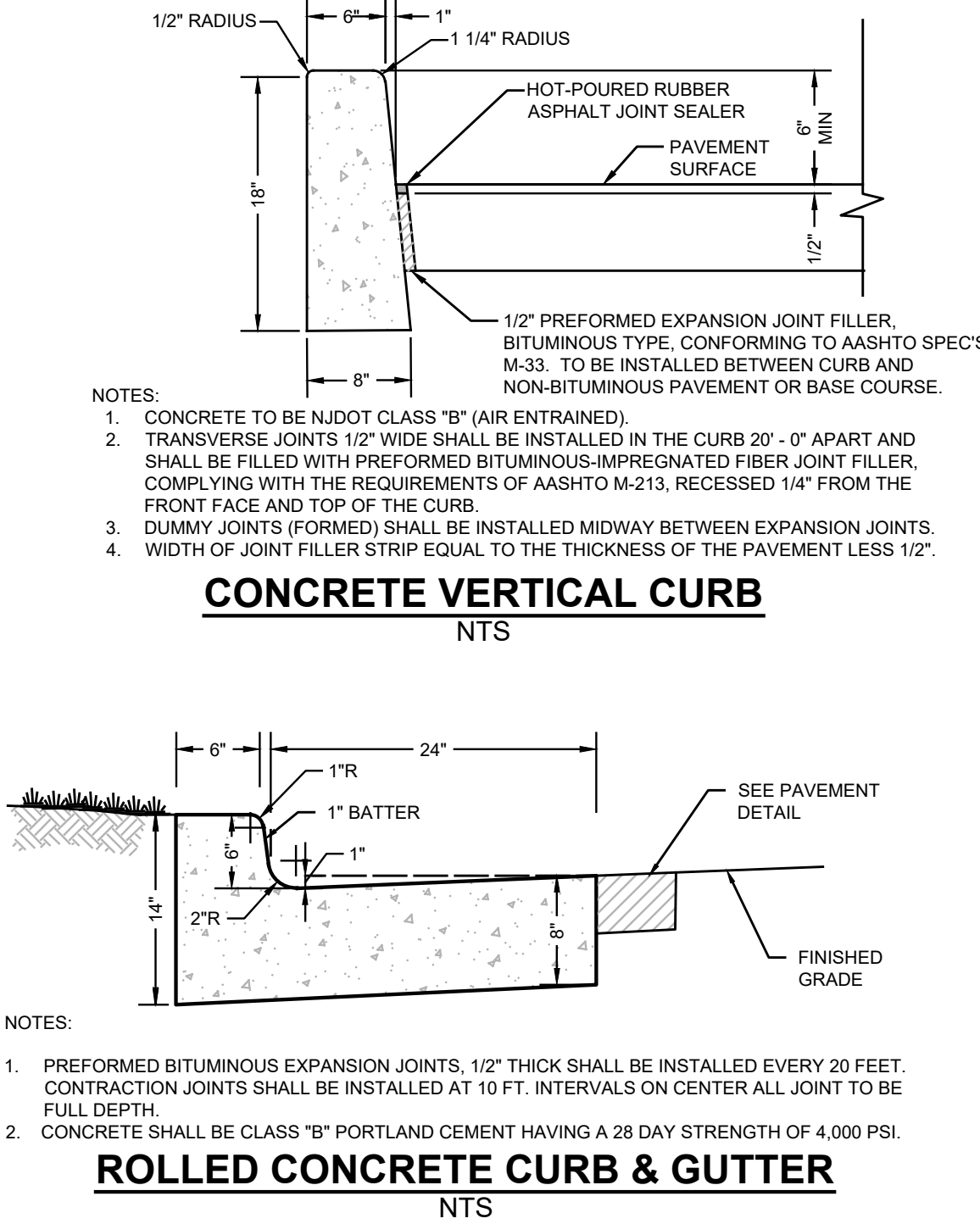
PAVEMENT REPAIR
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Roof Runoff Flowrate Calculation			
$Q = c i A$	$c = 0.99$	$i = 6.50$	$A = 0.070$
$Q = 0.45$	cfs	in/hr	ac
Pipe Capacity Calculation (Manning's Equation)			
$Q = 1.49 n^{-1} A^{3/2} S^{1/2}$	$n (pvc) = 0.01$	$d = 6$	in
$A (full) = 0.20$	sf	$r_o (full) = 1.57$	ft
$R (full) = 0.13$	ft	$S = 0.005$	ft/ft
$Q (full) = 0.52$	cfs	$Q_{required} = 0.45$	cfs
< OK >			

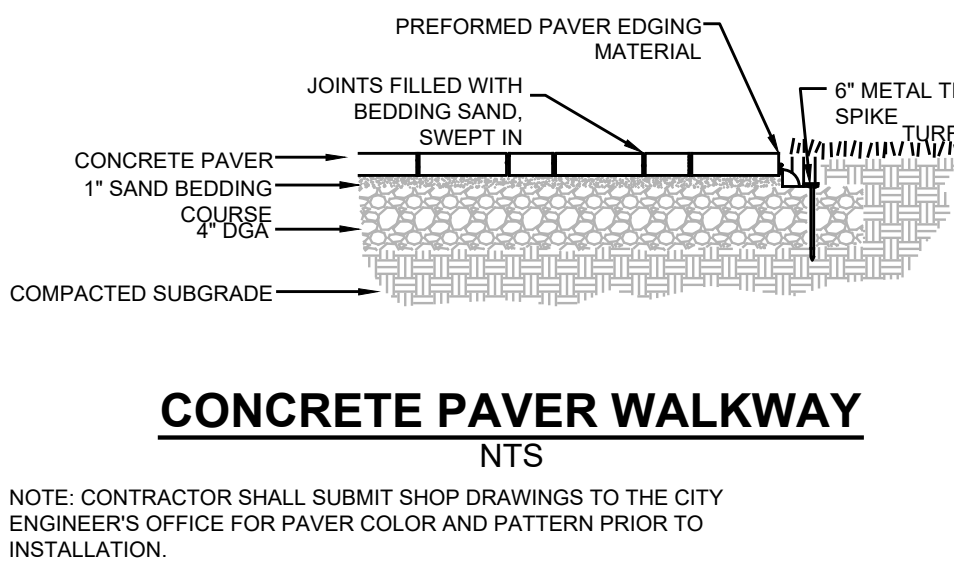
ROOF LEADER COLLECTION SYSTEM
CAPACITY CALCULATIONS



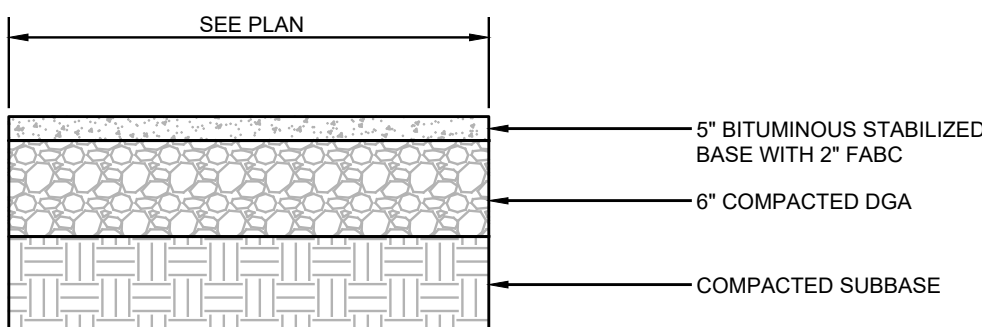
PIPE BEDDING DETAIL
NTS



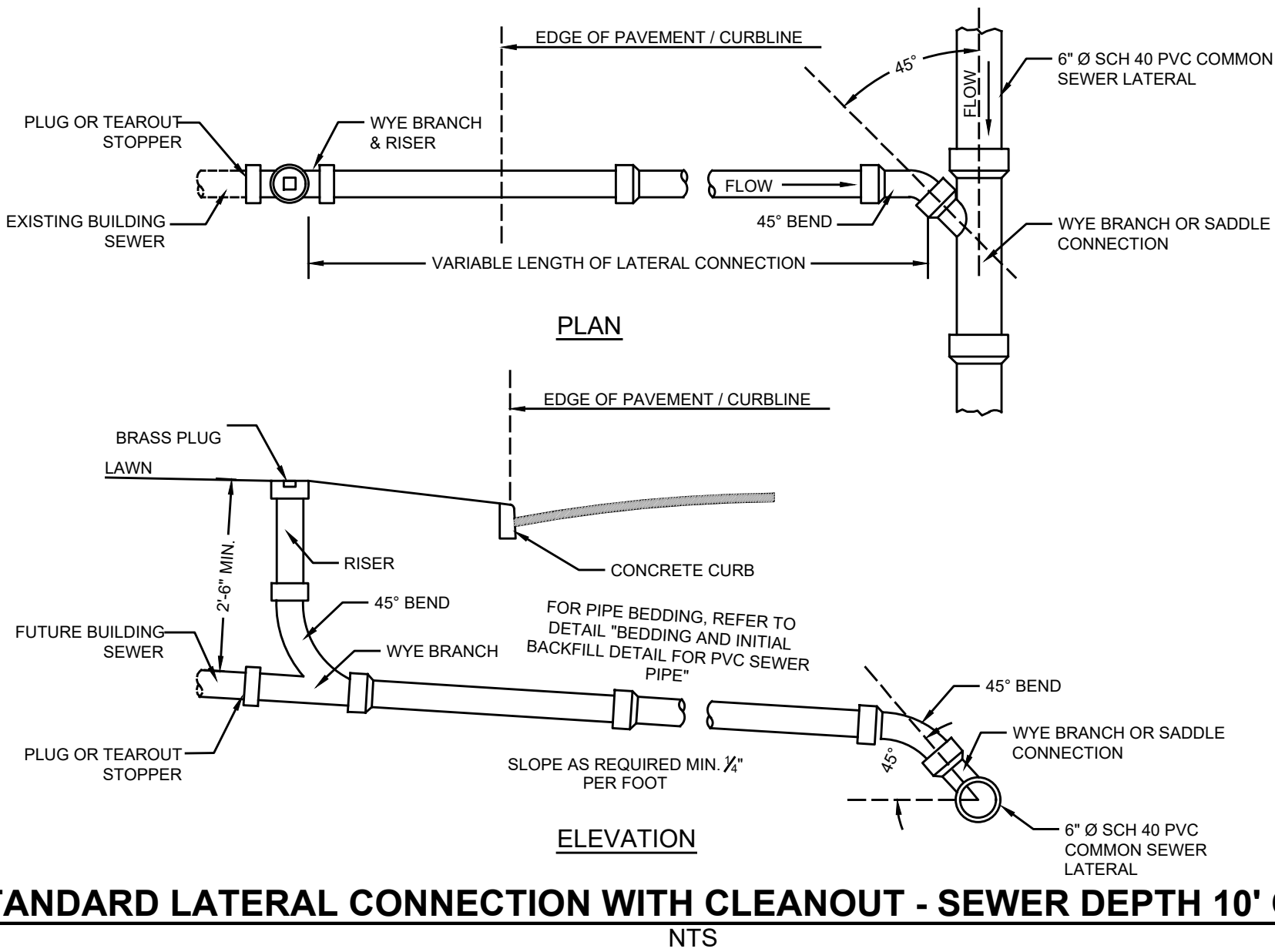
ROLLED CONCRETE CURB & GUTTER
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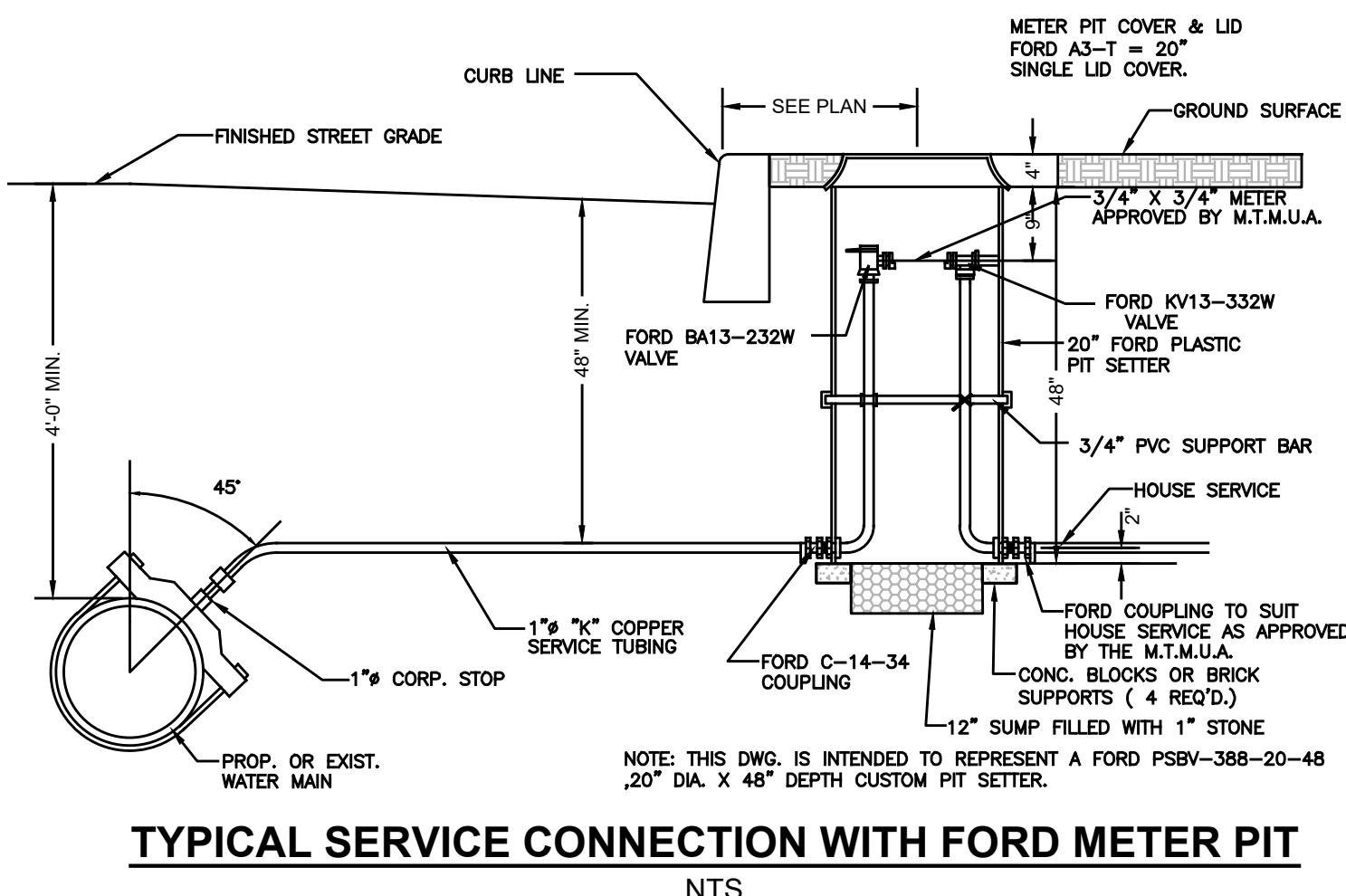
CONCRETE PAVER WALKWAY
NTS



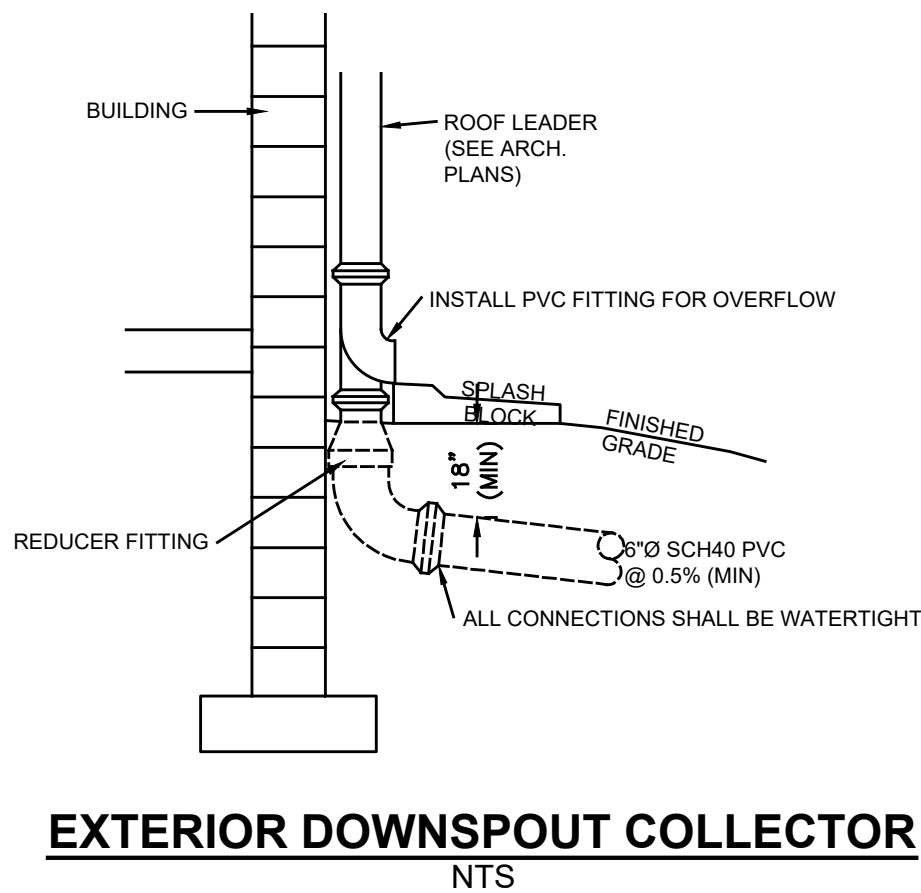
PAVEMENT SECTION
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STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS
NTS



TYPICAL SERVICE CONNECTION WITH FORD METER PIT
NTS



EXTERIOR DOWNSPOUT COLLECTOR
NTS

PROJECT INFORMATION

PROJECT NAME: PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION: BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER: 60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT: 60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:

ATTORNEY: DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
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WOODBRIDGE, NJ 07095

ARCHITECT: SALVATORE LA FERLITA, R.A.
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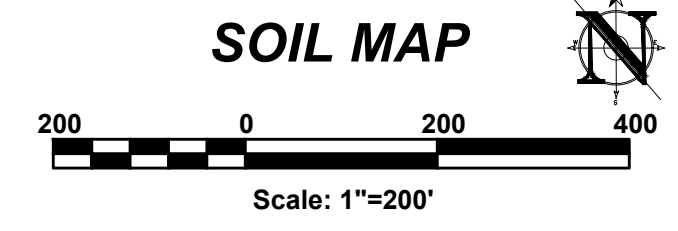
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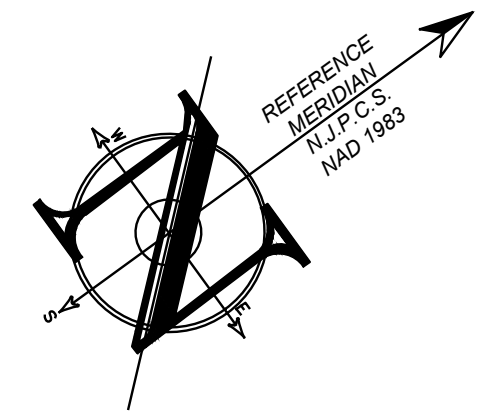
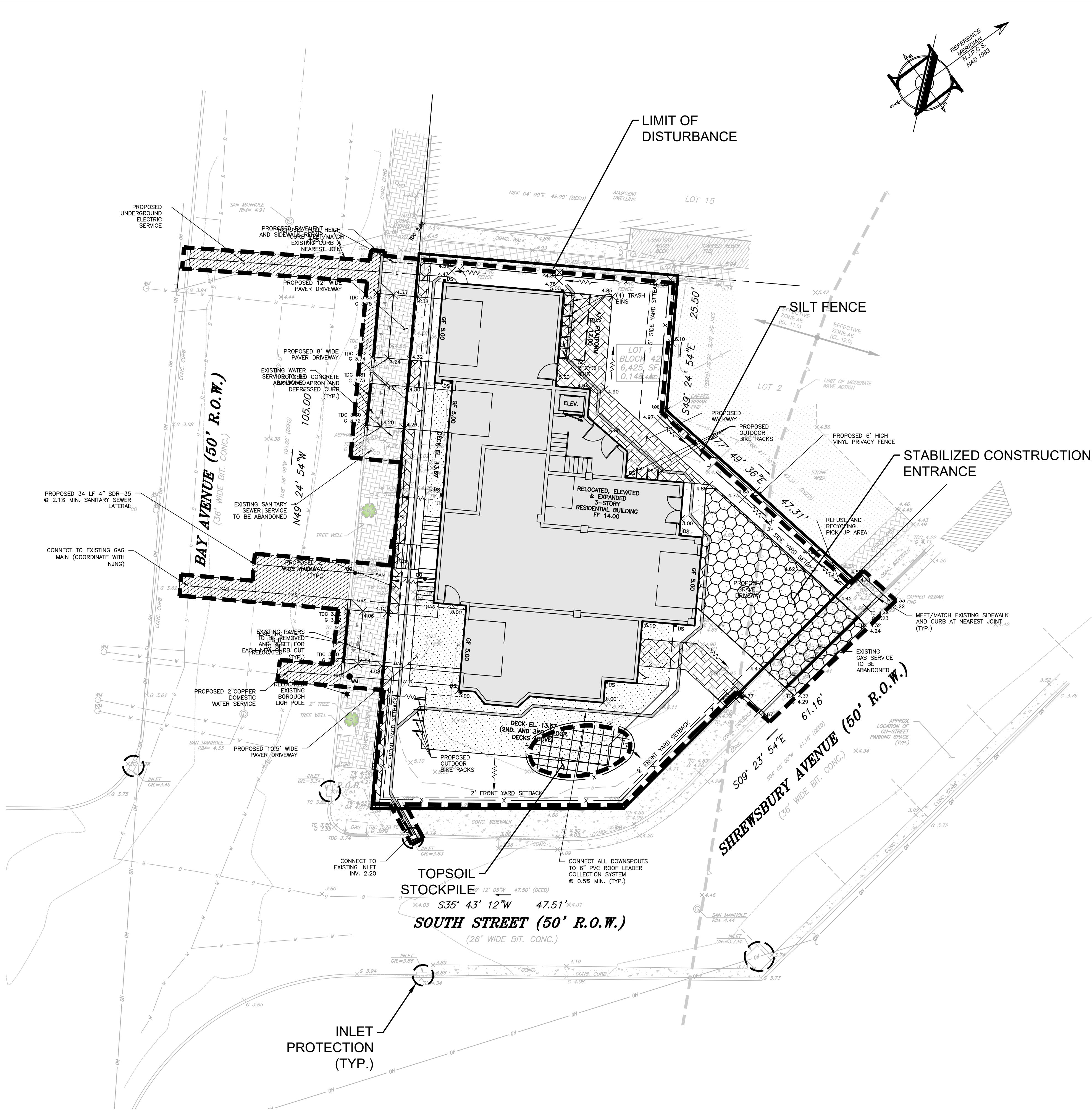
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NJ PE 24GE0331000

REVISIONS		
Rev.#	Date	Comment
1	02/05/24	PER BOROUGH COMMENTS
2	03/28/24	PER ATTORNEY
3	03/28/24	PER ATTORNEY
4	03/28/24	PER ARCHITECT
5	03/28/24	INITIAL RELEASE
SCALE: AS SHOWN DESIGNED BY: DDC		
DATE: 02/05/24 DRAWN BY: AMC		
JOB #: 23-2237-01 CHECKED BY: DDC		
CAD ID: 23-2237-01r3		
NOT FOR CONSTRUCTION		
APPROVED BY:		
FOR CONSTRUCTION		
PLAN INFORMATION		
DRAWING TITLE:		
PRELIMINARY & FINAL MAJOR SITE PLAN		
SHEET TITLE:		
CONSTRUCTION DETAILS		
SHEET NO.:		
C800		



SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
USKLEA	URBAN LAND-KLEY COMPLEX, 0 TO 2 PERCENT SLOPES	X



SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL EROSION LEGEND	
LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	SOIL RESTORATION AREA
PROPOSED TREE PROTECTION	
SOIL COMPACTION TEST LOCATION	

CONSTRUCTION / SPPP NOTE

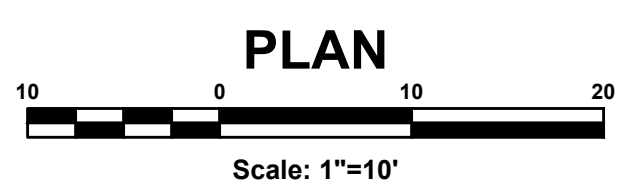
THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.172 AC.

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017). THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.



PROJECT INFORMATION

PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER: **60 BAY AVE HIGHLANDS, LLC**
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT: **60 BAY AVE HIGHLANDS, LLC**
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY: **DONNA M. JENNINGS ESQ.**
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT: **SALVATORE LA FERLITA, R.A.**
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR: **INSITE SURVEYING, LLC**
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719

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NJ ONE CALL: 800-272-1000
(NJ One Call is not responsible for any damage caused by excavation.)

ELECTRIC	RED
GAS-OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SIGHT MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24605331000

REVISIONS

Rev.#	Date	Comment
1	02/05/24	PER BOROUGH COMMENTS
2	03/28/24	PER ATTORNEY
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4	03/28/24	INITIAL RELEASE

SCALE: 1"=10' DESIGNED BY: DDC
DATE: 02/05/24 DRAWN BY: AMC
JOB #: 23-2237-01 CHECKED BY: DDC
CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY: ☐ FOR CONSTRUCTION

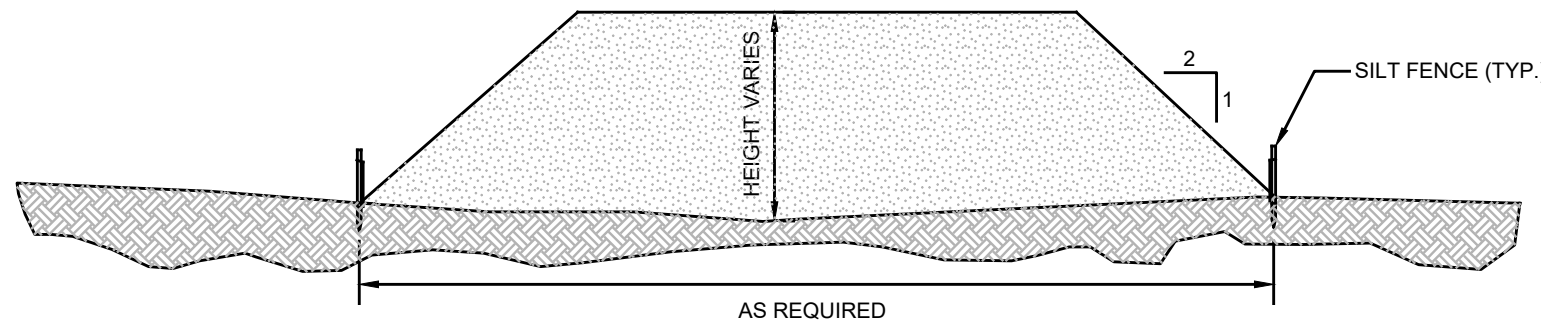
PLAN INFORMATION

DRAWING TITLE: **PRELIMINARY & FINAL MAJOR SITE PLAN**

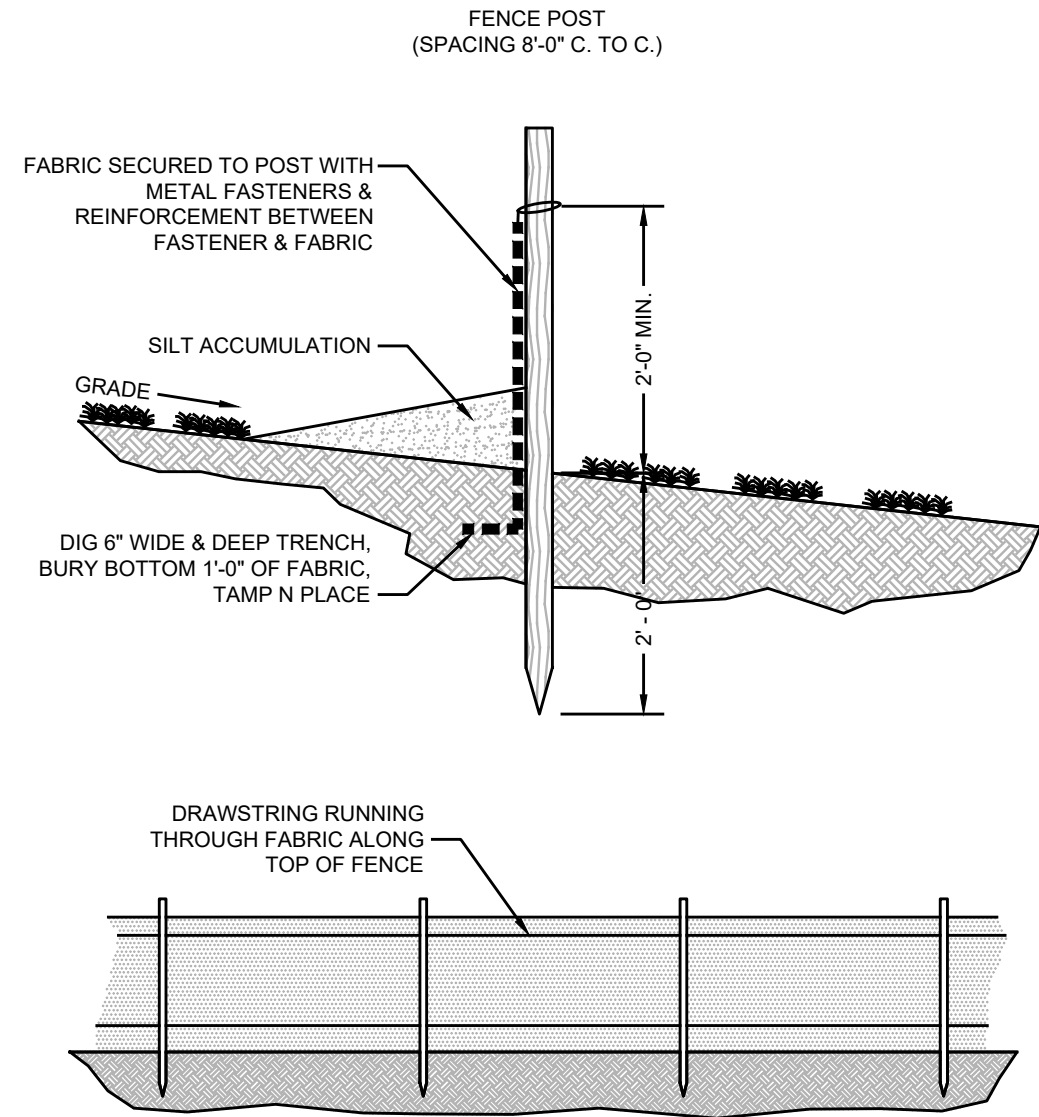
SHEET TITLE: **SESC PLAN**

SHEET NO.: **C900**

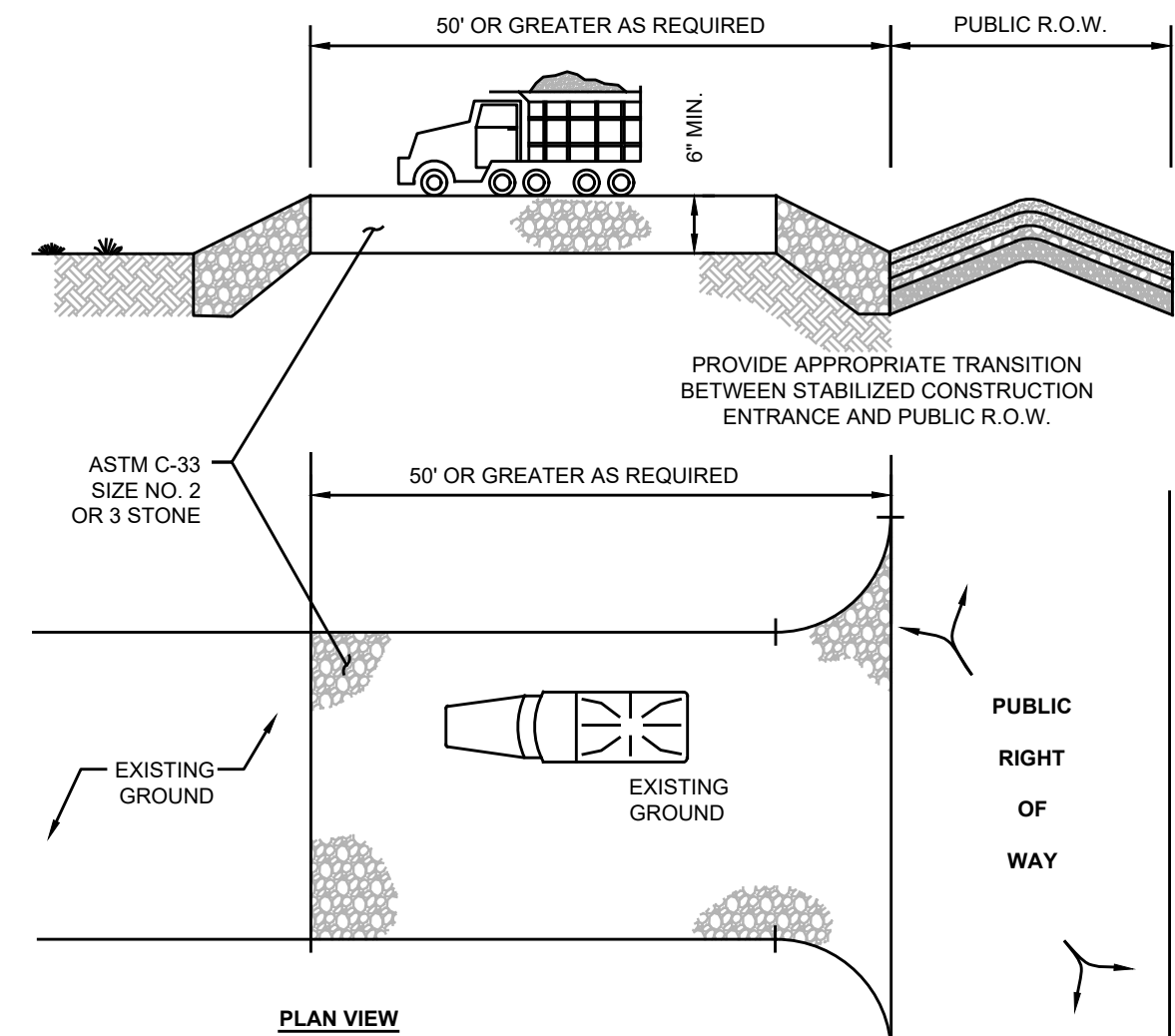
File: X:\data\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\23232701CAD\Map\08-SESC Plan.dwg, ----> 0800 SESC PLAN
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SECTION THROUGH SOIL STOCKPILE (TYP.)
NTS



SILT FENCE DETAIL
NTS

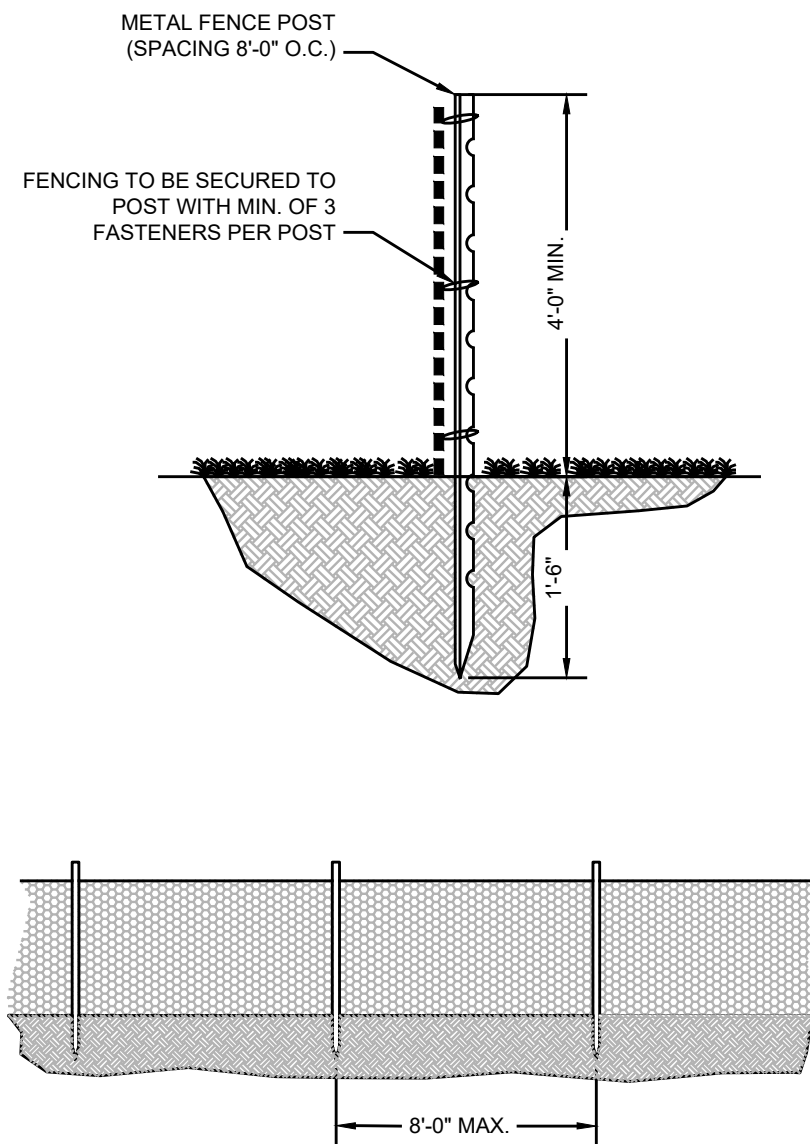


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC HOT MIX ASPHALT BASE COURSE, MIX 1-2	

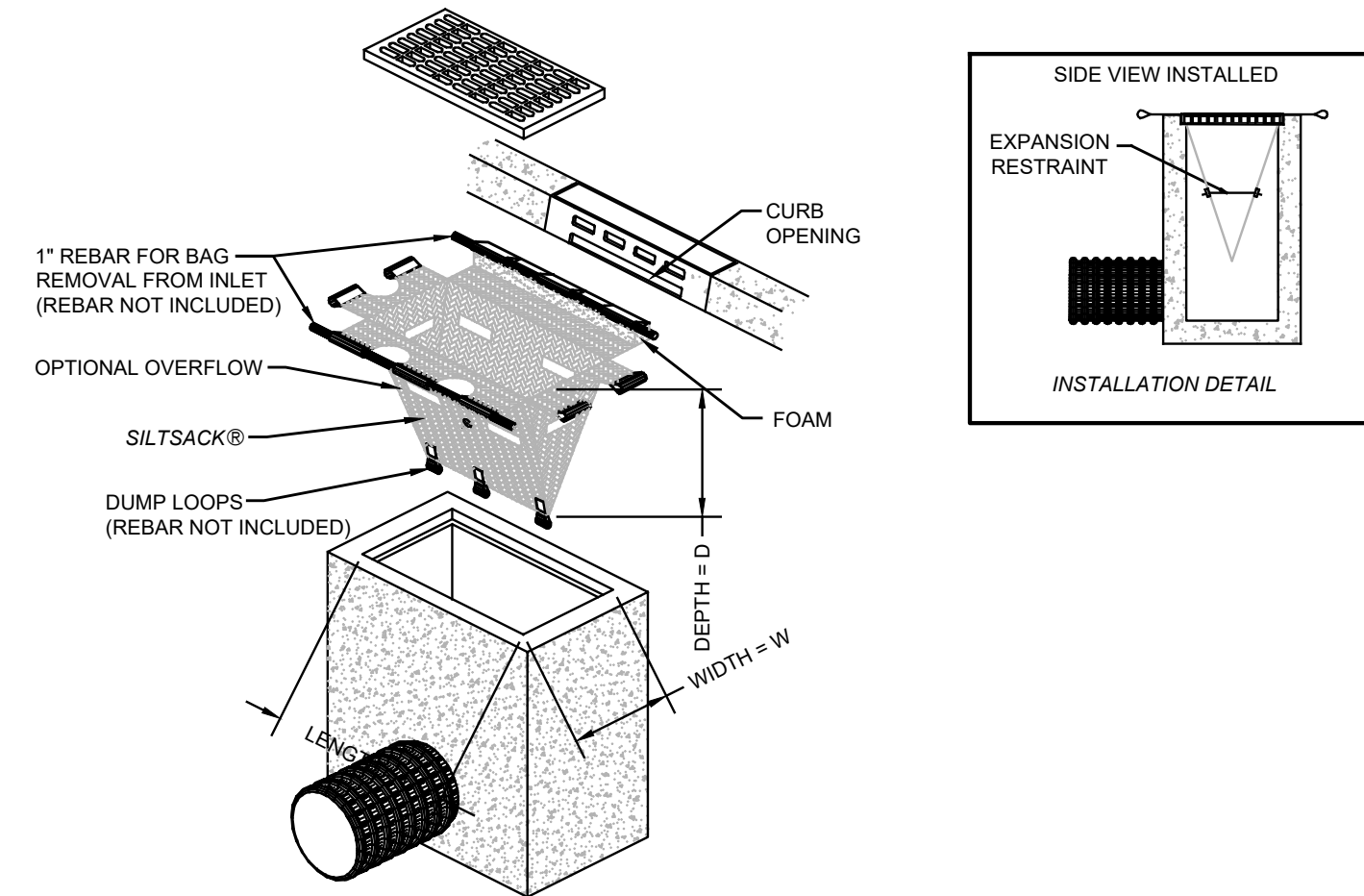
1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE
NTS

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.



TREE PROTECTION FENCING
NTS



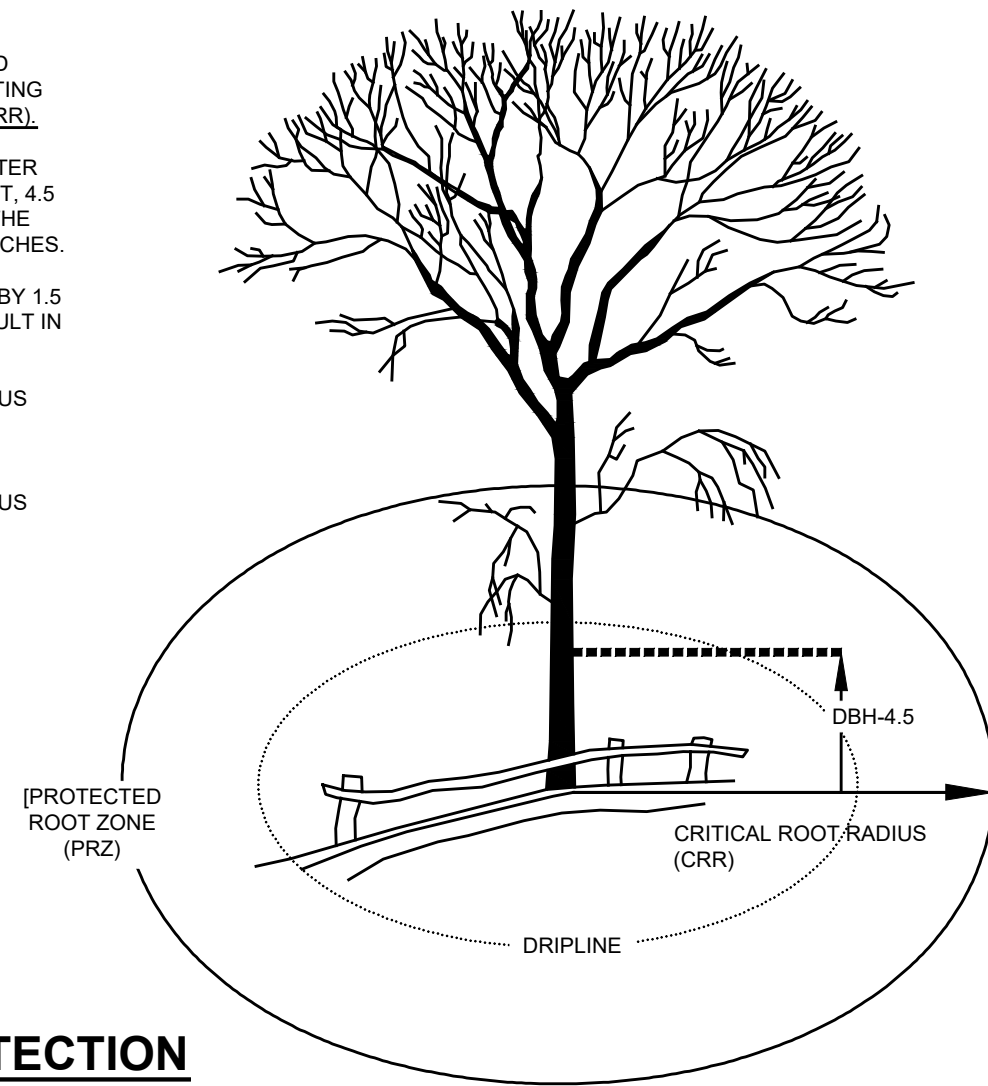
INLET PROTECTION DETAIL
NTS

ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

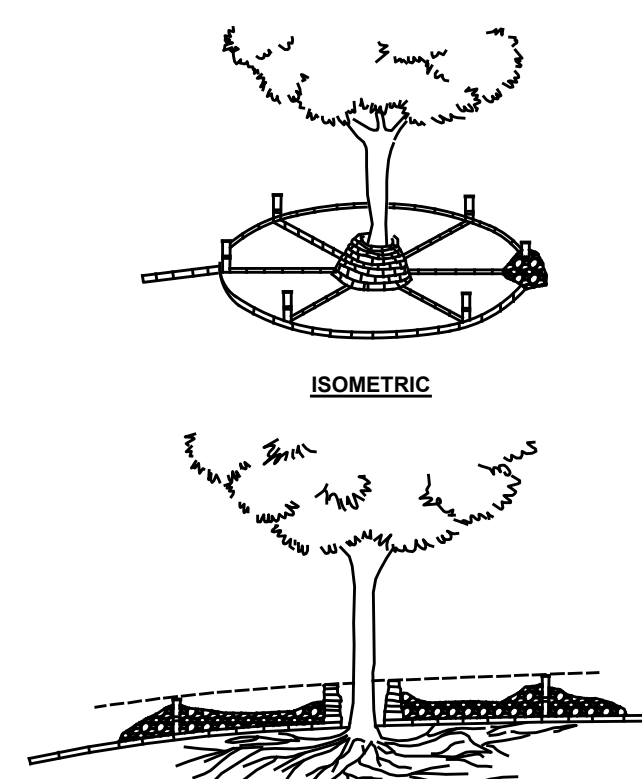
1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.

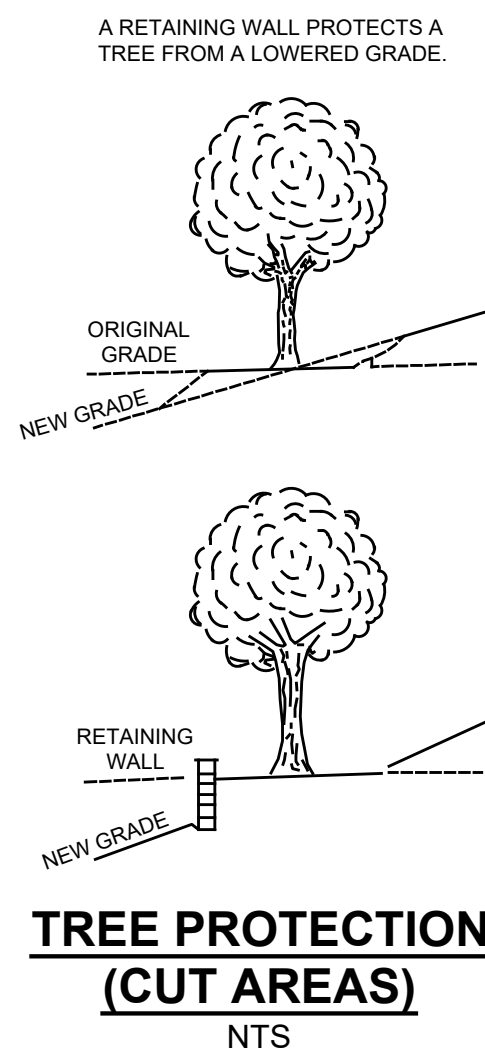
DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



TREE ROOT PROTECTION
NTS



TREE PROTECTION
(FILL AREAS)
NTS



TREE PROTECTION
(CUT AREAS)
NTS

PROJECT INFORMATION

PROJECT NAME:

**PROPOSED
MULTI -
FAMILY
RESIDENCE**

PROJECT LOCATION:

BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:

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WOODBIDGE, NJ 07095

ARCHITECT:

SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR:

INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



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ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION/TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

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PROFESSIONAL ENGINEER
NJ PE 24GE0331000

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SCALE: AS SHOWN

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

CHECKED BY: DDC

CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

PLAN INFORMATION

**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:

SESC DETAILS

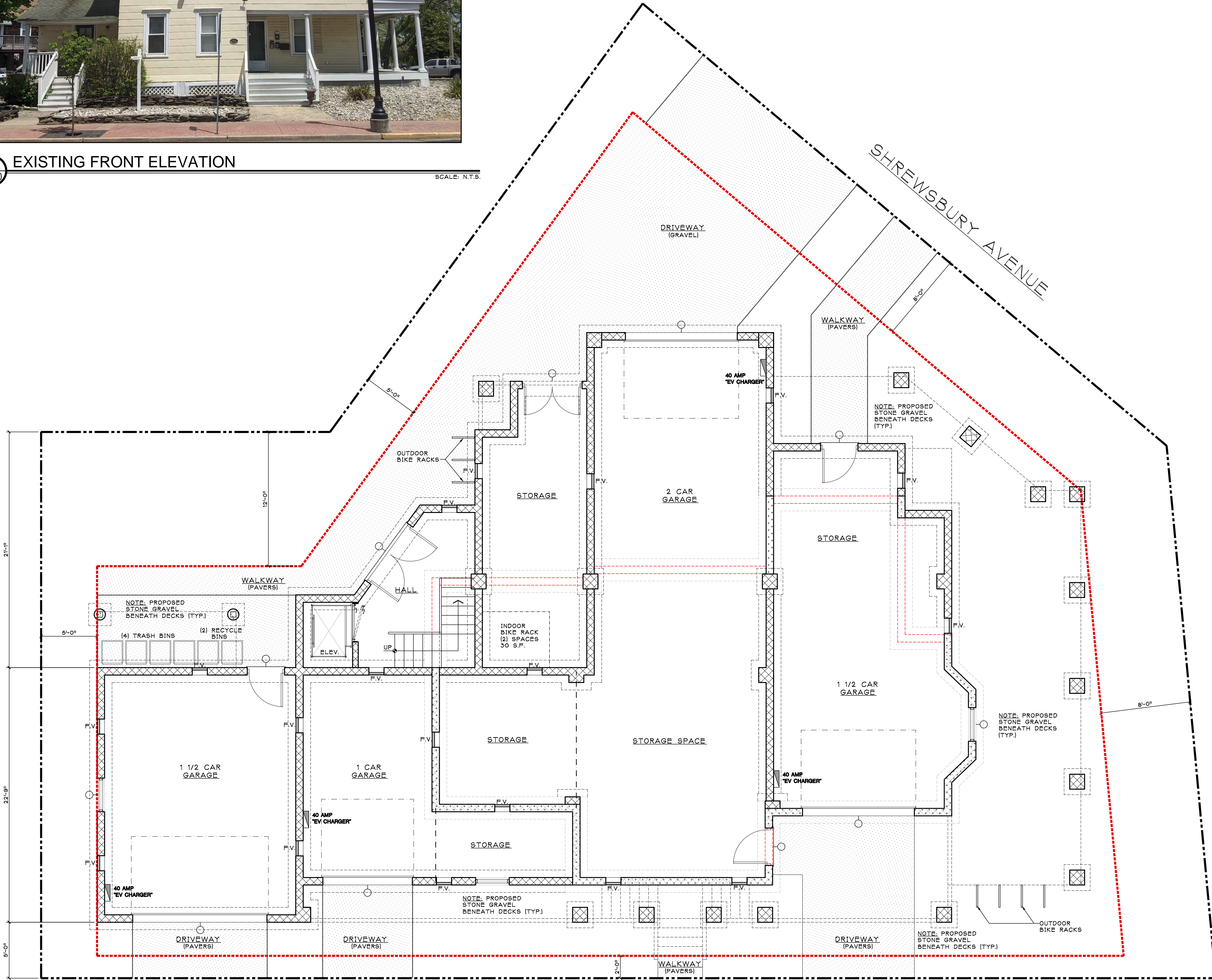
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C902

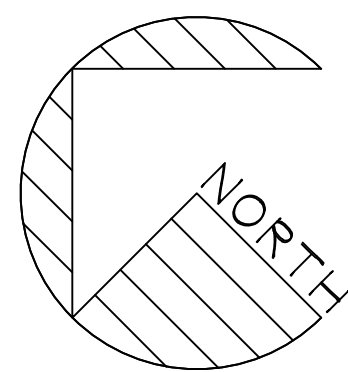


EXISTING FRONT ELEVATION

SCALE: N.T.S.



BAY AVENUE



SCALE: 1/4" = 1'-0"

GROUND FLOOR PLAN

2,491 S.F. - G.F.E.: 5.00'

APPLICABLE CODES		
INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION)	2021	
INTERNATIONAL MECHANICAL CODE	2021	
NATIONAL STANDARD PLUMBING CODE	2021	
NATIONAL ELECTRICAL CODE	2020	
INTERNATIONAL FIRE CODE	2021	
INTERNATIONAL ENERGY CONSERVATION CODE	2021	

ZONING DATA			
ITEM	ZONE: CBD	BLOCK: 42	LOT: 1
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.00'
MINIMUM FRONT SETBACK ACCESSORY			2.00'
MINIMUM SIDE SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM STREET SIDE SETBACK ACCESSORY			
MINIMUM REAR SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY			
MAXIMUM BUILDING COVERAGE			2,681 S.F.
* MAXIMUM LOT COVERAGE			2,681 / 6,408 = 42%
MAXIMUM BUILDING HEIGHT ACCESSORY			46'-10"

BUILDING DATA			
HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	0	0	0
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF
SECOND FLOOR	800 SF	1,686 SF	2,586 SF
THIRD FLOOR	800 SF	1,534 SF	2,434 SF
TOTAL	3,000 SF	4,488 SF	7,488 SF
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	0	22,419 CF	22,419 CF
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF
THIRD FLOOR	7,200 CF	12,272 CF	19,472 CF
TOTAL	24,000 CF	58,591 CF	83,591 CF

OUTDOOR SPACE		
UNIT	REQUIRED	PROVIDED
APARTMENT 'A'	100 S.F.	160 S.F.
APARTMENT 'B'	100 S.F.	678 S.F.
APARTMENT 'C'	100 S.F.	286 S.F.
APARTMENT 'D'	100 S.F.	154 S.F.
APARTMENT 'E'	100 S.F.	703 S.F.
TOTAL	600 S.F.	1,981 S.F.
100 SF / PER UNIT		

LEGEND

- EXISTING TO BE REMOVED
- EXISTING INTERIOR PARTITION TO REMAIN
- NEW 2" x 4" WOOD STUD INTERIOR WALL CONSTRUCTION
- NEW TWO HOUR RATED WALL CONSTRUCTION
- NEW 2" x 6" WOOD STUD EXTERIOR WALL CONSTRUCTION
- NEW CONCRETE BLOCK FOUNDATION WALL
- EXISTING CMU WALL WITH NEW CMU ON TOP
- NEW 'SMART VENT' AUTOMATIC NON-POWERED, 8" x 16" FLOOD VENTS OR APPROVED EQUAL, 12" ABOVE GRADE MAX (1) PER 200 S.F. MIN.

FOR ZONING REVIEW
ISSUED: 6/12/2024

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management

115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallaferlita@aol.com

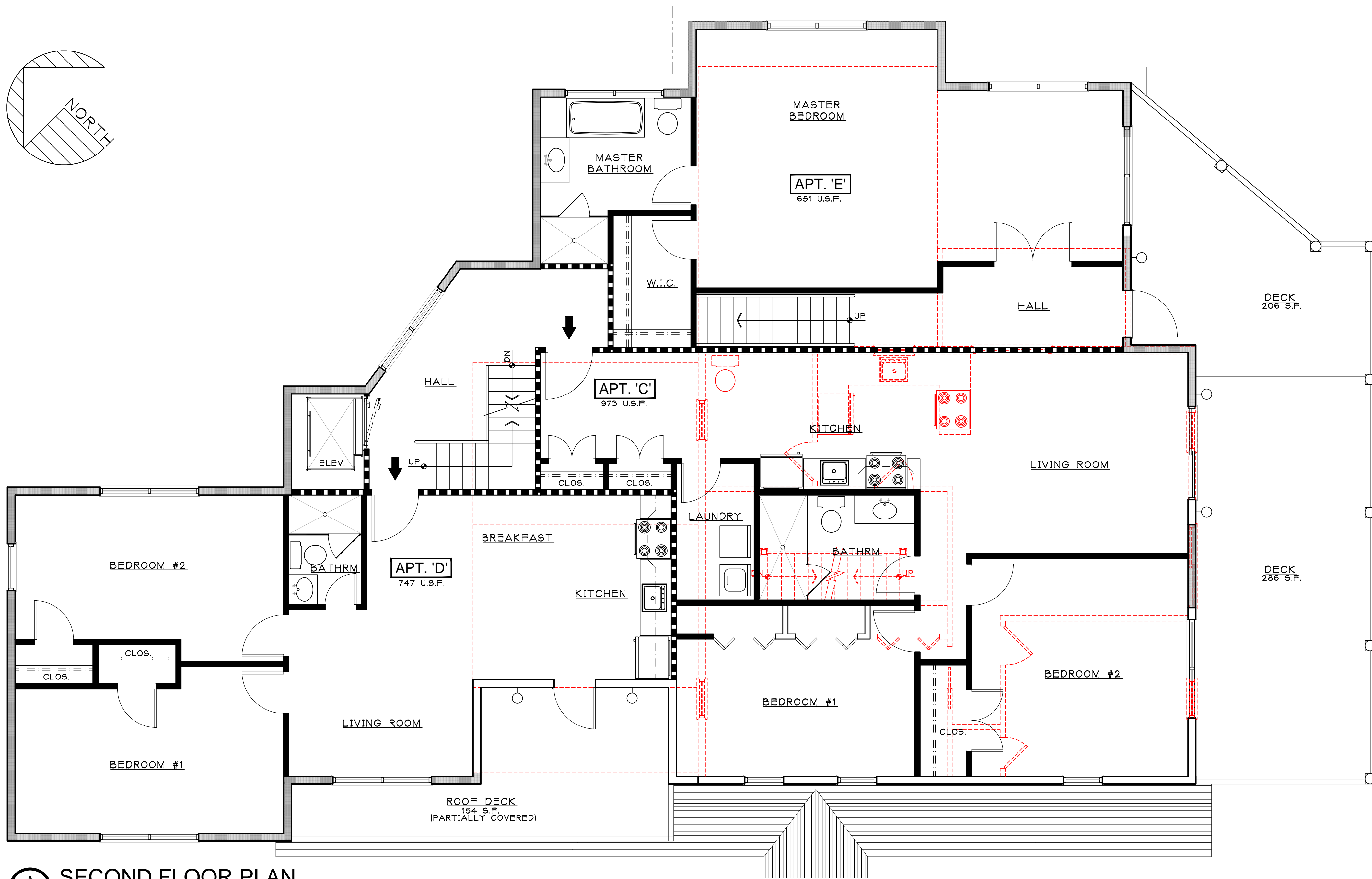
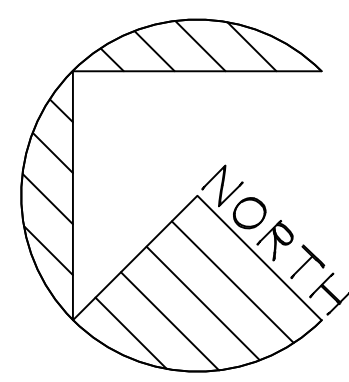
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: 60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: GROUND FLOOR PRELIMINARY
SPACE ANALYSIS

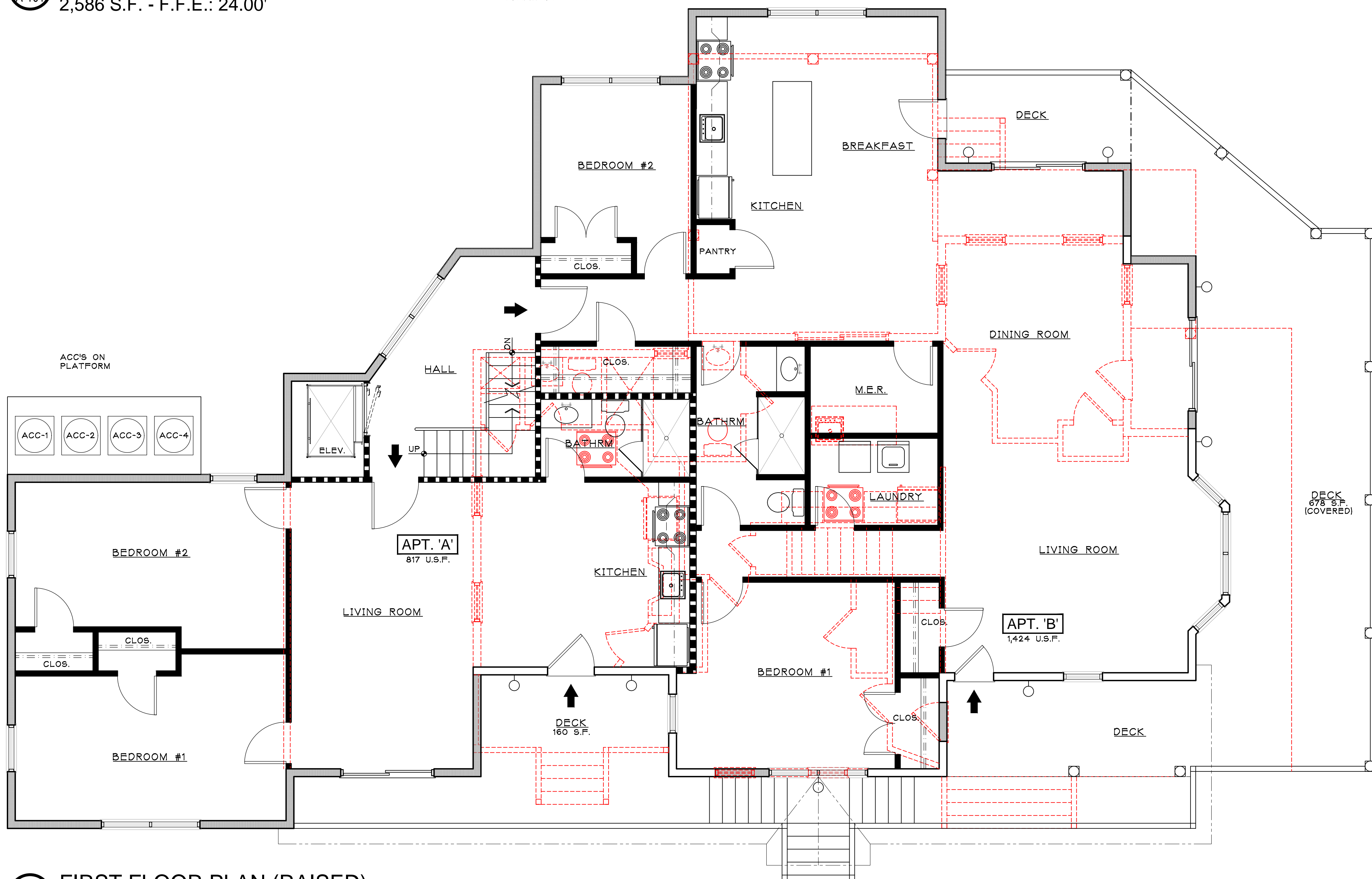
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Project No.:	AS NOTED
Scale:	AS NOTED
Date:	
Drawn By:	
Reviewed By:	
Drawing No.:	
A-100	
SHEET No. OF	

N.J. LIC. #A115228



A
A-101
SECOND FLOOR PLAN
2,586 S.F. - F.F.E.: 24.00'

SCALE: 1/4" = 1'-0"



B
A-101
FIRST FLOOR PLAN (RAISED)
2,468 S.F. - F.F.E.: 15.00'

SCALE: 1/4" = 1'-0"



TYPE 'A'
WALL MOUNTED GARAGE & DECK LIGHT

FOR ZONING REVIEW
ISSUED: 6/12/2024

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallaferlita@aol.com

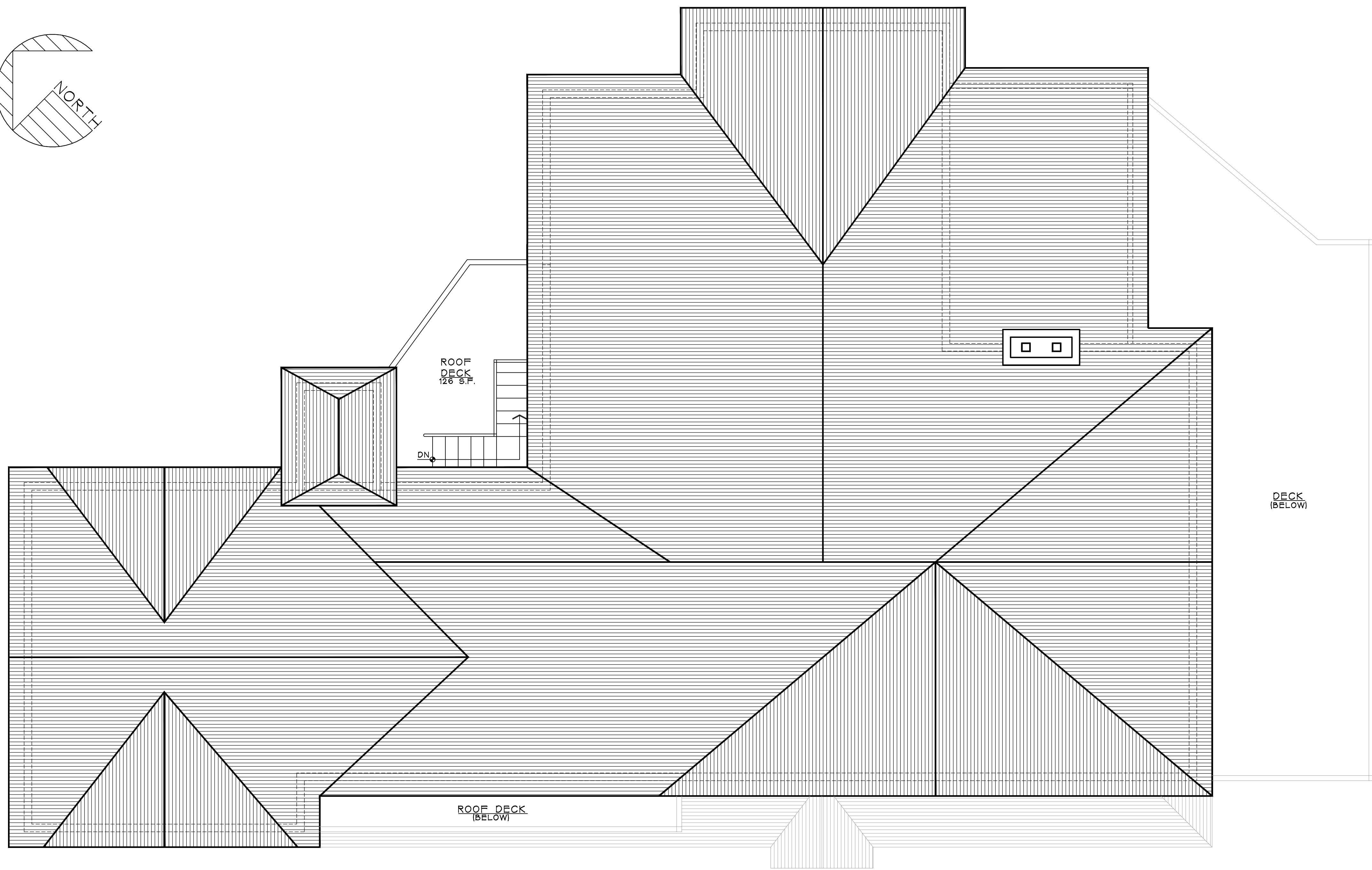
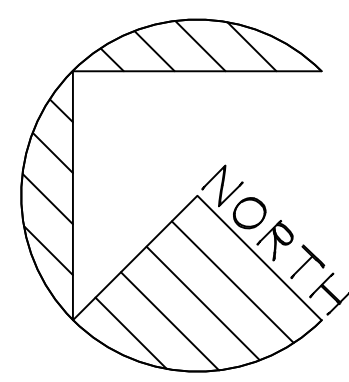
Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client
60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

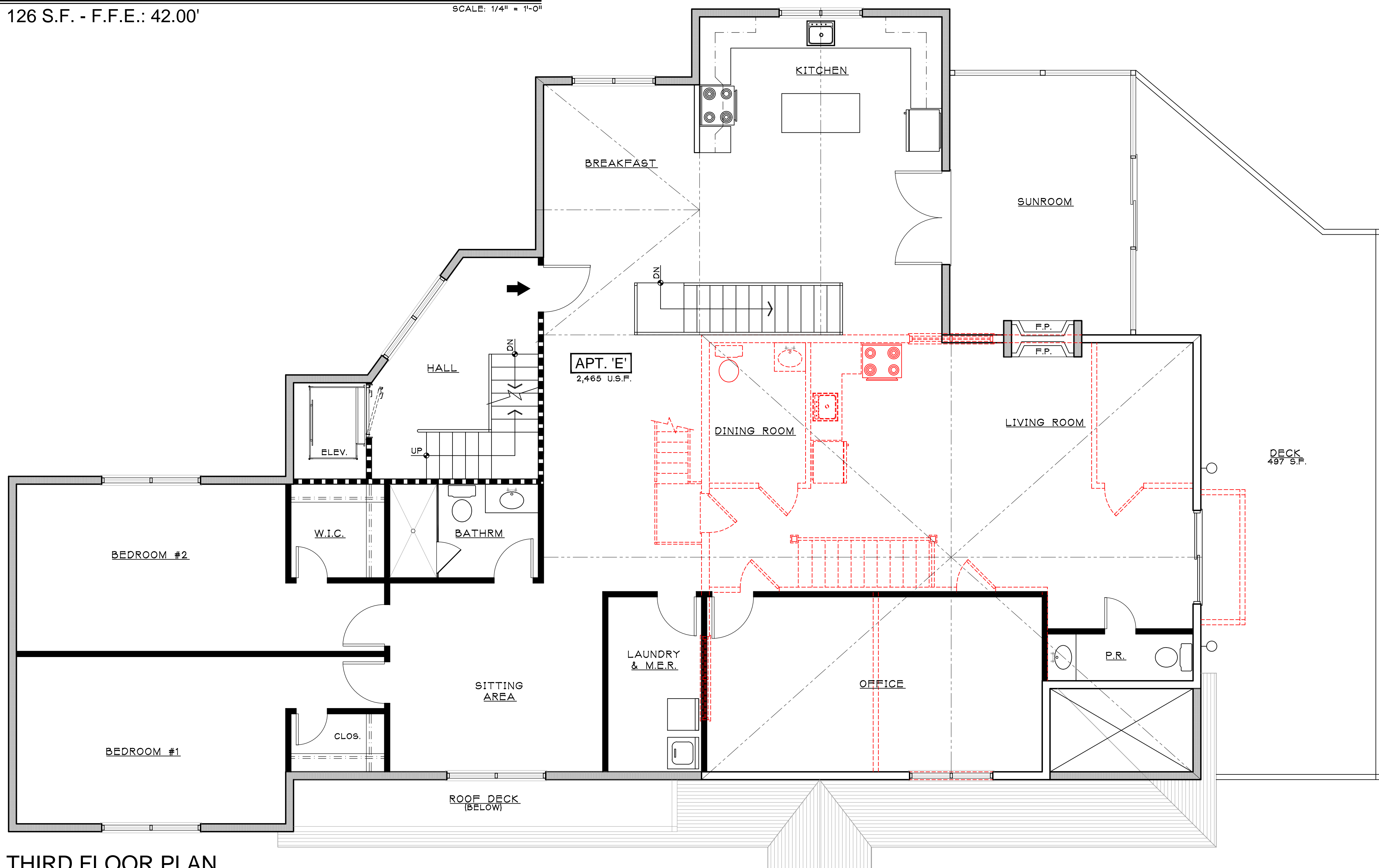
Title
FIRST AND SECOND FLOOR
PRELIMINARY LAYOUT

Seal & Signature:
Job Type:
Project No.:
Scale: AS NOTED
Date:
Drawn By:
Reviewed By:
Drawing No.:

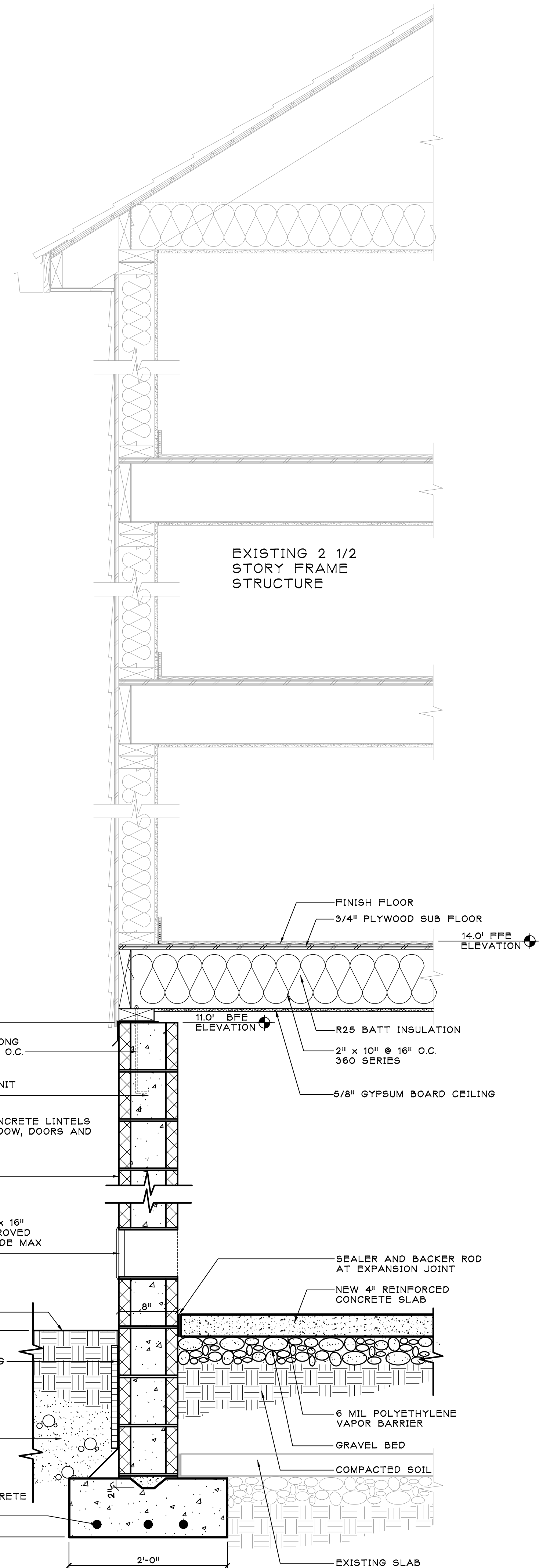
N.J. LIC. #A115228
A-101
SHEET No.: _ OF _



A
A-102
ROOF PLAN
126 S.F. - F.F.E.: 42.00'
SCALE: 1/4" = 1'-0"



B
A-102
THIRD FLOOR PLAN
2,634 S.F. - F.F.E.: 33.00'
SCALE: 1/4" = 1'-0"



C
A-102
WALL SECTION
SCALE: 1" = 1'-0"

FOR ZONING REVIEW
ISSUED: 6/12/2024

SALVATORE LA FERLITA, R.A. Architectural Services Construction Management 115 University Drive Lincroft, N.J. 07738 732-741-5105 Sallaferlita@aol.com					
Revised	Issued				
No.	DATE	REVISION	No.	DATE	DESCRIPTION
Client 60 BAY AVE HIGHLAND LLC MULTI- FAMILY RESIDENCE 60 BAY AVENUE HIGHLANDS, NEW JERSEY					
Title THIRD FLOOR AND ROOF PRELIMINARY SPACE ANALYSIS					
Seal & Signature: 		Job Type: - Project No.: - Scale: AS NOTED Date: - Drawn By: - Reviewed By: - Drawing No.: -			
N.J. LIC. #AI15228		A-102 SHEET No: _ OF _			



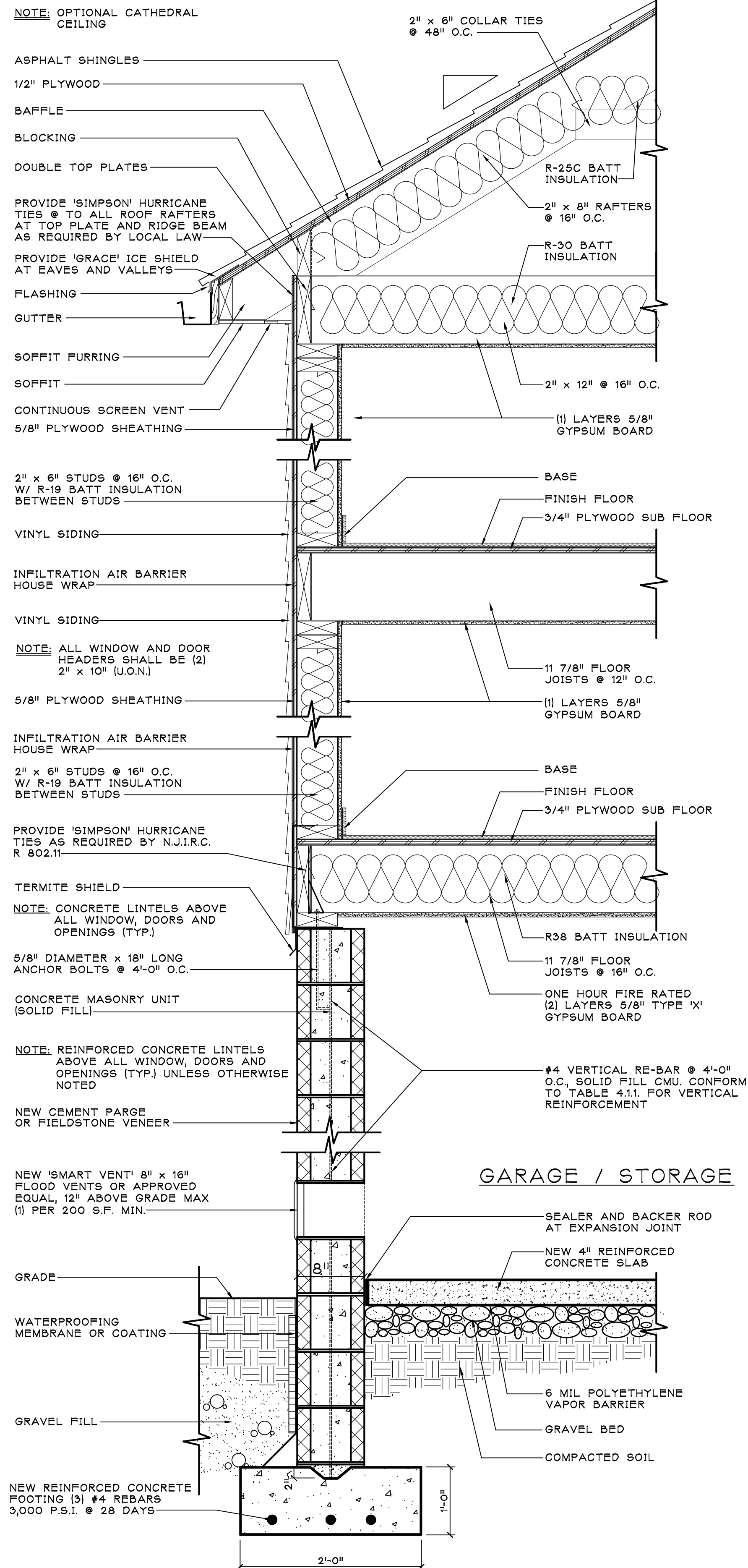
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 REAR ELEVATION

SCALE: 1/4" = 1'-0"



A FOUNDATION / WALL SECTION

SCALE: 1" = 1'-0"

FOR ZONING REVIEW
ISSUED: 6/12/2024

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Architectural Services
Construction Management
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallafelita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client
60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title
FRONT ELEVATION AND
REAR ELEVATION

Seal & Signature: 	Job Type: - Project No.: - Scale: AS NOTED Date: - Drawn By: - Reviewed By: - Drawing No.: A-103
-----------------------	--

N.J. LIC. #A115228

A-103

SHEET No: _ OF _



1 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

FOR ZONING REVIEW
ISSUED: 6/12/2024

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Architectural Services
Construction Management
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallaferlita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client
60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title
LEFT AND RIGHT
SIDE ELEVATIONS

Seal & Signature:
N.J. LIC. #A115228

Job Type: -
Project No.:
Scale: AS NOTED
Date:
Drawn By:
Reviewed By: -
Drawing No.:
A-104
SHEET No: _ OF _