



Borough of Highlands
151 Navesink Ave.
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE BOARD APPLICATION

FOR OFFICIAL USE

ck#235

ck# 236

Date Rec'd: 5/30/2024 Application #: LUB24-04 Fee: \$150.00 Escrow: \$750.00

1. APPLICANT

Name: John and Shari Nastasi
Address: 19 Gravelly Point Road
City: Highlands State: NJ Zip: 07732
Phone: (516) 885-4104
Email: beachrx18@yahoo.com
Relation to property: Owner

2. OWNER

Name: John and Shari Nastasi
Address: 19 Gravelly Point Road
City: Highlands State: NJ Zip: 07732
Phone: (516) 885-4104
Email: beachrx18@yahoo.com

3. TYPE OF APPLICATION (Check all that apply)

- ☐ Minor Subdivision
- ☐ Major Subdivision – Preliminary
- ☐ Major Subdivision – Final
- ☐ Minor Site Plan
- ☐ Major Site Plan – Preliminary
- ☐ Major Site Plan – Final
- ☒ Variance
- ☐ Use Variance

- ☐ Appeal – Zoning Denial date _____
- ☐ Appeal – Land Use Decision date _____
- ☐ Informal Concept Plan Review
- ☐ Extension of Approval
- ☐ Revision/Resubmission of Prior Application
- ☐ Other _____

4. PROPERTY INFORMATION

Block 100 Lot(s) 26.19 Address: 19 Gravelly Point Road
Lot size 0.057 # of Existing Lots 1 # of Proposed Lots 1
Zone R203 Are there existing Deed Restrictions or Easements? ☒ No ☐ Yes – Please attach copies
Has the property been subdivided? ☒ No ☐ Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through current Sewer paid through current

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: Edward J. McKenna, Jr., Esq.
Address: 229 Broad Street, Red Bank, NJ 07701
Phone: (732) 741-6681 Email: mckenna@redbanklaw.com



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6. APPLICANT'S OTHER PROFESSIONAL(S) -- Engineer, Planner, Architect, etc.

Name: Catherine Franco, AIA
Address: 148 Parkview Terrace
Lincroft, NJ 07738
Phone: (732) 291-5942
Email: cfarchitects@hotmail.com

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

The current owners purchased the property on May 4, 2022.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Utilities will be moved to attic to get them off the ground level, which is a significant benefit in that area.

The residence is presently two stories with a building height of 20 feet and applicant is proposing three stories with a building height of 29.1 feet. Elevations show a much better appearance for the structure.

Pitched roof architecturally allows for more window space and more light to come into the home. Ceiling heights are adequate in the living space. Applicant proposes 3 on-site parking spaces. Difficult to find parking on the street.

C. ADDITIONAL INFORMATION:

	Existing	Proposed
Residential:	How many dwelling units?	1
	How many bedrooms in each unit?	3
	How many on-site parking spaces?	3
Commercial:	How many commercial uses on site?	N/A
	How many on-site parking spaces?	N/A



8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area			
Frontage			
Lot Depth			
Minimum Yard Requirements			
Front Yard Setback			
2 nd Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height	20'	16'	29.1'

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

A D(6) height variance is required along with variance relief for the nonconforming detached accessory structure. Detached accessory structures are prohibited in the minimum required yard area.



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
30 day of May 2024 (year)
Lisa Natale (notary)
(Seal)

[Signature] May 30, 2024
Signature Date
Shari Nastas
Print Full Name

LISA B NATALE
Notary Public, State of New Jersey
Comm. # 50219223
My Commission Expires 3/1/2029

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
30 day of May 2024 (year)
Lisa Natale (notary)
(Seal)

[Signature] May 30, 2024
Signature Date
Shari Nastas
Print Full Name

LISA B NATALE
Notary Public, State of New Jersey
Comm. # 50219223
My Commission Expires 3/1/2029

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions.

Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	<input checked="" type="radio"/> No
Is this application to construct a multiple dwelling of 25 or more units?	Yes	<input checked="" type="radio"/> No
Is this an application for approval of a site(s) for non-residential purposes?	Yes	<input checked="" type="radio"/> No
Is this Applicant a corporation?	Yes	<input checked="" type="radio"/> No
Is the Applicant a limited liability corporation?	Yes	<input checked="" type="radio"/> No
Is the Applicant a partnership?	Yes	<input checked="" type="radio"/> No

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

N/A

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this

_____ day of _____ 20____ (year)

_____ (notary)

(Seal)

Signature (Officer/Partner)

Date

Print Full Name

Title

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name ESTATE OF CAMILLE CEFALO				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. # 19 GRAVELLY POINT ROAD				Company NAIC Number:	
City HIGHLANDS		State New Jersey		ZIP Code 07732	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 26.19 BLOCK 100					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>SF RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>N.40-24-23.4</u> Long. <u>W.73-59-46.7</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>7</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>1,127</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>6</u>					
c) Total net area of flood openings in A8.b <u>1,230</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u> </u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u> </u>					
c) Total net area of flood openings in A9.b <u> </u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number HIGHLANDS BOROUGH & 345297			B2. County Name MONMOUTH		B3. State New Jersey
B4. Map/Panel Number 34025C0086	B5. Suffix F	B6. FIRM Index Date 09/25/2009	B7. FIRM Panel Effective/Revised Date 01/31/2014*	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 11-Ft
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: <u> </u>					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: <u> </u>					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u> </u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. # 19 GRAVELLY POINT ROAD			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

- C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: Local tied to NGS Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>6.4</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>16.2</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>12.5</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>5.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>6.3</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including
structural support | <u>6.3</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
ANDREW R. STOCKTON

License Number
NJ Lic. No. 35405

Title
PROFESSIONAL ENGINEER & LAND SURVEYOR

Company Name
EASTERN CIVIL ENGINEERING, LLC

Address
31 GRAND TOUR

City
HIGHLANDS

State
New Jersey

ZIP Code
07732

Signature

Date
09/10/2016

Telephone
(732) 872-7736

Place
Seal
Here

Copy all pages of this Elevation Certificate and attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

Subject property is situated in FEMA Flood Zone AE (BFE 11 Ft) as shown on current FIRM. Site is also situated in FEMA Future Flood Zone AE (BFE 11 Ft) as shown on FEMA Preliminary Maps dated 1-31-14. There are 6 flood vents around perimeter of foundation walls, Crawlspace Doors Model No. 816CS, which the manufacturer represents that one vent has 105 sq-in. net open area and provides hydrostatic equalization of flood waters for 205 square feet of enclosed area (see attached). Lowest elevation of equipment is for air conditioning condenser on utility pedestal at left-rear corner of building.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. # 19 GRAVELLY POINT ROAD			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. # 19 GRAVELLY POINT ROAD			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number
SECTION G – COMMUNITY INFORMATION (OPTIONAL)			
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.			
G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)			
G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.			
G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.			
G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued	
G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement			
G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____			
G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____			
G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____			
Local Official's Name		Title	
Community Name		Telephone	
Signature		Date	
Comments (including type of equipment and location, per C2(e), if applicable)			
<div style="text-align: right;"><input type="checkbox"/> Check here if attachments.</div>			

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
19 GRAVELLY POINT ROAD

Policy Number:

City
HIGHLANDS

State
New Jersey

ZIP Code
07732

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption

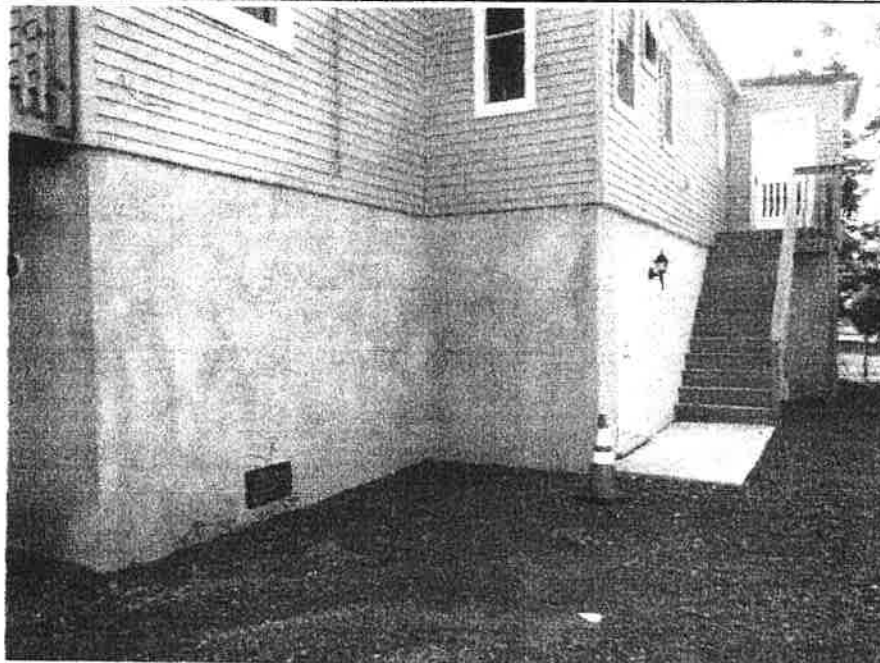


Photo Two

Photo Two Caption

ELEVATION CERTIFICATE**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
19 GRAVELLY POINT ROAD

Policy Number:

City
HIGHLANDSState
New JerseyZIP Code
07732

Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

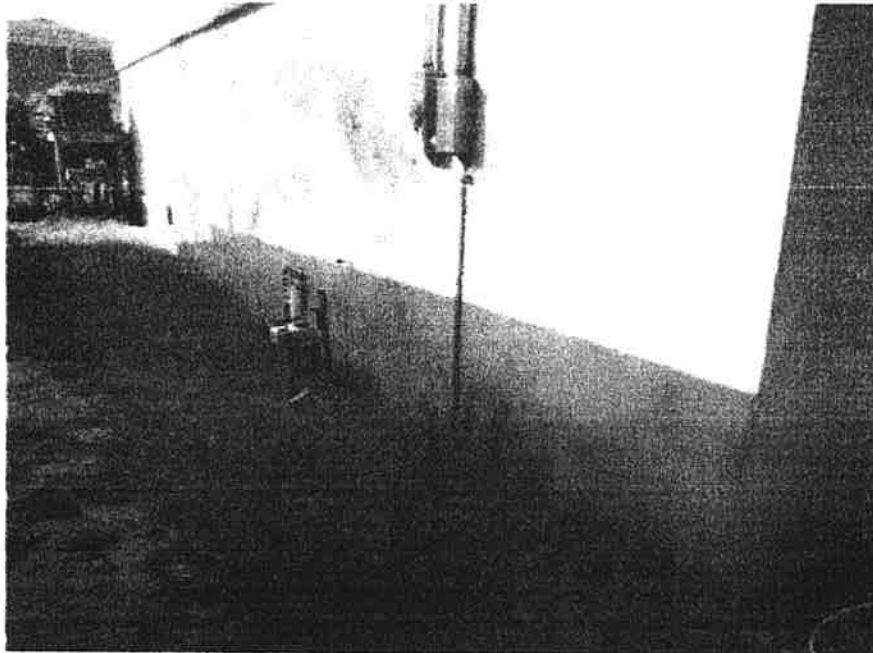


Photo One

Photo One Caption LEFT-SIDE VIEW NOTE UTILITY PEDESTAL AT BACK CORNER

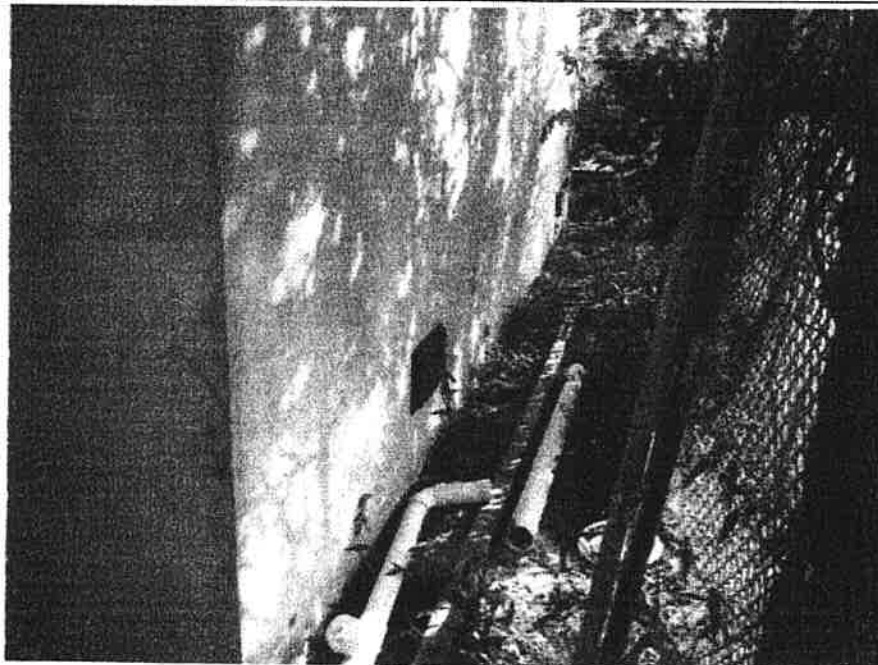
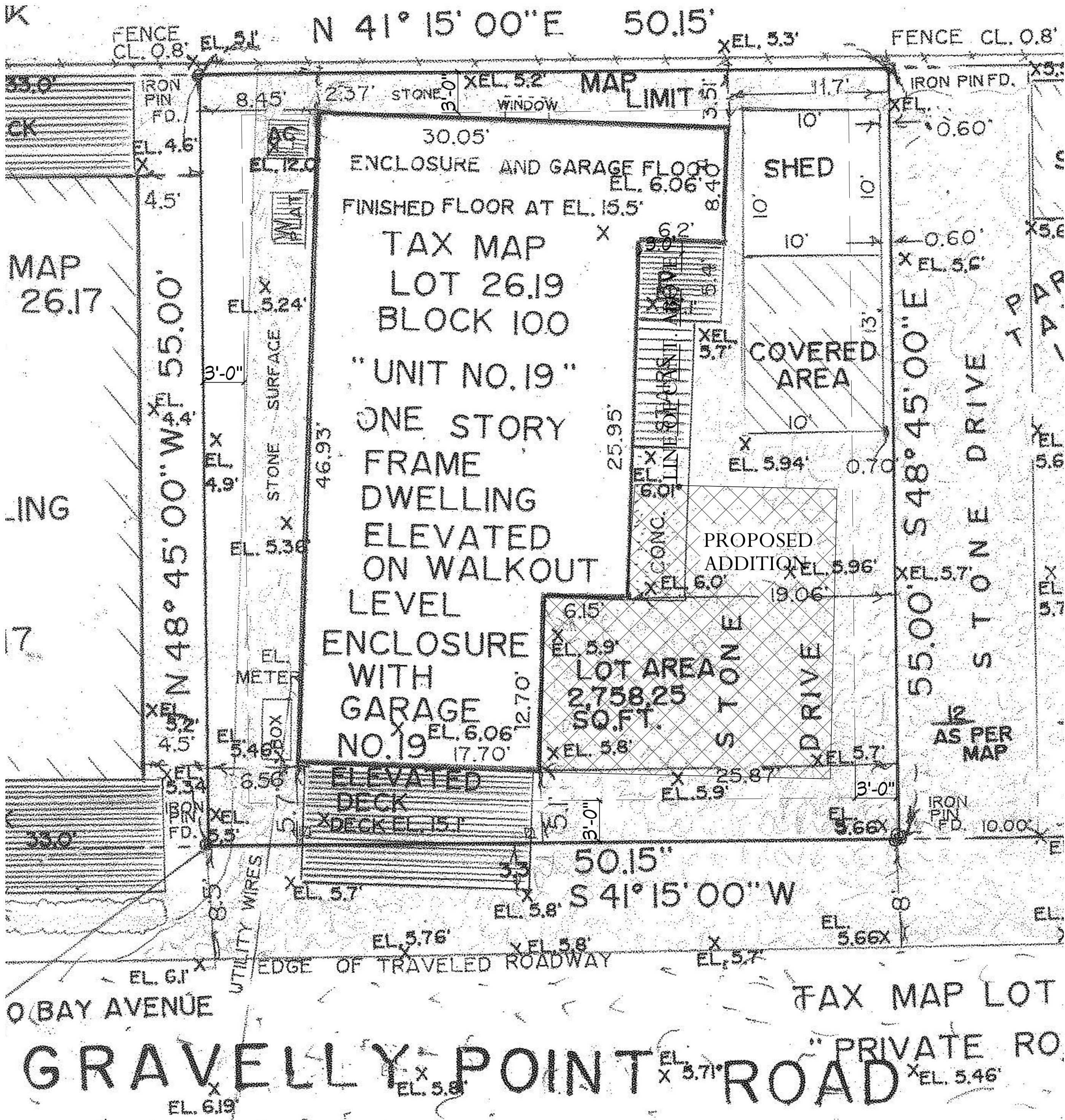


Photo Two

Photo Two Caption REAR VIEW



NO. 19 GRAVELLY POINT ROAD
TOPOGRAPHIC LOCATION LAND SURVEY OF LOT 26.19 IN
BLOCK 100 ON THE OFFICIAL TAX MAP OF THE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NEW JERSEY
TAX MAP PAGE 17
THOMAS CRAIG FRINCO LAND SURVEYING, LLC
THOMAS CRAIG FRINCO, P.E., L.S., L.C. # 38601
PROFESSIONAL LAND SURVEYOR
245 EAST END AVENUE, BELFORD, NEW JERSEY 07718
OFFICE # 732-787-0235, FAX # 732-495-4317
CELL # 732-856-2821, email: thomascfrinco@gmail.com
SCALE 1" = 10'
DECEMBER 28, 2023

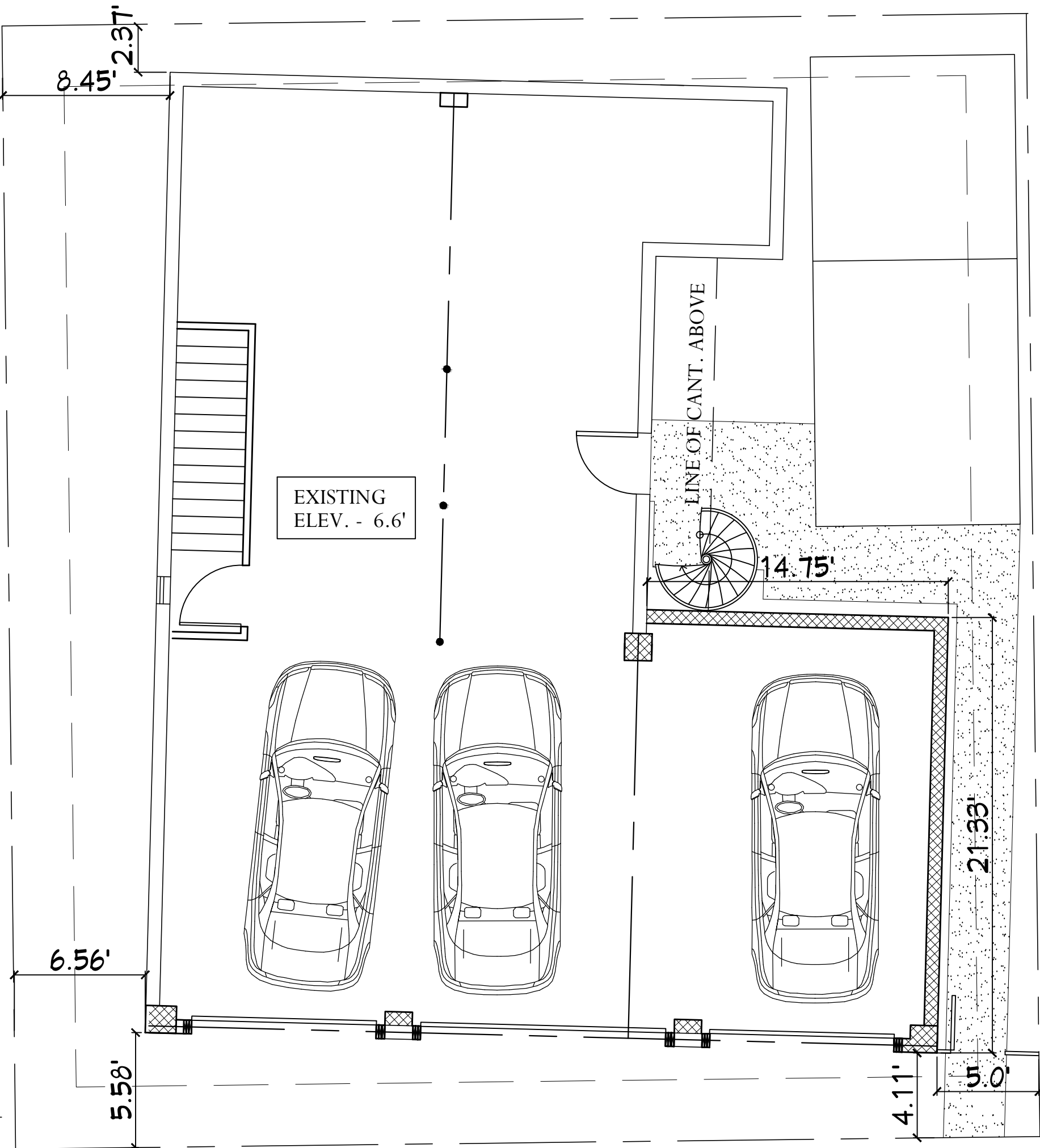
SURVEY
SCALE: 3/16" = 1'-0"

NOTES:

- FRONT DECK TO BE REMOVED
- SIDE STEPS TO BE REMOVED

SITE PLAN

SCALE: 3/16" = 1'-0"



ZONING INFORMATION

Existing bungalow colonies shall meet the following requirements:

- Density shall not exceed the number of units existing at the time of the adoption of this ordinance, as shown on existing Borough Tax Maps and/or other tax records.
- Any application for expansion of an individual dwelling unit, either vertically or horizontally, shall meet the following standards:
 - Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.
 - Each unit shall have associated with it a minimum of one (1) parking space, located on site, either adjacent to the individual unit or in a common parking area.
 - Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.
 - Building height shall not exceed twenty (20) feet.**
 - Shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.
- Bungalow colonies shall not be subject to the provisions of Section 21-98F below.

- VARIANCE REQUESTED FOR HEIGHT WHERE 20' FROM BASE FLOOD ELEVATION IS REQUIRED AND PROPOSING 28.25'

CATHERINE FRANCO
ARCHITECT
architecturedevelopmentstrategiesplanning

148 PARKVIEW TERRACE
LINCROFT, NEW JERSEY 07738
TEL: 732.291.5942
E-MAIL: CFARCHITECTS@HOTMAIL.COM

INTELLECTUAL PROPERTY
ALL DRAWINGS AND CORRESPONDENCE HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THIS FIRM. THE UNAUTHORIZED REPRODUCTION OF ANY AND ALL WORK FOR THE PURPOSE OF COPYING OR REPRODUCING SAID DRAWINGS SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A TRIBE OF COMPANY ASSETS, BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF THE STATUTES.

REVISIONS		
No.	Date:	Description:
1	10.12.22	LETTER DATED 10.6.22

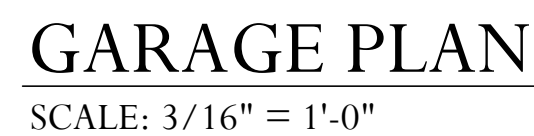
Project:		PROPOSED RENOVATION & ADDITION 19 GRAVELLY POINT ROAD UNIT 19 HIGHLANDS LOT: 26.19 BLOCK: 100	
Owner:		MR. JOHN NASASI 19 GRAVELLY POINT ROAD HIGHLANDS NJ	

Drawing Title:		LIL JOHN	
Project No.	2401	Date	1.18.24
CATHERINE FRANCO, AIA NJ RA A111411 NJ PP 5416		Drawn by:	CF
		Dwg. No.	Z1 1 of 3

148 PARKVIEW TERRACE
LINCROFT, NEW JERSEY 07738
TEL: 732.291.5942
E-MAIL: CFARCHITECTS@HOTMAIL.COM

INTELLECTUAL PROPERTY

ALL DRAWINGS AND CORRESPONDENCE HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THIS FIRM. THE UNAUTHORIZED REPRODUCTION OF ANY AND ALL WORK FOR THE PURPOSE OF COPYING OR REVISING SAID DRAWINGS SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF COMPANY ASSETS, BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF THE STATUTES.

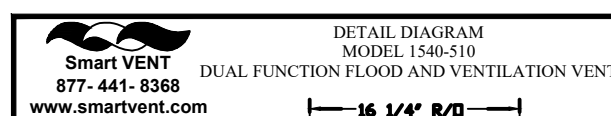


FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



NOTES:
NEW AREA AT GRADE 319 SF = 1.1 VENTS NEEDED
• ADDING (3) NEW FLOOD

REVISIONS		
No.	Date:	Description:
1	10.12.22	LETTER DATED 10.6.22

Project: PROPOSED RENOVATION & ADDITION
19 GRAVELY POINT ROAD
UNIT 19
HIGHLANDS
LOT: 26.19 BLOCK: 100

Owner: MR. JOHN NASASI
19 GRAVELY POINT ROAD
HIGHLANDS NJ

Drawing Title:	LIL JOHN
----------------	----------

Project No.	Date
2401	1.18.24

CATHERINE FRANCO, AIA
NJ RA AI11411
NJ PP 5416

Drawn by:
CF

Dwg. No.

Z2
2 of 3



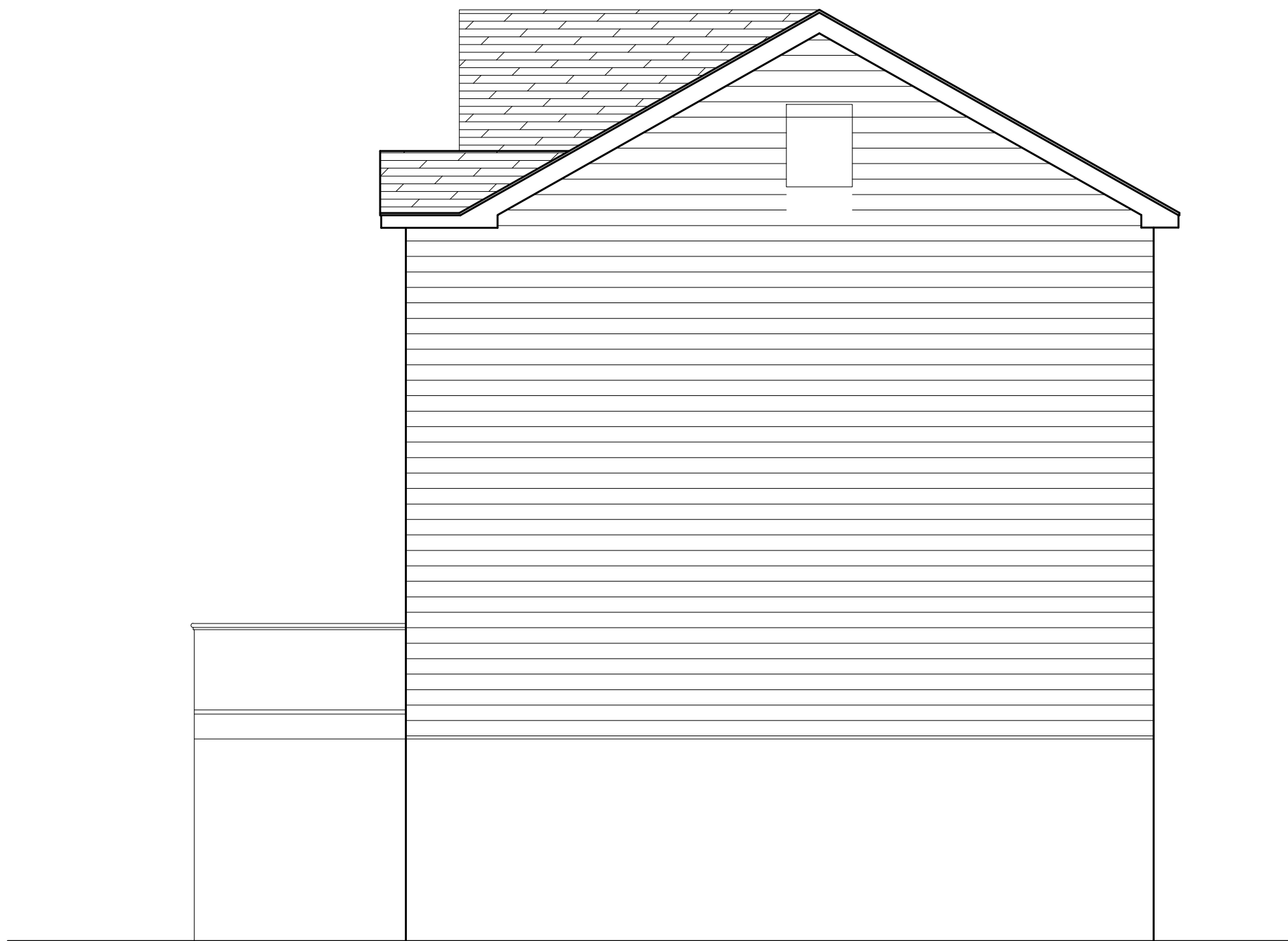
FRONT ELEVATION

SCALE: 3/16" = 1'-0"



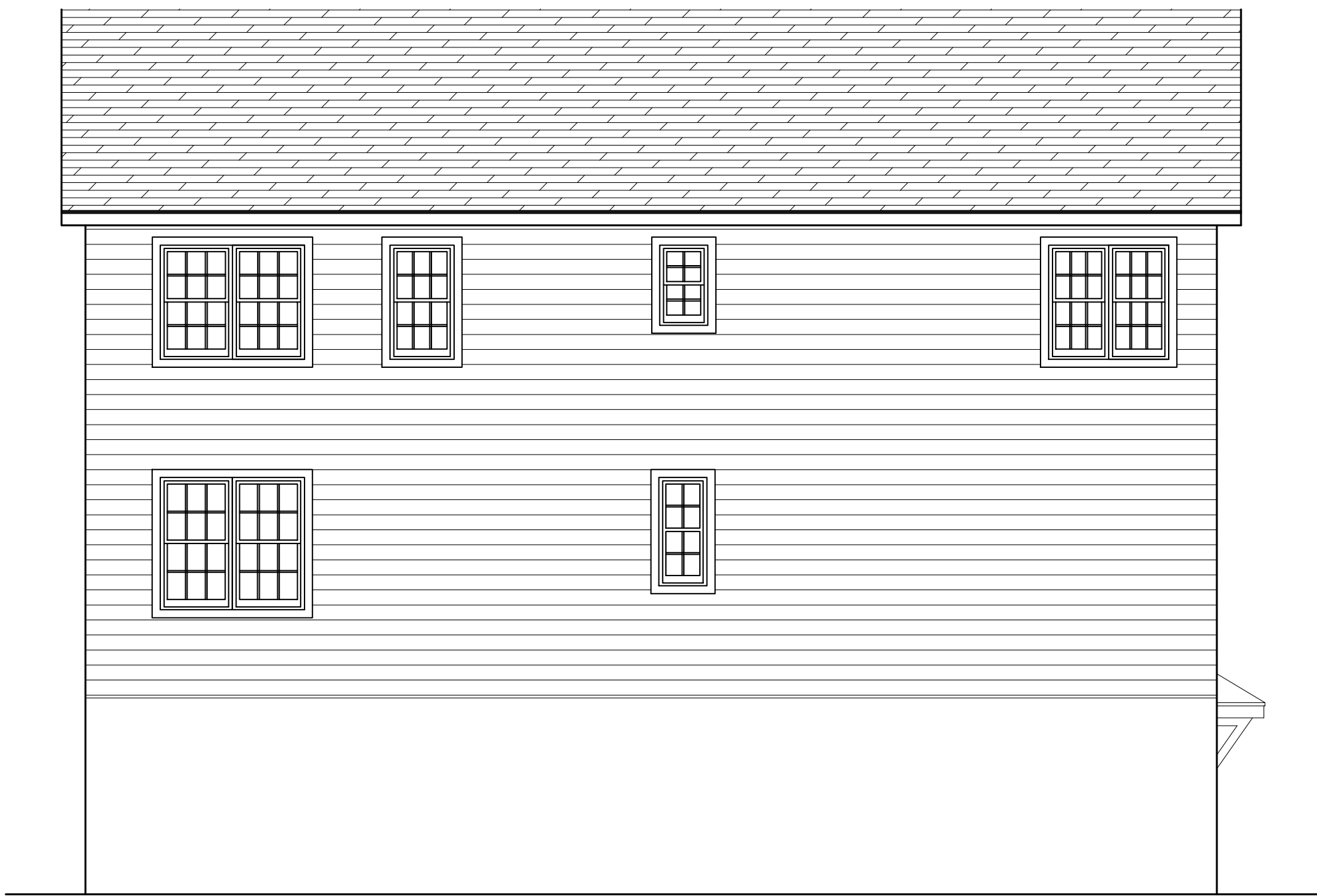
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

CATHERINE FRANCO
ARCHITECT
architecturedevelopmentstrategiesplanning

148 PARKVIEW TERRACE
LINCROFT, NEW JERSEY 07738
TEL: 732.291.5942
E-MAIL: CFARCHITECTS@HOTMAIL.COM

INTELLECTUAL PROPERTY
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2401	1.18.24	CF
CATHERINE FRANCO, AIA NJ RA A111411 NJ PP 5416		Dwg. No. Z3 3 of 3



Borough of Highlands

151 Navesink Ave

Highlands, NJ 07732

Phone: (732) 872-1224

Control #: Z-0045

Date Issued: 5/1/2024

DENIAL OF ZONING PERMIT

IDENTIFICATION

Work Site Location:	19 GRAVELLY POINT ROAD	Block:	100	Lot:	26.19	Zone:	R203
Owner in Fee:	NASTASI, JOHN III & SHARI ROSE	Contractor/Agent:					
Address:	19 GRAVELLY POINT ROAD	Address:					
	HIGHLANDS NJ 07732						
Telephone:	201-317-2504	Telephone:					
		Contractor License No:					

For the project/work located at the above address, your application for a permit to:

ADDITION RENO

has been denied for noncompliance with provisions of Sections: of the Municipal Zoning Ordinance for the following reasons:

§ 21-86R-2 SINGLE-FAMILY RESIDENCE - Existing Bungalow Colonies

Applicant is proposing a building height of 29.1 feet, where 20 feet is permitted.

A D(6) height variance is required along with variance relief for the nonconforming detached accessory structure. Detached accessory structures are prohibited in the minimum required yard area.

Information on procedures for an appeal of this decision to the Land Use Board can be obtained from the Secretary of the Land Use Board. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the Land Use Board and can obtain from the Secretary of the Land Use Board the required forms.

The permit which you submitted has been placed in the inactive files in the Zoning Department. Please contact this office to reactivate the permit.

Denied by:

Courtney Lopez

Zoning Official



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

July 12, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 1
Applicant: Nastasi
19 Gravelly Point Road
Block 100, Lot 26.19
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB24-04

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a 3-story dwelling on an existing elevated 2-story frame dwelling with existing garage under parking, with an elevated addition with garage under parking, decking and stairs. One additional bedroom is proposed for the dwelling. Utilities will be elevated with their placement in the proposed attic. The number of parking spaces remain, and all are provided in the existing and proposed garage under parking. The existing decking and stairs will be removed, and the existing shed and attached covered area will remain as is on the property.

The residential building is situated on a 2,758.25 sf (0.06 Ac) lot in the Bungalow Colonies area of the R-2.03 Single Family Residential District. The property is located in the AE Flood Hazard.

A site plan is not required per §21-86A.4.b(2)(e):

Zone R-2.03 shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01- 26.76 and Block 69, Lots 15.01-15.28. This applies to subject property, Block 100, Lot 26.19.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application for Minor Subdivision and Variance, dated May 30, 2024.
2. Copy of plans entitled, "Proposed Renovations & Addition, 19 Gravelly Point Road, Unit 19, Highlands, NJ, Lot: 26.19 Block: 100", prepared by Catherine Franco, Architect, unsigned and dated January 18, 2024, and having a revision date of October 12, 2022, consisting of 3 sheets (survey & site plan, floor plans and elevations).

We offer the following comments and recommendations for the Land Use Board's consideration:

I. ZONING

1. This property is located in an area designated as the Bungalow Colonies within the R-2.03 Single Family Residential District. The property is subject to the Bungalow Colonies' bulk requirements and applicable ordinances.
2. The Applicant requires one D(6) variance because the proposed building height exceeds the maximum height permitted in the district for a principal structure. To be entitled to "d" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-

70d. The existing dwelling is currently two stories with a building height of 16 ft and the Applicant is proposing three stories with a building height of 29.1 ft.
The Applicant will be required to provide proof during testimony.

3. The Applicant requires four (4) bulk "c" variances for minimum lot area, minimum lot depth, rear yard setback and detached accessory structure in a minimum yard setback. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c.
The Applicant will be required to provide proof during testimony.
4. The following bulk requirement summary is provided for the Board's reference. In accordance with Ordinance §21-86A.4.b existing and proposed bulk deficiencies which require bulk "c" variances have been noted:

Schedule I – Bulk and Area Requirements §21-86A.4b				
Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.19 Bungalow Colonies	Proposed Lot 26.19 Bungalow Colonies
Min. Lot Area (sf)	5,000	5,000	2,758.25**	2,758.25*
Lot Frontage/Width (ft)	50	50	50.15	50.15
Min. Lot Depth (ft)	100	100	55.0**	55.00*
Min. Front Yard Setback (ft)	20	3	5.1	4.11
Min. Side Yard Setback (ft)	6/8	3	6.56/11.7	5.46/4.1±
Min. Rear Yard Setback (ft)	20	3	2.37**	2.37*
Max. Building Height (ft)***	30	20	16.0	29.1*
Max Lot Coverage****	75%	75%	53.4±	69.8±
Max Building Coverage****	30%	35%	43.3±	59.3±
On-Site Parking (spaces)	2	1	3	3

* Proposed Variance

** Existing non-conformity

*** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet.

**** §21-86 A.4.b(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

II. VARIANCES REQUIRED:

1. N.J.S.A. 40:55D70d

D(6) Bulk Variance required

§21-86A.4.b (2)(d)

The building height shall not exceed twenty (20) feet.

2. §21-86A.4.b(2)(a)

Detached accessory structures are prohibited in the minimum required yard area.

The existing shed and covered area are located within the side yard setback and possibly the rear yard setback. The existing shed and covered area are to remain.

3. Those noted in the Table.

III. APPLICATION FEES (PART 6 FEE SCHEDULE ARTICLE XXIII, ORD. 21-107)

As posted on Borough website under Land Use forms

Variances:

Residential "d" (max. building height) x1	1 EA	\$ 150.00	\$ 150.00
Residential "c" (minimum lot area) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot depth) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum rear yard) x1	1 EA	\$ 125.00	\$ 125.00
<u>Residential "c" (accessory structure yard) x1</u>	<u>1 EA</u>	<u>\$ 125.00</u>	<u>\$ 125.00</u>
Subtotal			\$650.00

IV. CHECKLIST ITEMS

A Site Plan is not required per §21-86A.4.b(2)(e) thus a checklist is not required for this submission.

V. COMPLETENESS

Adequate information has been provided to perform a technical review and fee calculation for the application, and therefore the application is deemed complete.

The Bungalow Colony is defined in the municipal code as a cluster of small, detached dwelling units originally designed for summer occupancy only, located on property held in common ownership. There are other properties in the immediate vicinity that have recently developed lots with large multiple storied dwellings.

The property is required to follow the bulk requirements for the Bungalow Colony area.

VI. GENERAL COMMENTS

Although the property does not require a site plan, some of the following comments are site plan related and will provide the Land Use Board with information to make an informed decision.

1. Please provide signed and dated architectural plans.
2. Please provide a zoning bulk and area requirements table on the plan noting zoning for bungalow parameters.
3. Please confirm the maximum existing and proposed building and lot coverages.
4. Please provide the nearest proposed front and side building offsets on the plan.
5. Please confirm the grade elevation on the architectural elevation sheet (3 of 3) as 6.56'.

The elevations along the front of the existing building range from 5.46 ft to 5.8 ft and 5.7 ft± along the northeasterly property line. The existing garage elevation is 6.06 ft.

The elevation of 6.56 ft ± appears to represent a building offset.

Please update architectural elevations.

6. The existing garage elevation on the survey does not match the existing elevation shown on the site plan, Sheet 1 of 3. Please clarify if these elevations represent the pitch of the slab.
7. Please provide the base and design flood elevations and reference the FIRM panel on Sheet 1 of 3.
8. Please clarify the building height. There are different building heights noted in the documents.

Additionally, the height of the roof needs to be evaluated since the grade elevation may be incorrect.

The roof elevation is based on the grade elevation and heights of the dwelling's stories.

According to §21-86A.4b the building height in the bungalow colonies shall not exceed twenty (20) feet. The garage under parking allows an additional 2.5 ft in building height.

The maximum building height is exceeded, and a variance is required, as noted on the submitted plans and documents. However, there are different building heights shown on the plans and the application. The building height for the noted variance needs to be established for this submission based on §21-8 Definitions for Building Height and Grade Plane.

Please update the plan notes and provide consistent information where needed in the requested zoning bulk and area requirements table.

The Applicant will be required to provide testimony.

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, P.E., C.M.E., C.P.W.M.
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Edward J. McKenna, Jr., Esq., Applicant's Attorney (mckenna@redbanklaw.com)
Catherine Franco, AIA, Applicant's Architect (cfarchitects@hotmail.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC