



Borough of Highlands  
 42 Shore Drive  
 Highlands, NJ 07732  
 (732) 872-1224  
 www.highlandsborough.org

## LAND USE BOARD APPLICATION

<b>FOR OFFICIAL USE</b>			
Date Rec'd: <u>4/15/2024</u>	Application #: <u>LUB24-02</u>	Fee: <u>\$375</u>	Escrow: <u>\$750</u>
Ck#1009		Ck#1012	

### 1. APPLICANT

Name: 60 Bay Ave Highlands LLC  
 Address: 60 Bay Avenue  
 City: Highlands State: NJ Zip: 07732  
 Phone: 732.855.6039 (Owner's Attorney)  
 Email: djennings@wilentz.com (Owner's Attorney)  
 Relation to property: Owner

### 2. OWNER

Name: 60 Bay Ave Highlands LLC  
 Address: 60 Bay Avenue Highlands LLC  
 City: Highlands State: NJ Zip: 07732  
 Phone: 732.855.6039 (Owner's Attorney)  
 Email: djennings@wilentz.com (Owner's Attorney)

### 3. TYPE OF APPLICATION (Check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision – Preliminary<br><input type="checkbox"/> Major Subdivision – Final<br><input type="checkbox"/> Minor Site Plan<br><input checked="" type="checkbox"/> Major Site Plan – Preliminary<br><input checked="" type="checkbox"/> Major Site Plan – Final<br><input type="checkbox"/> Variance<br><input type="checkbox"/> Use Variance | <input type="checkbox"/> Appeal – Zoning Denial date _____<br><input type="checkbox"/> Appeal – Land Use Decision date _____<br><input type="checkbox"/> Informal Concept Plan Review<br><input type="checkbox"/> Extension of Approval<br><input type="checkbox"/> Revision/Resubmission of Prior Application<br><input type="checkbox"/> Other _____ |
|--|--|

### 4. PROPERTY INFORMATION

Block 42 Lot(s) 1 Address: 60 Bay Avenue  
 Lot size 0.147 acres # of Existing Lots 1 # of Proposed Lots 1  
 Zone CBD\* Are there existing Deed Restrictions or Easements?  No  Yes – Please attach copies  
 Has the property been subdivided?  No  Yes If yes, when? \_\_\_\_\_  
 Attach copies of approved map or approved resolution  
 Property taxes paid through Quarter 1 Sewer paid through Current

### 5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: Donna M. Jennings, Esq. (on behalf of Applicant)  
 Address: 90 Woodbridge Center Drive Suite 900 Box 10, Woodbridge, NJ 07095  
 Phone: 732.855.6039 Email: djennings@wilentz.com

\*The Property is located in the CBD Redevelopment Area in Overlay Zone 2.

\*\*This office requested sewer tax certification on March 6, 2024 and will provide same once received.



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**6. APPLICANT'S OTHER PROFESSIONAL(S)** – Engineer, Planner, Architect, etc.

Name: Douglas D. Clelland, PE (Engineer)  
Address: 1955 Route 354, Suite 1A, Wall  
NJ 07719  
Phone: 732-531-7100  
Email: doug@insiteeng.net

Name: Salvatore LaFerlita, RA, AIA (Architect)  
Address: 115 University Drive, Lincroft  
NJ 07738  
Phone: 732-741-5105  
Email: sallaferlita@aol.com

**7. LAND USE**

**A. PROPERTY HISTORY** –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

\_\_\_\_\_  
\_\_\_\_\_  
A public records request returned no results for the Property. The Rider addresses the current use.  
\_\_\_\_\_  
\_\_\_\_\_

**B. PROPOSED PLAN** –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

\_\_\_\_\_  
\_\_\_\_\_  
See attached rider.  
\_\_\_\_\_  
\_\_\_\_\_

**C. ADDITIONAL INFORMATION:**

		Existing	Proposed
<b>Residential:</b>	How many dwelling units?	<u>4</u>	<u>5</u>
	How many bedrooms in each unit?	<u>1-2</u>	<u>1-3</u>
	How many on-site parking spaces?	<u>5</u>	<u>7</u>
<b>Commercial:</b>	How many commercial uses on site?	<u>None</u>	<u>None</u>
	How many on-site parking spaces?	<u>N/A</u>	<u>N/A</u>



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**8. VARIANCE REQUESTS** Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
<b>Minimum Lot Requirements</b>			
Lot Area			
Frontage			
Lot Depth			
<b>Minimum Yard Requirements</b>			
Front Yard Setback			
2 <sup>nd</sup> Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height			

	Req'd	Exist.	Prop'd
<b>Accessory Structures</b>			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
<b>Parking Requirements</b>			
On-site Parking Spaces			
<b>Other</b> (please add)			
Max Driveway Width at Curb (FT)			

**9. OTHER RELIEF REQUESTED** Please specify relief(s) and explain below.

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 42 Shore Drive  
 Highlands, NJ 07732  
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**10. NOTARIZED SIGNATURE OF APPLICANT**

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this  
 15<sup>th</sup> day of April 2024 (year)  
 Lisa Haak (notary)  
 Lisa Haak  
 Notary Public, State of New Jersey (Seal)  
 I.D. No. 50163068  
 My Commission Expires June 26, 2026

Signature: [Handwritten Signature] Date: 4/15/2024  
 Donna M. Jennings, Esq. (WGS on behalf of Applicant)  
 Print Full Name

**11. NOTARIZED CONSENT OF OWNER**

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this  
 15<sup>th</sup> day of April 2024 (year)  
 Lisa Haak (notary)  
 Lisa Haak  
 Notary Public, State of New Jersey (Seal)  
 I.D. No. 50163068  
 My Commission Expires June 26, 2026

Signature: [Handwritten Signature] Date: 4/15/2024  
 Donna M. Jennings, Esq. (WGS on behalf of Owner)  
 Print Full Name

**12A. DISCLOSURE STATEMENT** Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- Is this application to subdivide a parcel of land into six (6) or more lots? Yes  No
- Is this application to construct a multiple dwelling of 25 or more units? Yes  No
- Is this an application for approval of a site(s) for non-residential purposes? Yes  No
- Is this Applicant a corporation? Yes  No
- Is the Applicant a limited liability corporation? Yes  No
- Is the Applicant a partnership? Yes  No

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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**12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT**

Name of Corporation, Partnership, LLC, LLP, S-Corp:

**60 Bay Ave Highlands LLC**

Listed below are the names and addresses of all owners of 10% or more of the stock/interest\* in the above referenced business organization:

NAME	ADDRESS
David Cahill	60 Bay Avenue Apt 3, Highlands, NJ 07732

\*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this  
15<sup>th</sup> day of April 20 24 (year)  
[Signature] (notary)  
**Lisa Haak**  
 Notary Public, State of New Jersey (Seal)  
 I.D. No. 50163068

My Commission Expires June 26, 2026

[Signature] Date 4/15/24  
 Signature (Officer/Partner)  
Donna M. Jennings, Esq. (WGS on behalf of Applicant)  
 Print Full Name Title

**RIDER**  
**60 Bay Ave Highlands LLC**  
**60 Bay Avenue**  
**Block 42, Lot 1**  
**Application for Preliminary and Final Major Site Plan Approval**

60 Bay Ave Highlands LLC (“Applicant”) submits this application for Preliminary and Final Major Site Plan Approval to raise and expand the existing three-story multi-family residential building on property located at 60 Bay Avenue and identified as Block 42, Lot 1 on the Borough’s tax maps (the “Property”). The Property comprises approximately 6,425 square feet, or 0.147 acres, and is located in the Central Business District (CBD) within the CBD Redevelopment Area Overlay 2 Zone.

Applicant proposes to lift, renovate and expand the existing structure creating a new ground floor consisting of: one (1) -1 car garage, two (2) -1 1/2 car garages, and a two (2) car garage. The new ground floor will also have storage areas. In addition, Applicant proposes to add another unit, creating five (5) total. Residential above the first floor is a permitted use in the CBD pursuant to Ordinance Section 21-91(A)(1)(u) and the Central Business District Redevelopment Plan. All five (5) of the proposed residential units are located above the ground floor.

Further, Applicant intends to utilize a portion of the interior yard as a refuse area for trash bins for the tenants. Applicant will also plant twenty (20) shade and ornamental trees, eighteen (18) shrubs, and 104 grasses, perennial flowers, and groundcovers throughout the Property.

**Design Waivers**

1. Maximum Driveway Width at Curb (FT) – Ordinance Section 21-65.5(C)(1)  
18 FT permitted / 19.09 FT proposed
2. Minimum Lighting Level – Ordinance Section 21-65(11)(E)  
0.3 FC required / 0.1 FC proposed

3. Maximum Lighting Level at Property Line – Ordinance Section 21-65(11)(F)  
0.3 FC permitted / 1.7 FC proposed

# WILENTZ

—ATTORNEYS AT LAW—

**DONNA M. JENNINGS, ESQ.**

T: 732.855.6039  
F: 732.726.6560  
djennings@wilentz.com

90 Woodbridge Center Drive  
Suite 900 Box 10  
Woodbridge, NJ 07095-0958  
732.636.8000

April 15, 2024

**VIA HAND DELIVERY AND EMAIL**

Nancy Tran, Land Use Board Secretary  
Borough of Highlands  
151 Navesink Avenue  
Highlands, NJ 07732  
landuse@highlandsborough.org

**RE: 60 Bay Ave Highlands LLC  
Preliminary and Final Major Site Plan Approval  
60 Bay Avenue  
Block 42, Lot 1**

Dear Ms. Tran:

This office represents 60 Bay Ave Highlands LLC in connection with the above referenced matter. Enclosed, for filing, please find the following:

1. Four (4) copies of the Land Use Board Application with Rider.
2. Four (4) copies of Zoning Permit Denial, dated February 14, 2024.
3. Certification from Tax Collector, dated March 6, 2024, confirming payment of taxes.
4. Correspondence via e-mail from Kevin Rooney, Cashier, dated April 2, 2024, confirming payment of sewer bills.
5. Executed W-9, dated March 18, 2024.
6. Four (4) copies of a Stormwater Management Statement of Compliance, prepared by InSite Engineering, LLC, dated April 11, 2024.



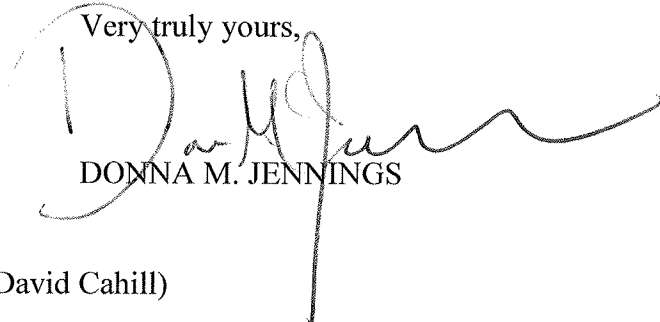
7. Four (4) copies of Survey entitled "Boundary & Topographic Survey," prepared by InSite Surveying, LLC, dated November 30, 2023, last revised December 20, 2023.
8. Four (4) copies of Floor Plans and Elevations, prepared by LaFerlita Architectural Services, dated March 13, 2024, consisting of five (5) sheets.
9. Four (4) copies of Site Plan entitled "Preliminary & Final Major Site Plan for Proposed Multi-Family Residence," prepared by InSite Engineering, LLC, dated February 5, 2024, last revised April 9, 2024, consisting of twelve (12) sheets.

Please advise as to the application and escrow fees, which will be provided under separate cover.

Should you have any questions or require additional information, please do not hesitate to contact this office.

Thank you for your assistance in this matter.

Very truly yours,



DONNA M. JENNINGS

w/encl.

cc: 60 Bay Ave Highlands, LLC (ATTN: David Cahill)  
Douglas D. Clelland, PE  
Salvatore LaFerlita, RA, AIA  
Luke H. Policastro, Esq.



# Borough of Highlands

151 Navesink Ave  
Highlands, NJ 07732  
Phone: (732) 872-1224

Control #: Z-0021  
Date Issued: 2/14/2024

## DENIAL OF ZONING PERMIT

### IDENTIFICATION

<b>Work Site Location:</b>	<u>60 BAY AVENUE</u>	<b>Block:</b>	<u>42</u>	<b>Lot:</b>	<u>1</u>	<b>Zone:</b>	<u>B-2</u>
<b>Owner in Fee:</b>	<u>60 BAY AVENUE HIGHLANDS, LLC</u>	<b>Contractor/Agent:</b>	_____				
<b>Address:</b>	<u>60 BAY AVENUE</u>	<b>Address:</b>	_____				
	<u>HIGHLANDS NJ 07732</u>	<b>Telephone:</b>	_____				
<b>Telephone:</b>	_____	<b>Telephone:</b>	_____				
		<b>Contractor License No:</b>	_____				

For the project/work located at the above address, your application for a permit to:

LIFT HOUSE UP TO FLOOD REQUIREMENTS. MOVE FORWARD TOWARD BAY AVE. ADD 2 EXTESIONS TO THE SIDE AND BACK AND ADD PARKING UNDERNEATH HOUSE.

has been denied for noncompliance with provisions of Sections: of the Municipal Zoning Ordinance for the following reasons:

Proposed building coverage is 52.4% where 35% is permitted; proposed parking spaces is 7 where 10.1 is required ; proposed driveway with at curb is 19.09 Ft where 18 FT is permitted.

Information on procedures for an appeal of this decision to the Land Use Board can be obtained from the Secretary of the Land Use Board. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the Land Use Board and can obtain from the Secretary of the Land Use Board the required forms.

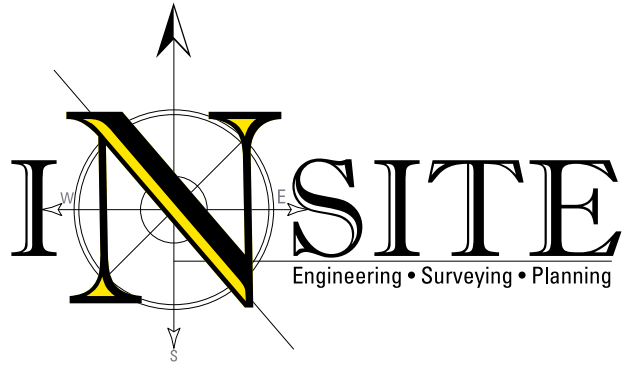
The permit which you submitted has been placed in the inactive files in the Zoning Department. Please contact this office to reactivate the permit.

Denied by:

Courtney Lopez

Zoning Official

Borough of Highlands  
Planning Board  
.Attn: Nancy Tran  
Board Secretary  
151 Navesink Ave.  
Highlands, NJ 07732



*Via Hand Delivery*

April 11, 2024

Subject: **MULTI-FAMILY RESIDENCE – PRELIMINARY & FINAL MAJOR SITEPLAN  
STORMWATER STATEMENT OF COMPLIANCE**  
60 Bay Avenue  
Block 42, Lot 1  
Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Applicant, who is proposing to renovate and expand the existing dwelling onsite to a 3-story multi-family residential building with parking below at the above referenced site in accordance with the Borough of Highlands Ordinance. There are anticipated New Jersey Department of Environmental Protection (NJDEP) land use permits required for the project, however, the project does not meet the definition of a ‘major development’ as it relates to stormwater management and as defined in N.J.A.C. 7:8. Therefore, the Borough of Highlands has jurisdiction over the stormwater management for the site.

Ultimately, the project proposes to disturb 0.16 acres of land and results in a slight increase in impervious coverage (0.037 acres) for the site. There are no coverage variances required. In the existing condition, stormwater runoff from the roof of the existing building is not captured by a gutter and is ultimately discharged near neighboring properties and ROW. The intent of the proposed drainage and grading plan is to improve the drainage characteristics that exist on site. In the proposed condition, all roof runoff is collected in a roof leader system and ultimately discharged to the public right-of-way (ROW) via a direct connection to the existing storm inlet within South Street in accordance with standard design practices.

Thank you for your kind consideration of this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,  
**InSite Engineering, LLC**

A handwritten signature in black ink that reads 'Douglas D. Clelland'.

Douglas D. Clelland PE

**InSite Engineering, LLC**

1955 Route 34, Suite 1A • Wall, NJ 07719  
732-531-7100 (ph) • 732-531-7344 (fx) • InSite@InSiteEng.net • www.InSiteEng.net  
Licensed in NJ, PA, DE, NY, CT, NC, DC, & CO

## INTRODUCTION

The project site is located on Block 42, Lot 1, with frontage on Shrewsbury Avenue to the east, existing residential developments to the north, Bay Avenue to the west and South Street to the south. The 0.147 acre site is currently developed with a residential dwelling, in the CBD Redevelopment Overlay 2 Zone – Gateway Parcels. The proposed project consists of a multi-family residence with parking on the ground level and associated infrastructure. The entire property is tributary to two existing storm inlets located on the corner of Bay Ave and South Street.

## STORMWATER MANAGEMENT ANALYSIS:

### PREDEVELOPMENT DRAINAGE AREA (TRIBUTARY TO ROW INLETS)

<i>Surface Type (Tributary to ROW)</i>	<i>Area</i>	<i>Runoff Coefficient</i>
<i>Impervious</i>	<i>2,377.3 SF (0.055 AC)</i>	<i>0.98</i>
<i>Lawn/Planted areas</i>	<i>4,047.7 SF (0.093 AC)</i>	<i>0.25</i>

#### 2-year Storm

*(Tributary to ROW)  $Q_2 = C_{i2}A = (0.25)(3.40^2 \text{ in/hr})(0.093 \text{ AC}) + (0.98)(3.40^2 \text{ in/hr})(0.055 \text{ AC}) = 0.26$*   
**CFS**

#### 10-year Storm

*(Tributary to ROW)  $Q_{10} = C_{i10}A = (0.25)(5.20^2 \text{ in/hr})(0.093 \text{ AC}) + (0.98)(5.20^2 \text{ in/hr})(0.055 \text{ AC}) = 0.40$*   
**CFS**

### POSTDEVELOPMENT DRAINAGE AREA TRIBUTARY TO ROW INLETS)

<i>Surface Type (Tributary to ROW)</i>	<i>Area</i>	<i>Runoff Coefficient</i>
<i>Impervious</i>	<i>3,983.5 SF (0.091 AC)</i>	<i>0.98</i>
<i>Lawn</i>	<i>2,441.5 SF (0.056 AC)</i>	<i>0.25</i>

#### 2-year Storm

*(Tributary to ROW)  $Q_2 = C_{i2}A = (0.25)(3.40^2 \text{ in/hr})(0.056 \text{ AC}) + (0.98)(3.40^2 \text{ in/hr})(0.091 \text{ AC}) = 0.35$*   
**CFS**

#### 10-year Storm

*(Tributary to ROW)  $Q_{10} = C_{i10}A = (0.25)(5.20^2 \text{ in/hr})(0.056 \text{ AC}) + (0.98)(5.20^2 \text{ in/hr})(0.091 \text{ AC}) = 0.54$*   
**CFS**

### **InSite Engineering, LLC**

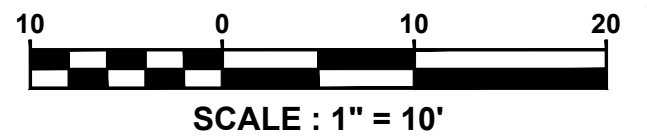
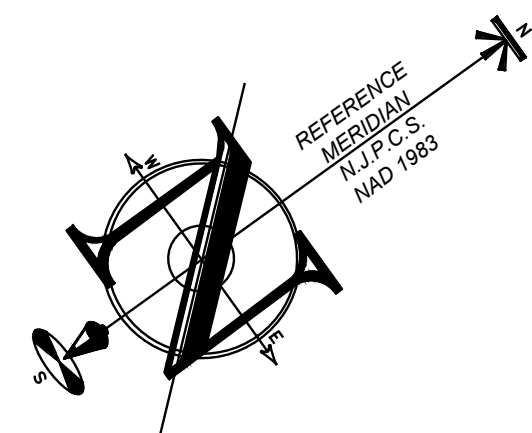
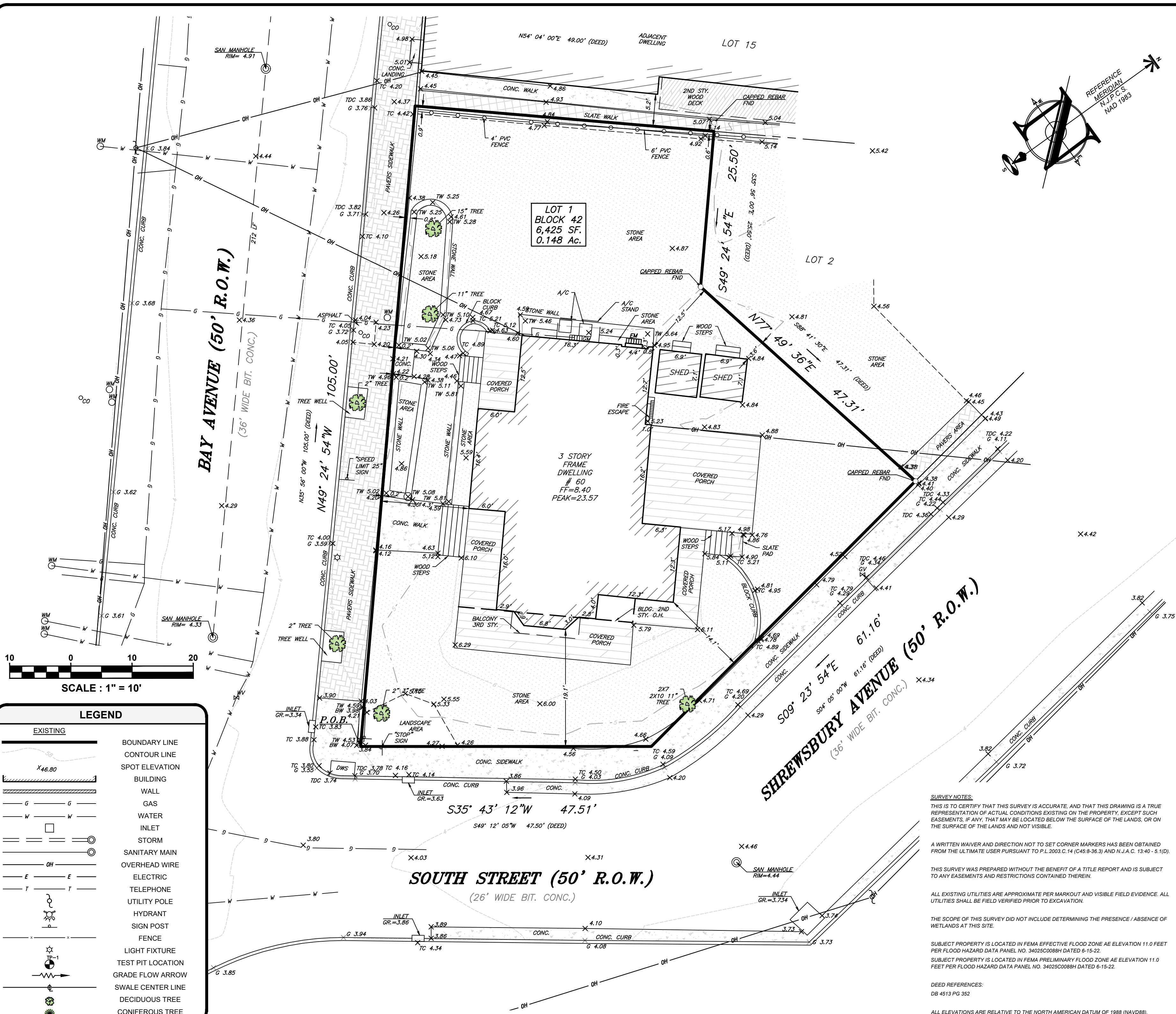
## **CONCLUSION:**

The proposed grading and drainage design was prepared in accordance with Borough requirements and mimics the existing condition. In the proposed condition, roof runoff will be collected in a downspout collection system and piped directly to the existing stormwater infrastructure within the ROW. This design solution provides an improvement over the existing condition and provides stable soil conditions both onsite and downstream.

### **InSite Engineering, LLC**

1955 Route 34, Suite 1A • Wall, NJ 07719  
732-531-7100 (ph) • 732-531-7344 (fx) • InSite@InSiteEng.net • www.InSiteEng.net  
Licensed in NJ, PA, DE, NY, CT, NC, DC, & CO

File: S:\Jobs\2023\18624\_SURVEY - InSite Engineering\23-S001-860 - 60 Bay Avenue\_Highlands, NJ\23S001860-Survey.dwg, --- 18x24 SURVEY  
 Copyright: 2023, InSite Surveying, LLC. All Rights Reserved.

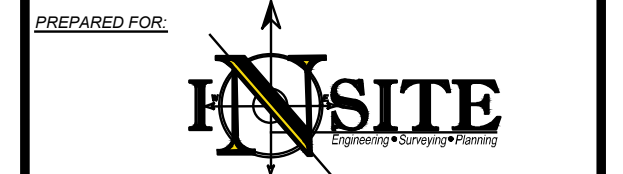


LEGEND	
	EXISTING BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE
	DECIDUOUS TREE
	CONIFEROUS TREE

**BOUNDARY & TOPOGRAPHIC SURVEY**

OF  
BLOCK 42, LOT 1  
60 BAY AVENUE

SITUATED IN:  
**BOROUGH OF HIGHLANDS  
MONMOUTH COUNTY  
NEW JERSEY**



InSite Surveying, LLC  
 CERTIFICATE OF AUTHORIZATION:  
 24GA28290100  
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
 732-531-7100 (Ph) 732-531-7344 (Fax)  
 InSite@InSiteSurveying.net  
 www.InSiteSurveying.net

**CALL BEFORE YOU DIG!**  
 NJ ONE CALL...800-272-1000  
(at least 3 days prior to excavation)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

**REVISIONS**

Rev. #	Date	Comment
0	12/20/23	INITIAL RELEASE

SCALE: 1"=10'      DRAWN BY: GS/MB  
 FIELD DATE: 11/30/23      CHECKED BY: JJH  
 JOB #: 23-S001-860

**CERTIFICATION**

THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003.C.14 (C45:8-36.3) AND N.J.A.C. 13:40 - 5.1(D).

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS CONTAINED THEREIN.

ALL EXISTING UTILITIES ARE APPROXIMATE PER MARKOUT AND VISIBLE FIELD EVIDENCE. ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION.

THE SCOPE OF THIS SURVEY DID NOT INCLUDE DETERMINING THE PRESENCE / ABSENCE OF WETLANDS AT THIS SITE.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

**JUSTIN J. HEDGES, P.L.S., C.F.S.**  
 PROFESSIONAL LAND SURVEYOR  
 NJ LIC. NO. GS43362  
 CERTIFIED FLOODPLAIN  
 SURVEYOR NJ LIC. NO. NJ-044

**SURVEY NOTES:**  
 THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

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THE SCOPE OF THIS SURVEY DID NOT INCLUDE DETERMINING THE PRESENCE / ABSENCE OF WETLANDS AT THIS SITE.

SUBJECT PROPERTY IS LOCATED IN FEMA EFFECTIVE FLOOD ZONE AE ELEVATION 11.0 FEET PER FLOOD HAZARD DATA PANEL NO. 34025C0088H DATED 6-15-22.  
 SUBJECT PROPERTY IS LOCATED IN FEMA PRELIMINARY FLOOD ZONE AE ELEVATION 11.0 FEET PER FLOOD HAZARD DATA PANEL NO. 34025C0088H DATED 6-15-22.

DEED REFERENCES:  
 DB 4513 PG 352

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).



1 EXISTING FRONT ELEVATION

SCALE: N.T.S.

1  
A-100



A GROUND FLOOR PLAN  
2,491 S.F.

SCALE: 1/4" = 1'-0"

A  
A-100

APPLICABLE CODES			
INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION)	2021		
INTERNATIONAL MECHANICAL CODE	2021		
NATIONAL STANDARD PLUMBING CODE	2021		
NATIONAL ELECTRICAL CODE	2020		
INTERNATIONAL FIRE CODE	2021		
INTERNATIONAL ENERGY CONSERVATION CODE	2021		

ZONING DATA			
ITEM	ZONE: CBD	BLOCK: 42	LOT: 1
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.00'
MINIMUM FRONT SETBACK ACCESSORY			2.00'
MINIMUM SIDE SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM STREET SIDE SETBACK ACCESSORY			
MINIMUM REAR SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY			
MAXIMUM BUILDING COVERAGE			2,681 S.F.
* MAXIMUM LOT COVERAGE			2,681 / 6,408 = .42%
MAXIMUM BUILDING HEIGHT ACCESSORY			46'-10"

REFER TO INSITE ENGINEERING DATA

BUILDING DATA			
HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	0	0	0
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF
SECOND FLOOR	900 SF	1,686 SF	2,586 SF
THIRD FLOOR	900 SF	1,534 SF	2,434 SF
TOTAL	3,000 SF	4,488 SF	7,488 SF
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	0	22,419 CF	22,419 CF
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF
THIRD FLOOR	7,200 CF	12,272 CF	19,472 CF
TOTAL	24,000 CF	59,591 CF	83,591 CF

LEGEND	
	EXISTING TO BE REMOVED
	EXISTING INTERIOR PARTITION TO REMAIN
	NEW 2" x 4" WOOD STUD INTERIOR WALL CONSTRUCTION
	NEW TWO HOUR RATED WALL CONSTRUCTION
	NEW 2" x 6" WOOD STUD EXTERIOR WALL CONSTRUCTION
	NEW CONCRETE BLOCK FOUNDATION WALL
	EXISTING CMU WALL WITH NEW CMU ON TOP
	NEW 'SMART VENT' AUTOMATIC NON-POWERED, 8" x 16" FLOOD VENTS OR APPROVED EQUAL, 12" ABOVE GRADE MAX (1) PER 200 S.F. MIN.

FOR ZONING REVIEW  
ISSUED: 4/5/2024

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management  
115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallaferlita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

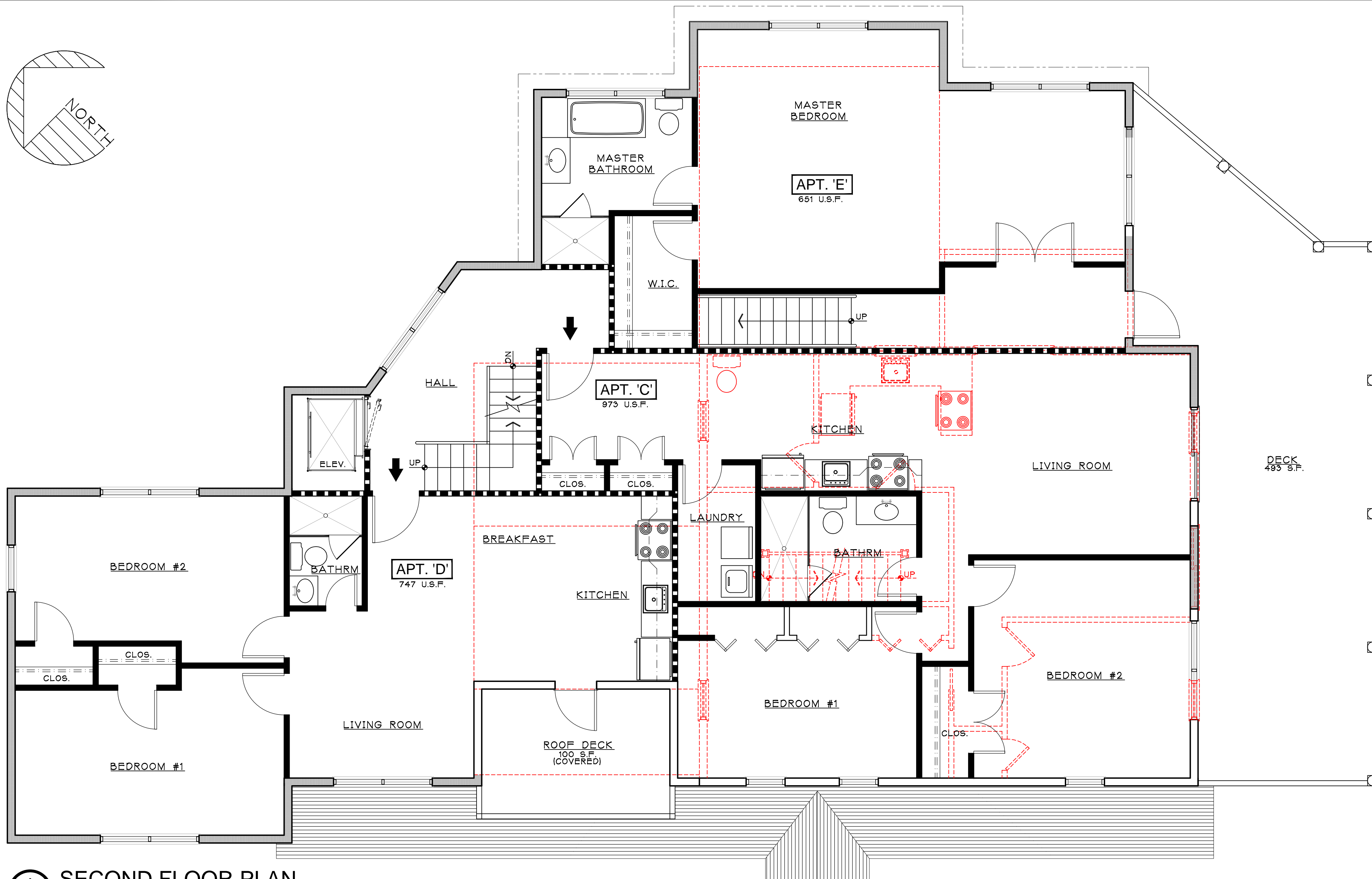
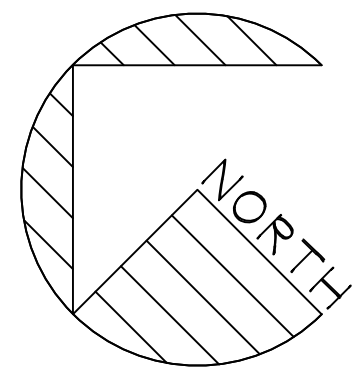
Client: 60 BAY AVE HIGHLAND LLC  
MULTI-FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY

Title: GROUND FLOOR PRELIMINARY  
SPACE ANALYSIS

Seal & Signature:

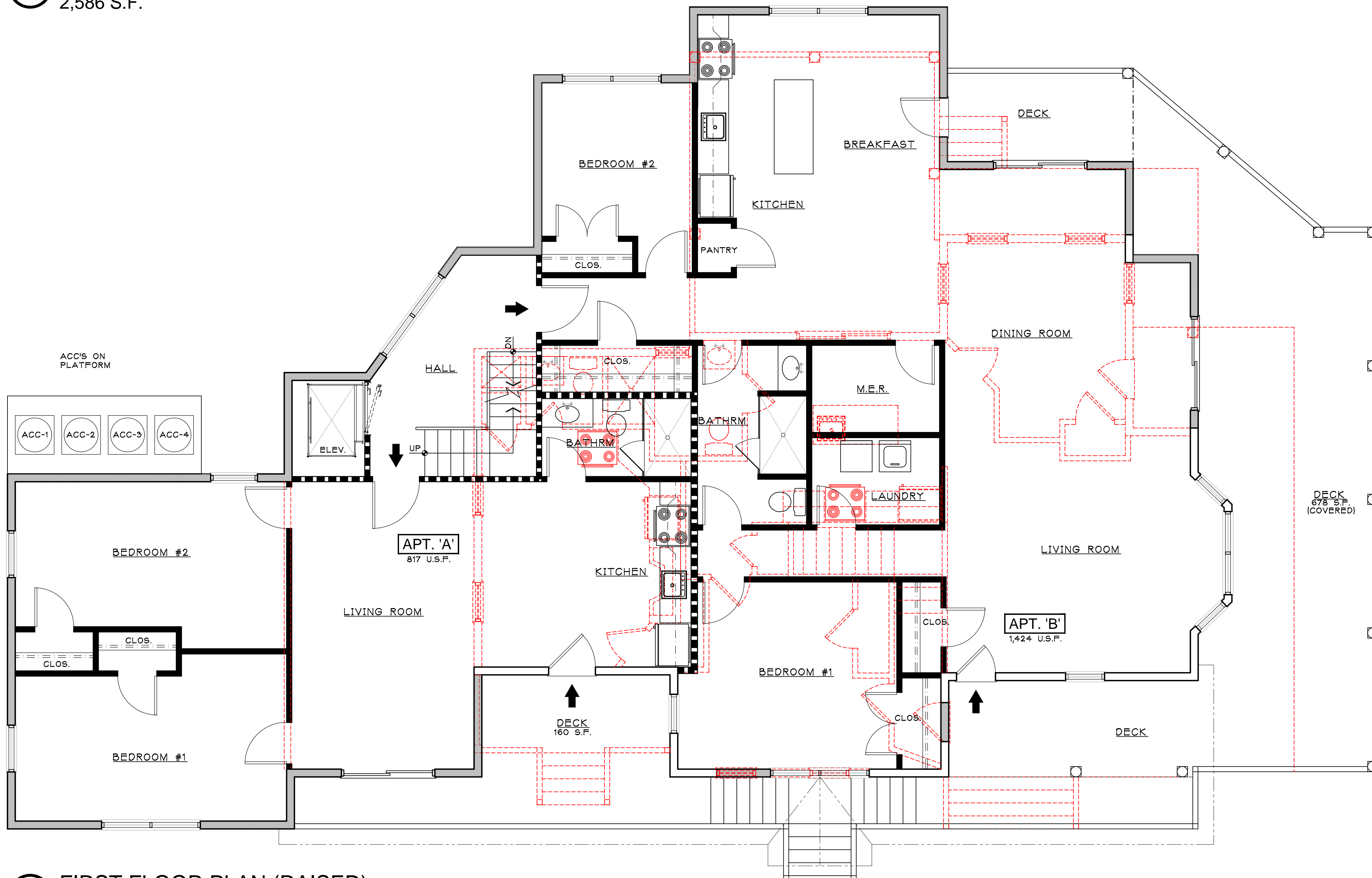
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Project No.: -  
Scale: AS NOTED  
Date: -  
Drawn By: -  
Reviewed By: -  
Drawing No.: -

**A-100**  
SHEET No.: - OF -  
N.J. LIC. #AI15228



**A**  
A-101  
SECOND FLOOR PLAN  
2,586 S.F.

SCALE: 1/4" = 1'-0"



**B**  
A-101  
FIRST FLOOR PLAN (RAISED)  
2,468 S.F.

SCALE: 1/4" = 1'-0"

FOR ZONING REVIEW  
ISSUED: 4/5/2024

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management  
115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallaferlita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

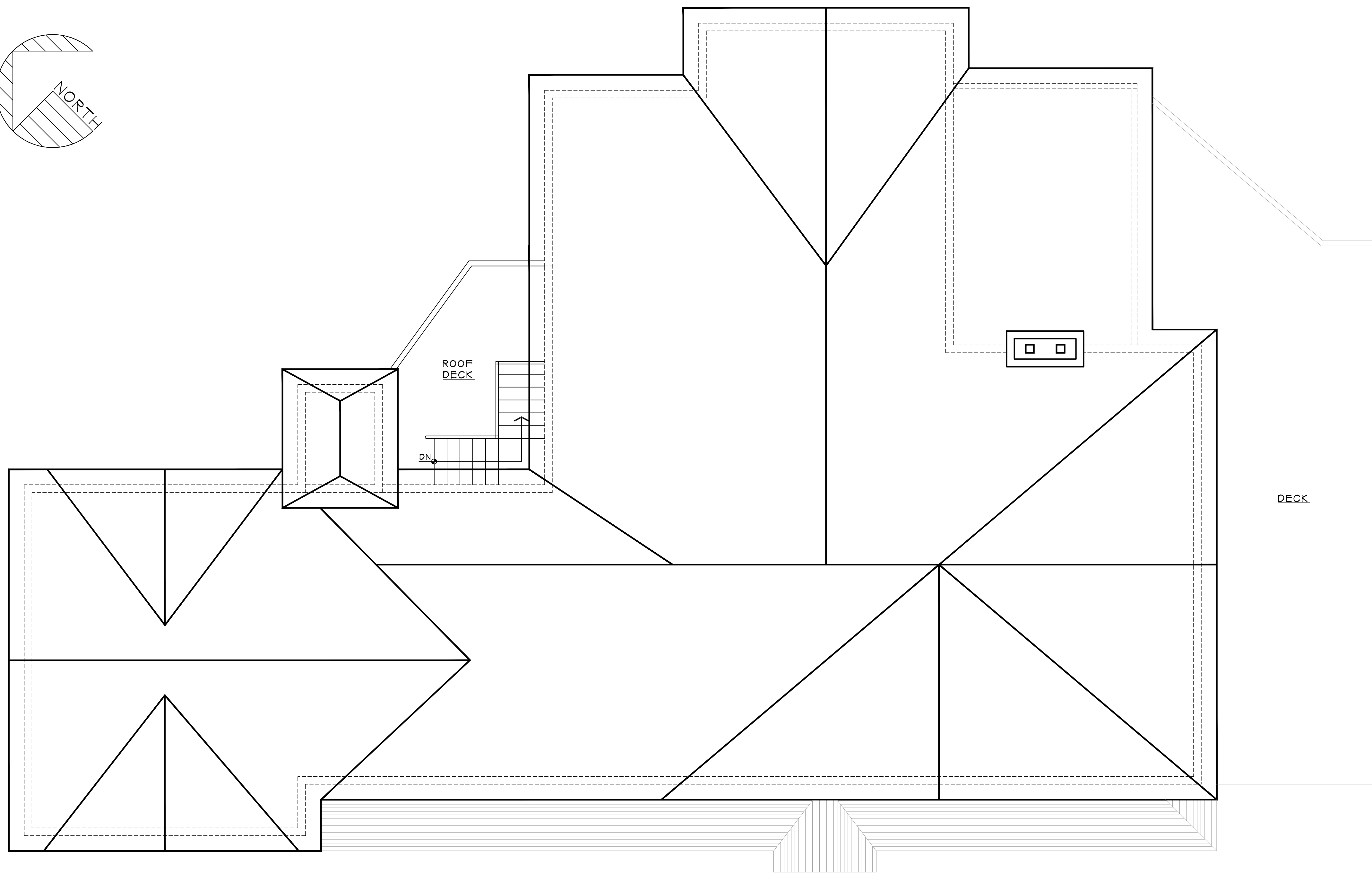
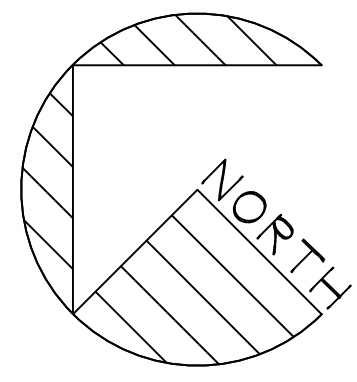
Client  
**60 BAY AVE HIGHLAND LLC  
MULTI-FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY**

Title  
**FIRST AND SECOND FLOOR  
PRELIMINARY LAYOUT**

Seal & Signature:	Job Type:
	Project No.:
	Scale: AS NOTED
	Date:
	Drawn By:
	Reviewed By:

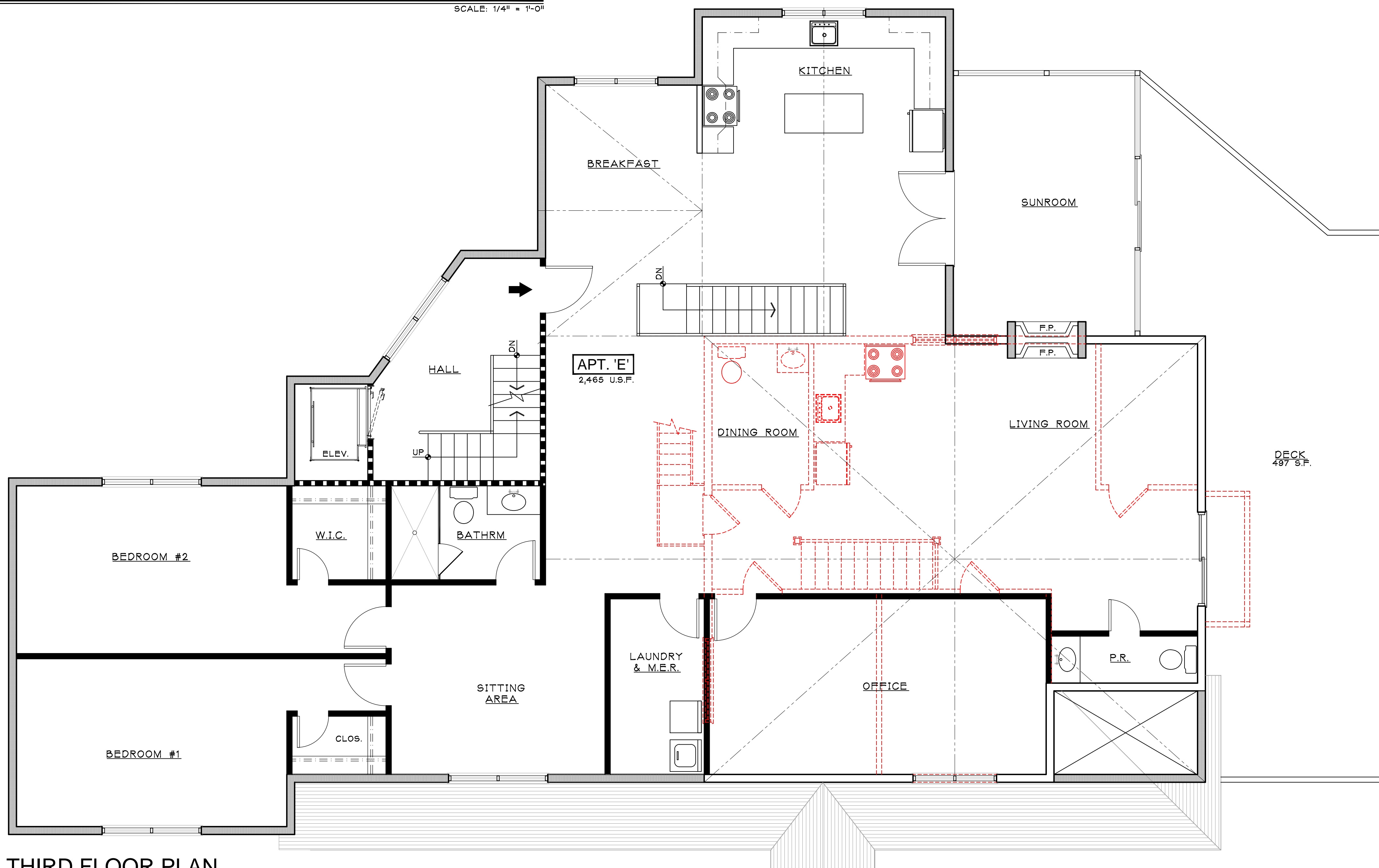
**A-101**  
SHEET No. 1 OF 1  
N.J. LIC. #A115228





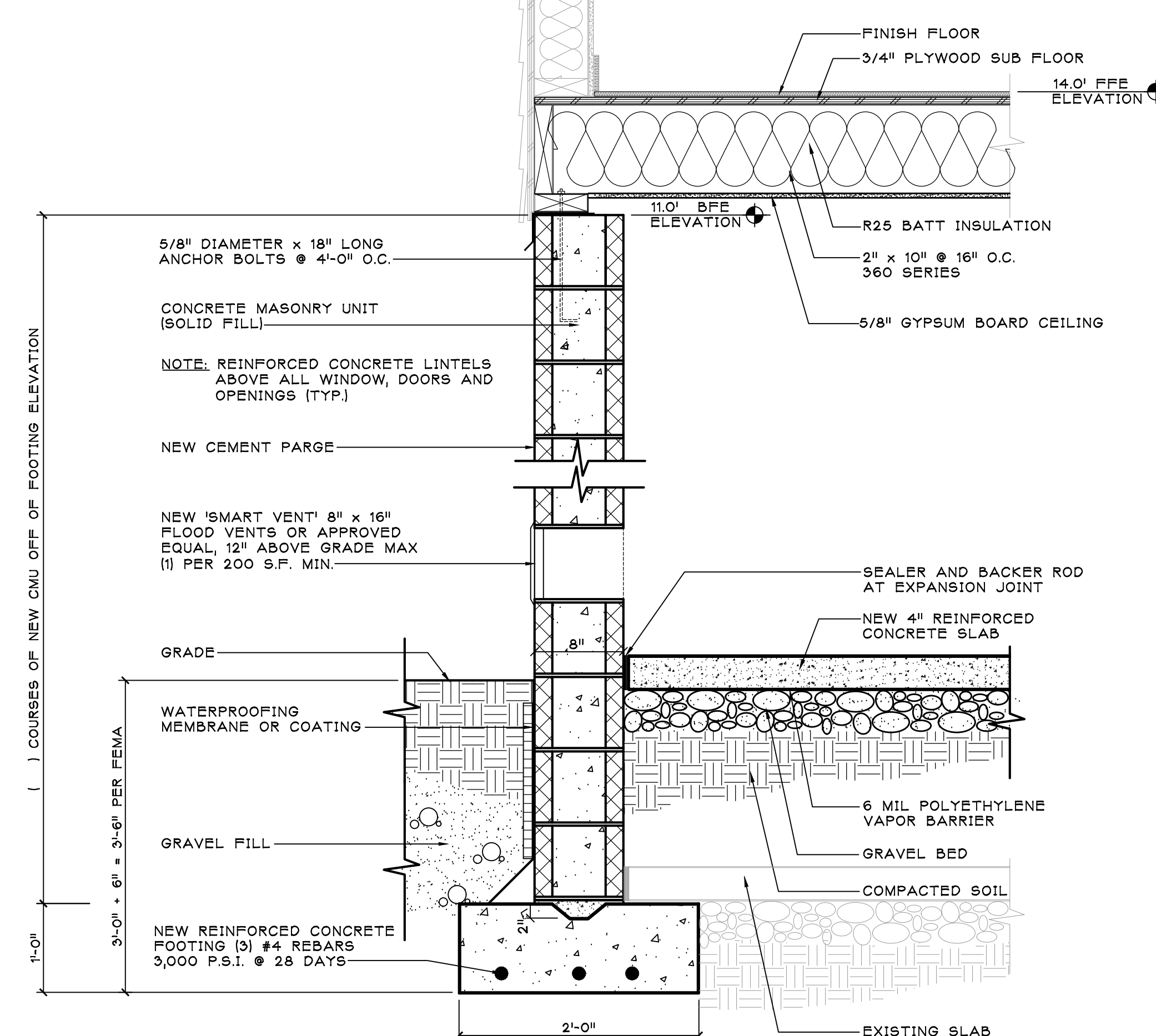
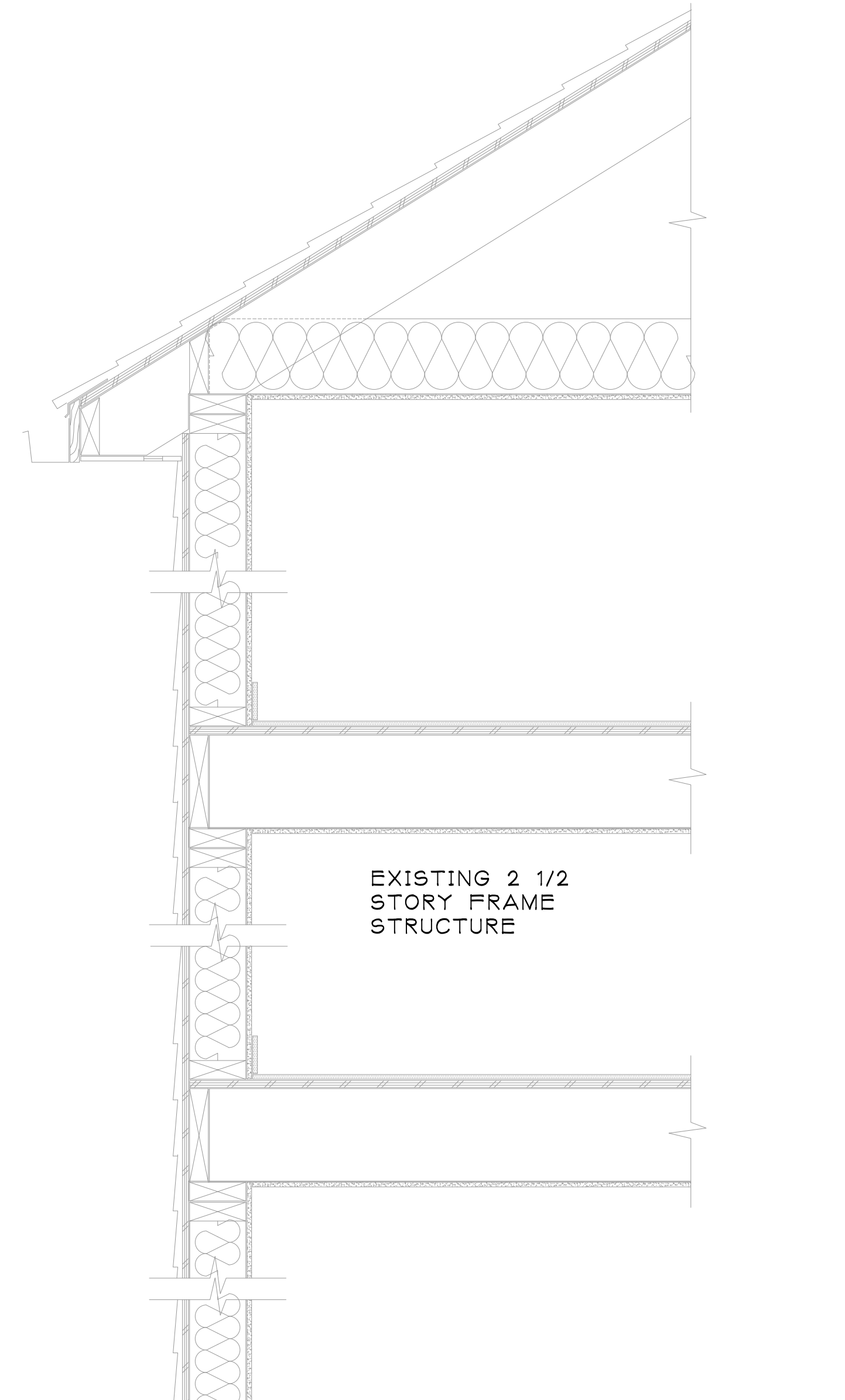
**A** ROOF PLAN  
A-102

SCALE: 1/4" = 1'-0"



**B** THIRD FLOOR PLAN  
A-102

SCALE: 1/4" = 1'-0"



**C** WALL SECTION  
A-102

SCALE: 1" = 1'-0"

FOR ZONING REVIEW  
ISSUED: 4/5/2024

SALVATORE LA FERLITA, R.A. Architectural Services Construction Management 115 University Drive Lincroft, N.J. 07738 732-741-5105 Sallaferlita@aol.com	
Revised	Issued
No.	DATE
Revision	Description
Client: 60 BAY AVE HIGHLAND LLC MULTI-FAMILY RESIDENCE 60 BAY AVENUE HIGHLANDS, NEW JERSEY	
Title: THIRD FLOOR AND ROOF PRELIMINARY SPACE ANALYSIS	
Seal & Signature:	Job Type:
	Project No.: Scale: AS NOTED Date: Drawn By: Reviewed By: Drawing No.:
<p style="text-align: right; font-size: 2em; font-weight: bold;">A-102</p>	
N.J. LIC. #A115228 SHEET No. ___ OF ___	



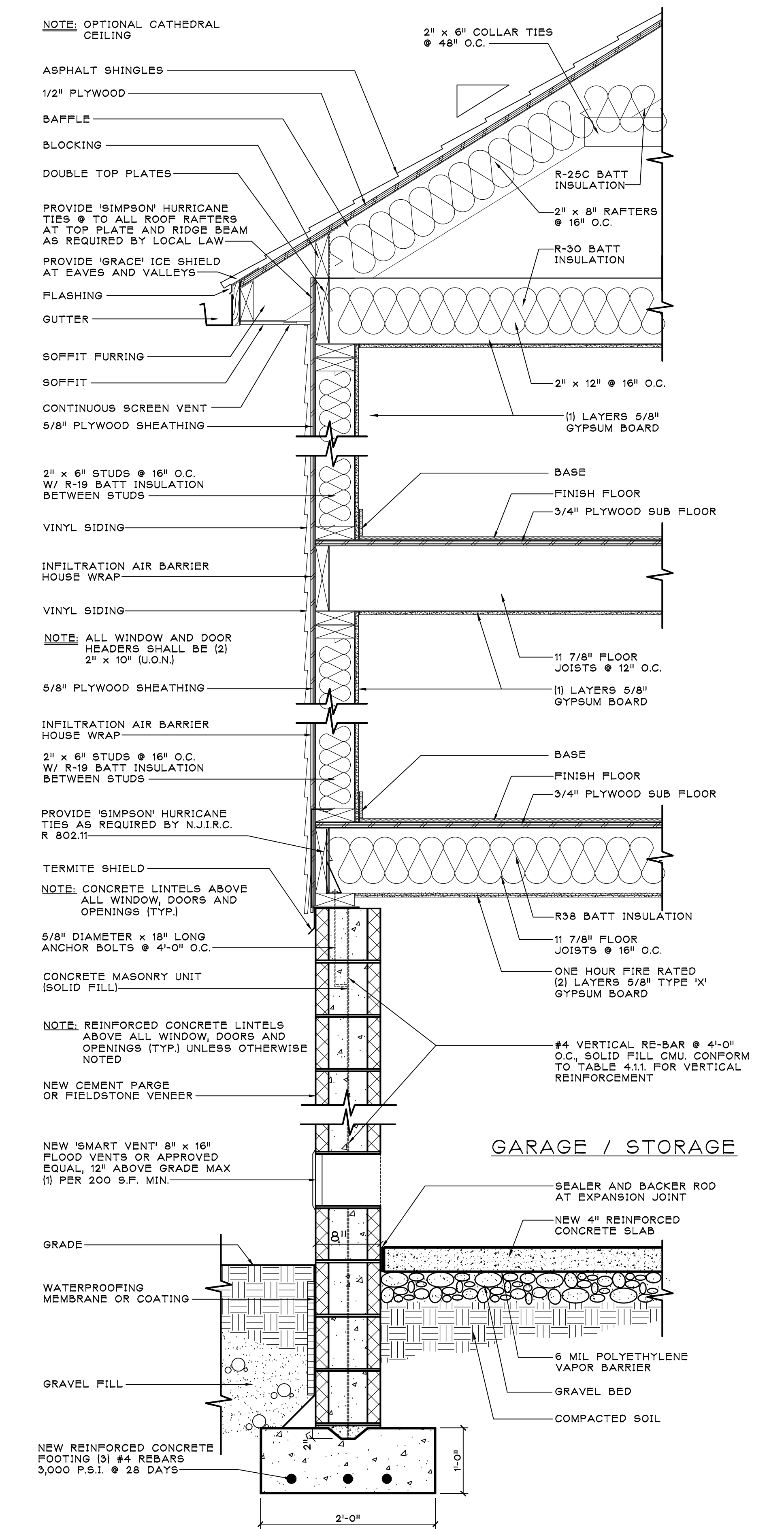
1 FRONT ELEVATION  
A-103

SCALE: 1/4" = 1'-0"



2 REAR ELEVATION  
A-103

SCALE: 1/4" = 1'-0"



A FOUNDATION / WALL SECTION  
A-103

SCALE: 1" = 1'-0"

FOR ZONING REVIEW  
ISSUED: 4/5/2024

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management

115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallaferlita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: 60 BAY AVE HIGHLAND LLC  
MULTI-FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY

Title: FRONT ELEVATION AND REAR ELEVATION

Seal & Signature: Job Type:   
Project No.:   
Scale: AS NOTED   
Date:   
Drawn By:   
Reviewed By:   
Drawing No.:   
A-103

N.J. LIC. #A115228 SHEET No. OF



1 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

FOR ZONING REVIEW  
ISSUED: 4/5/2024

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management  
115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallaferlita@aol.com

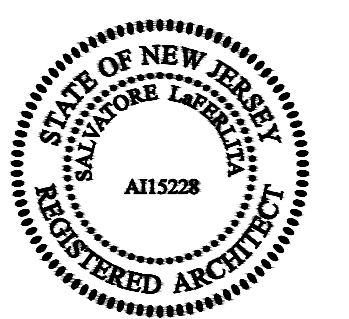
Revised Issued

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client  
60 BAY AVE HIGHLAND LLC  
MULTI- FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY

Title  
LEFT AND RIGHT  
SIDE ELEVATIONS

Seal & Signature: [Signature] Job Type: -  
Project No.: -  
Scale: AS NOTED  
Date: -  
Drawn By: -  
Reviewed By: -  
Drawing No.: -



A-104

N.J. LIC. #A115228

SHEET No. \_ OF \_

# PRELIMINARY & FINAL MAJOR SITE PLAN FOR PROPOSED MULTI-FAMILY RESIDENCE

## BLOCK 42, LOT 1 TAX MAP SHEET #11 60 BAY AVENUE

### BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

**PROPERTY OWNERS WITHIN 200' (2/21/2024)**

Block/Lot	Current Owner	Mailing Address	Municipality	Zip
1319-41-8	75 BAY AVENUE SWANTON LLC	75 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-9	DOUZY DOUGLAS & BAYARD	88 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-10	AMERICAN LEGION	BAY AVE	HIGHLANDS NJ	07732
1319-42-2	SHARKEY MARY T	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-13	WEST CARL & BUSICHO KARIN	78 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-14	TRI STATE REALTY LLC	484 S CANMORE AVE STE 100	SHREWSBURY NJ	07702
1319-39-1.01	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-39-1.02	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-42-3	PISANO BEVERLY	11 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-4	61 BAY AVENUE LLC	28 ATLANTIC AVENUE	OCEAN GROVE NJ	07756
1319-41-7	KEMPSON MATTHEW	30 SECOND STREET	HIGHLANDS NJ	07732
1319-42-9	KURDES LAWRENCE J & MARY-ALISON	8 BAY ST	HIGHLANDS NJ	07732
1319-41-2.01	BASKET EUGENE J	57 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-3	REMIAS ROSE MARIE	22 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-12.01	RICCIARDONE BRIAN	163 FANNING STREET	STATEN ISLAND NY	10314
1319-42-15	SHARKEY HUGH & MARY	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-1	LAURITANO VICTOR	18 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-43-2	FRANSON LOREEN	20 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-3	KU WALTER & EVAL	59 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-4	HARTSGROVE TROY & JOY ANNE	13 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-42-5	STENSETH MARK D & ALECIA E	15 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-6	MAZZELLA KIM M	17 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-7	MENZA DAN & KAREN	19 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-41-5	SMITH MURRAY T	226 PARK STREET	MONTCLAIR NJ	07042
1319-38-01-17.01	MONAHAN WILLIAM	55 A BAY AVE	HIGHLANDS NJ	07732
1319-38-01-17.02	DAVIS COREY MOLZON & JOHN A	55 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.03	KEETON RANDALL E & DALE ANN	53 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.04	FEHMI ALICIA M	51 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.05	ZHENG WU & QI SUM	27 SOUTH AVENUE	ATLANTIC HIGHLANDS NJ	07716
1319-41-6	KOEPEL RICHARD J & JOSEPH W	P.O. BOX 810	NAVESINK NJ	07752

**UTILITY CONTACTS**

\* If you are located within 200 feet of a State Highway, you MUST notify the NJ Department of Transportation:

NJ Dept. of Transportation  
1035 Pikeville Avenue  
PO Box 600  
Trenton, NJ 08625

\* If you are within 200 feet of a County owned road, you MUST notify the Monmouth County Planning Board:

Monmouth County Planning Board  
Hall of Records Annex 2<sup>nd</sup> Floor  
One East Main St.  
PO Box 2255  
Freehold, NJ 07728

JCP&L  
300 Madison Avenue  
PO Box 1911  
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY  
Attn: Construction Department  
661 Shrewsbury Ave  
Shrewsbury, NJ 07702

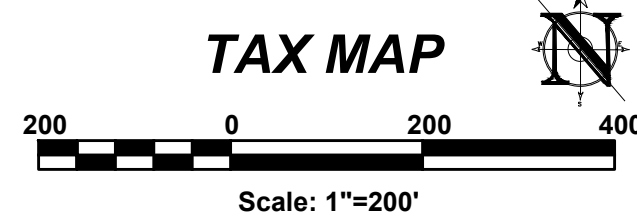
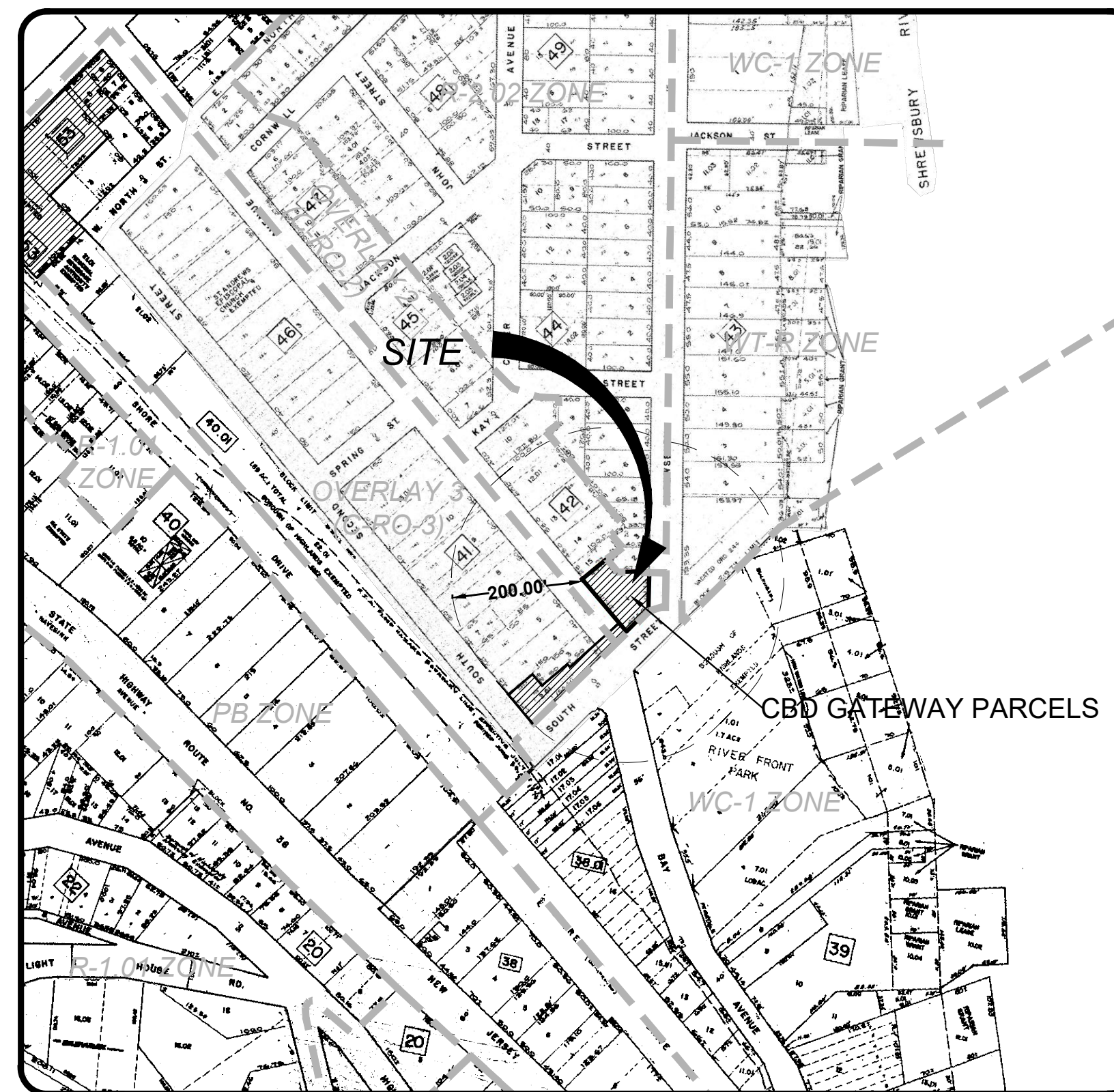
COMCAST COMMUNICATIONS OF MONMOUTH COUNTY  
Ron Bertrand, Construction Foreman  
403 South St  
Eatontown, NJ 07724

VERIZON COMMUNICATIONS  
One Verizon Way  
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY  
Raymond J. Nierstedt, P.E., Executive Director  
PO Box 205, 100 Beverly Way  
Belford, NJ 07718

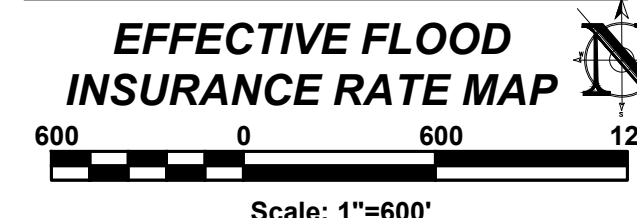
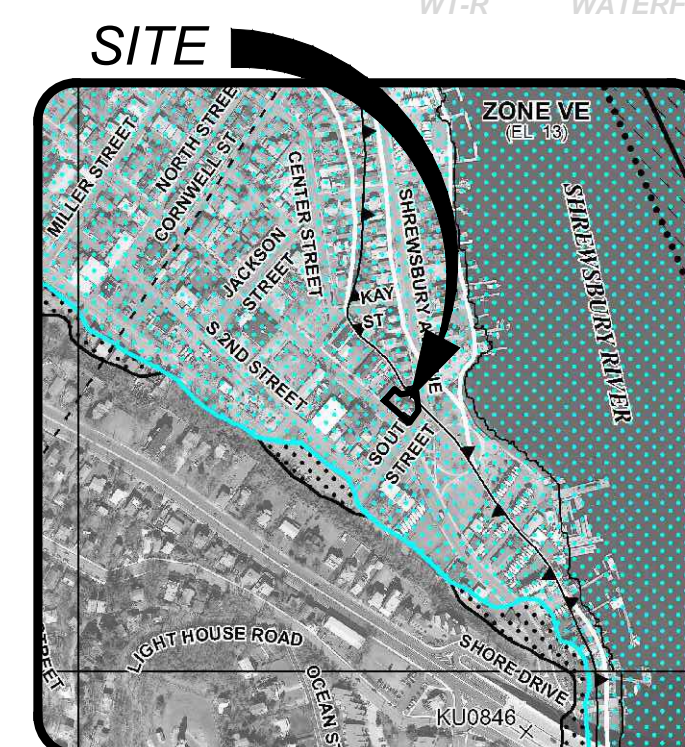
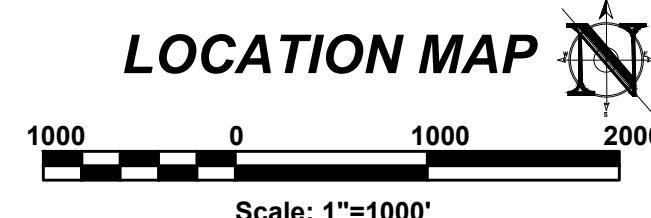
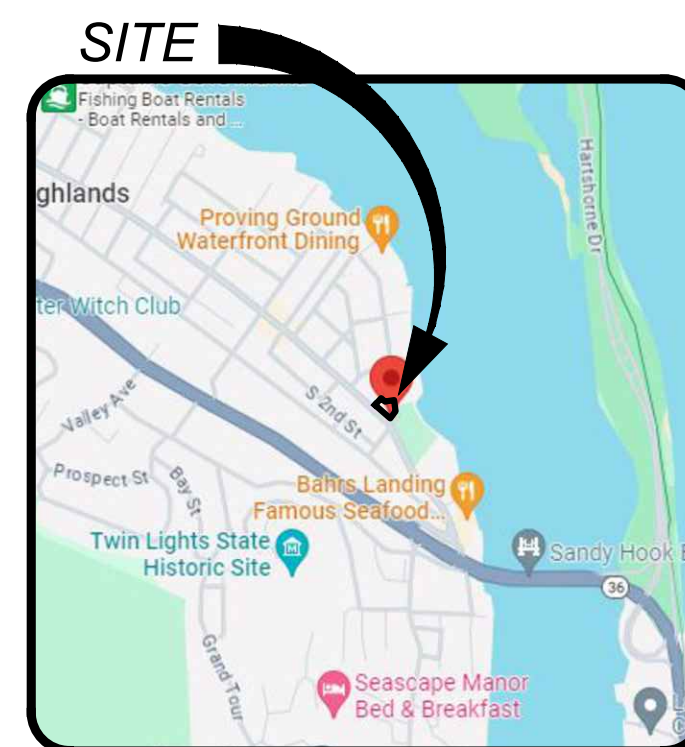
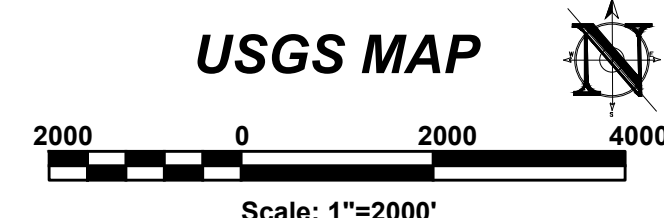
NEW JERSEY NATURAL GAS COMPANY  
Attn: Joan Purcaro  
PO Box 1464  
1415 Wyckoff Road  
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY  
Attn: Executive Director  
200 Harbor Way  
PO Box 184  
Belford, NJ 07718



**ZONE**

CBD	REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2)
CBD	REDEVELOPMENT OVERLAY 3 ZONE (C-RO-3)
PB	PROFESSIONAL BUSINESS
R-1.01	SINGLE FAMILY RESIDENTIAL
R-2.02	SINGLE FAMILY RESIDENTIAL
R-4	ONE-FAMILY RESIDENTIAL
WC-1	WATERFRONT COMMERCIAL
WT-R	WATERFRONT TRANSITION RESIDENTIAL



**LAND USE BOARD APPROVAL**

APPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

**INDEX OF SHEETS:**

SHEET #	SHEET TITLE	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET	2/5/24	04/09/24
C101	PLAN NOTES	2/5/24	04/09/24
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	2/5/24	04/09/24
C300	SITE LAYOUT PLAN	2/5/24	04/09/24
C400	GRADING, DRAINAGE & UTILITY PLAN	2/5/24	04/09/24
C500	LANDSCAPE PLAN	2/5/24	04/09/24
C601	LIGHTING PLAN	2/5/24	04/09/24
C602	LANDSCAPE & LIGHTING NOTES & DETAILS	2/5/24	04/09/24
C800	CONSTRUCTION DETAILS	2/5/24	04/09/24
C900	SOIL EROSION & SEDIMENT CONTROL PLAN	2/5/24	04/09/24
C901	SECC NOTES	2/5/24	04/09/24
C902	SECC DETAILS	2/5/24	04/09/24

**PROJECT INFORMATION**

**PROPOSED MULTI-FAMILY RESIDENCE**

**PROJECT LOCATION:**  
BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

**OWNER:**  
60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

**APPLICANT:**  
60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

**APPLICANT'S PROFESSIONALS**

**ATTORNEY:**  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

**ARCHITECT:**  
SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

**SURVEYOR:**  
INSITE SURVEYING, LLC  
1955 ROUTE 34, SUITE 1A  
WALL, NJ 07719



CALL BEFORE YOU DIG!  
NJ ONE CALL: 800-272-1000  
(Hours: 8am-5pm Mon-Fri)

ELECTRICAL	RED
GAS, OIL, OR	YELLOW
COMMUNICATIONS, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

**INSITE**  
Engineering • Surveying • Planning

InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (PH) 732-531-7344 (FAX)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL ENGINEER, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

**Douglas D. Clelland**  
**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE0531000

**REVISIONS**

Rev.#	Date	Comment
2	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/25/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC  
DATE: 02/05/24 DRAWN BY: AMC  
JOB #: 23-2237-01 CHECKED BY: DDC  
CAD ID: 23-2237-01/3

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

**PLAN INFORMATION**

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**TITLE SHEET**

SHEET NO. C100



PROJECT INFORMATION

PROJECT NAME

# PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION  
BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

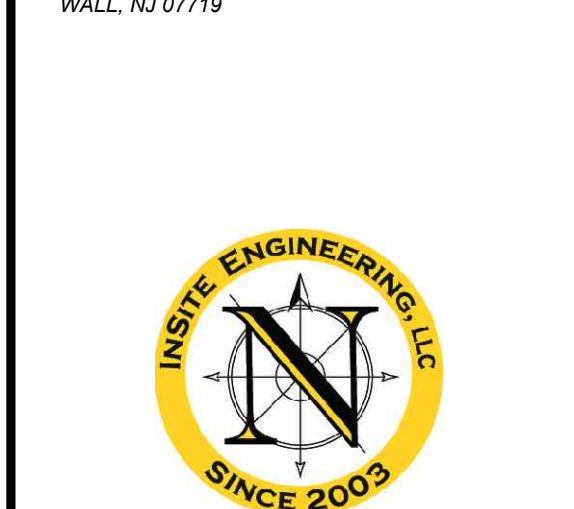
OWNER:  
**60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:  
**60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

ATTORNEY:  
**DONNA M. JENNINGS ESQ.**  
**WILENTZ, GOLDMAN & SPITZER, PA**  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

ARCHITECT:  
**SALVATORE LA FERLITA, R.A.**  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

SURVEYOR:  
**INSITE SURVEYING, LLC**  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719



CALL BEFORE YOU DIG!  
NJ ONE CALL... 800-272-1000  
(NJ One Call is a registered service mark)

ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 37, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
DELAWARE, CONNECTICUT, NORTH CAROLINA  
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RANDED SEAL OF THE PROFESSIONAL. IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

*Douglas D. Clelland*  
**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 246E0331000

REVISIONS

REV.#	DATE	COMMENT
2	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'  
DATE: 02/05/24  
JOB #: 23-2237-01  
CAD ID: 23-2237-01r3

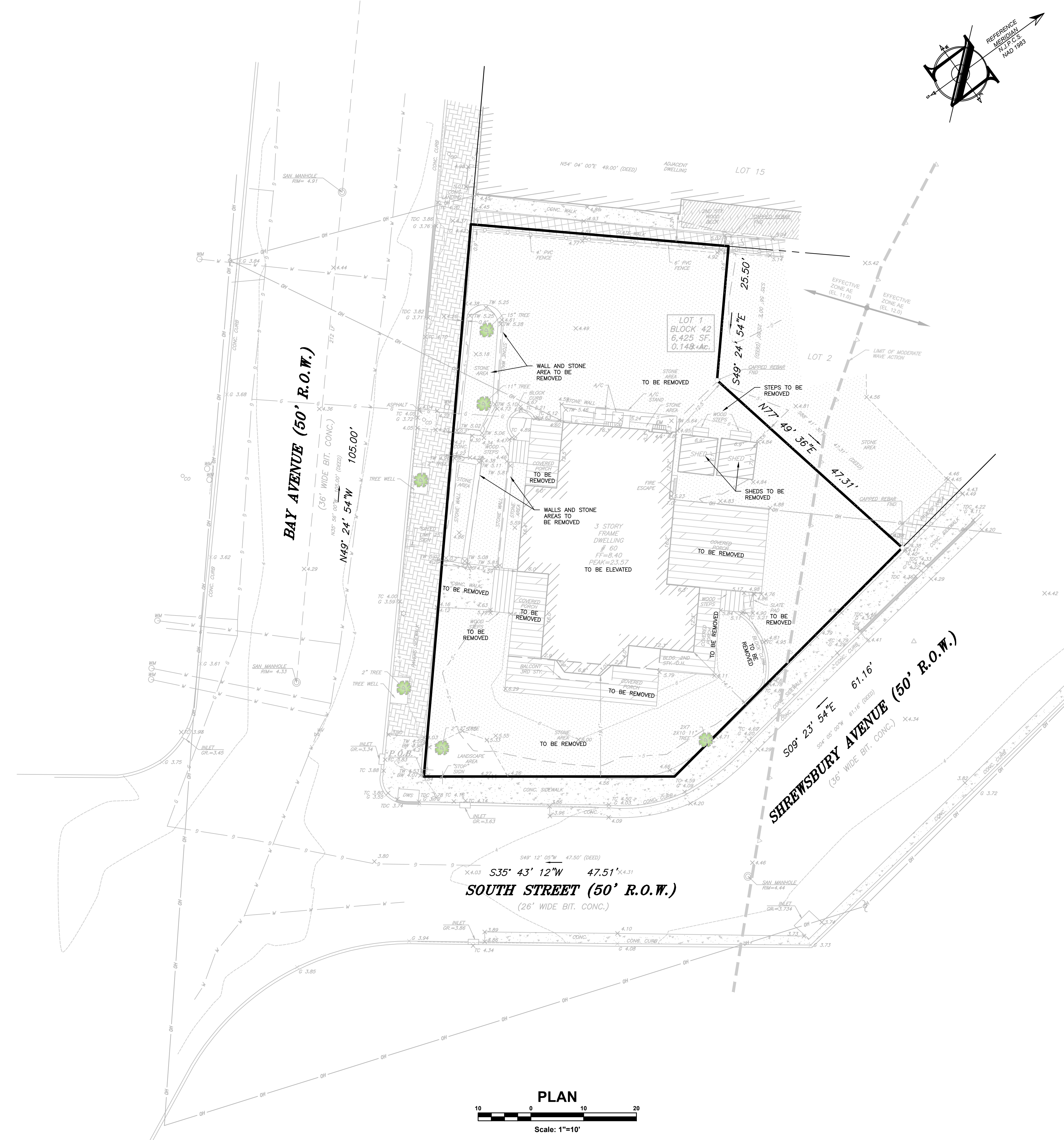
NOT FOR CONSTRUCTION  
APPROVED BY: [Signature]

PLAN INFORMATION

DRAWING TITLE:  
**PRELIMINARY & FINAL MAJOR SITE PLAN**

SHEET TITLE:  
**EXISTING CONDITIONS & SITE PREPARATION PLAN**

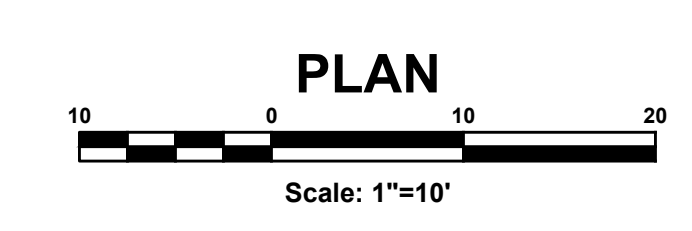
SHEET NO.:  
C200



SEE SHEET C101 FOR PLAN NOTES

**LEGEND**

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE



File: X:\InSite\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\32323701CAD\Map\02-Existing.dwg --> C200 Existing Conditions  
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**BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE**  
NTS

ZONING COMPLIANCE CHART					
CBD REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2 - GATEWAY PARCELS)					
RESIDENTIAL ABOVE FIRST FLOOR: PERMITTED (§ 21-91A.u.)					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
ATT. 1	MIN. LOT AREA (SF)	-	6,425 (0.147 AC)	NO CHANGE	-
ATT. 1	MIN. LOT FRONTAGE (FT)	-	213.67	NO CHANGE	-
<b>PRINCIPAL BUILDING</b>					
VII.A.	MIN. FRONT YARD SETBACK (FT)	2	13.9	5.00	YES
	BAY AVENUE (FT)	2	13.3	8.30	YES
	SOUTH STREET (FT)	2	8.3	8.05	YES
VII.A.	MIN. REAR YARD SETBACK (FT)	12	-	N/A	YES
VII.A.	MIN. SIDE YARD SETBACK	5 (1)	11.4	7.93	YES
VII.D.	MAX. BUILDING HEIGHT (FT)	40 (3)	11.6	29.25	YES
VII.B.	MAX. BUILDING COVERAGE (%)	80	31.9	54.5	YES
VII.B.	MAX. LOT COVERAGE (%)	80	37.9	62.0	YES
<b>ACCESSORY BUILDING</b>					
\$21-78A.2.	MAX. GROUND FLOOR AREA (%)	30 (2)	5.0	N/A	-
\$21-78A.2.	MAX. COVERAGE OF REAR YARD (%)	40 (2)	N/A	N/A	-
\$21-78A.3.	MIN. YARD SETBACK (FT)	3	3.6	N/A	-

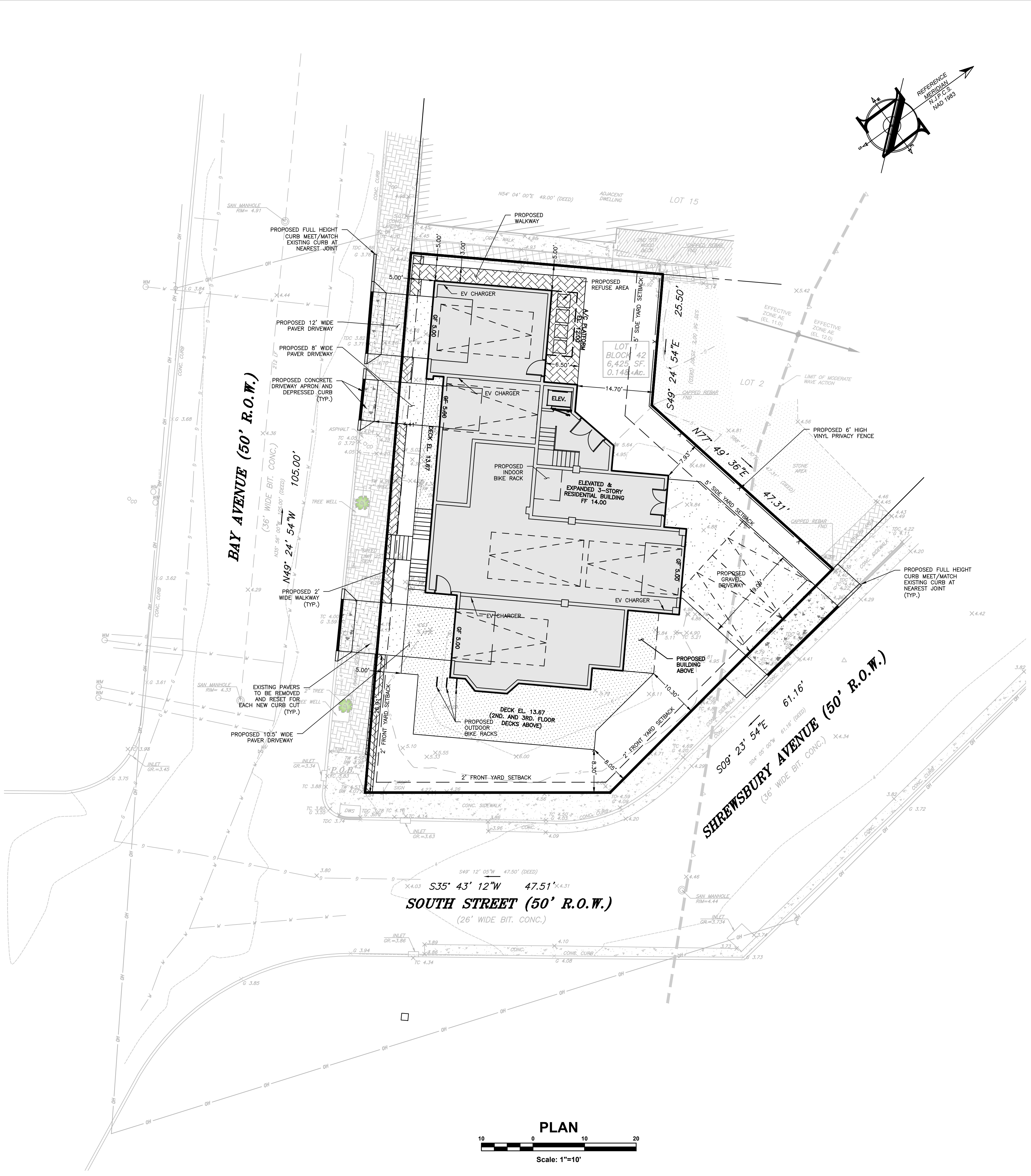
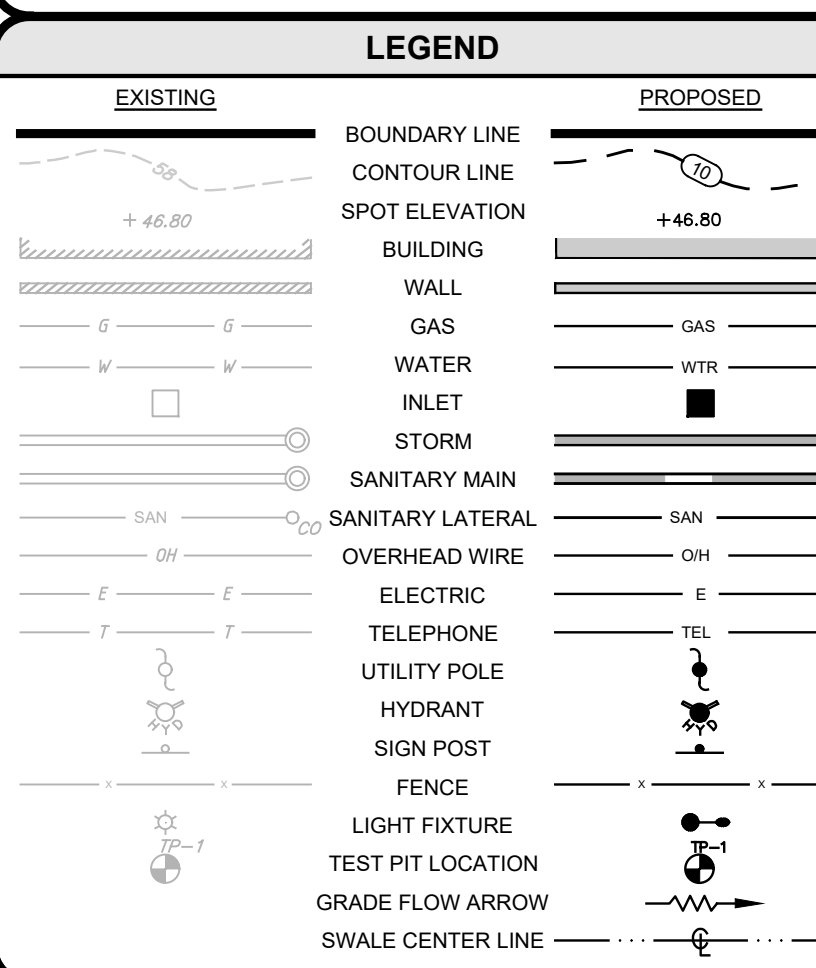
(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE  
 (O) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED N/S - NOT SPECIFIED  
 (V) PROPOSED VARIANCE (W) PROPOSED WAIVER  
 (8) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE  
 (1) PER §VII.A SIDE YARDS. NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE. HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST FIVE (5) FEET. ANY SIDE YARD WHICH SERVES AS A BOUNDARY BETWEEN THAT LOT AND ANY RESIDENCE ZONE SHALL BE AT LEAST FIVE (5) FEET AND SHALL CONTAIN BUFFERING IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION.  
 (2) NO ACCESSORY STRUCTURE(S), EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVETMENTS AND OTHER SUCH STRUCTURES, SHALL HAVE AN AGGREGATE GROUND FLOOR AREA GREATER THAN THIRTY (30%) PERCENT OF THE GROUND FLOOR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT. ALL ACCESSORY STRUCTURE SHALL OCCUPY NO MORE THAN FORTY (40%) PERCENT OF THE REAR YARD AREA.  
 (3) THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE. IN THE CASE OF A BUILDING THAT HAS MULTIPLE LEVELS, THE HIGHEST ROOF LEVELS MUST BE USED TO DETERMINE THE BUILDING HEIGHT  
**GRADE PLANE:** AREAS OR PORTIONS OF THE BUILDING AREA OF A LOT LOCATED WITHIN THE FLOOD HAZARD AREA. THE REFERENCE PLANE SHALL BE THE MORE RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.

PARKING, DRIVEWAY & LOADING COMPLIANCE CHART					
ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES	
\$21-65.14	STALL SIZE (FT)	9 X 18	9 X 18	YES	
	NUMBER OF PARKING SPACES				
<b>RSIS TABLE 4.4 RESIDENTIAL USES (2 FAMILY &amp; MULTIFAMILY UNITS)</b>					
	1.8 SPACES PER (1 BR UNITS)				
	2.0 SPACES PER (2 BR UNITS)				
	2.1 SPACES PER (3 BR UNITS)				
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH	4			
	2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH	4			
	3RD. FLOOR - 1 UNIT 3 BEDROOMS EACH	2.1			
	TOTAL PARKING SPACES	10.1	7 (1)	YES	
\$21-65.3C.	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	19.09 (V)	NO	
\$21-65.5A.	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	17.5	YES	
\$21-65.5A.	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	26.91	YES	

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE  
 (V) PROPOSED VARIANCE (W) PROPOSED WAIVER N/S - NOT SPECIFIED  
 (1) PURSUANT TO THE BOROUGH OF HIGHLANDS, NJ CENTRAL BUSINESS DISTRICT REDEVELOPMENT PLAN §VII.A VEHICULAR PARKING. RESIDENTIAL USES ARE PERMITTED TO COUNT FIRST ANY AVAILABLE ON-STREET PARKING SPACES BEFORE DETERMINING THE NUMBER OF PARKING SPACES THAT MUST BE PROVIDED OFF-STREET. THERE ARE MORE THAN 3.1 EXISTING ON-STREET PARKING SPACES WITHIN THE IMMEDIATE VICINITY. THEREFORE THE PROJECT COMPLIES.

ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)					
RESIDENTIAL ABOVE FIRST FLOOR / CBD REDEVELOPMENT OVERLAY 2 ZONE (C.40:55D-66.20.3.a(1))					
SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES	
3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES	2 SPACES	YES	
		10 x 15% = 1.5 SPACES = 2			
3.a.(1)(a)	MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT				
	@ INITIAL CONSTRUCTION	±x MAKE-READY = 1 SPACES	1 EV SPACES	YES	
	@ 3 YEARS AFTER CERT. OF OCCUPANCY	±x MAKE-READY = 2 SPACES	2 EV SPACES	YES	
	@ 6 YEARS AFTER CERT. OF OCCUPANCY	±x MAKE-READY = 2 SPACES	2 EV SPACES	YES	

SEE SHEET C101 FOR PLAN NOTES



**PROJECT INFORMATION**  
PROJECT NAME:  
**PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION:  
BLOCK 42, LOT 1  
90 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:  
**60 BAY AVE HIGHLANDS, LLC**  
90 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:  
**60 BAY AVE HIGHLANDS, LLC**  
90 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:  
**ATTORNEY:**  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095  
**ARCHITECT:**  
SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738  
**SURVEYOR:**  
INSITE SURVEYING, LLC  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719



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ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MADEIRA
PROPOSED EXCAVATION	WHITE

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**Douglas D. Clelland**  
**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 246E0331000

**REVISIONS**

REV.#	DATE	COMMENT
2	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'  
DATE: 02/05/24  
JOB #: 23-2237-01  
CAD ID: 23-2237-01r3

DESIGNED BY: DDC  
DRAWN BY: AMC  
CHECKED BY: DDC

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APPROVED BY:

**PLAN INFORMATION**

PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:  
**SITE LAYOUT PLAN**

SHEET NO.:  
**C300**

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PROJECT INFORMATION

PROJECT NAME

# PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION  
BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:  
**60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:  
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60 BAY AVENUE  
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WOODBRIDGE, NJ 07095

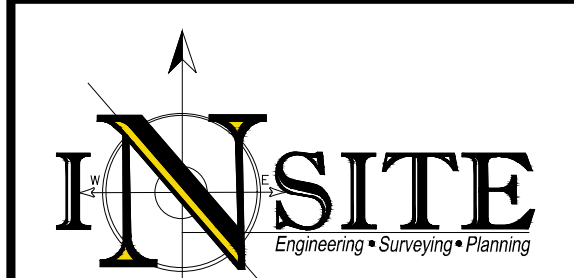
**ARCHITECT:**  
SALVATORE LA FERLITA, R.A.  
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LINCROFT, NJ 07738

**SURVEYOR:**  
INSITE SURVEYING, LLC  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719



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COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE



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NJ PE 24GE0331000

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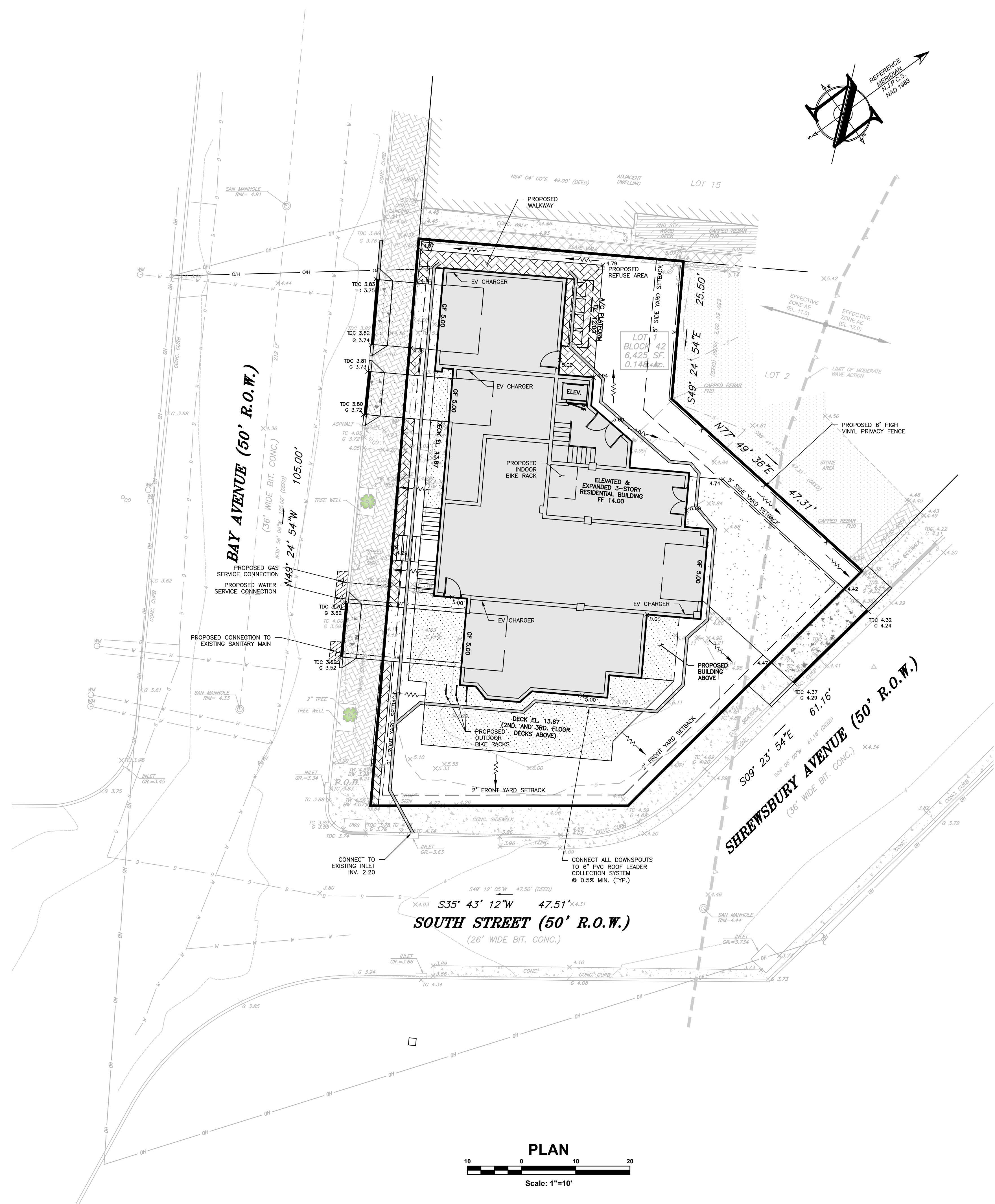
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DATE: 02/05/24  
JOB #: 23-2237-01  
CAD ID: 23-2237-01r3

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FOR CONSTRUCTION  
DESIGNED BY: DDC  
DRAWN BY: AMC  
CHECKED BY: DDC

APPROVED BY:  
**PLAN INFORMATION**  
DRAWING TITLE:  
**PRELIMINARY & FINAL MAJOR SITE PLAN**

SHEET TITLE:  
**GRADING, DRAINAGE & UTILITY PLAN**

SHEET NO.:  
C400



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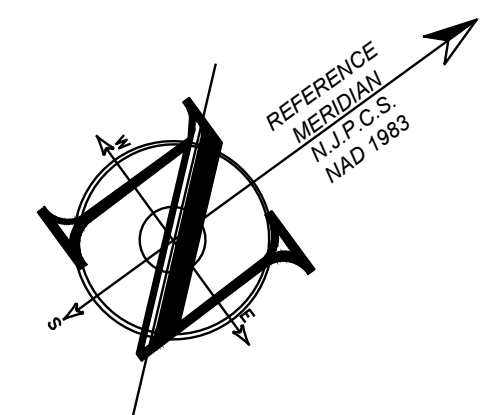
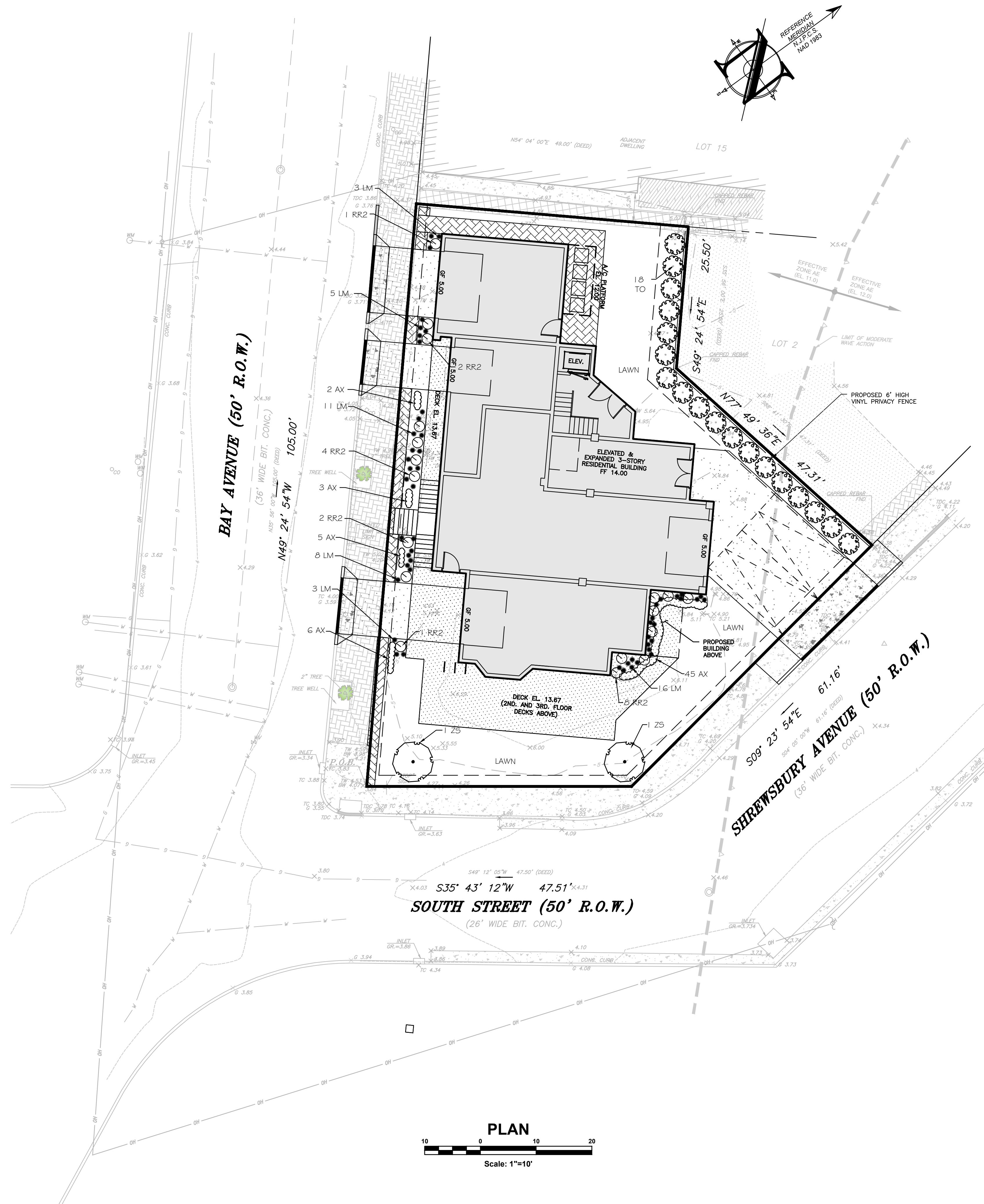
**LEGEND**

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
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FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

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PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT
TO	18	SHED AND ORNAMENTAL TREES THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	8-10' HT.	670 GAL
ZS	2	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNAR ZELKOVA	7-8' HT.	(B+B)
RR2	18	SHRUBS ROSA RUGOSA 'KNOCKOUT'	PINK 'KNOCKOUT' ROSE	2.5-3 FT	#5 CONT
		GRASSES, PERENNIAL FLOWER, GROUNDCOVERS			
LM	52	LIRIOPE MUSCARI	LILLYTURF	1 GAL.	(Cont.)
AX	61	AJUAGA REPTANS	BUGLEWEED	3-4"	6" POT



PROJECT INFORMATION

**PROPOSED MULTI-FAMILY RESIDENCE**

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BLOCK 42, LOT 1  
80 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

**OWNER:**  
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80 BAY AVENUE  
HIGHLANDS, NJ 07732

**APPLICANT:**  
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80 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

**ATTORNEY:**  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

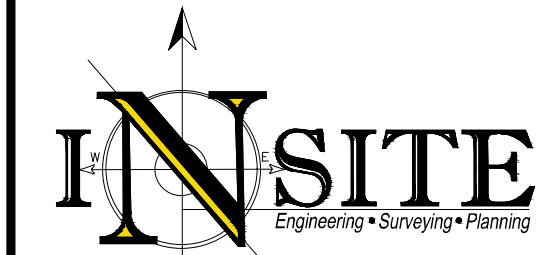
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PROPOSED EXCAVATION	WHITE



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PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

REVISIONS

REV.#	DATE	COMMENT

SCALE: 1"=10' DESIGNED BY: DDC

DATE: 02/05/24 DRAWN BY: AMC

JOB #: 23-2237-01 CHECKED BY: DDC

CAD ID: 23-2237-01r3

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PLAN INFORMATION

PRELIMINARY & FINAL  
MAJOR SITE PLAN

LANDSCAPE PLAN

SHEET NO.: C600

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LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
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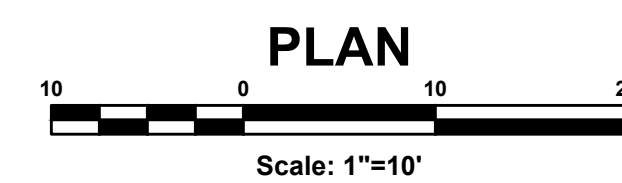
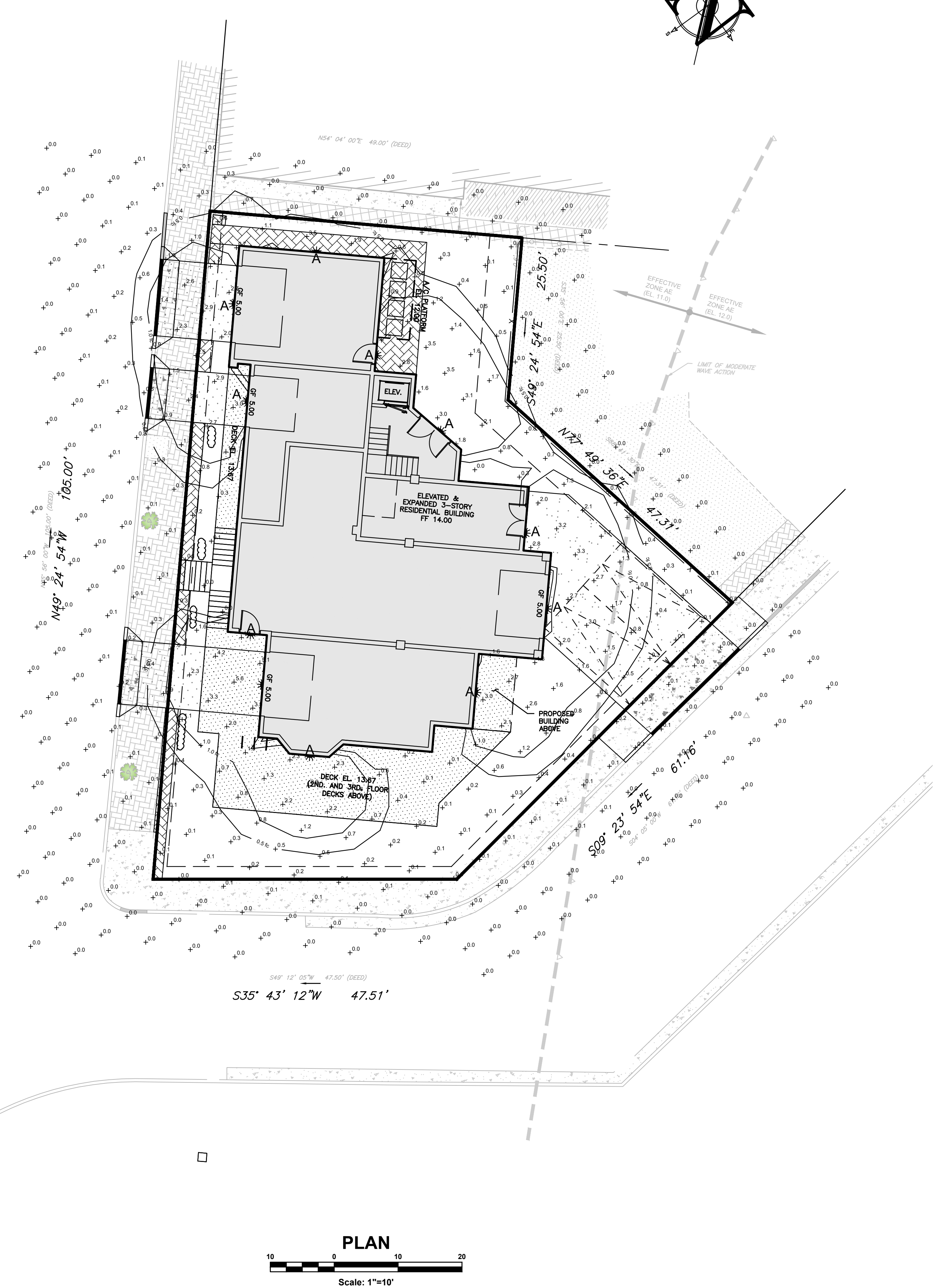
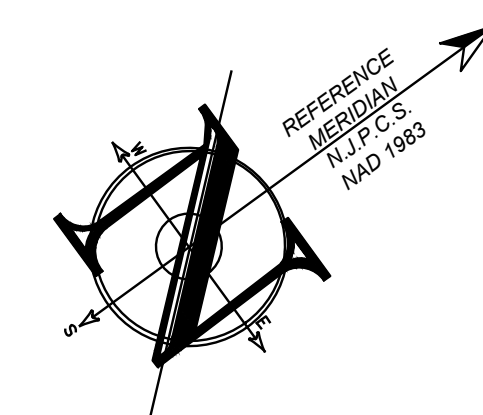
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:  
**LIGHTING PLAN**

SHEET NO.:  
**C601**



SCHEDULE OF LIGHTING REQUIREMENTS (§ 21-65.11)

ORD SECTION	STANDARD	PERMITTED	PROPOSED	COMPLIES
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.1 (W)	NO
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.7 (W)	NO
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	1.7 (W)	NO
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	8.5	YES

LUMINAIRE SCHEDULE

LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	TYPE	DIRECTION OF ILLUMINATION
A	11	WIDGET LED ARCHITECTURAL WALL SCONCE	LED	SINGLE	8.5'	WALL	DOWN

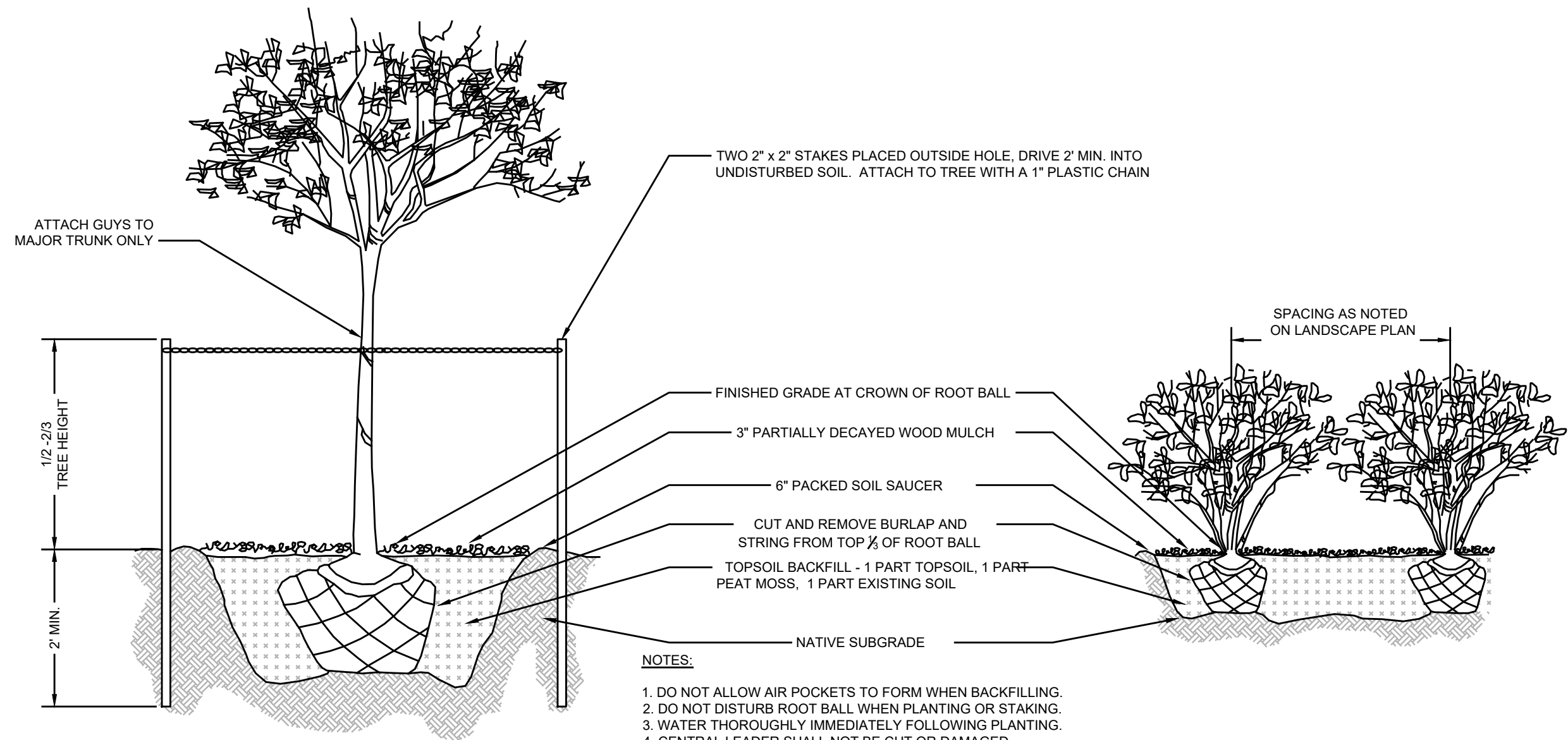
NOTE:  
1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOTCANDLES.  
2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.  
3. EXISTING LIGHTS ARE NOT INCLUDED IN THIS ANALYSIS.

SEE SHEET C101 FOR PLAN NOTES

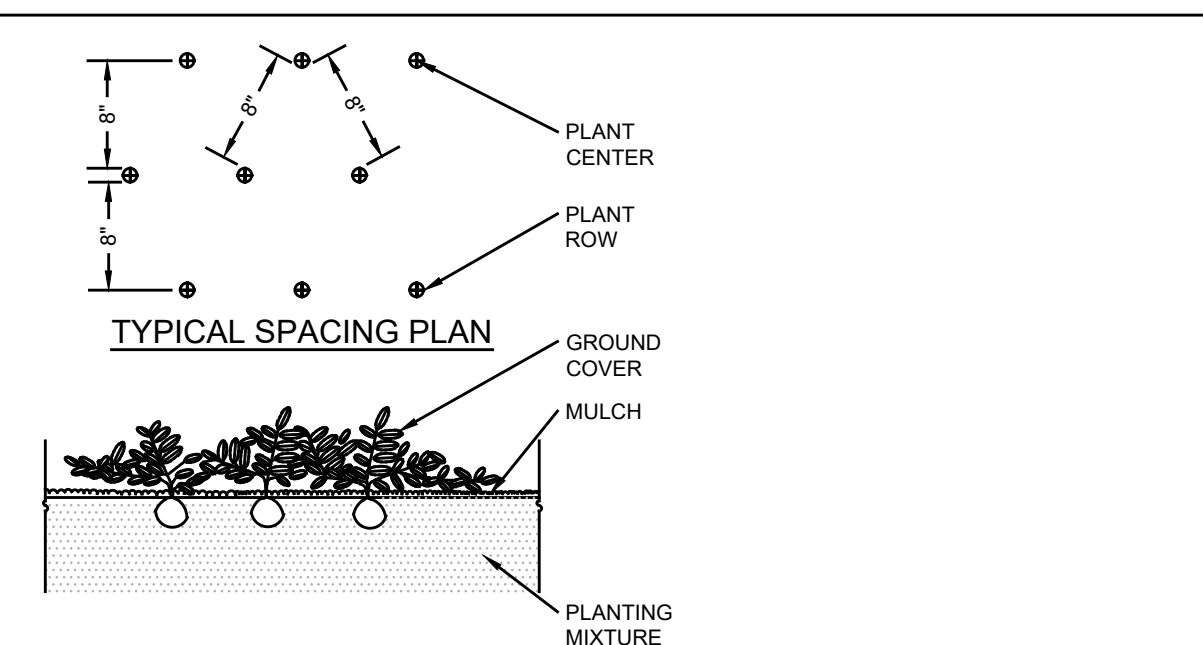
**LEGEND**

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
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FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

File: X:\InSite\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Ave Highlands, NJ\32323701CAD\Map\05-Landscaping & Lighting.dwg, ----> 0101 LIGHTING  
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**TREE & SHRUB PLANTING & STAKING**  
NTS



**GROUND COVER PLANTING**  
NTS

**WEDGE LED**  
Architectural Wall Sconce

Introduction  
The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solutions. WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Specifications  
Depth (D1): 5.5"  
Depth (D2): 1.5"  
Height: 8"  
Width: 9"  
Height (without options): 9.5"

**WEDGE LED Family Overview**

Category	Standard Output	Color Temp. (K)	Series	F1	F2	F3	F4	F5	F6
WEDGE1	10W	3000K	Standard / no light	1,200	2,000	3,000	4,000	5,000	—
WEDGE2	15W	3000K	Standard / no light	1,800	3,000	4,500	6,000	7,500	—
WEDGE3	25W	3000K	Standard / no light	3,000	5,000	7,500	10,000	12,000	—
WEDGE4	40W	3000K	Standard / no light	4,800	8,000	12,000	16,000	20,000	25,000

**Ordering Information**

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DBXK

Series	Package	Color Temperature (K)	CR	Beam Spread	Mounting	Shipping
WEDGE1	P1	40K	80CRI	VF	MVOLT	SRM
WEDGE1	P2	40K	80CRI	VF	MVOLT	SRM

**Options**

Option	Description	Code	Option	Description	Code
EMBP	Emergency battery backup, Certified to UL Type 35 (UL924) (UL924)	EMBP	DBBK	Dark bronze	DBBK
H1	Hard hat, safety helmet	H1	DBBK	Dark bronze	DBBK
IS	Integrated sensor with 2-axis tilt (light output can range from 0-100%)	IS	DBBK	Dark bronze	DBBK
DS	Dimming sensor with 2-axis tilt (light output can range from 0-100%)	DS	DBBK	Dark bronze	DBBK
DS	Dimming sensor with 2-axis tilt (light output can range from 0-100%)	DS	DBBK	Dark bronze	DBBK
DS	Dimming sensor with 2-axis tilt (light output can range from 0-100%)	DS	DBBK	Dark bronze	DBBK
DS	Dimming sensor with 2-axis tilt (light output can range from 0-100%)	DS	DBBK	Dark bronze	DBBK
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DS	Dimming sensor with 2-axis tilt (light output can range from 0-100%)	DS	DBBK	Dark bronze	DBBK
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LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conley, Georgia 30012 • Phone 1-800-705-5674 • www.lithonia.com WEDGE1 LED Rev. 11/16/23

**WALL MOUNTED LIGHTS TYPE A**  
NTS

**PROJECT INFORMATION**

**PROPOSED MULTI-FAMILY RESIDENCE**

**PROJECT LOCATION:**  
BLOCK 42, LOT 1  
80 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

**OWNER:**  
60 BAY AVE HIGHLANDS, LLC  
80 BAY AVENUE  
HIGHLANDS, NJ 07732

**APPLICANT:**  
60 BAY AVE HIGHLANDS, LLC  
80 BAY AVENUE  
HIGHLANDS, NJ 07732

**APPLICANT'S PROFESSIONALS**  
**ATTORNEY:**  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

**ARCHITECT:**  
SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

**SURVEYOR:**  
INSITE SURVEYING, LLC  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719



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NJ ONE CALL... 800-272-1000  
(where I dig you succeed)

UTILITY	COLOR
ELECTRIC	RED
Gas	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

**INSITE**  
Engineering • Surveying • Planning

InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 37, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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*Douglas D. Clelland*  
**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

**REVISIONS**

REV.#	DATE	COMMENT
2	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC  
DATE: 02/05/24 DRAWN BY: AMC  
JOB #: 23-2237-01 CHECKED BY: DDC  
CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION APPROVED BY:  
 FOR CONSTRUCTION

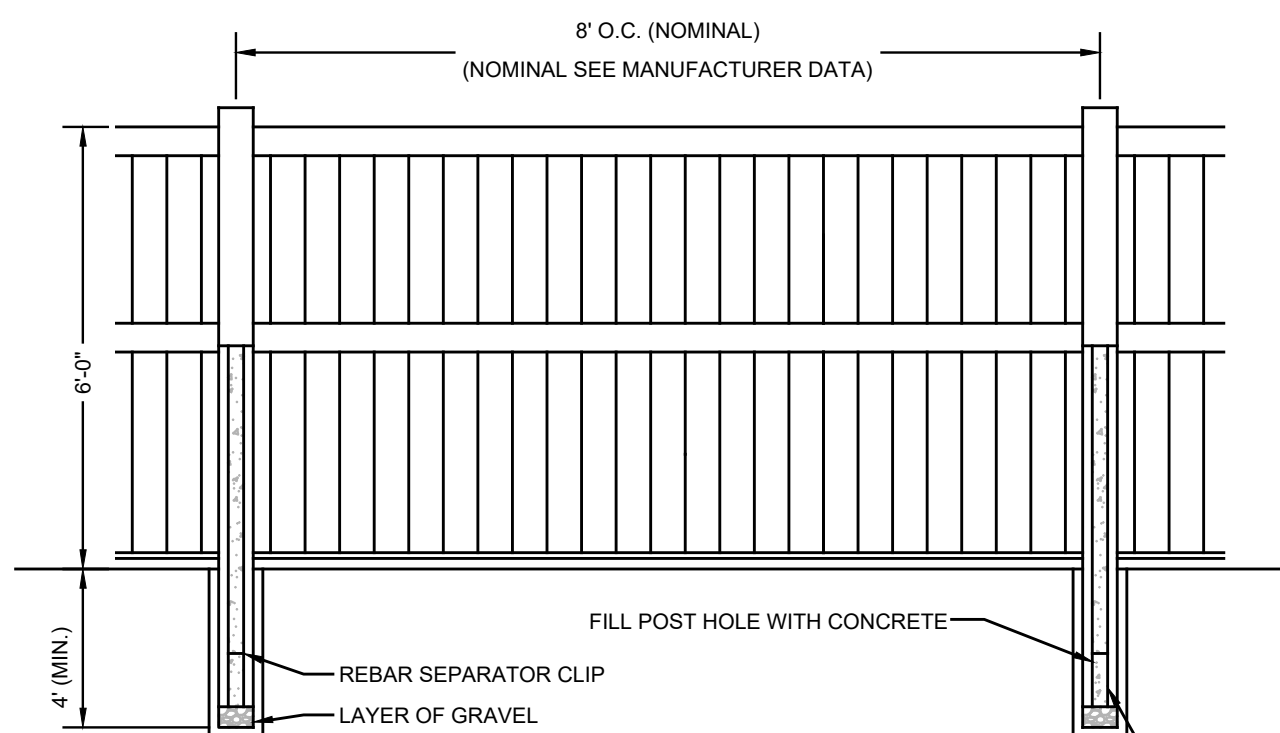
**PLAN INFORMATION**

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**SHEET TITLE:**  
LANDSCAPE & LIGHTING NOTES & DETAILS

**SHEET NO.:**  
C602

File: X:\Area\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Ave Highlands, NJ\23232701CAD\Map\05-Landscape & Lighting.dwg -> 0202 LANDSCAPE & LIGHTING NOTES & DETAILS  
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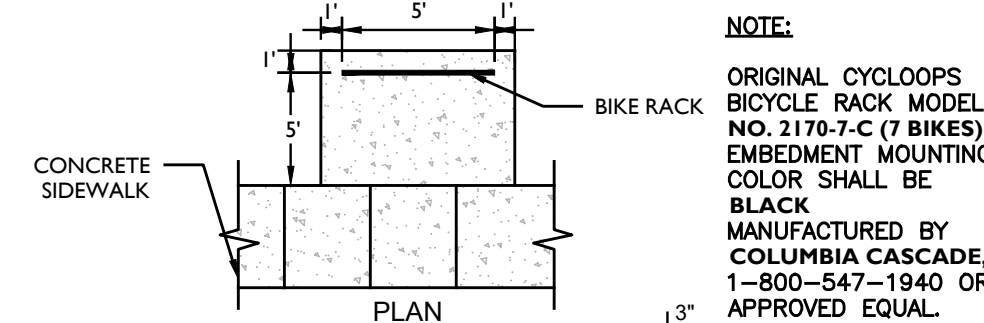


FILL LINE & END POST WITH CONCRETE TO APPROXIMATELY 1" BELOW MIDDLE RAIL. FILL GATE POSTS WITH CONCRETE TO COVER GATE HARDWARE FASTENERS.

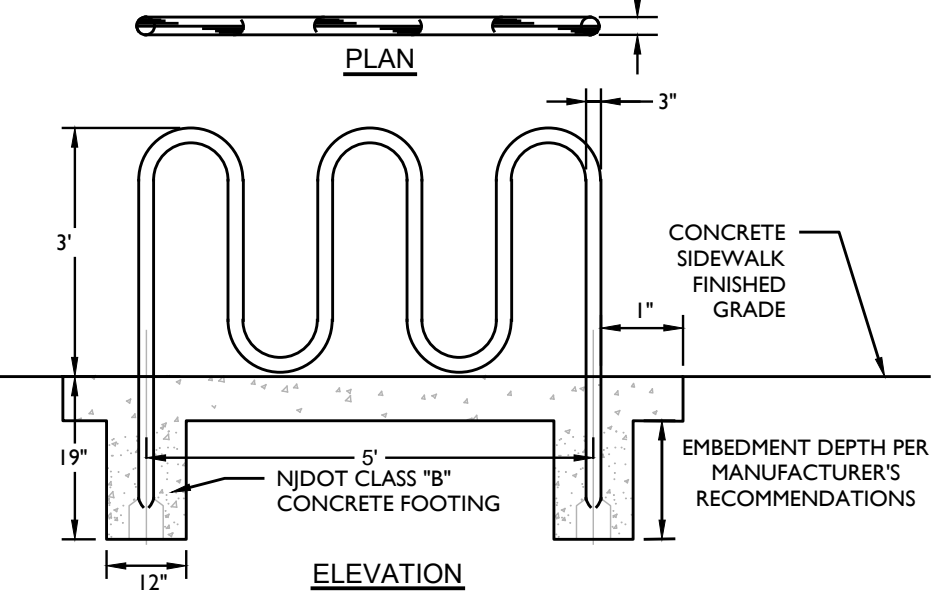
CONCRETE FILLED POSTS FOR FENCES 8' HIGH ADD 2 PIECES OF 1/2" REBAR PER POST IN OPPOSITE CORNER TO EXTEND FROM BOTTOM OF HOLE TO 4" BELOW MIDDLE RAIL. ON SHORTER HIGH FENCE ONLY END AND GATE POST NEED BE SET WITH THE ADDITION OF REBAR.

- NOTES:
1. ALL CONCRETE SHALL BE A MINIMUM OF 3000 PSI AIR ENTRAINED.
  2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.

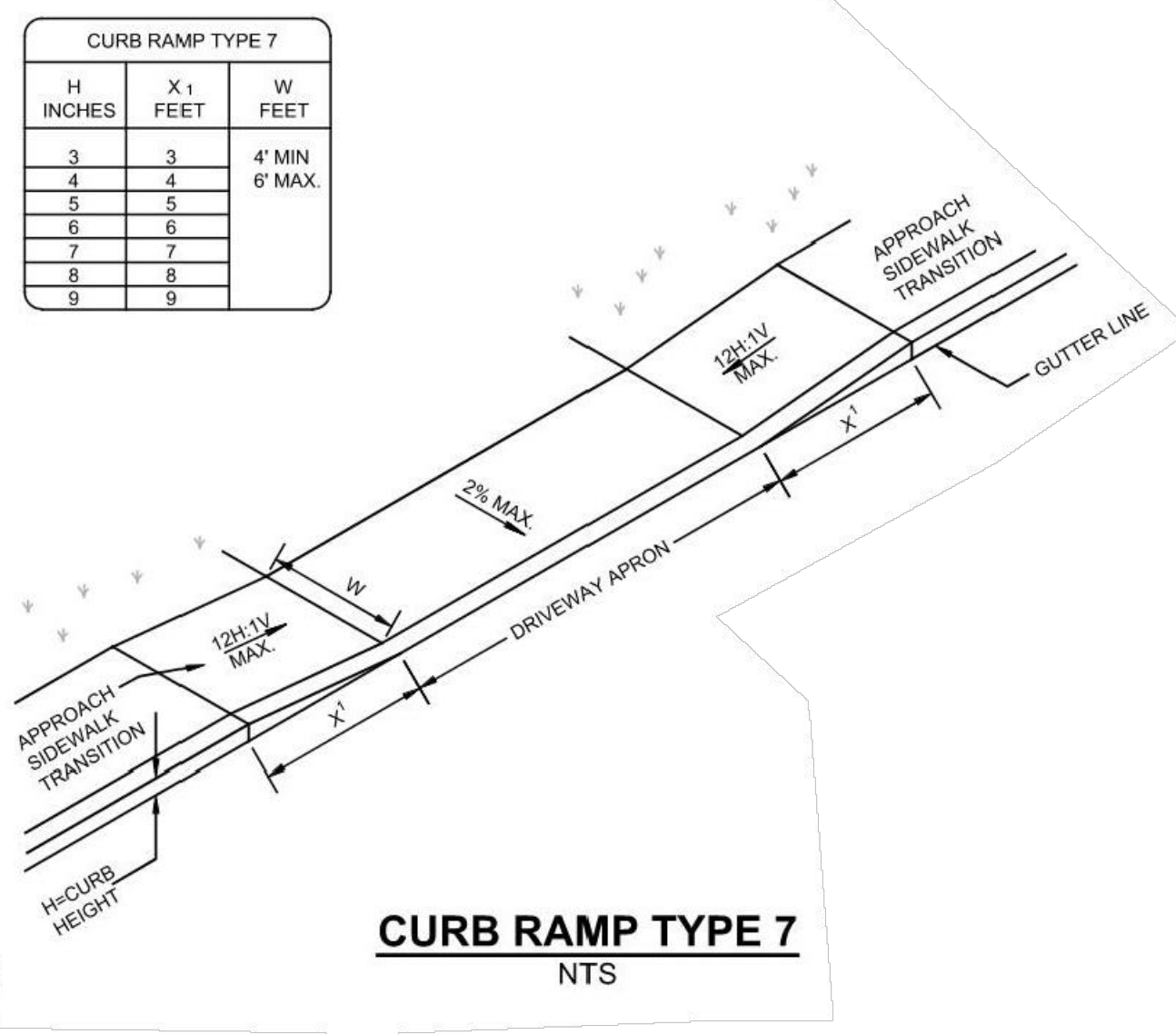
**VINYL FENCE**  
NTS



NOTE:  
ORIGINAL CYCLOOPS BICYCLE RACK MODEL NO. 2170-7-C (7 BIKES) EMBEDMENT MOUNTING COLOR SHALL BE BLACK MANUFACTURED BY COLUMBIA CASCADE, 1-800-547-1940 OR APPROVED EQUAL.

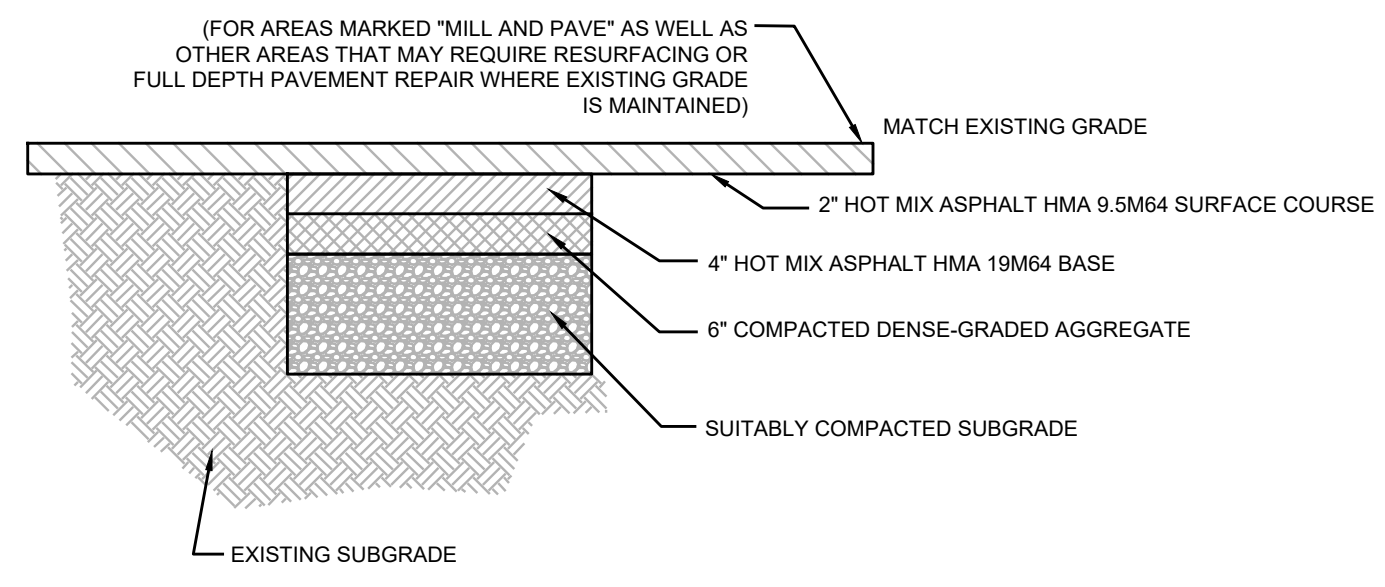


**BICYCLE RACK DETAIL**  
NOT TO SCALE



H INCHES	X 1 FEET	W FEET
3	3	4' MIN
4	4	6' MAX.
5	5	
6	6	
7	7	
8	8	
9	9	

**CURB RAMP TYPE 7**  
NTS



- PAVEMENT CONSTRUCTION SEQUENCE:
1. MILL AND EXCAVATE WHERE NOTED ON PLAN.
  2. PREPARE BASE WHERE NECESSARY.
  3. INSTALL SURFACE COURSE OVER ENTIRE PAVED AREA AT ONE TIME.

MATERIALS FOR ASPHALT SURFACE SHALL CONFORM TO SECTION 404.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). MATERIALS FOR ASPHALT BASE SHALL CONFORM TO SECTIONS 301.02 AND 304.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

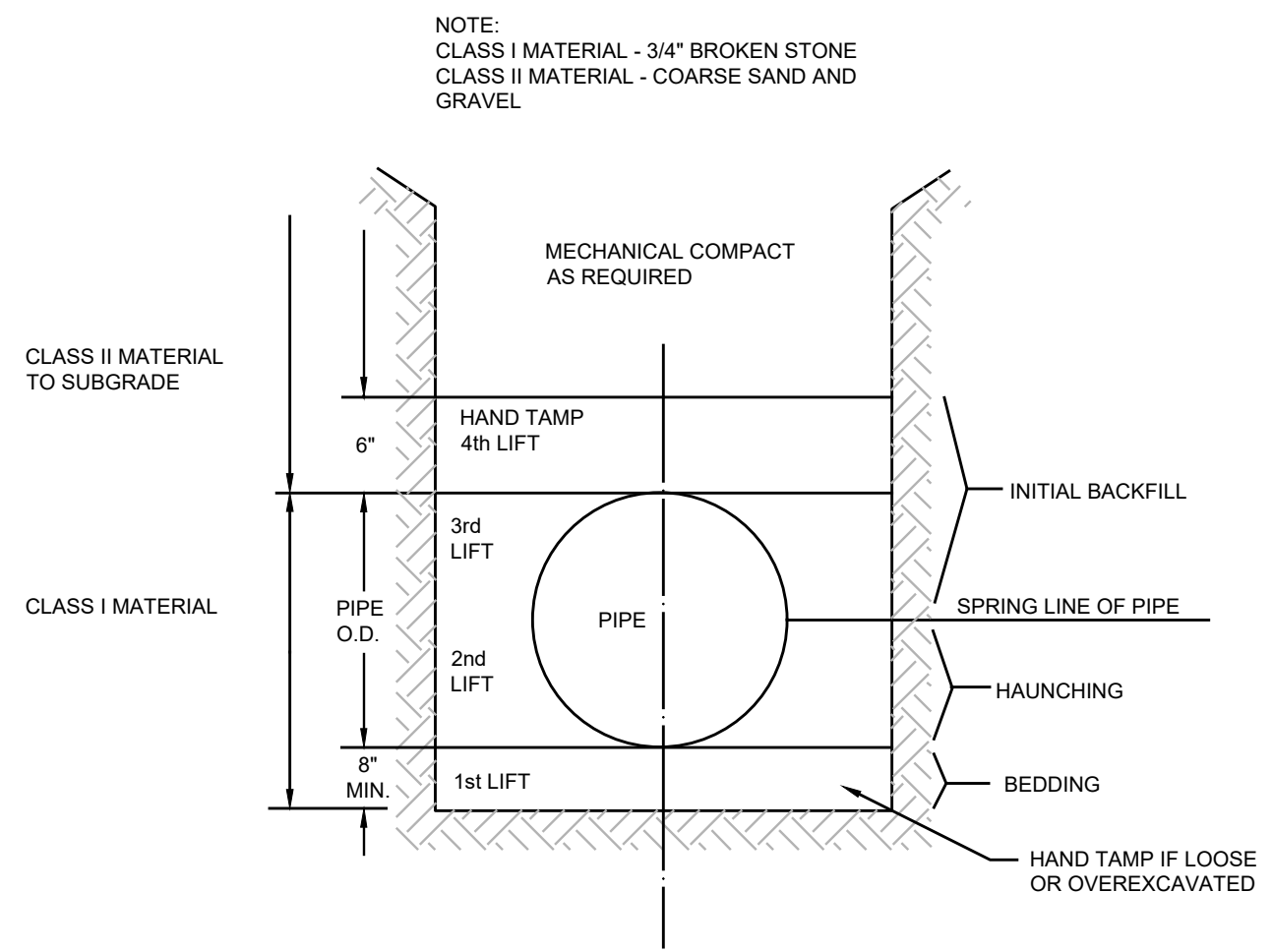
**PAVEMENT REPAIR**  
NTS

Roof Runoff Flowrate Calculation	
$Q = cIA$	
$c = 0.99$	in/hr
$I = 0.50$	ac
$A = 0.070$	
$Q = 0.45$	cfs

Pipe Capacity Calculation (Manning's Equation)	
$Q = 1.49n^{-1} A^{3/2} R^{2/3} S^{1/2}$	
$n (pvc) = 0.01$	
$d = 6$	in
$A (full) = 0.20$	sf
$r_0 (full) = 1.57$	ft
$R (full) = 0.13$	ft
$S = 0.005$	ft/ft
$Q (full) = 0.52$	cfs
$Q_{required} = 0.45$	cfs < OK >

**ROOF LEADER COLLECTION SYSTEM CAPACITY CALCULATIONS**



NOTE:  
CLASS I MATERIAL - 3/4" BROKEN STONE  
CLASS II MATERIAL - COARSE SAND AND GRAVEL

MECHANICAL COMPACT AS REQUIRED

HAND TAMP 4th LIFT

INITIAL BACKFILL

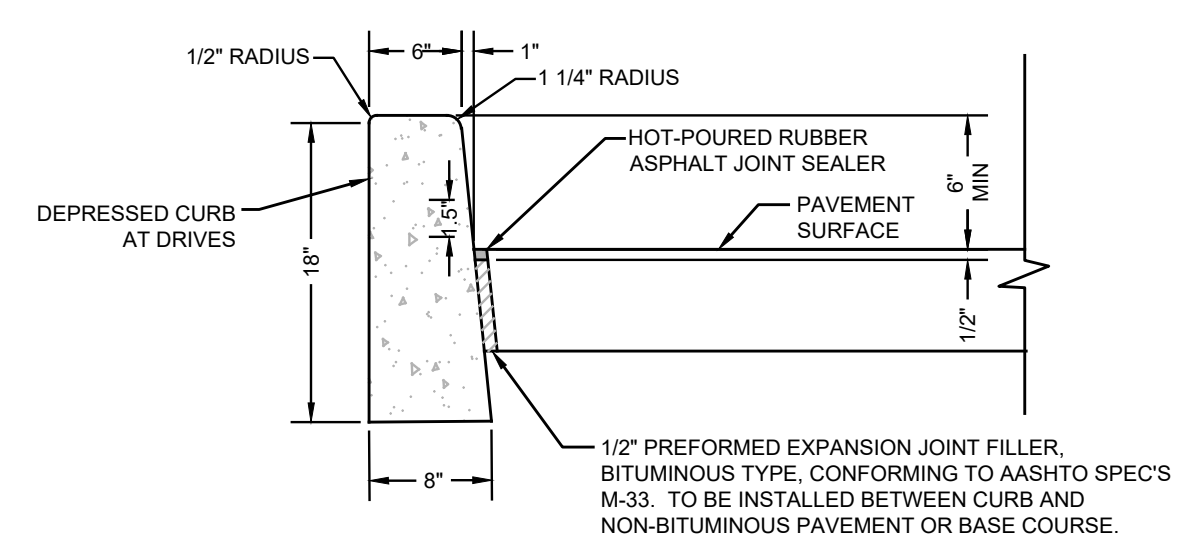
SPRING LINE OF PIPE

HAUNCHING

BEDDING

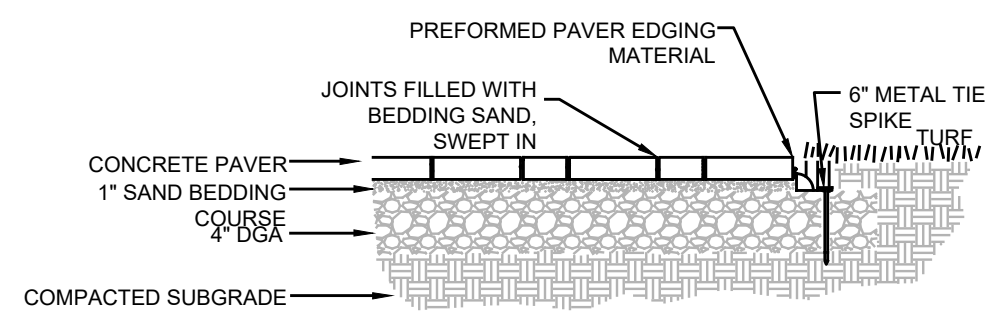
HAND TAMP IF LOOSE OR OVEREXCAVATED

**PIPE BEDDING DETAIL**  
NTS



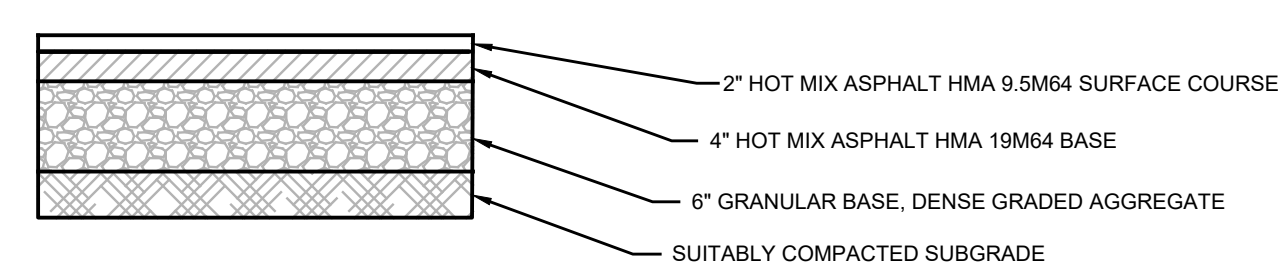
- NOTES:
1. CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).
  2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
  3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
  4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".

**CONCRETE VERTICAL CURB**  
NTS



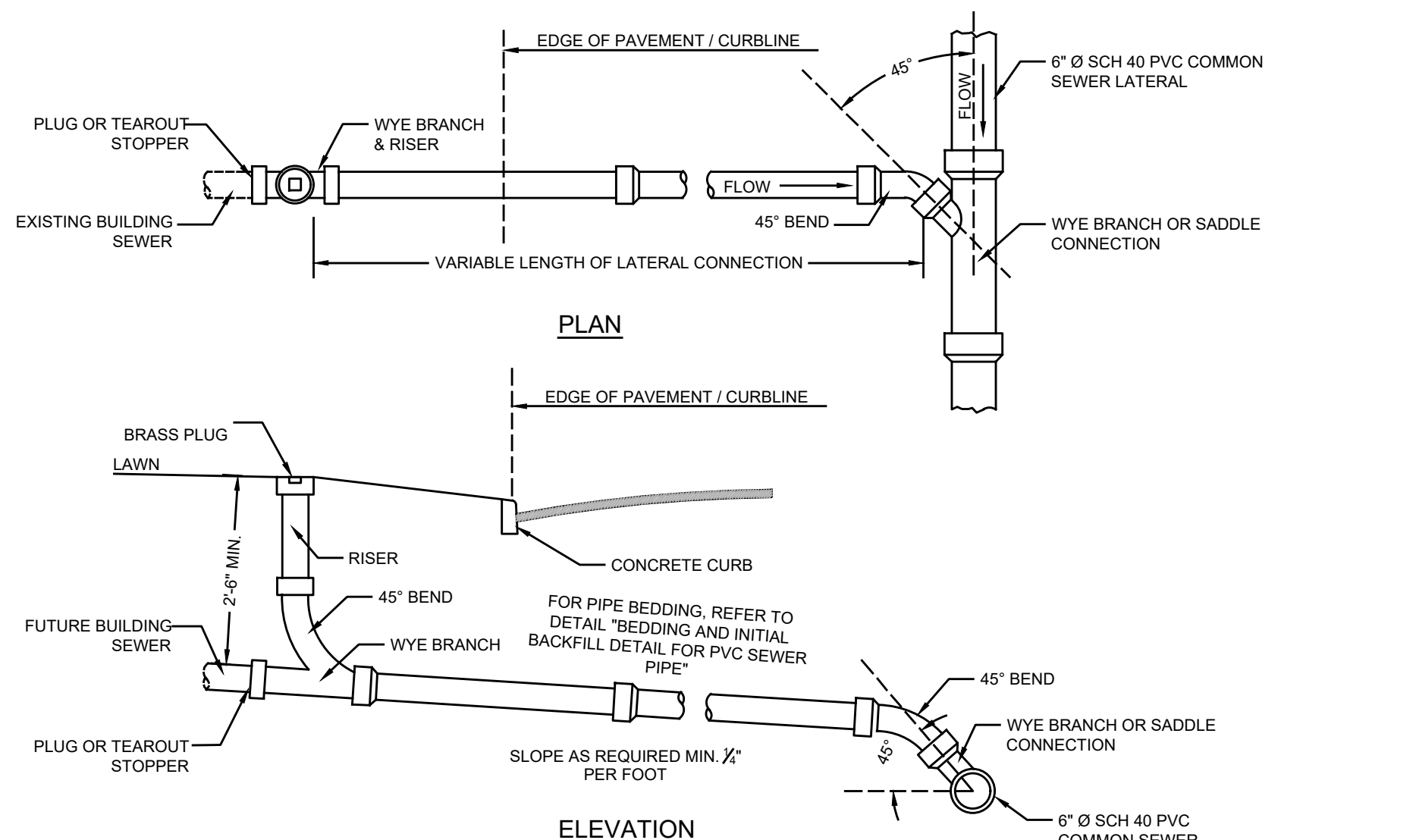
NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE CITY ENGINEER'S OFFICE FOR PAVER COLOR AND PATTERN PRIOR TO INSTALLATION.

**CONCRETE PAVER WALKWAY**  
NTS



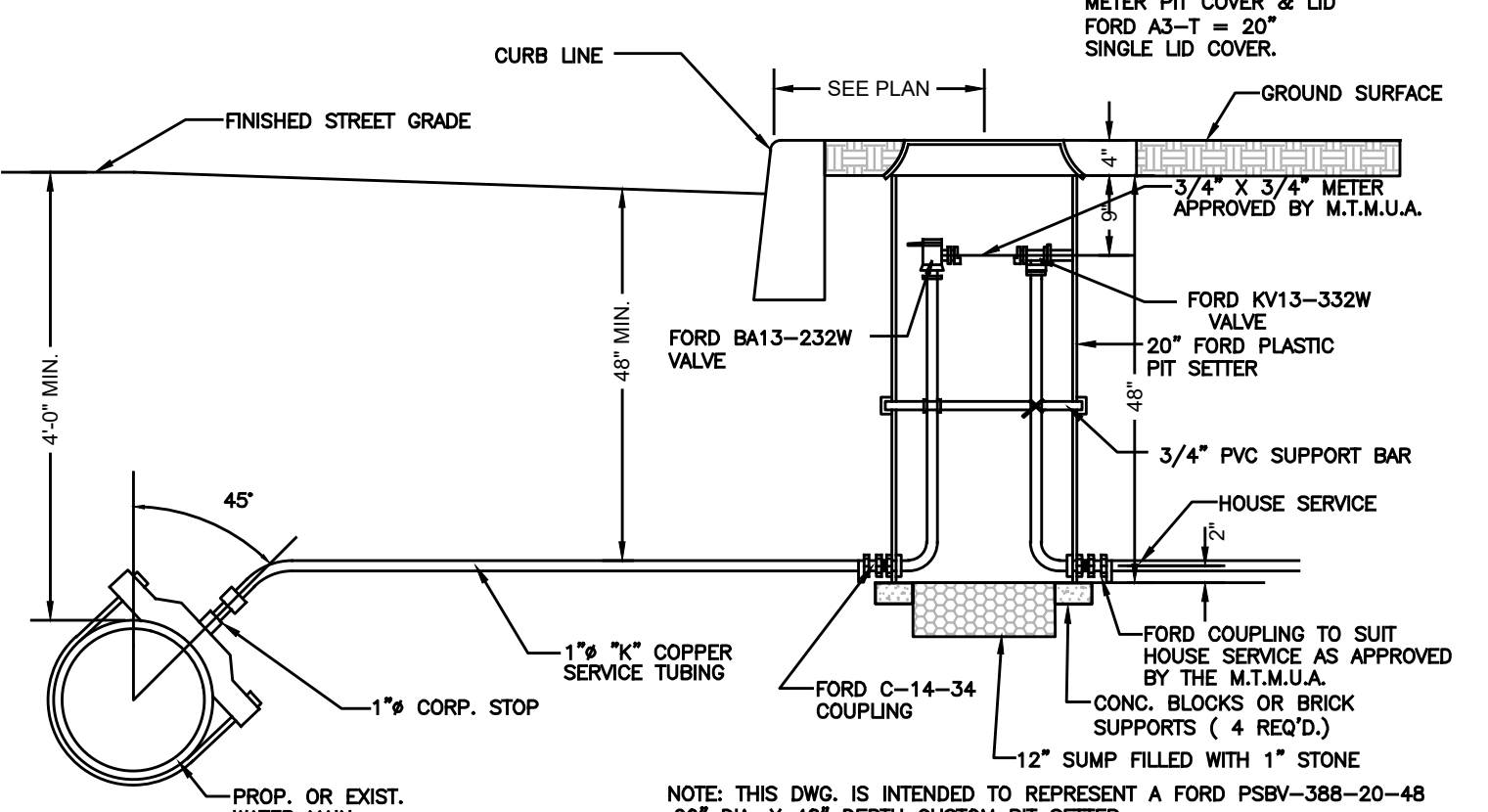
- NOTES:
1. THE GRANULAR BASE SHALL BE DENSE GRADED AGGREGATE CONFORMING TO SUBSECTION 901.08 AND SHOWN IN TABLE 901-2 OF THE N.J. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (1989).
  2. SUBGRADE CONDITIONS AND COMPACTION SHALL BE APPROVED BY THE CITY PLANNING BOARD ENGINEER PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENT.

**PAVEMENT SECTION**  
NTS



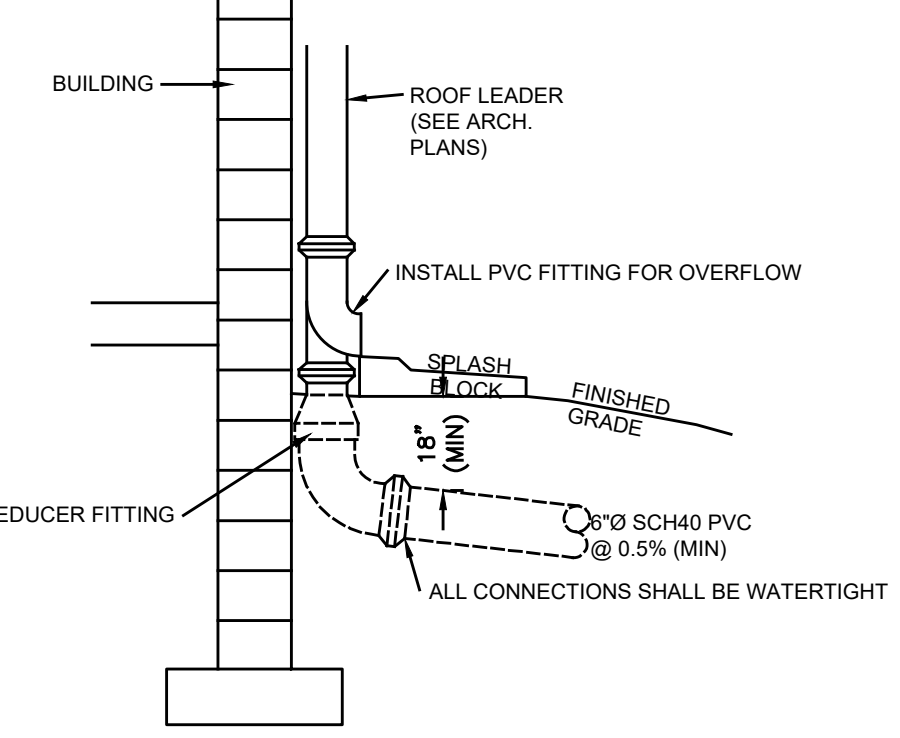
**STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS**  
NTS

IN ACCORDANCE WITH NJAC 7-10-11.10(E)5, ALL WATER MAINS AND SANITARY LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.



**TYPICAL SERVICE CONNECTION WITH FORD METER PIT**  
NTS

NOTE: THIS DWG. IS INTENDED TO REPRESENT A FORD PSB-388-20-48, 20" DIA. X 48" DEPTH CUSTOM PIT SETTER.



**EXTERIOR DOWNSPOUT COLLECTOR**  
NTS

ALL CONNECTIONS SHALL BE WATERTIGHT

**PROJECT INFORMATION**

**PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: BLOCK 42, LOT 1, 80 BAY AVENUE, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

OWNER: 60 BAY AVE HIGHLANDS, LLC, 80 BAY AVENUE, HIGHLANDS, NJ 07732

APPLICANT: 60 BAY AVE HIGHLANDS, LLC, 80 BAY AVENUE, HIGHLANDS, NJ 07732

**APPLICANT'S PROFESSIONALS**

ATTORNEY: DONNA M. JENNINGS ESQ., WILENTZ, GOLDMAN & SPITZER, PA, 90 WOODBRIDGE CENTER DRIVE, SUITE 900, WOODBRIDGE, NJ 07095

ARCHITECT: SALVATORE LA FERLITA, R.A., 115 UNIVERSITY DRIVE, LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 37, SUITE 1A, WALL, NJ 07719



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ELECTRIC	RED
Gas	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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**Douglas D. Clelland, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

**REVISIONS**

REV.#	DATE	DESCRIPTION
1	02/05/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
3	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC  
DATE: 02/05/24 DRAWN BY: AMC  
JOB #: 23-2237-01 CHECKED BY: DDC  
CAD ID: 23-2237-01r3

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**PLAN INFORMATION**

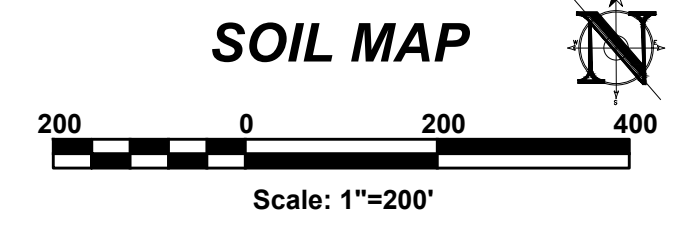
PRELIMINARY & FINAL MAJOR SITE PLAN

**CONSTRUCTION DETAILS**

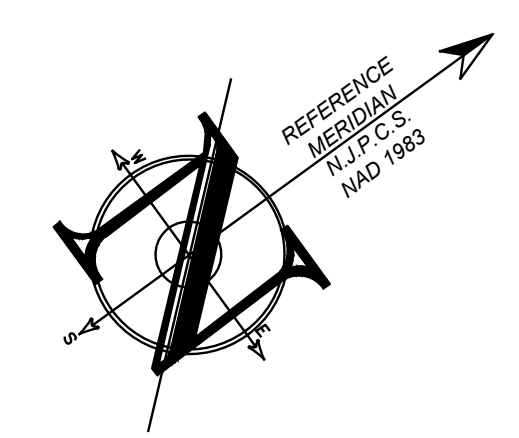
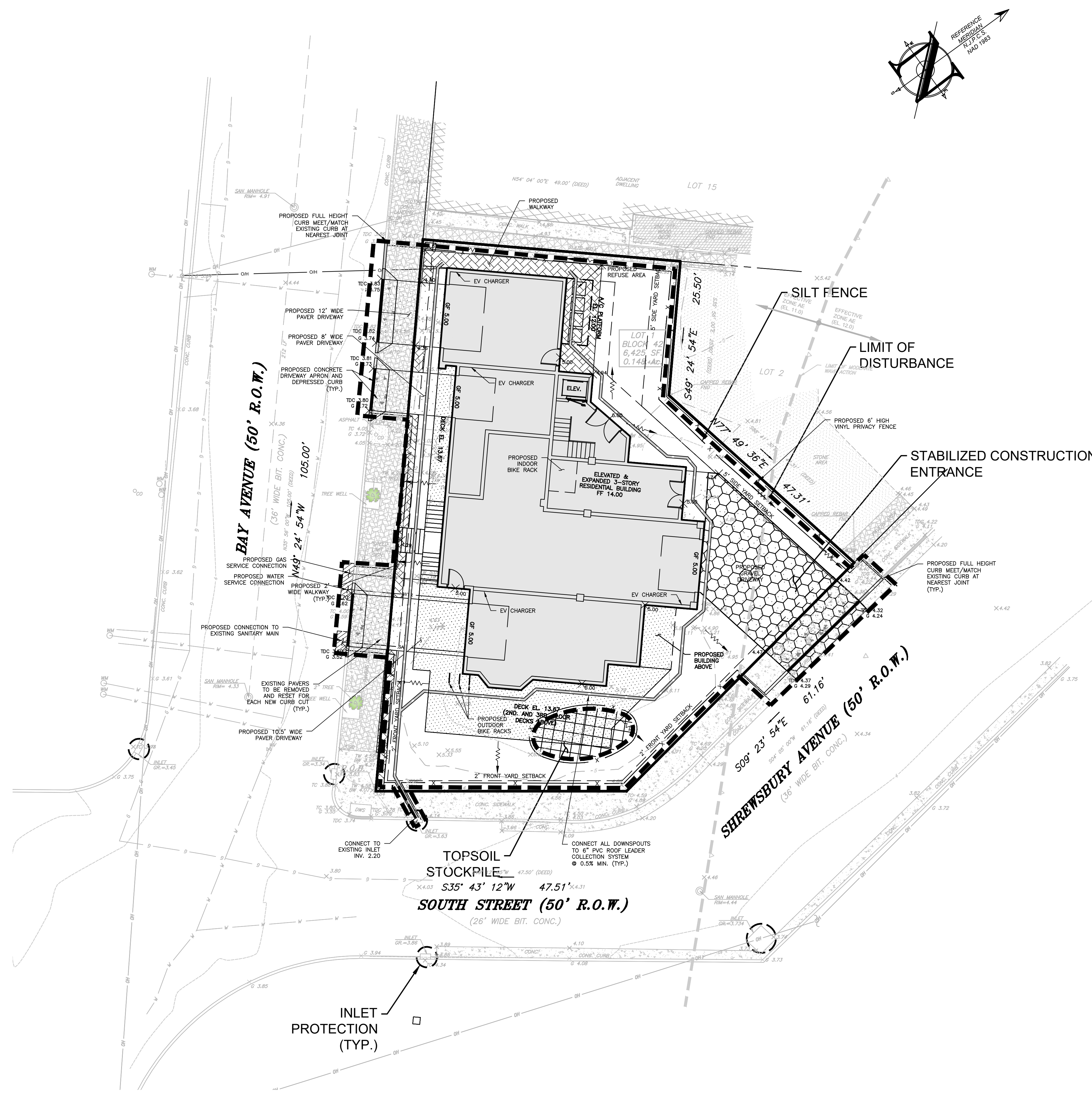
SHEET TITLE: CONSTRUCTION DETAILS

SHEET NO.: C800

File: X:\InSite\2023-01 - 60 Bay Ave Highlands, NJ\322370100\Draw\07-Details.dwg -> 0860 CONSTRUCTION DETAILS  
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SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
USKLEA	URBAN LAND-KLEY COMPLEX, 0 TO 2 PERCENT SLOPES	X



SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL EROSION LEGEND	
LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	SOIL RESTORATION AREA
PROPOSED TREE PROTECTION	
SOIL COMPACTION TEST LOCATION	

**CONSTRUCTION / SPPP NOTE**

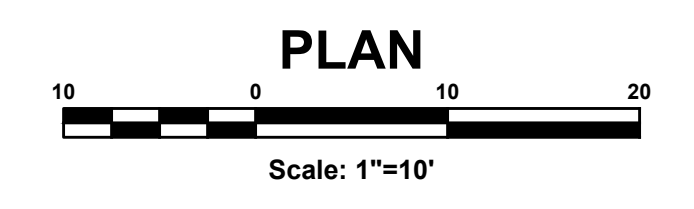
THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.161 AC.

**SOIL RESTORATION EXEMPTION**

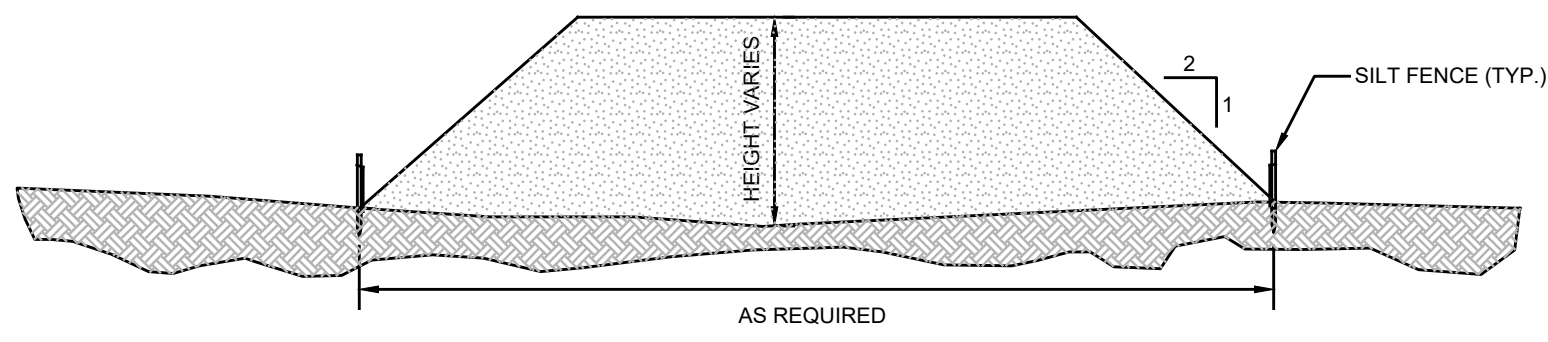
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017). THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.



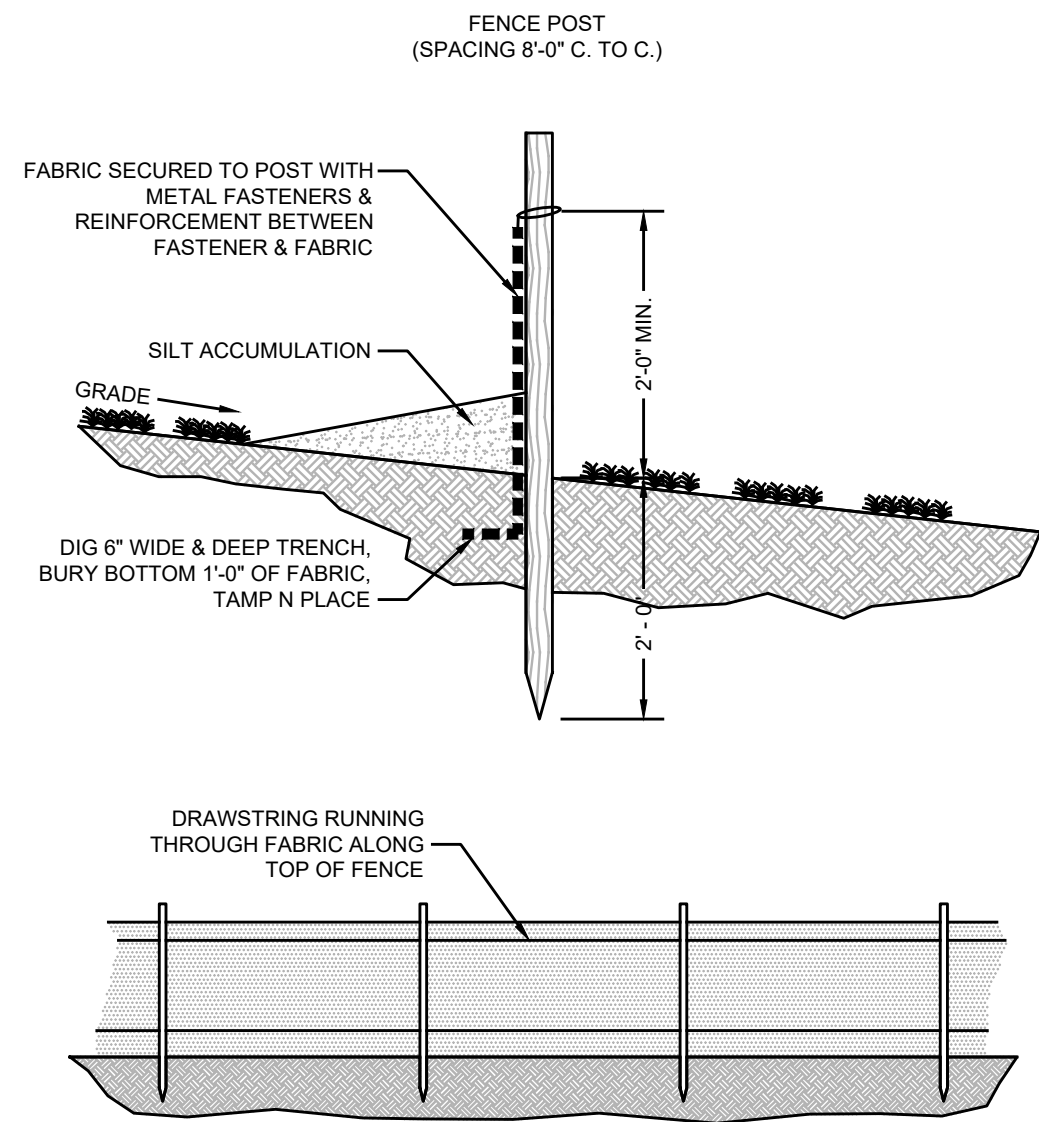
<b>PROJECT INFORMATION</b>		
PROJECT NAME: <b>PROPOSED MULTI-FAMILY RESIDENCE</b>		
PROJECT LOCATION: BLOCK 42, LOT 1, 60 BAY AVENUE, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ		
OWNER: 60 BAY AVE HIGHLANDS, LLC, 60 BAY AVENUE, HIGHLANDS, NJ 07732		
APPLICANT: 60 BAY AVE HIGHLANDS, LLC, 60 BAY AVENUE, HIGHLANDS, NJ 07732		
APPLICANT'S PROFESSIONALS:		
ATTORNEY: DONNA M. JENNINGS ESQ., WILENTZ, GOLDMAN & SPITZER, PA, 90 WOODBRIDGE CENTER DRIVE, SUITE 900, WOODBRIDGE, NJ 07095		
ARCHITECT: SALVATORE LA FERLITA, R.A., 115 UNIVERSITY DRIVE, LINCROFT, NJ 07738		
SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 37, SUITE 1A, WALL, NJ 07719		
CALL BEFORE YOU DIG! NJ ONE CALL: 800-272-1000		
UTILITY	SYMBOL	
ELECTRIC	YELLOW	
GAS	ORANGE	
COMMUNICATION	ORANGE	
WATER	GREEN	
SEWER	GREEN	
TEMP. SERVICE MARKING	MAGENTA	
PROPOSED EXCAVATION	WHITE	
INSITE Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 37, SUITE 1A, WALL, NJ 07719 732-531-7100 (PH) 732-531-7344 (FAX) InSite@InSiteEng.net www.InSiteEng.net		
LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA		
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<b>REVISIONS</b>		
REV.#	DATE	COMMENT
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1	03/28/24	PER ATTORNEY
0	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE
SCALE: 1"=10'		
DATE:	02/05/24	DESIGNED BY: DDC
JOB #:	23-2237-01	DRAWN BY: AMC
CAD ID:	23-2237-01r3	CHECKED BY: DDC
NOT FOR CONSTRUCTION		
APPROVED BY:		
<b>PLAN INFORMATION</b>		
<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b>		
SHEET TITLE: <b>SESC PLAN</b>		
SHEET NO.: <b>C900</b>		

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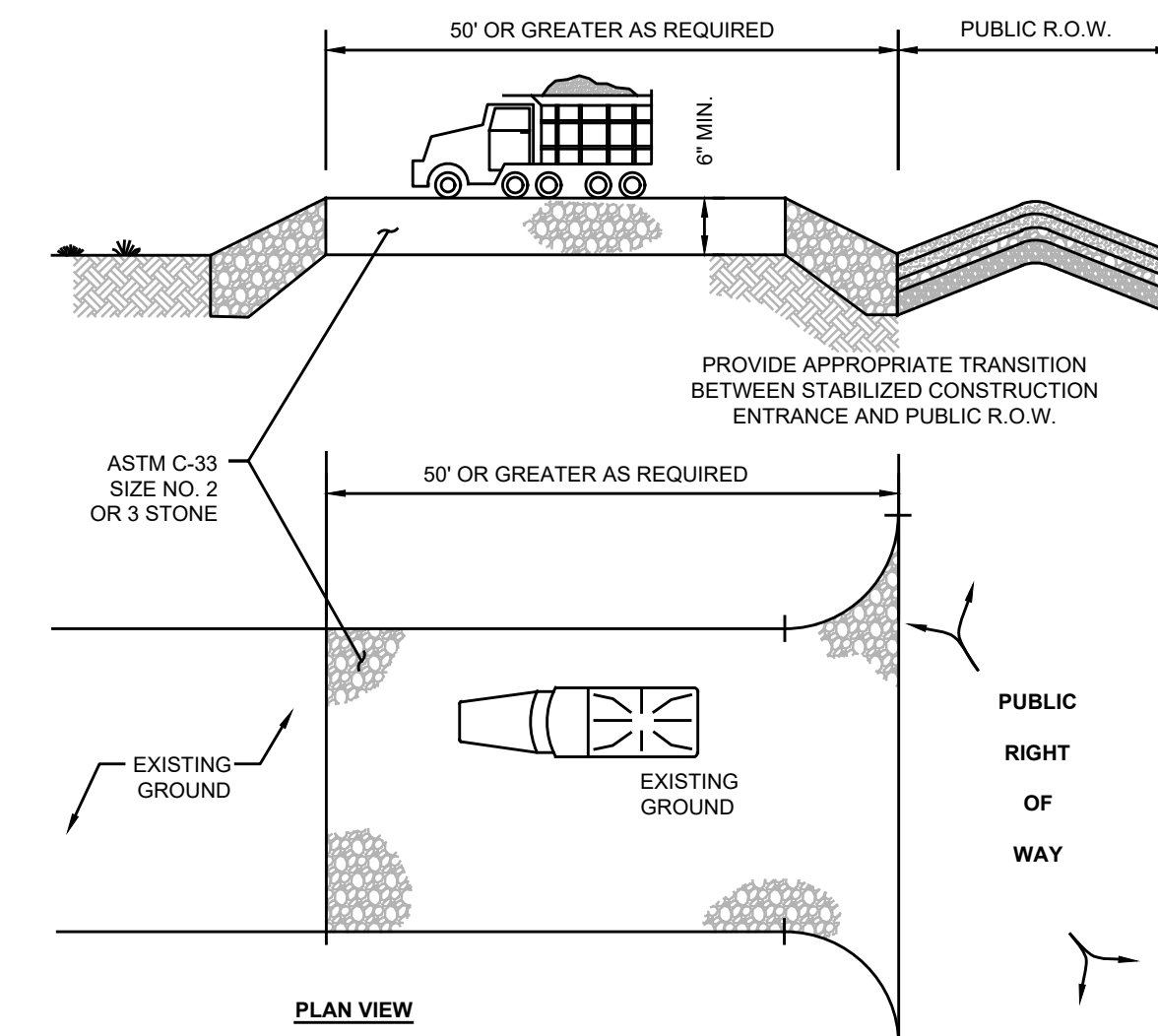




**SECTION THROUGH SOIL STOCKPILE (TYP.)**  
NTS



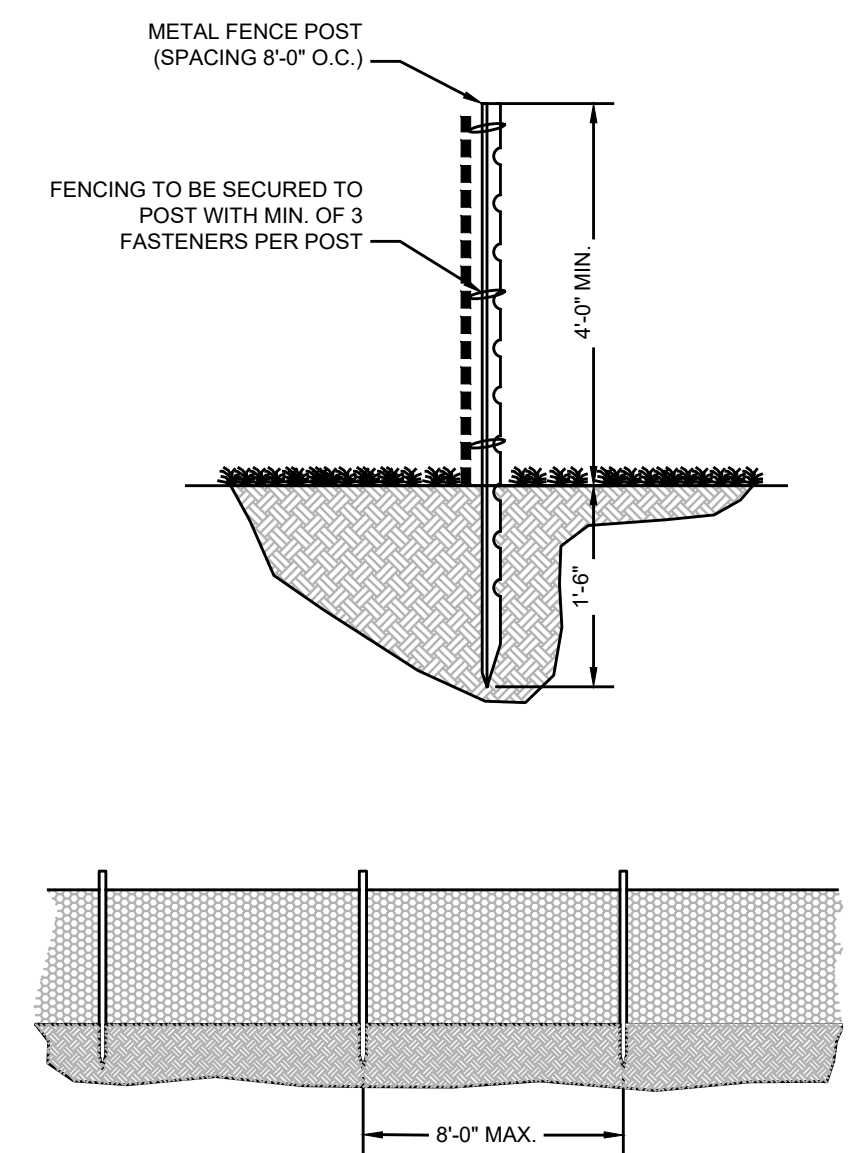
**SILT FENCE DETAIL**  
NTS



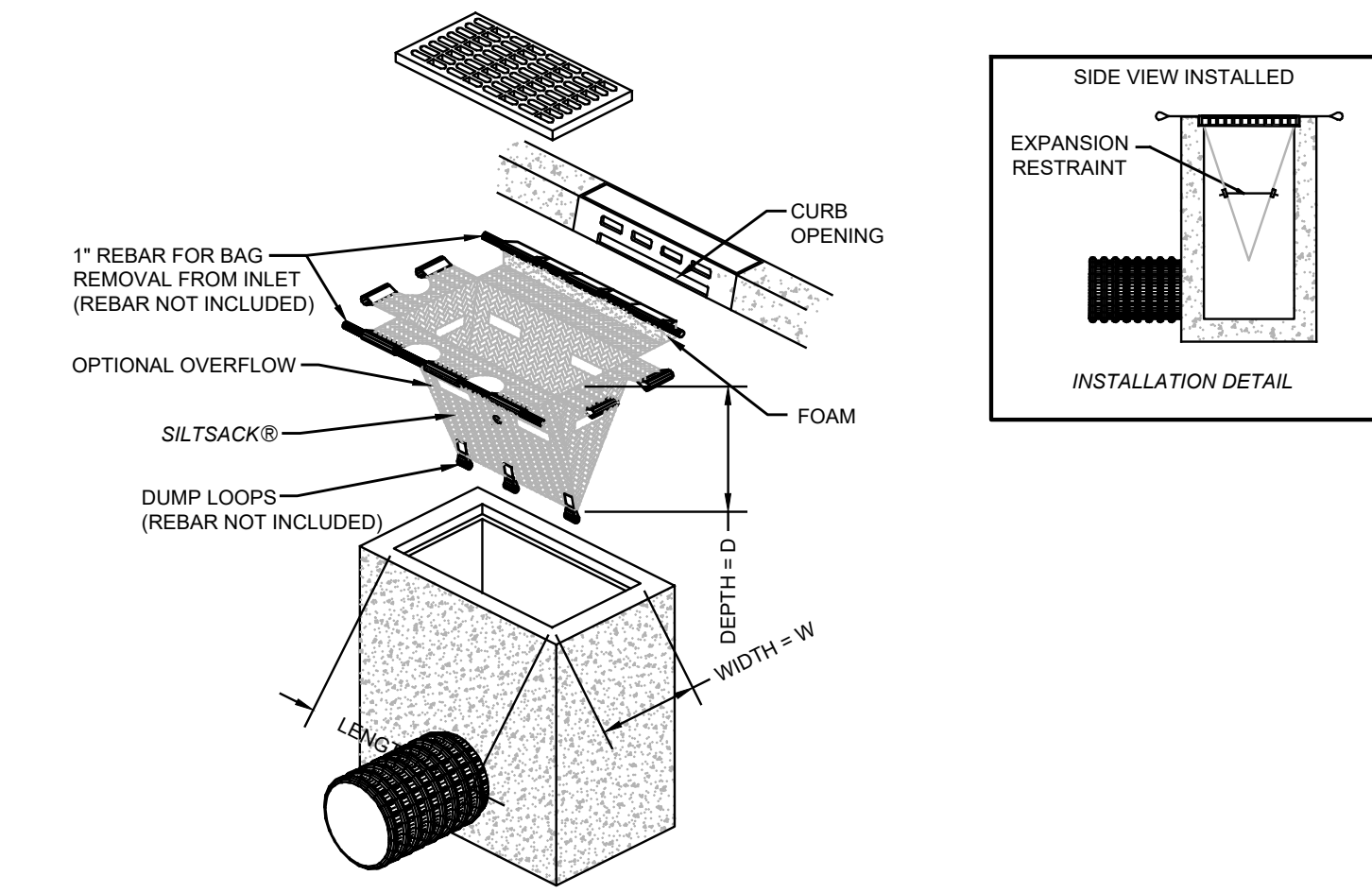
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC HOT MIX ASPHALT BASE COURSE, MIX 1-2'	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.  
**STABILIZED CONSTRUCTION ENTRANCE**  
NTS

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

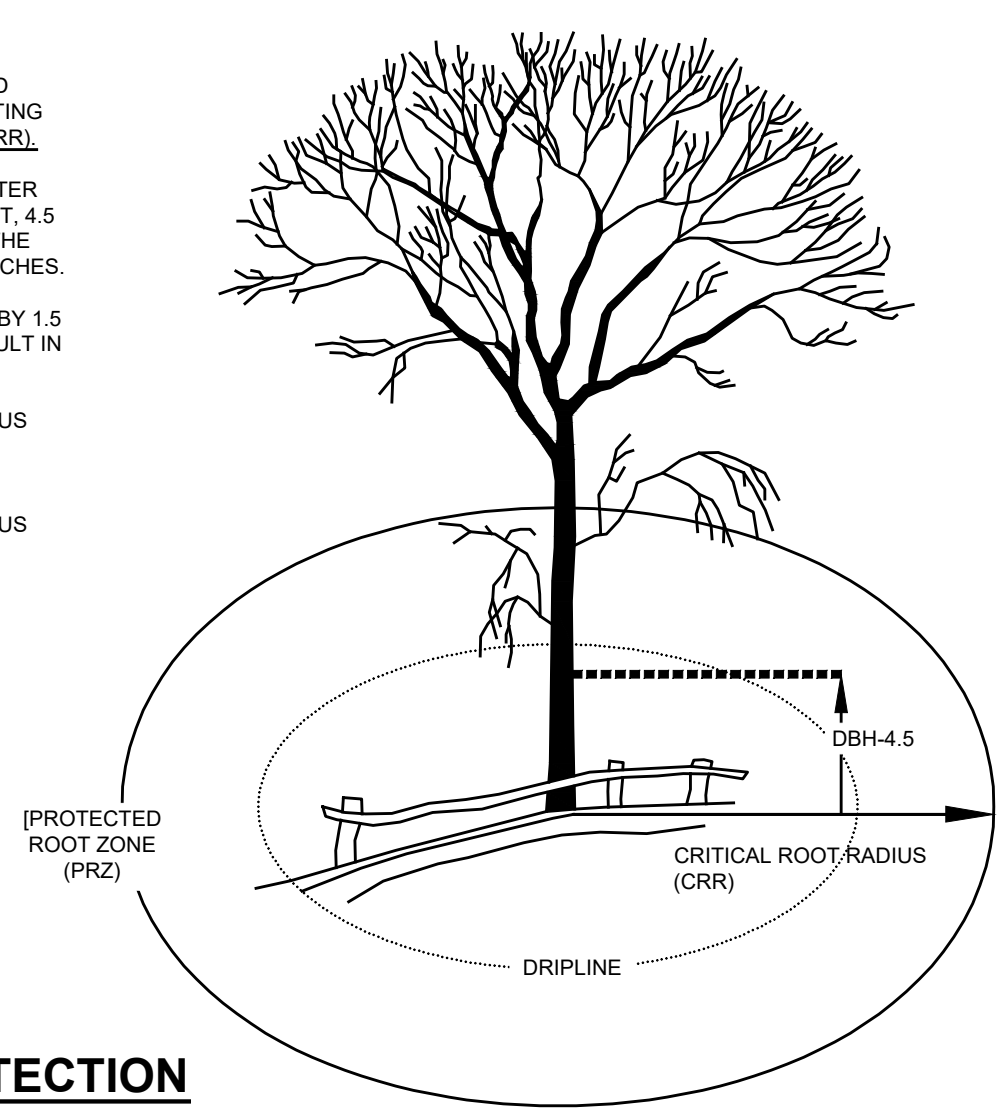


**TREE PROTECTION FENCING**  
NTS

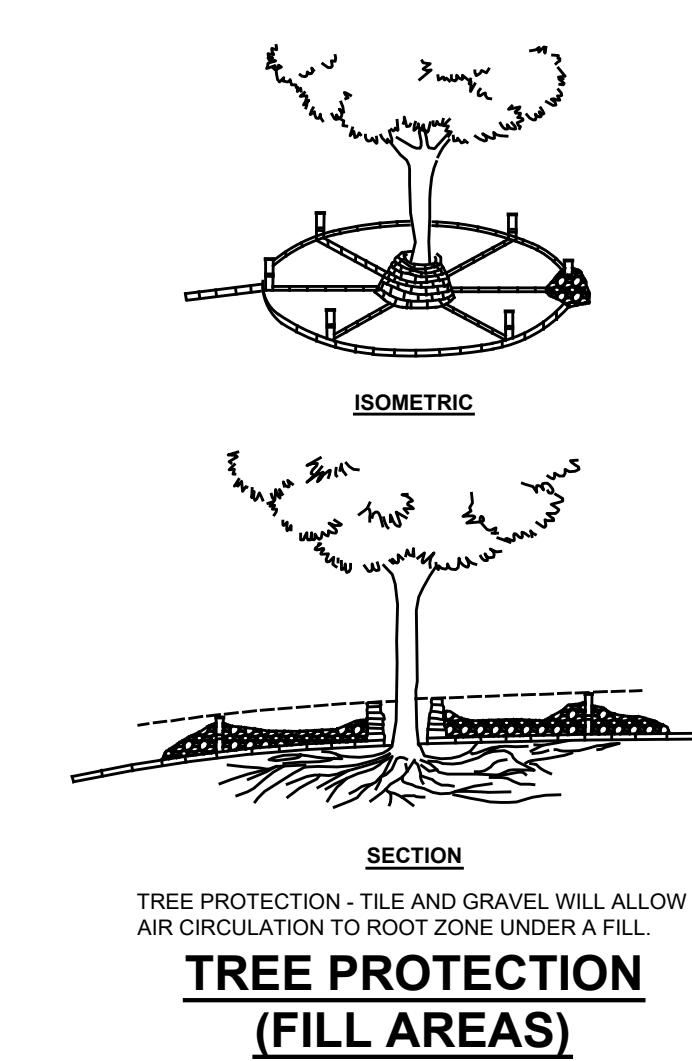


**INLET PROTECTION DETAIL**  
NTS

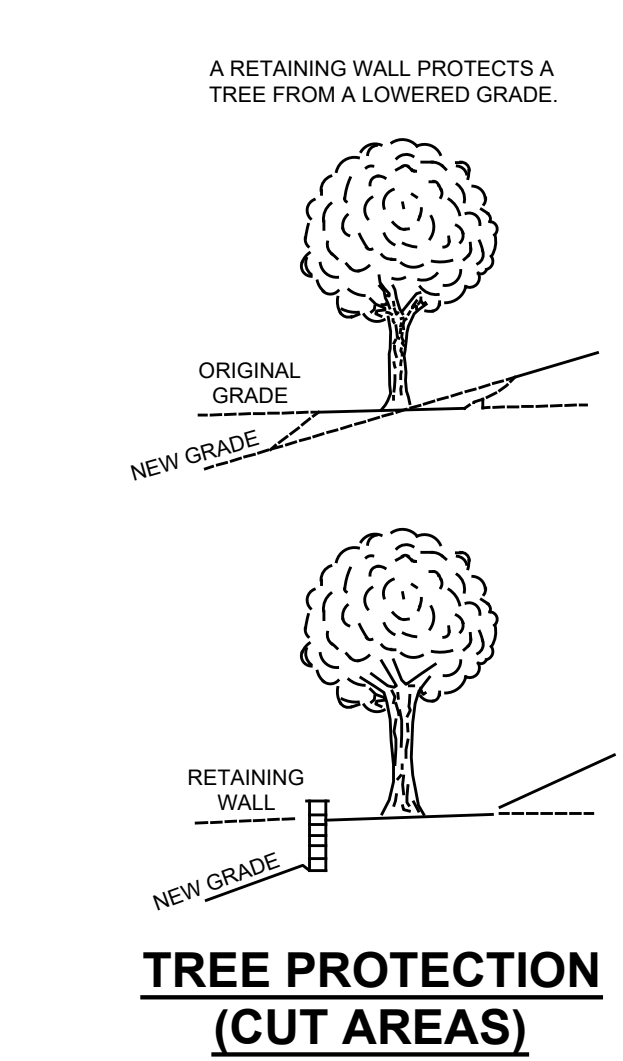
- ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).
1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
  2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.
- DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.  
DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



**TREE ROOT PROTECTION**  
NTS



**TREE PROTECTION (FILL AREAS)**  
NTS



**TREE PROTECTION (CUT AREAS)**  
NTS

**PROJECT INFORMATION**  
PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**  
PROJECT LOCATION: BLOCK 42, LOT 1, 80 BAY AVENUE, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ  
OWNER: **60 BAY AVE HIGHLANDS, LLC**, 80 BAY AVENUE, HIGHLANDS, NJ 07732  
APPLICANT: **60 BAY AVE HIGHLANDS, LLC**, 80 BAY AVENUE, HIGHLANDS, NJ 07732  
APPLICANT'S PROFESSIONALS:  
ATTORNEY: DONNA M. JENNINGS ESQ., WILENTZ, GOLDMAN & SPITZER, PA, 90 WOODBRIDGE CENTER DRIVE, SUITE 900, WOODBRIDGE, NJ 07095  
ARCHITECT: SALVATORE LA FERLITA, R.A., 115 UNIVERSITY DRIVE, LINCROFT, NJ 07738  
SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 37, SUITE 1A, WALL, NJ 07719



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ELECTRIC: YELLOW  
GAS/OIL: ORANGE  
COMMUNICATION: BLUE  
WATER: GREEN  
SEWER: GREEN  
TEMP. WEIRTS MARKINGS: MARISETTA  
PROPOSED EXCAVATION: WHITE

**INSITE**  
Engineering • Surveying • Planning  
InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
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*Douglas D. Clelland*  
**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

REVISIONS		
REV.#	DATE	COMMENT
2	04/08/24	PER ATTORNEY
1	03/28/24	PER ATTORNEY
7	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC  
DATE: 02/05/24 DRAWN BY: AMC  
JOB #: 23-2237-01 CHECKED BY: DDC  
CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION APPROVED BY:   
 FOR CONSTRUCTION

**PLAN INFORMATION**  
**PRELIMINARY & FINAL MAJOR SITE PLAN**

SHEET TITLE: **SESC DETAILS**  
SHEET NO.: **C902**

File: X:\Vista\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\23223701CAD\Fig\_08-SESC\_Details.dwg -> 0802 SESS DETAILS  
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